



CITY OF PERRIS PLANNING COMMISSION

AGENDA

January 20, 2021

City Council Chambers
Meeting to convene at 6:00 P.M.
101 North "D" Street
Perris, CA 92570

1. CALL TO ORDER:

2. ROLL CALL:

Commissioners: Hernandez, Jimenez,
Vice-Chair Hammond, Chair Shively

3. INVOCATION:

4. PLEDGE OF ALLEGIANCE: Commissioner Jimenez

5. PRESENTATION:

6. CONSENT CALENDAR:

A. Planning Commission Minutes for December 16, 2020

7. PUBLIC HEARING:

A. **Development Plan Review No. 19-00014** - A proposal to construct one 205,830 S.F. high-cube industrial warehouse building with 10,000 S.F. of office; 27 dock doors; two employee break areas; 84 automobile parking spaces including four handicapped-accessible spaces and five future EV charging spaces; 42 trailer stalls; and four loading spaces on 9.56 gross acres on the north side of Walnut Avenue between Indian and Barrett Avenues. **Applicant:** Ben Horning, DeDeaux Properties

REQUESTED ACTION: Adopt Resolution No. 20-17 adopting Mitigated Negative Declaration 2353 and approving Development Plan Review 19-00014 to construct one 205,830 S.F. of high-cube industrial warehouse building on 9.56 gross acres located on the north side of Walnut Avenue between Indian and Barrett Avenues for the purpose of warehousing and distribution; and subject to the Conditions of Approval.

8. BUSINESS ITEM:

9. PUBLIC COMMENTS:

Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, spell your last name, and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.

10. COMMISSION MEMBERS ANNOUNCEMENTS OR REPORTS:

11. DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:

12. ADJOURNMENT

COVID-19 REMOTE PUBLIC COMMENT/CITIZEN PARTICIPATION

With the intent of adhering to the new community guidelines from the Center for Disease Control, the City of Perris will allow for remote public comment and participation at the upcoming Planning Commission meeting via Zoom. Public Comment is limited to three (3) minutes.

ZOOM MEETING INFORMATION

When: December 16, 2020, 06:00, PM Pacific Time (US and Canada)
Topic: Planning Commission Meeting

Join Zoom Meeting using the below link or call-in number:
<https://zoom.us/j/642558532>

Meeting ID: 642 558 532

One tap mobile

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During the Planning Commission meeting, if you wish to speak for public comment on any item, please select the raise hand icon next to your name. The moderator will grant you access to speak. Public Comment is limited to (3) three minutes.

Planning Commission Agenda

CITY OF PERRIS
January 20, 2021

Item 6A

**Planning Commission Minutes for
December 16, 2020**

CITY OF PERRIS

MINUTES:

Date of Meeting: December 16, 2020

06:01 PM

Place of Meeting: City Council Chambers

Commission Members Present: Commissioner Jimenez, Commissioner Hernandez, Vice Chair Hammond, and Chair Shively.

1. CALL TO ORDER:

2. ROLL CALL: Commissioners: Jimenez, Hernandez, Vice-Chair Hammond, Chair Shively.

Commission Members Present: Commissioner Jimenez, Commissioner Hernandez, Vice Chair Hammond, and Chair Shively.

3. INVOCATION:

4. PLEDGE OF ALLEGIANCE: Commissioner Hernandez

5. PRESENTATION:

6. CONSENT CALENDAR:

A. Planning Commission Minutes for December 02, 2020

The Chair called for a motion.

M/S/C: Moved by Commissioner Hernandez, seconded by Commissioner Jimenez to Approve A. Planning Commission Minutes for December 02, 2020

AYES: Commissioner Jimenez, Commissioner Hernandez, Vice Chair Hammond, Chair Shively.

NOES:

ABSENT:

ABSTAIN:

7. PUBLIC HEARING:

- A. Conditional Use Permit 19-05128 – A proposal to allow an outdoor fencing storage yard and associated remodel to an existing 1,957 square foot building located at 4783 Wade Avenue within the Light Industrial zone of the PVCC Specific Plan. Applicant: Grace Williams REQUESTED ACTION: Adopt Resolution No. 20-15 finding the project Categorical Exempt from CEQA under Section 15301, Class 1 Existing Facilities, and approving Conditional 19-05128 to allow an outdoor fencing storage**

yard and associated remodel to an existing 1,957 square foot building located at 4783 Wade Avenue, based on the findings and subject to the Conditions of Approval.

Commissioner Jimenez and Hammond acknowledged that they drove by the site prior to the meeting.

Associate Planner Garcia, presented the item to the Commission.

Commissioner Jimenez, asked about the color palette utilized for the building.

Vice Chair Hammond, spoke on identifying the access points within the COA.

Chair Shively, asked about width of the two driveways into the project.

Deputy Engineer Pourkazemi, commented on the width of the drive entries.

Chair Shively, asked if there are any future dedications for Oleander Ave in this general area and commented on the landscape maintenance district.

Planning Manager Phung, noted that all landscaping is onsite and no offsite landscaping is required.

Applicant Grace Williams, presented to the Commission.

Vice Chair Hammond, asked for clarification within the conditions specifying the exit along Oleander Ave is for emergency access only and the access along Wade Ave is for all other traffic.

Chair Shively, asked how the materials are being stored onsite.

Owner Kelly Mcglaufflin, spoke to the Commission.

Commissioner Jimenez, approved of the landscaping proposed and was excited for new development in this area.

Vice Chair Hammond, appreciated the landscaping and approved of the project.

Chair Shively, questioned if the access along Oleander Ave is for emergencies and if it would impact the circulation.

Vice Chair Hammond, commented on the circulation within the site and appreciated that this development enhances the area.

Chair Shively, commented on if the Fire Reviewer will approve of gravel fire access or if another surface will be required.

Chair Shively, clarified additional conditions to the motion to include, fire verification of the access road material and specifications of the access driveway widths for the entries into the site.

The Chair called for a motion.

M/S/C: Moved by Vice Chair Hammond, seconded by Commissioner Jimenez to Approve A. Conditional Use Permit 19-05128 – A proposal to allow an outdoor fencing

storage yard and associated remodel to an existing 1,957 square foot building located at 4783 Wade Avenue within the Light Industrial zone of the PVCC Specific Plan.

Applicant: Grace Williams

REQUESTED ACTION: Adopt Resolution No. 20-15 finding the project Categorically Exempt from CEQA under Section 15301, Class 1 Existing Facilities, and approving Conditional 19-05128 to allow an outdoor fencing storage yard and associated remodel to an existing 1,957 square foot building located at 4783 Wade Avenue, based on the findings and subject to the Conditions of Approval. Additional conditions to include: fire verification of the access road material and specifications of the access driveway widths for the entries into the site.

AYES: Commissioner Jimenez, Commissioner Hernandez, Vice Chair Hammond, Chair Shively.

NOES:

ABSENT:

ABSTAIN:

- B. Development Plan Review No. 18-00005 – A proposal to construct four two-story industrial buildings, each ranging in size from approximately 14,504 square foot to 16,330 square feet of floor space, with a total of approximately 61,050 square feet of floor space for indoor cultivation, processing, and packaging of cannabis and cannabis products on four lots totaling 1.92 acres. Applicant: Bryan Jones, CIRE Holdings, LLC. REQUESTED ACTION: Adopt Resolution No. 20-16 approving Development Plan Review 18-00005 to construct four two-story buildings totaling approximately 61,050 square feet on approximately 1.9 acres of land located north of Malbert Street west of Goetz Road for the purpose of cannabis cultivation, processing and distribution; and adopt MND 2354; and subject to the Conditions of Approval.

Commissioners Hammond, Hernandez, and Jimenez acknowledged that they drove by the site prior to the meeting.

Contract Planner Cathy Perring, presented to the Commission.

Commissioner Jimenez, asked if the building square footage is exact or approximate as various values are presented and if cultivation operations have a specific parking requirement.

Staff commented that a parking study was prepared to support the cultivation parking requirements.

Commissioner Hernandez, inquired about the setback between buildings A and D.

Vice Chair Hammond, commented on the private access roadway width, clarification of shared access, whether the site is in the North or South CFD, rear fencing height of only 6ft, security requirements, and the color palette.

Deputy Engineer Pourkezami, commented that additional information regarding the driveway width can be included within Engineering Condition #6 and commented on how shared access is designed for this project.

Chair Shively, asked about the parking for the project.

Staff commented on the parking analysis and future parking requirements.

Chair Shively, inquired if the owner owns all of the adjacent lots and noted the project does not propose adequate parking.

Commissioner Jimenez, requested clarification on table #1 of the parking study in regards to the breakdown of the proposed uses and commented on whether amenities are required and that she does not approve of the color palette.

Applicant Arthur Strickland for Zane Architects, presented to the Commission.

Vice Chair Hammond, commented further on specifying the shared agreement for access between all parcels on the private street.

Applicant Arthur Strickland, spoke on adding a condition to clarify the shared access on the private street with the CR&R and legal descriptions.

Vice Chair Hammond, noted that security and lighting requirements should be within the Conditions, and that the fencing height should be increased for security reasons.

Chair Shively, commented on the proposed color palette, the architecture of the rear two buildings (B & C) and if more landscaping can be provided.

Commissioner Jimenez, asked about access to the loading areas.

Chair Shively, requested clarification on the trash enclosure locations, fencing, and the employee count.

Planning Manager Phung, noted an option to approve buildings D and A to potentially require additional property for parking.

Chair Shively, asked about the current landscaping percentages and if there was a potential to increase them.

Vice Chair Hammond, commented on allowing a phased condition for further development as an option to proceed.

Commissioner Jimenez, asked if buildings D and A meet the parking requirement by themselves.

Owner Bryan Jones, spoke to the Commission on cannabis waste.

Neighboring parcel owner Edward O'Connell, noted their support of the project.

Applicant Lupe Barrera, presented to the Commission on the waste generated by the operation.

Commissioner Hernandez, spoke on security concerns, the minimum of landscaping proposed, and phasing of the project.

Commissioner Jimenez, commented on the minimum landscaping proposed, the potential alteration of the color palette, parking reduction concerns, and environmental waste.

Vice Chair Hammond, noted that the use is allowable per the zoning designation, appreciated that the owner is willing to work with Staff to alter the buildings, and

requested clarification for shared access and parking within the Conditions.

Chair Shively, expressed concerns with the parking requirement calculations, requested additional landscaping, relocation of trash enclosures to a non-secure location, and that the elevations of the building B and C to better match that of A and D.

Staff summarize the revisions to the motion to include: revised ENG COA #6 regarding driveway width, clerical correction to COA #32 regarding North or South CFD, trash enclosure relocation, CC&R and legal description for shared access/private drive, security plan, minimum 8 ft tall fencing, review of the color palette by Staff, architecture of buildings B/C to match A/D, and requiring at least 44 parking spaces.

The Chair called for a motion.

M/S/C: Moved by Vice Chair Hammond, seconded by Commissioner Jimenez to Approve B. Development Plan Review No. 18-00005 – A proposal to construct four two-story industrial buildings, each ranging in size from approximately 14,504 square foot to 16,330 square feet of floor space, with a total of approximately 61,050 square feet of floor space for indoor cultivation, processing, and packaging of cannabis and cannabis products on four lots totaling 1.92 acres. Applicant: Bryan Jones, CIRE Holdings, LLC.

REQUESTED ACTION: Adopt Resolution No. 20-16 approving Development Plan Review 18-00005 to construct four two-story buildings totaling approximately 61,050 square feet on approximately 1.9 acres of land located north of Malbert Street west of Goetz Road for the purpose of cannabis cultivation, processing and distribution; and adopt MND 2354; and subject to the Conditions of Approval. Revisions to the motion to include: revised ENG COA #6 regarding driveway width, clerical correction to COA #32 regarding North or South CFD, trash enclosure relocation, CC&R and legal description for shared access/private drive, security plan, minimum 8 ft tall fencing, review of the color palette by Staff, architecture of buildings B/C to match A/D, and requiring at least 44 parking spaces.

AYES: Commissioner Jimenez, Commissioner Hernandez, Vice Chair Hammond, Chair Shively.

NOES:

ABSENT:

ABSTAIN:

Chair Shively calls for a 5 minute recess.

Meeting reconvened at 8:43pm.

- C. Development Plan Review 20-00002 – A proposal to construct a 7,735 SF single-tenant retail store (O'Reilly Auto Parts) on .77 acres of a 1.23 acre vacant site generally located along the south portion of 4th Street between "G" Street and Wilkerson Avenue within the 4th Street Gateway transect of the Downtown Perris Specific Plan area. REQUESTED ACTION: ADOPT Resolution No. 20-14 finding the project Categorically Exempt from CEQA under Section 15332, Class 32 In-fill development, and approving Development Plan Review 20-00002 to facilitate the development of a 7,735 SF single-tenant retail building, located along the south frontage of 4th Street roughly 250 feet west of the intersection of Wilkerson Avenue and 4th Street based on the findings contained in the staff report and subject to the Conditions of Approval.

Commissioners Shively, Hammond, and Hernandez acknowledged that they drove by the site prior to the meeting.

Commissioner Hernandez, approved of the project.

Commissioner Jimenez, appreciated the landscaping and the brick material utilized, and commented on clerical revision to Condition #25 regarding removing reference to drive through line.

Vice Chair Hammond, approved of the colors and elevations as it matches the aesthetic of this area.

Chair Shively, appreciated the architectureband commented on the potential to add a condition to require graffiti resistance coating on all brick buildings faces up to 8ft.

Staff clarify the motion to include: clerical revision to Condition 25, and revision of Condition #15 to require graffiti coating up to 8ft on all brick areas.

The Chair called for a motion.

M/S/C: Moved by Commissioner Hernandez, seconded by Vice Chair Hammond to Approve C. Development Plan Review 20-00002 – A proposal to construct a 7,735 SF single-tenant retail store (O'Reilly Auto Parts) on .77 acres of a 1.23 acre vacant site generally located along the south portion of 4th Street between "G" Street and Wilkerson Avenue within the 4th Street Gateway transect of the Downtown Perris Specific Plan area.

REQUESTED ACTION: ADOPT Resolution No. 20-14 finding the project Categorically Exempt from CEQA under Section 15332, Class 32 In-fill development, and approving Development Plan Review 20-00002 to facilitate the development of a 7,735 SF single-tenant retail building, located along the south frontage of 4th Street roughly 250 feet west of the intersection of Wilkerson Avenue and 4th Street based on the findings contained in the staff report and subject to the Conditions of Approval. Motion to also include: clerical revision to Condition 25, and revision of Condition #15 to require graffiti coating up to 8ft on all brick areas.

AYES: Commissioner Jimenez, Commissioner Hernandez, Vice Chair Hammond, Chair Shively.

NOES:

ABSENT:

ABSTAIN:

- D. Specific Plan Amendment (SPA) 18-05292, Tentative Tract Map 37262 (TTM18-05000), Tentative Tract Map 37722 (TTM19-05233), Tentative Tract Map 37223 (TTM17-05251), Tentative Tract Map 37816 (TTM20-00005) and Development Plan Review (DPR) 20-00005, Tentative Tract Map 37817 (TTM20-05090) and Development Plan Review (DPR) 20-00003, Tentative Tract Map 37818 (TTM20-05118) and Development Plan Review (DPR) 20-00006 – A proposal to comprehensively update the Green Valley Specific Plan (GVSP) located along the northerly frontage of Ethanac Road between Goetz Road and Case Road consisting of the following: 1) updating the architectural and development standards for reviewing development proposals; 2) updating the Land Use Plan to reflect current development constraints of the Riverside Conservation Authority, and the Perris Valley Airport; and 3) entitlement of the southerly half of the GVSP consisting of three single-family residential tracts, totaling 542 lots over 146 acres, two single-family court cluster home

totaling 324 lots over 36.1 acres, and a hybrid tract with 138 single-family court cluster homes and a 236 dwelling unit apartment community, totaling 1,240 dwelling units. Applicant: Matthew Villalobos, Raintree Investment Corporation. REQUESTED ACTION: Adopt Resolution No. 20-13 recommending that the City Council Adopt the 2nd Addendum to the Final Environmental Impact Report (Final EIR) for the Green Valley Specific Plan (GVSP), and Approve Specific Plan Amendment (SPA) 18-05292, Tentative Tract Map 37262 (TTM18-05000), Tentative Tract Map 37722 (TTM19-05233), Tentative Tract Map 37223 (TTM17-05251), Tentative Tract Map 37816 (TTM20-00005) and Development Plan Review (DPR) 20-00005, Tentative Tract Map 37817 (TTM20-05090) and Development Plan Review (DPR) 20-00003, Tentative Tract Map 37818 (TTM20-05118) and Development Plan Review (DPR) 20-00006 based on the findings contained in the Resolution and subject to the Conditions of Approval.

Commissioner Hernandez, recused himself from this item due to a potential conflict with being in close proximity to the project site.

Commissioners Hammond, Jimenez, and Shively acknowledged that they drove by the site prior to the meeting.

Senior Planner Perez, presented the project to the Commission.

Commissioner Jimenez and Shively, acknowledged that they were part of an Adhoc meeting that partially reviewed this in June.

Vice Chair Hammond, commented about disclosure of adjacent EMWD station being needed, conversion of single family to multi-family, and whether RTA bus stop consideration was included.

Staff responded to future bus stop locations within Green Valley.

Vice Chair Hammond, commented on clarification of the HOA details and responsibilities needed and update to architecture.

Commissioner Jimenez, requested further information on the HOA terms and responsibilities and noted that TTM37223 should have an additional or larger park.

Vice Chair Hammond, asked if the each clubhouse for the multi-family tract is shared or exclusively for each tract.

Chair Shively, commented on the hybrid apartment community parking requirements of TTM37818 and asked about the amenities provided.

Senior Planner Perez, clarified the parking requirements for TTM37818.

Commissioner Jimenez, asked if any recommendations were not followed as presented within the previous Adhoc meeting on these projects.

Applicant Nick Johnson, presented to the Commission.

Chair Shively, thanked the applicant for the presentation and project.

Vice Chair Hammond, asked if there is a proposed potential buffer for the EMWD plant for residential zoned properties and if schools are still planned within the project area.

Chair Shively, commented on the need for future school sites in this area.

Commissioner Jimenez, approved of the project as it brings multifamily development to the city and that it provides more open space for the city.

Vice Chair Hammond, praised the project and stated it is a perfect example of an ideal planned community.

Chair Shively, appreciated that the developer listened to the feedback provided from the Commissioners and Staff, and approves of the enhanced level of architecture for the project.

Staff clarify the motion to include: updates to the Community Services conditions and Engineering conditions.

The Chair called for a motion.

M/S/C: Moved by Vice Chair Hammond, seconded by Commissioner Jimenez to Approve D. Specific Plan Amendment (SPA) 18-05292, Tentative Tract Map 37262 (TTM18-05000), Tentative Tract Map 37722 (TTM19-05233), Tentative Tract Map 37223 (TTM17-05251), Tentative Tract Map 37816 (TTM20-00005) and Development Plan Review (DPR) 20-00005, Tentative Tract Map 37817 (TTM20-05090) and Development Plan Review (DPR) 20-00003, Tentative Tract Map 37818 (TTM20-05118) and Development Plan Review (DPR) 20-00006 – A proposal to comprehensively update the Green Valley Specific Plan (GVSP) located along the northerly frontage of Ethanac Road between Goetz Road and Case Road consisting of the following: 1) updating the architectural and development standards for reviewing development proposals; 2) updating the Land Use Plan to reflect current development constraints of the Riverside Conservation Authority, and the Perris Valley Airport; and 3) entitlement of the southerly half of the GVSP consisting of three single-family residential tracts, totaling 542 lots over 146 acres, two single-family court cluster home totaling 324 lots over 36.1 acres, and a hybrid tract with 138 single-family court cluster homes and a 236 dwelling unit apartment community, totaling 1,240 dwelling units. Applicant: Matthew Villalobos, Raintree Investment Corporation.

REQUESTED ACTION: Adopt Resolution No. 20-13 recommending that the City Council Adopt the 2nd Addendum to the Final Environmental Impact Report (Final EIR) for the Green Valley Specific Plan (GVSP), and Approve Specific Plan Amendment (SPA) 18-05292, Tentative Tract Map 37262 (TTM18-05000), Tentative Tract Map 37722 (TTM19-05233), Tentative Tract Map 37223 (TTM17-05251), Tentative Tract Map 37816 (TTM20-00005) and Development Plan Review (DPR) 20-00005, Tentative Tract Map 37817 (TTM20-05090) and Development Plan Review (DPR) 20-00003, Tentative Tract Map 37818 (TTM20-05118) and Development Plan Review (DPR) 20-00006 based on the findings contained in the Resolution and subject to the Conditions of Approval. Motion to include: updates to the Community Services conditions and Engineering conditions.

AYES: Commissioner Jimenez, Vice Chair Hammond, Chair Shively.

NOES:

ABSENT:

ABSTAIN:

8. BUSINESS ITEM:

9. PUBLIC COMMENTS: Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, spell your last name, and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.

10. COMMISSION MEMBERS ANNOUNCEMENTS OR REPORTS:

Commissioner Jimenez, wished everyone happy holidays and that everyone stay safe.

Vice Chair Hammond, wished everyone happy holidays and thanked staff for all the projects presented throughout the year.

Chair Shively, thanked everyone for a good year and hopes that next year will be a better year.

Commissioner Hernandez, wished everyone safe holidays.

11. DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:

Planning Manager Phung, thanked the Commission for their support and feedback, commented on the hiring of an Interim Director of Development Services, provided updates on the housing element meeting in January of 2021, and wished everyone happy holidays.

12. ADJOURNMENT COVID-19 REMOTE PUBLIC COMMENT/CITIZEN PARTICIPATION
With the intent of adhering to the new community guidelines from the Center for Disease Control, the City of Perris will allow for remote public comment and participation at the upcoming Planning Commission meeting via Zoom. Public Comment is limited to three (3) minutes.

Planning Commission Agenda

CITY OF PERRIS
January 20, 2021

Item

7A

Development Plan Review No. 19-00014



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

MEETING DATE: January 20, 2021

SUBJECT: **Development Plan Review No. 19-00014** - A proposal to construct one 205,830 S.F. high-cube industrial warehouse building with 10,000 S.F. of office; 27 dock doors; two employee break areas; 84 automobile parking spaces including four handicapped-accessible spaces and five future EV charging spaces; 42 trailer stalls; and four loading spaces on 9.56 gross acres on the north side of Walnut Avenue between Indian and Barrett Avenues. **Applicant:** Ben Horning, DeDeaux Properties

REQUESTED ACTION: **Adopt Resolution No. 20-17** adopting Mitigated Negative Declaration 2353 and approving Development Plan Review 19-00014 to construct one 205,830 S.F. of high-cube industrial warehouse building on 9.56 gross acres located on the north side of Walnut Avenue between Indian and Barrett Avenues for the purpose of warehousing and distribution; and subject to the Conditions of Approval.

CONTACT: Candida Neal, Interim Director of Development Services

BACKGROUND/DISCUSSION:

The proposed DeDeaux Walnut Warehouse is a request to construct a 205,830 S.F. high-cube industrial warehouse with two 5,000-square-foot offices, 27 dock doors, two employee break areas, both with tables and seating, and one with a bocce ball court and horseshoe court; and on 9.56 gross acres. The site is composed of two parcels. To construct the proposed building, the parcels must be merged to create a single parcel. Parcel Merger application PLN 20-05185 has been filed for this project, which staff will execute if the project is approved by the Planning Commission. Automobile parking spaces are provided adjacent to the west side of the building totaling 84 automobile parking spaces, including four handicapped-accessible spaces and five future electric vehicles (EV) charging spaces. Forty-two (42) trailer stalls and four loading spaces are provided on the east side of the building. Landscaping, overall, equals 14 percent of the site. As this is a speculative building, no specific tenant is proposed at this time.

The project takes access from Walnut Avenue, which is an unpaved road for the segment in front of the project, and westerly to Indian Avenue. To the east of the site, the street is fully improved. Curb and gutter, full-width pavement, sidewalk, and parkway landscaping will be provided adjacent to the site's frontage, and additional pavement with curb and gutter will be provided to the west of the site. The Walnut Avenue road improvements associated with this project will complete the paved roadway system between Indian Avenue and Perris Blvd. to its full paved width.

As conditioned, staff has deemed the proposed project in compliance with City land use and zoning development standards of the Light Industrial zone in the PVCC Specific Plan, based on the review of the proposed use, site design, architectural elevations, parking, landscaping, and fencing.

ENVIRONMENTAL DETERMINATION:

The potential environmental impacts associated with the project were evaluated in Draft Initial Study/Mitigated Negative Declaration No. 2353 (IS/MND) that was circulated to local agencies, property owners within 300 feet of the site and was posted on the City’s website for a 20-day public review period. Comments were received from Lozeau Drury LLP on behalf of Supporters Alliance for Environmental Responsibility (SAFER). Responses to the comments were prepared for inclusion in the Final MND. It has been determined that all potential effects of the proposed project will be reduced to less than significant levels with the implementation of mitigation measures.

RECOMMENDATION:

Adopt Resolution No. 20-17 adopting Mitigated Negative Declaration 2353 and approving Development Plan Review 19-00014 to construct one 205,830 S.F. of high-cube industrial warehouse building on 9.56 gross acres located on the north side of Walnut Avenue between Indian and Barrett Avenues for the purpose of warehousing and distribution; and subject to the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: Costs for staff preparation of this item are borne by the Applicant.

Prepared by: Cathy Perring for Mary Blais, Contract Planner
REVIEWED BY: Kenneth Phung, Planning Manager

- Exhibits: Exhibit A - Resolution 20-17 including Conditions of Approval (Planning, Building, Engineering, Public Works, Community Services and Fire)
 Exhibit B - Vicinity Map
 Exhibit C - Aerial Map
 Exhibit D - PVCC Specific Plan Land Use Map
 Exhibit E - Project Plans

Final Initial Study/Mitigated Negative Declaration #2353, including Responses to Comments, is available online at the following link:

<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-244>

**CITY OF PERRIS
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

STAFF REPORT

CASE NUMBERS: Development Plan Review No. 19-00014 (DeDeaux Walnut Warehouse); Mitigated Negative Declaration No. 2353

Date: January 20, 2021

Project Planner: Cathy Perring for Mary Blais, Contract Project Planner

Project Description: A proposal to construct a 205,830 S.F. high-cube industrial warehouse building with two 5,000-square-foot offices; 27 dock doors; two employee break areas both with tables and seating, and one with a bocce ball court and horseshoe court; 84 automobile parking spaces including four handicapped-accessible spaces and five future EV charging spaces; 42 trailer stalls; and four loading spaces on 9.56 gross acres.

Location: North side of Walnut Avenue between Indian and Barrett Avenues

Assessor's Parcel Number: APNs 305-030-041 and 305-030-042

Applicant/Owner: Ben Horning, DeDeaux Properties
Address: 1299 Ocean Ave. 9th Floor
Santa Monica, CA 90401

Agency Letters: NA

Environmental Determination: The potential environmental impacts associated with the project were evaluated in a Draft Initial Study/Mitigated Negative Declaration (IS/MND). All potential effects of the proposed project have been reduced to less than significant levels with implementation of mitigation measures.

Related Cases: Parcel Merger (PLN 20-05185)

ZONING AND LAND USE:

Existing Zoning: Light Industrial (LI) Perris Valley Commerce Center (PVCC Specific Plan)

Surrounding Zoning: North: Light Industrial (LI) PVCC Specific Plan

South: Light Industrial (LI) PVCC Specific Plan
East: Light Industrial (LI) PVCC Specific Plan
Light Industrial (LI) PVCC Specific Plan

Existing Land Use: Vacant Land

Surrounding Land Uses: North: Industrial (JB Building Materials and Vortex Whirlpool Systems)
South: Modular Trailer Storage
East: Vacant, Church and Auto Body Repair
West: Vacant, Verda Steel Corp and Industrial Tube Corporation

PROJECT DESCRIPTION AND BACKGROUND:

The proposed DeDeaux Walnut Warehouse is a request to construct a 205,830 S.F. high-cube industrial warehouse with two 5,000-square-foot offices, 27 dock doors, two employee break areas, both with tables and seating, and one with a bocce ball court and horseshoe court; and on 9.56 gross acres. The site is composed of two parcels. To construct the proposed building, the parcels must be merged to create a single parcel. A parcel merger (PM) requires departmental approval only, and Parcel Merger application PLN 20-05185 has been filed for this project. Therefore, if approved by the Planning Commission, staff will execute Parcel Merger PLN 20-05185. Automobile parking spaces are provided adjacent to the west side of the building totaling 84 automobile parking spaces, including four handicapped-accessible spaces and five future electric vehicle (EV) charging spaces. Forty-two (42) trailer stalls and four loading spaces are provided on the east side of the building. Landscaping, overall, equals 14 percent of the site.

The project takes access from Walnut Avenue, which is an unpaved road for the segment in front of the project, and westerly to Indian Avenue. To the east of the site, the street is fully improved. Curb and gutter will be provided by the project in front of the site and along the frontage between the site and Indian Avenue, on the north side of the street. Sidewalk and landscape improvements complete the parkway improvements on the project site frontage. Based on the traffic study for the project, a stop sign will be installed on Walnut Avenue at the corner with Indian Avenue. Automobile circulation on-site is separated from truck traffic with autos using the 26-foot-wide- driveway on the west side of the building and trucks using the 40-foot-wide-driveway on the east side. Emergency vehicles would have access around the entire building.

As this is a speculative building, no specific tenant is proposed at this time. It is estimated that 30 to 50 employees would be on site at any one time.

ANALYSIS:

Zoning and General Plan Consistency

The proposed project is consistent with the General Plan designation of Perris Valley Commerce Center (PVCC) Specific Plan with the land use zoning designation of Light Industrial (LI). This land use designation is intended for light industrial uses and related activities including

manufacturing, research, warehouse and distribution, assembly of non-hazardous materials and retail related to manufacturing. This zone correlates with the 'Light Industrial' General Plan Land Use designation, such as uses that would be accommodated within the proposed building.

Development Standards

The project site is subject to the PVCC Specific Plan Light Industrial Zone development standards. The proposed project complies with all development standards of the zoning for the Light Industrial designation. See the table below for development standards compliance.

Table 1. Perris Valley Commerce Center Specific Plan Light Industrial Development Criteria

	<i>Required</i>	<i>Provided</i>	<i>Complies</i>
Lot Coverage	50%max.	49.99%	Yes
Building FAR	0.75	0.50	Yes
Bldg. Height	50 feet	42 feet	Yes
Front Setback (Walnut Avenue) Structures 20 feet tall or less on the public right-of-way shall be set back as follows: <ul style="list-style-type: none"> Local/Collector Streets = 10 feet^{1,2} 	25 feet	37.5 feet	Yes
Side & Rear Yards: <ul style="list-style-type: none"> Adjoining non-residential 	None	56-feet	Yes

1. Setback requirements are for structures on the public right of way. Project structures are accessed from a private road/drive.
 2. Front yards for structures shall be increased by 5-feet for each 10 feet of structure height greater than setback from property line/right-of-way to maximum structure height.

Access & Circulation

The project takes access from Walnut Avenue, which is an unpaved road for the segment in front of the project site and westerly to Indian Avenue. Walnut Ave. is a Collector (78-foot right of way/56-foot pavement). The off-site street improvements proposed as part of the project include a paved cross-section of Walnut Avenue (56-foot curb-to-curb) between Indian Avenue (94-foot curb-to-curb) and the existing pavement west of Barrett Avenue. Curb and gutter are required on the north side along the site frontage. The edge of pavement in all other locations is required to be a rolled AC curb. A 6-foot sidewalk, streetlights and landscape improvements are required to complete the parkway improvements along the project site frontage. A stop sign will be installed on Walnut Avenue at the corner with Indian Avenue for westbound traffic based on the traffic study for the project. The Walnut Avenue road improvements associated with this project will complete the paved roadway system between Indian Avenue and Perris Blvd.

Automobile circulation on-site is separated from truck traffic with autos using the 26-foot-wide-driveway on the west side of the building to access the 84 parking spaces provided. Trucks will use the 40-foot-wide-driveway on the east side to access the docks, loading spaces, and trailer parking. A three-point-turn-around is provided for trucks at the northeast corner of the property. However, emergency vehicles would have access around the entire building through a gate at the rear of the building. This separation of automobiles and trucks provides safe, clear access for both.

Parking

The parking requirements for the City are based on proposed uses. As shown in the table below, the 84 parking spaces provided on the plan exceed the City's requirements of 64 spaces for high-cube warehouse use. In addition, the project provides 42 truck trailer parking stalls along the easterly property line which also meets the requirements for high-cube warehouses.

<i>Auto Parking Requirements</i>		
<i>Parking Ratio Required</i>	<i>Parking Required for Project</i>	<i>Parking Provided</i>
Warehouse 1 st 20K sf @ 1 per 1,000 sf 2 nd 20K sf @ 1 per 2,000 sf Over 40K sf @ 1 per 5,000 sf	20 spaces (20k sf) 10 spaces (20k sf) 34 spaces (165,830 sf)	
TOTAL	64 spaces	84 spaces
<i>Parking Space Types Required</i>		
Standard Handicap EV-ready	55 spaces 4 spaces (min.) 5 spaces	75 spaces 4 spaces 5 spaces
TOTAL	64 spaces	84 spaces
<i>Truck Parking Required</i>		
1 per 5,000 sf (not including docks)	42	42

Per Zoning Code Section 19.69, four handicapped spaces are required for projects where parking spaces are provided between 76-100 spaces. The four handicapped spaces in the project plan comply with this Code requirement. To be compliant with the CALGreen Building Code, five spaces are required to be capable of being converted to electric vehicle (EV) charging spaces. All new construction and qualifying additions or alterations must comply with CALGreen effective on January 1, 2020. Fourteen (14) short-term bicycle parking spots are provided, seven near each office area. Therefore, all parking requirements are met or exceeded by this project.

Landscaping and Lighting

The conceptual landscape plan conforms to the requirements of the Landscaping Ordinance and the PVCC Specific Plan. The proposed on-site landscaped areas total approximately 57,880 square feet or 14% of the site, which exceeds the minimum 12% landscape requirement within Light Industrial areas of the Specific Plan. Landscaping has been provided throughout the parking area, around the site's perimeter (outside the perimeter wall), adjacent to the buildings, and within the front setback and street parkway. All the plants and irrigation systems will conform to the City's water conservation requirements, and all are California natives and/or drought-tolerant species. Large 36" box trees are proposed to be planted along Walnut Avenue and in the parking lots. An additional 104 24" box trees are proposed around the site perimeter and interspersed with the larger and smaller trees. The front setback includes trees, shrubs, and groundcovers. Portions of the landscape setback areas adjacent to the street function as water quality basins and will be landscaped with native evergreen grass. All exterior lighting will be shielded and downward facing per City standards.

Fencing and Screening

A 14-foot minimum height concrete screen wall will surround the truck court along Walnut Avenue, on the east side of the building, and including the truck turn-around area at the rear. This will hide the semi-trucks and trailers from the public street. The wall is to be constructed of tilt-up concrete panels with varying heights (14-foot min.) and with a maximum length of 22 feet 3 inches. Colors and patterns change with each of the four panels along Walnut Avenue with two-foot square pilasters at the gates and corners. The wall continues the full length of the east side of the truck court and along the portion of the rear property line that screens the truck turn-around area. The color/pattern segments alternate every 111 feet along the eastern side, and rear property lines. The colors and patterns complement the building materials and color palette and provide variation in the visual appearance of the walls, breaking up the long expanses. No fencing is proposed around the automobile parking area to the west of the building. Eight-foot tall tubular steel gates are proposed at the truck entrance, which is set back from the street over 114 feet from the street, and for the rear emergency access gate. The gates will include Knox Box padlocks to provide Fire Department access.

Building Elevations/Architecture

The architectural style proposed is modern industrial with a color palette in the cream to brown earth tone range. The building base is painted a deep tan (Shaggy Bark) that is broken up with stone veneer columns and light-colored painted pop-out columns (Creamy) to highlight corner entries and break up on expanses of wall. The two building corners that face Walnut Avenue (south elevation) include a rich "Cocoa" color accent and horizontal banks of windows. A similar treatment highlights the northwest corner of the building, where a potential future office area is proposed. Variation in the roof height and articulation in the building footprint creates an interesting and integrated treatment of the concrete tilt-up design. The building's design provides symmetry and balance with enhanced treatments at the corners and intermittently along the façade to maintain visual interest. The proposed materials include a stacked stone pattern in El Dorado Stone "Daybreak" (creamy tan), which blends with the combination of various shades of warm tans and contrasts with the dark brown accents. Clear anodized metal finish accents and blue glass complete the vertical surface accent materials. Clear anodized metal horizontal canopies provide interest at entry corners and over the banks of windows proposed along the sides of the buildings. Together, the combination of varying materials, colors, and scoring patterns, articulating footprint, variable roof height, stone, windows, and metal awnings provide visual interest to the building. The building will be conditioned to meet the City's standard conditions for Green Building Design.

Employee Amenity Areas

The project includes two employee amenity areas, one near the front office area and one near the rear office area. Both include tables, seating, and shade. Shade is provided by a trellis canopy with tubular steel columns with a stone veneer base. The larger area at the rear of the parcel includes a bocce ball court and a horseshoe court. The locations are in landscaped areas across from the office entrances with ADA accessible access and clearly marked paths of travel to provide for safe pedestrian access.

ENVIRONMENTAL CONSIDERATIONS AND CEQA PROCESS

CEQA Compliance Process and Determination

The potential environmental impacts associated with the project were evaluated in Draft Initial Study Mitigated Negative Declaration No. 2353 that was circulated to local agencies, property owners within 300 feet of the site, and was posted on the City's website for a 20-day public review period from **November 18, 2020**, to **December 8, 2020**. Comments were received from Lozeau Drury LLP on behalf of Supporters Alliance for Environmental Responsibility (SAFER). Responses to the comments were prepared for inclusion in the Final MND. It has been determined that all potential effects of the proposed project will be reduced to less than significant levels with the implementation of mitigation measures.

AIRPORT LAND USE COMMISSION

The project is located within Zone C2 of March Air Reserve Base/Inland Port Airport Influence Area, and Airport Land Use Commission (ALUC) review is not required because the project is consistent with the City's General Plan, which has been found consistent with the March Airport Land Use Compatibility Plan (ACLUP). The project site is located within the Flight Corridor Zone C2 of the ACLUP. The site is located outside of the 60 CNEL, so a noise study is not required. Pursuant to Table MA-2 of the ACLUP, the average allowable density in the C2 Zone is 200 people per acre with a single acre density maximum of 500 people. As this is a speculative warehouse project, the actual number of employees on-site at any one time is unknown, but the applicant expects 30 to 50 people. On a 9.6-acre site, this employment level would result in densities far below those allowed in the ACLUP standards. City staff determined that the proposed project is consistent with the ACLUP for March Air Reserve Base/Inland Port.

RECOMMENDATION:

Adopt Resolution No. 20-17 adopting Mitigated Negative Declaration 2353 and approving Development Plan Review 19-00014 to construct a 205,830 S.F. high-cube industrial warehouse building on 9.56 gross acres located on the north side of Walnut Avenue between Indian and Barrett Avenues for the purpose of warehousing and distribution; and subject to the Conditions of Approval.

EXHIBITS: Exhibit A - Resolution 20-17 including Conditions of Approval (Planning, Building, Engineering, Public Works, Community Services, and Fire)
Exhibit B - Vicinity Map
Exhibit C - Aerial Map
Exhibit D - PVCC Specific Plan Land Use Map
Exhibit E - Project Drawings

Final Initial Study/Mitigated Negative Declaration #2353, including Responses to Comments, is available online at the following link: <https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-242>

EXHIBIT A

Resolution and Conditions of Approval

RESOLUTION NUMBER 20-17

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ADOPTING MITIGATED NEGATIVE DECLARATION NUMBER 2353 AND APPROVING DEVELOPMENT PLAN REVIEW DPR 19-00014 TO DEVELOP A 205,830 SQUARE FOOT HIGH-CUBE INDUSTRIAL WAREHOUSE ON 9.6 ACRES ON THE NORTH SIDE OF WALNUT AVENUE, SUBJECT TO CONDITIONS OF APPROVAL AND THE FINDINGS NOTED HEREIN.

WHEREAS, the applicant Ben Horning, DeDeaux Properties (“Applicant”) proposes to construct one 205,830 S.F. high-cube industrial warehouse building (“Project”) on approximately 9.6 vacant acres located on the north side of Walnut Avenue between Indian and Barrett Avenues; and

WHEREAS, a Development Plan Review application (DPR 19-00014) was submitted on December 10, 2019 for consideration of architectural design and site layout; and

WHEREAS, proposed Development Plan Review 19-00014 is considered a “Project” as defined by the California Environmental Quality Act (“CEQA”); and

WHEREAS, an Initial Study and Mitigated Negative Declaration #2353 was prepared for the above-mentioned application and petition, which includes Development Plan Review 19-00014, (“the Project”) and was publicly reviewed for a twenty (20) day period in accordance with CEQA, from November 18, 2020 to December 7, 2020; and

WHEREAS, the site is located within the Perris Valley Commerce Center Specific Plan (PVCCSP) General Industrial zone; and

WHEREAS, the proposed project is consistent with the City’s General Plan and conforms to all zoning standards and other Ordinances and Resolutions of the City; and

WHEREAS, the project is located within Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area where non-residential intensity is restricted to an average of 200 people per acre and a maximum of 500 people in any given single-acre area; and

WHEREAS, staff determined the project is consistent with the 2014 March Air Reserve Base/Inland Port Airport Lands Use Compatibility Plan (MARB ALUCP), and therefore does not require ALUC (Airport Land Use Commission) review; and

WHEREAS, a duly noticed public hearing was held on January 20, 2020, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS does resolve as follows:

Section 1. Recitals.

The above recitals are all true and correct and incorporated herein by this reference.

Section 2. Environmental Determination.

The Planning Commission hereby determines pursuant to Section 15070 of the CEQA Guidelines that based upon on the Initial Study prepared for the project in accordance with the City of Perris (“City”) guidelines for implementing the CEQA, all potential significant effects on the environment can be reduced to a less than significant level through mitigation measures, the design of the development, the zoning code, and standard requirements of the City, therefore a Mitigated Negative Declaration (2353) has been prepared, with findings that:

- A. No significant environmental effects would occur and there is no substantial evidence, in light of the whole record, that the project as revised may have a significant effect on the environment, and a Mitigated Negative Declaration (2353) has been prepared.
- B. The City has complied with the California Environmental Quality Act (CEQA).
- C. Determinations of the Planning Commission reflect the independent judgment of the City.

Section 3. Airport Analysis.

Based upon all information and data which constitutes the administrative record, including all oral and written evidence presented at the public hearing, the Planning Commission hereby finds, as the applicable review authority for discretionary actions related to the project, that Conditions of Approval have been adopted, as follows, such that the project use and design comply with the noise compatibility policies, noise attenuation policies, non-residential density standards and other required development conditions, the airspace protection policies, and the overflight policies of the MARB ALUCP:

- A. Prior to issuance of building permits, the landowner shall have conveyed an aviation easement to the March Joints Powers Authority (MJPA).
- B. Any outdoor lighting installed shall be shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

- C. The following uses shall be prohibited:
- i. Any use which would direct a steady light or flashing light of red, white, green or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - ii. Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - iii. Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower and row crops, trash transfer stations that are open on one or more sides, recycling centers contain putrescible wastes, construction and demolition debris facilities, and incinerators.)
 - iv. Highly noise-sensitive outdoor nonresidential uses.
 - v. Any use that would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- D. A "Notice of Airport in the Vicinity" shall be provided to all potential purchasers of the property and tenants of the building and shall be recorded as a deed notice.
- E. All retention and water quality basins shall be designed to dewater within 48 hours of a rainfall event.
- F. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communication could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
- G. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
- H. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.
- I. Based on the location and proximity to the runway, the project height may exceed the FAA threshold for height obstruction, which would require Form 7460-1 review from the FAA.

Section 4. Development Plan Review.

The Planning Commission further finds, based upon staff report, supporting exhibits, and all written and oral testimony presented at the public hearing, with respect to the Project, the following regarding Development Plan Review (DPR) 19-00014:

- A. *The location, size, design, density and intensity of the proposed development and*

improvements are consistent with the City's General Plan, any applicable Specific Plans, the purposes and provisions of the P.M.C., the purposes of the Zone in which the site is located, and the development policies and standards of the City.

The proposed site development was reviewed by City staff and determined to be in compliance with all applicable provisions of the General Plan, Perris Valley Commerce Center Specific Plan (PVCCSP), and the Zoning Code. The development standards for Light Industrial (LI) development including use, setbacks, height of buildings, lot coverage, architecture, lighting and landscaping are provided by the PVCCSP, with parking regulations contained in Chapter 19.69 of the Zoning Code. Staff determined the proposed Project meets or exceeds all development standards of the Specific Plan for Light Industrial (LI) land use. In addition, the Project has been deemed consistent with the 2014 March ARB/Inland Port Airport Land Use Compatibility Plan. The Project has been conditioned as necessary to ensure compliance with all PVCCSP and Zoning regulations.

- B. The subject site is physically suitable, including but not limited to parcel size, shape, access, and availability of utilities and services, for the type of development proposed.*

The Project site is a relatively flat, rectangular parcel with frontage along Walnut Avenue. Utilities already exist within portions of Walnut Avenue that will serve this industrial development. This is a suitable site for the warehouse building proposed.

- C. The proposed development and the conditions under which it would be operated or maintained are compatible with abutting properties and will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.*

The proposed warehouse building and the conditions under which it would be operated or maintained are compatible with nearby industrial properties and will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity. The project will complete full-width street improvements on Walnut Avenue such that the entire length between Indian Avenue and Perris Blvd. will be paved, thus completing the circulation system planned for the area. The proposed Project meets or exceeds all development standards of the Specific Plan for Light Industrial land use. Furthermore, the Conditions of Approval prepared for the Project will ensure the Project will not be detrimental to the public health, safety or welfare.

- D. The architecture proposed is compatible with community standards and protects the character of adjacent development.*

As stated above, the proposed architecture meets PVCC-SP design standards for LI (Light Industrial) development, and thereby protects the character of adjacent development, and is compatible with the surrounding industrial development area. The Project is adjacent to similar industrial development to the east on Walnut Avenue and within the PVCCSP Light Industrial areas. Enhanced architecture, site design, and landscaping have been provided for the Project. The building design features symmetry and balance with enhanced architectural treatments intermittently along the façade. The proposed color

palette and materials provide variety and interest through the use of color tones that are used around the building base and to further accentuate the corner and pop-out façade elements.

- E. *The landscaping plan ensures visual relief and provides an attractive environment for the public's enjoyment.*

The conceptual landscape plan conforms to the requirements of the Landscaping Ordinance and the PVCCSP. The proposed on-site landscaped areas total approximately 57,880 square feet or 14% of the site, which exceeds the minimum 12% landscape requirement within Light Industrial areas of the PVCCSP. Landscaping has been provided throughout the parking area, around the perimeter of the site (outside the perimeter wall), adjacent to the buildings and within the front setback and street parkway. The front setback includes trees, shrubs and groundcovers. Portions of the landscape setback areas adjacent to the street function as water quality basins and will be landscaped with a native evergreen grass. All driveway entrances are required to have multi-level planting with trees, shrubs, and groundcover to accent all entrances. No adjacent properties include this high level of enhanced landscaping so this Project will provide improved visual relief and an attractive environment for the public in this area.

- F. *The safeguards necessary to protect the public health, safety and general welfare have been required for the proposed Project.*

The proposed project provides the safeguards necessary to protect the public health, safety and general welfare through the conditions of approval, which will ensure that the project is developed in compliance with City and affected service agency codes and policies. The truck court is gated for security and provided with Knox box locks to allow Fire Department access around the entire building. In addition, automobiles will use the west access and parking area separate from trucks which will use the eastern access and truck court.

Section 5.

Based upon the forgoing and all oral and written statements and reports presented by City staff and members of the public, including but not limited to, such statements and reports presented at its public hearing on January 20, 2021, the Planning Commission hereby adopts Mitigated Negative Declaration 2352 and mitigation measures; and approves Development Plan Review DPR 19-00014 for the Project, based on the information and findings presented in the staff report and supporting exhibits, as well as all written and oral testimony presented at the public hearing, and subject to the Conditions of Approval attached to this Resolution.

Section 6.

The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences and words of this Resolution shall remain in full force and effect.

Section 7.

The Chairperson shall sign this Resolution and the Secretary shall certify to the adoption of this Resolution.

ADOPTED, SIGNED, and APPROVED this 20th day of January 2021.

CHAIRPERSON, PLANNING COMMISSION

ATTEST:

Secretary, Planning Commission

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Kenneth Phung, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 20-17 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 20th day of January 2021, and that it was so adopted by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Secretary, Planning Commission

**CITY OF PERRIS
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

CONDITIONS OF APPROVAL

Planning Commission

January 20, 2021

PROJECT: Development Plan Review (DPR) 19-00014 – Proposal to construct a 205,830 sq. ft. high-cube industrial warehouse building on approximately 9.6 acres of land located on the north side of Walnut Avenue between Barrett and Indian Avenues within the Light Industrial zone of the PVCC Specific Plan. **Applicant:** Ben Horning, DeDeaux Properties

General Requirements:

1. **City Ordinances and Business License.** The subject business shall maintain compliance with all local and City Ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
2. **Conformance to Approved Plans.** Development of the project site, building elevations, and conceptual landscaping shall conform substantially to the approved set of plans presented at the January 20, 2021 Planning Commission meeting, or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.
3. **Term of Approval.** This approval shall be used within three (3) years of approval date; otherwise, it shall become null and void. By use is meant the beginning of substantial construction contemplated by this approval within the three (3) year period which is thereafter diligently pursued to completion, or the beginning of substantial utilization contemplated by this approval. A maximum of three (3) one-year time extensions shall be permitted.
4. **Mitigation Monitoring Reporting Program (MMRP).** To reduce potential air quality and greenhouse gas, biology, cultural, hazards, paleontological, noise and transportation impacts, the mitigation measures listed in the MND Mitigation Monitoring and Reporting Plan (MMRP) shall be listed and included with the "General Notes" on the construction drawings, and implemented in accordance with the timeline, reporting and monitoring intervals listed in the MMRP.
5. **Building Official.** The project shall comply with all requirements of the Building Official Conditions of Approval dated December 17, 2019.
6. **Fire Consultant.** The project shall comply with all requirements of the Fire Consultant Conditions of Approval dated December 17, 2020.
7. **Engineering Conditions.** The project shall comply with all requirements of the City Engineer Conditions of Approval dated January 7, 2021.
8. **Public Works Department, Landscape Division.** The project shall comply with all requirements of Public Works Conditions of Approval dated April 21, 2020.

9. **Community Services Department.** The project shall comply with all the requirements of the Community Services Department Conditions of Approval dated February 20, 2020.
10. **Southern California Edison.** The applicant shall contact the Southern California Edison (SCE) area service planner (951) 928-8323 to complete the required forms prior to commencement of construction.
11. **Exterior Downspouts.** Exterior downspouts are not permitted on the west or the north elevations or where exposed to public view. Interior downspouts shall be incorporated.
12. **Screening of Roof-Mounted Equipment.** Parapet walls shall prevent public views of roof-mounted equipment on all elevations of the building.
13. **Notice of Determination.** Within three (3) days of Planning Commission approval, the applicant shall submit a check to the City Planning Division, payable to "Riverside County Clerk-recorder," in the amount of \$2,260.25 for staff to file the Notice of Determination in compliance with CEQA.
14. **Waste Hauling.** The developer shall use only the City-approved waste hauler for all construction and other waste disposal.
15. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City, Development Plan Review 19-00014. The City shall promptly notify the developer/applicant of any claim, action, or proceeding for which indemnification is sought and shall further cooperate fully in the defense of the action.
16. **Prohibited Uses.** The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate excessive smoke or water vapor, or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water

features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Highly noise-sensitive outdoor nonresidential uses.
 - (e) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
17. **March Air Reserve Base.** Notice regarding proximity to the March Air Reserve Base (i.e., to be provided by March Air Reserve Base) shall be given to all prospective purchasers of the property and tenants of the building.
18. **Detention Basin(s).** Any new detention basin(s) on the site (including aboveground infiltration areas) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around infiltration areas that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the infiltration areas shall not include trees that produce seeds, fruits, or berries.
19. **Electromagnetic Radiation.** The March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

Prior to Grading Permit Issuance:

20. **Water Quality Management Plan.** The applicant shall submit a final WQMP including, but not limited to, plans and details providing the elevations, slopes, and other details for the proposed structural source control BMPs, vegetative swales and canopy cover for trash enclosure areas. The Public Works Department shall review and approve the final WQMP plans, and details.

Prior to Building Permit Issuance:

21. **Avigation Easement.** The landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
22. **Landscaping Plans and Pavement Enhancements.** Prior to issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal

Code. The location, number, genus, species, and container size of the plants shall be shown. The landscaping shall be consistent with the conceptual landscape plan and include upgrading the landscaping area for the existing developed site. The following shall apply:

- a. **Parking Area.** A minimum of 30 percent of trees shall be 36-inch box or larger. Also, a minimum of one 24-inch box tree per 6 parking stalls shall be provided.
 - b. **BMPs for Water Quality.** All BMPs (vegetated swales, detention basins, etc.) shall be indicated on the landscape plans with appropriate planting and irrigation (except of detention basins).
 - c. **Water Conservation.** Landscaping must comply with AB 325 for water conservation. See Chapter 19.70 (cityofperris.org) for water conservation calculations (MAWA).
 - d. **Maintenance.** All required landscaping shall be maintained in a viable growth condition.
 - e. **Irrigation Rain Sensors.** Rain sensing override devices shall be required on all irrigation systems (PMC 19.70.040.D.16.b) for water conservation. Soil moisture sensors are required.
 - f. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for final landscape inspection after all the landscaping and irrigation have been installed and is completely operational. Before calling for final inspections a "Certificate of Compliance" form shall completed and signed by the designer/auditor responsible for the project, and this form must be submitted to the project planner. The project planner will need to sign off on the "Certificate of Compliance" to signify code compliance.
23. **Building Plans.** All Conditions of Approval shall be copied onto the approved building plans. Such conditions shall be annotated, directing the receiver to the sheet (or sheets) and detail(s) indicating satisfaction of the conditions.
24. **Planning Clearance.** The applicant shall first obtain clearance from the Planning Division verifying that all pertinent conditions of approval have been met.
25. **Fees.** The developer shall pay the following fees shall be paid prior to building permit:
- a. Stephen's Kangaroo Rat Mitigation Fees of \$500.00 per acre;
 - b. City Development Impact Fees;
 - c. Multi-Species Habitat Conservation Plan fees;
 - d. Statutory school fees in effect at issuance of building permits to all appropriate school districts;
 - f. Road Bridge Benefit District (RBBD) fees; and
 - g. Perris Valley Master Drainage Plan fees.
26. **Signage.** The proposed project does not include signage. All proposed signs shall be reviewed and approved by the Planning Division prior to the issuance of building permits.

Prior to Issuance of Occupancy Permits:

27. **Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to issuance of a Certificate of Occupancy. This condition shall apply only to districts existing at the time the project is approved (or all requirements have been met for a certificate of occupancy, as applicable). Such districts may include but are not limited to the following:
- a. Landscape Maintenance District No. 1;
 - b. Flood Control Maintenance District No. 84-1;
 - c. Flood Control Maintenance District No. 1.
28. **Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-offs from the Building Division and Engineering Department. Planning staff shall verify that all pertinent conditions of approval have been met.
29. **Occupancy Clearance.** The applicant shall have all required paving, parking, walls, site lighting, signage, landscaping and automatic irrigation installed and in good condition.

Construction and Operational Requirements:

30. **Construction Practices.** To reduce potential noise and air quality nuisances, the following items shall be listed as "General Notes" on the construction drawings:
- a. Construction activity and equipment maintenance is limited to the hours between 7:00 a.m. and 7:00 p.m. Per Zoning Ordinance, Noise Control, Section 7.34.060, it is unlawful for any persons between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on a legal holiday, or on Sundays to erect, construct, demolish, excavate, alter or repair any building or structure in a manner as to create disturbing excessive or offensive noise. Construction activity shall not exceed 80 dBA in residential zones in the City.
 - b. Stationary construction equipment that generates noise in excess of 65 dBA at the project boundaries must be shielded and located at least 100 feet from occupied residences. The equipment area with appropriate acoustic shielding shall be designated on building and grading plans. Equipment and shielding shall remain in the designated location throughout construction activities.
 - c. Construction routes are limited to City of Perris designated truck routes.
 - d. Water trucks or sprinkler systems shall be used during clearing, grading, earth moving, excavation, transportation of cut or fill materials and construction phases to prevent dust from leaving the site and to create a crust after each day's activities cease. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15

miles per hour.

- e. A person or persons shall be designated to monitor the dust control program and to order increased watering as necessary to prevent transport of dust off-site. The name and telephone number of such persons shall be provided to the City.
 - f. Project applicants shall provide construction site electrical hook-ups for electric hand tools such as saws, drills, and compressors, to eliminate the need for diesel powered electric generators or provide evidence that electrical hook ups at construction sites are not practical or prohibitively expensive.
31. **Graffiti** located on site shall be removed within 48 hours. The site shall be maintained in a graffiti-free state at all times.
32. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance, and Chapter 7.42 regarding Property Maintenance.
33. **ADA Compliance.** The project shall conform to all disabled access requirements in accordance with the State of California, Title 24, and Federal Americans with Disabilities Act (ADA).

SRC COMMENTS
***** BUILDING & SAFETY *****

Planning Case File No(s): DEVELOPMENT PLAN REVIEW #19-00014

Case Planner: Mary Blais (951) 943-5003, 251

Applicant: Dedeaux Properties

Location: North side of Walnut Street, between Indian Ave. and Barnett Ave.

Project: Proposal to construct a 206,830 SF concrete tilt-up industrial building on a 9.56-acre site

APN(s): 305-030-041 & 305-030-042

Reviewed By: David J. Martinez, CBO

Date: 12-17-19

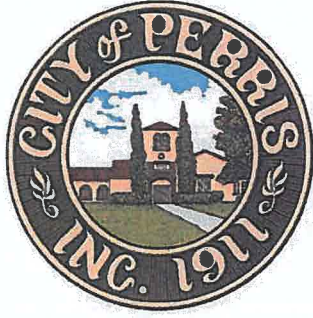
BUILDING AND SAFETY CONDITIONS

1. Shall comply with the latest adopted State of California 2019 editions of the following codes as applicable:
 - A. 2019 California Building Code
 - B. 2019 California Electrical Code
 - C. 2019 California Mechanical Code
 - D. 2019 California Plumbing Code
 - E. 2019 California Energy Code.
 - F. 2019 California Fire Code
 - G. 2019 California Green Building Standards Code.
2. Automatic fire suppression systems shall be installed in all new construction when the gross area of the building exceeds 3,500 sf. or more than two-story high per Title 16 of the City of Perris Code of Ordinances.
3. The requirements of the Department of Environmental Health Services and the Air Quality Management District shall be satisfied prior to the issuance of any permit if hazardous materials are stored and/or used.
4. All signs shall be Underwriters Laboratories, or equal, approved.
5. All exterior lighting shall be orientated, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

1. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off

FIRE CONDITIONS: To Be provided by Dennis Grubb



CITY OF PERRIS

STUART E. MCKIBBIN, CITY ENGINEER

CONDITIONS OF APPROVAL

P8-1380

January 7, 2021

DPR 19-00014, TPM 37650, Dedeaux Properties

Walnut Avenue (APN's 305-030-041 & -042)

Plc 3 - PM 21527 - MB 155/051

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer/property owner provides the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and their omission may require the site plan to be resubmitted for further consideration. These ordinances and the following conditions are essential parts and requirement occurring in ONE is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditioned shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic Impact Analysis, the most stringent in the opinion of the City shall prevail.

General Conditions:

1. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.

DEPARTMENT OF ENGINEERING

24 SOUTH D STREET, SUITE 100, PERRIS, CA 92570

TEL.: (951) 943-6504 - FAX: (951) 943-8416

2. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.

Prior to Issuance of Grading Permit:

3. The developer/property owner shall sign the consent and waiver form to join the City's Lighting and Landscape Districts and City's Flood Control District as appropriate. The proposed streetlights shall be maintained by the City and cost paid by the developer/property owner through the said annexations.
4. The westerly driveway shall be designated for auto access only.
5. The easterly driveway shall be designated for truck access only; left-out truck movements shall be restricted.
6. Site circulation shall be such that auto and truck access and parking are distinct and separate.
7. The driveways shall be per County of Riverside Standard 207A.
8. The developer/property owner shall submit the following to the City Engineer for review and approval:
 - a. Onsite Grading Plan and Erosion Control Plan – Plans shall show the approved WDID No.
 - b. Street Improvement Plan
 - c. Signing & Striping Plan
 - d. Final Drainage Plan, Hydrology and Hydraulic Report
 - e. Final WQMP (for reference)
 - f. Street Light Plan prepared by a registered Electrical Engineer per City of Perris Safety Light standards.

The design shall be in compliance with EMWD, RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

9. The project site is located within the limits of Perris Valley Area Drainage Plan (ADP) for which drainage fees have been adopted by City. Drainage fees shall be paid as set forth under the provisions of the "Rules and Regulations of Administration of Area Drainage Plan". Acreage for the project site's impervious area shall be provided.

10. The design of the water quality facilities shall comply with all applicable standards. If the proposed facilities cannot meet those standards then adequately sized underground chambers shall be provided for collection and treatment of the runoff.

Prior to Issuance of Building Permit:

11. Submit Water and Sewer Plans to the City Engineer for review and approval. Fire Department and EMWD approvals of onsite and offsite water and sewer plans are required prior to the City Engineer's approval of the plans.
12. Parcel map 37650, consolidating the underlying parcels, shall be recorded.
13. Walnut Avenue is classified as a Major Collector (78'/56') per the General Plan. A 30-foot half width right-of-way is currently dedicated on Walnut avenue along the property frontage; the applicant/property owner shall dedicate the required additional 9 feet of right-of-way.

The dedication shall be offered to the public in perpetuity and shall be free from all encumbrances as approved by the City Engineer.

14. The developer/property owner shall have approved improvement plans, executed subdivision improvement agreement and posted securities.
15. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

Prior to Issuance of Certificate of Occupancy:

16. Walnut Avenue (Major collector – 78'/56') shall be improved as follows as depicted in the attached Conceptual Signing and Striping Plan dated 10/07/2020:
 - On the north half, along the property frontage, within the 39-foot half-width dedicated right-of-way shall be improved to provide for a 28-foot pavement (using a TI of 7.5 and PG 70-10), 6 inch curb and gutter located 28 feet north of the centerline with 6-foot wide sidewalk and street lights per City of Perris, County of Riverside, and Caltrans standards.
 - On the north half, from westerly property boundary to Indian Avenue, within the 30-foot half-width dedicated right-of-way shall be improved to provide for a 28-foot pavement (using a TI

of 7.5 and PG 70-10), 6 inch AC berm located 28 feet north of the centerline and pavement transition per City of Perris, County of Riverside, and Caltrans standards.

- On the south half, from existing easterly curb and gutter to Indian Avenue within the 30-foot half-width dedicated right-of-way shall be improved to provide for a 28-foot pavement (using a TI of 7.5 and PG 70/10), 6 inch AC berm 28 feet south of the centerline and pavement transition per City of Perris, County of Riverside, and Caltrans standards.
17. The intersection of Walnut Avenue and Indian Avenue shall be improved and shall accommodate the return radii as depicted in the attached Conceptual Signing and Striping Plan dated 10/07/2020.
 18. The developer/property owner shall pay the City \$100,000 for their contribution towards the implementation of interim and ultimate improvements to I-215/Ramona Expressway interchange, I-215/Harley Knox Boulevard Interchange and other improvements. This one time contribution is above and beyond TUMF, DIF, RBBD and other City fees, and is not reimbursable.
 19. The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.
 20. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified professional pursuant to the California Business and Professional Code 8771.0



Stuart E. McKibbin
City Engineer

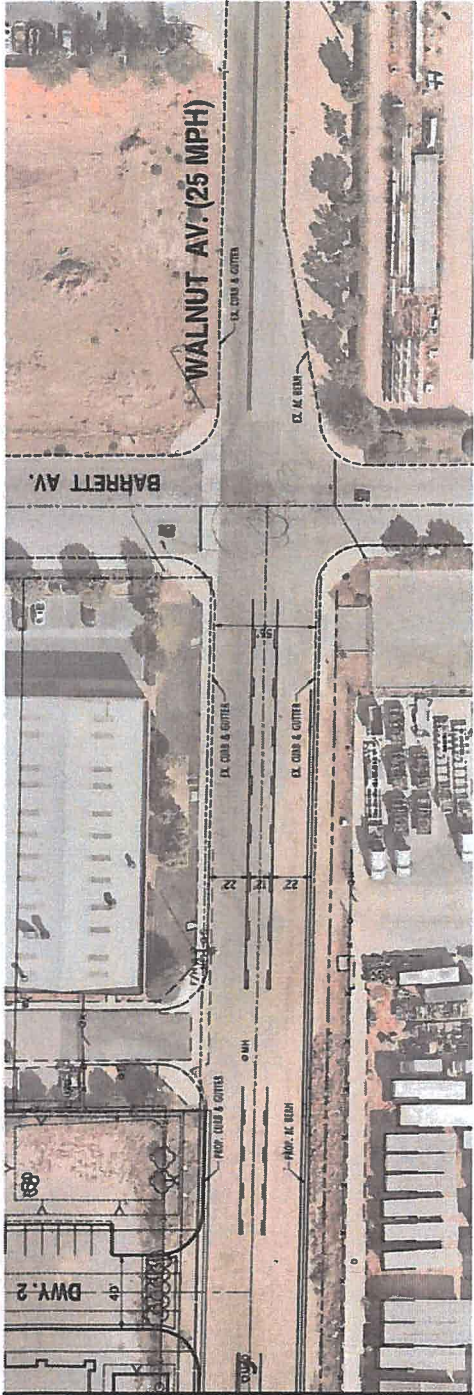
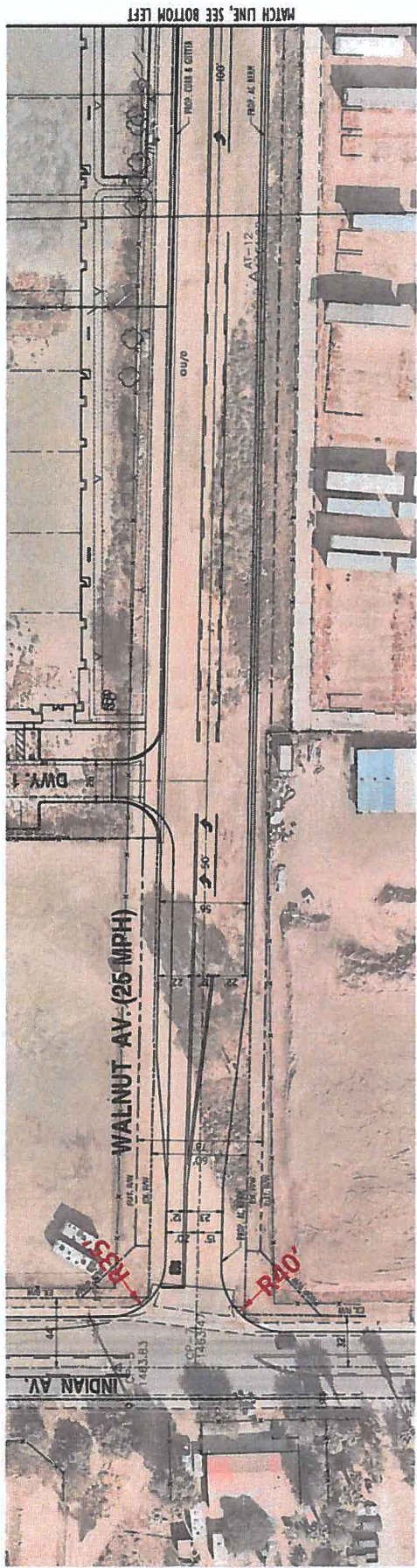
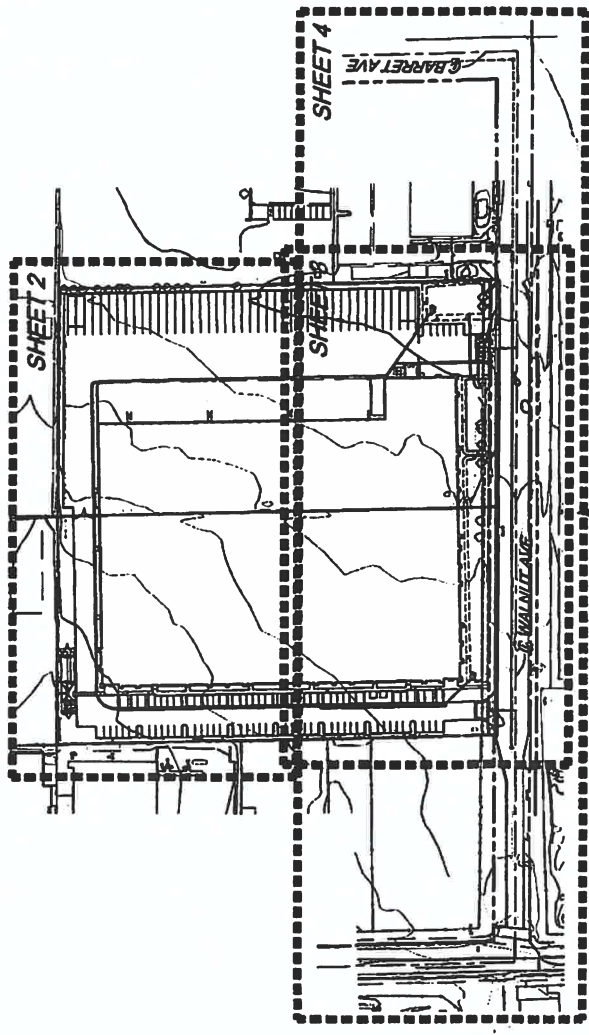
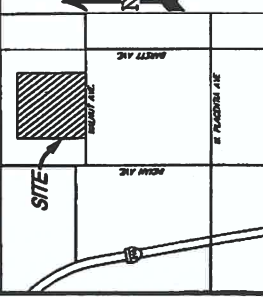


EXHIBIT 1-5:
WALNUT AVENUE CONCEPT STRIPING

IN THE CITY PERROS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PRELIMINARY GRADING PLAN PM 37650
 PORT. SEC. 18 T4S. R31K. S88M
 DECEMBER 2019



LEGAL DESCRIPTION
 THE LAND SHOWN ON THIS PLAN IS LOCATED IN THE CITY OF PERROS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 PARCEL A:
 LOTS 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

- LEGEND**
- T.S.B. - TOP CHUTE DRAIN
 - F.A. - FRESH CHANNEL
 - P.L. - 150' LINE
 - POCK. - POCKETS
 - S.L. - SIDE DRAIN
 - O. - STD. BULL. GROUT
 - CONTOUR LINE
 - EXISTING CONTOUR LINE
 - 1:50' SLOPE
 - 1:10' SLOPE
 - 1:2' SLOPE

OWNER/APPLICANT
 ADDRESS: [REDACTED]
 PHONE: [REDACTED]

ENGINEER
 ADDRESS: [REDACTED]
 PHONE: [REDACTED]

ARCHITECT
 ADDRESS: [REDACTED]
 PHONE: [REDACTED]

SOILS
 ADDRESS: [REDACTED]
 PHONE: [REDACTED]

UTILITY SERVICES
 ADDRESS: [REDACTED]
 PHONE: [REDACTED]

PROJECT DATA
 PROJECT NO.: [REDACTED]
 SHEET NO.: [REDACTED]

PLANNING DISTRICT
 DATE: [REDACTED]
 PREPARED BY: [REDACTED]
 CHECKED BY: [REDACTED]
 DATE: [REDACTED]

PLANNING DISTRICT
 DATE: [REDACTED]
 PREPARED BY: [REDACTED]
 CHECKED BY: [REDACTED]
 DATE: [REDACTED]

CONSTRUCTION NOTES

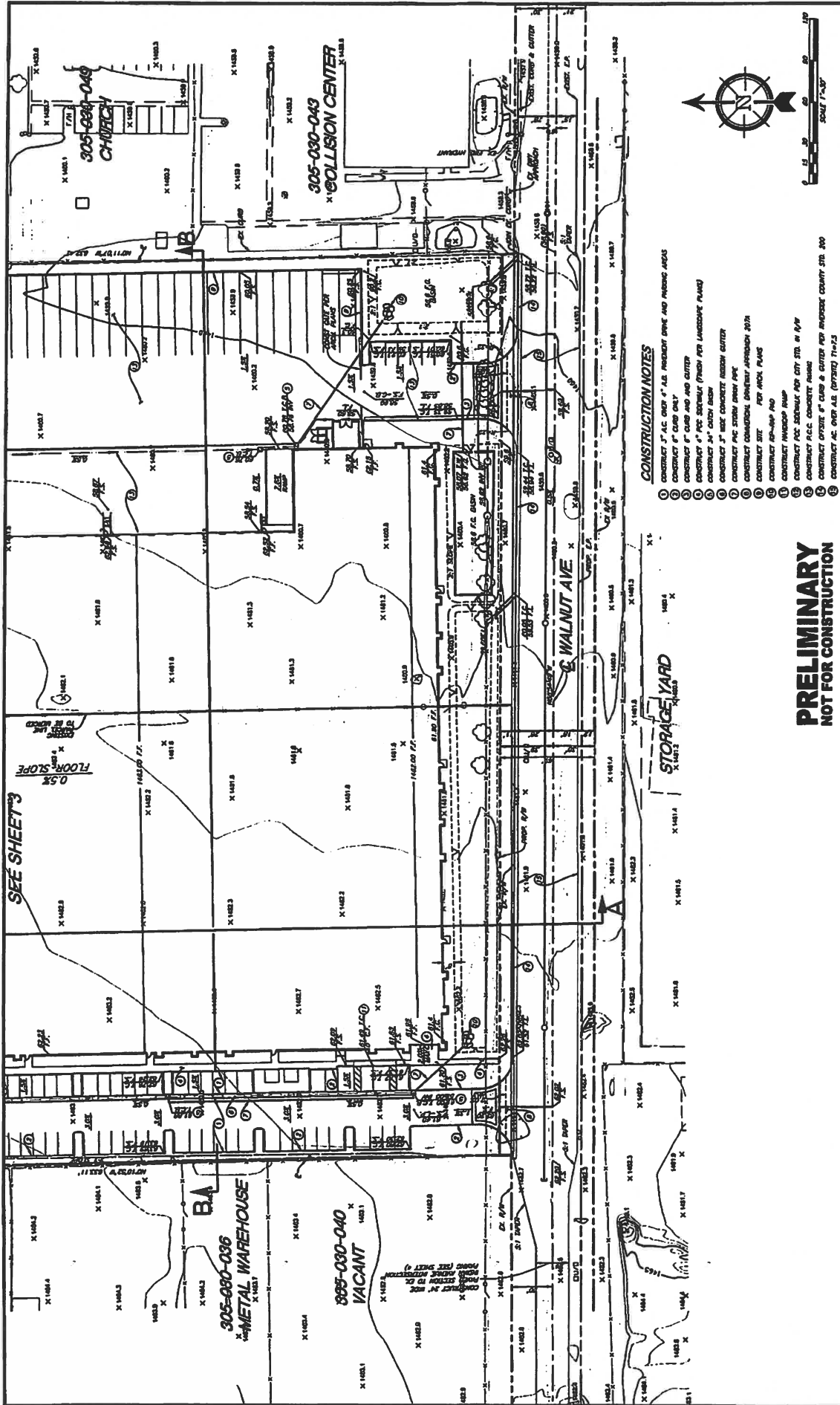
1. CONSTRUCT 3" A.C. OVER 4" A.S. PRECAST DOME AND FINISH AREAS
2. CONSTRUCT 8" CURB ONLY
3. CONSTRUCT 8" CURB AND GUTTER
4. CONSTRUCT 4" P.C. SIDEWALK FINISH PER LANDSCAPE PLAN
5. CONSTRUCT 4" GUTCH BUSH
6. CONSTRUCT 3" WIDE CONCRETE FINISH GUTTER
7. CONSTRUCT P.C. STAIR DOWN P.C.
8. CONSTRUCT COMMERCIAL APPROXIMATE APPROACH 20' R/W
9. CONSTRUCT SITE PER ARCH. PLANS
10. CONSTRUCT 4" P.C. SIDEWALK PER CITY SPEC. IN P.W.
11. CONSTRUCT 4" P.C. SIDEWALK PER CITY SPEC. IN P.W.
12. CONSTRUCT 4" CURB & GUTTER PER INDIAN COUNTY STD. 200
13. CONSTRUCT 4" CURB & GUTTER PER INDIAN COUNTY STD. 200

PRELIMINARY
NOT FOR CONSTRUCTION

CITY OF PERROS
 DEDEAUX WALNUT
 PRELIMINARY GRADING PLAN
 TITLE SHEET

DATE: [REDACTED]
 SCALE: [REDACTED]
 SHEET NO. 1 OF 5
 CITY FILE NO. [REDACTED]

DATE: [REDACTED]	DATE: [REDACTED]	DATE: [REDACTED]	DATE: [REDACTED]
PREPARED BY: [REDACTED]	PREPARED BY: [REDACTED]	PREPARED BY: [REDACTED]	PREPARED BY: [REDACTED]
CHECKED BY: [REDACTED]	CHECKED BY: [REDACTED]	CHECKED BY: [REDACTED]	CHECKED BY: [REDACTED]
DATE: [REDACTED]	DATE: [REDACTED]	DATE: [REDACTED]	DATE: [REDACTED]



CITY OF DEERBORN
 DEERLUX WALNUT
 PRELIMINARY GRADING PLAN

2
 of
 5
 SHEETS

100'

SCALE 1" = 30'

DATE: 02/03/2017
 SCALE: 1" = 30'

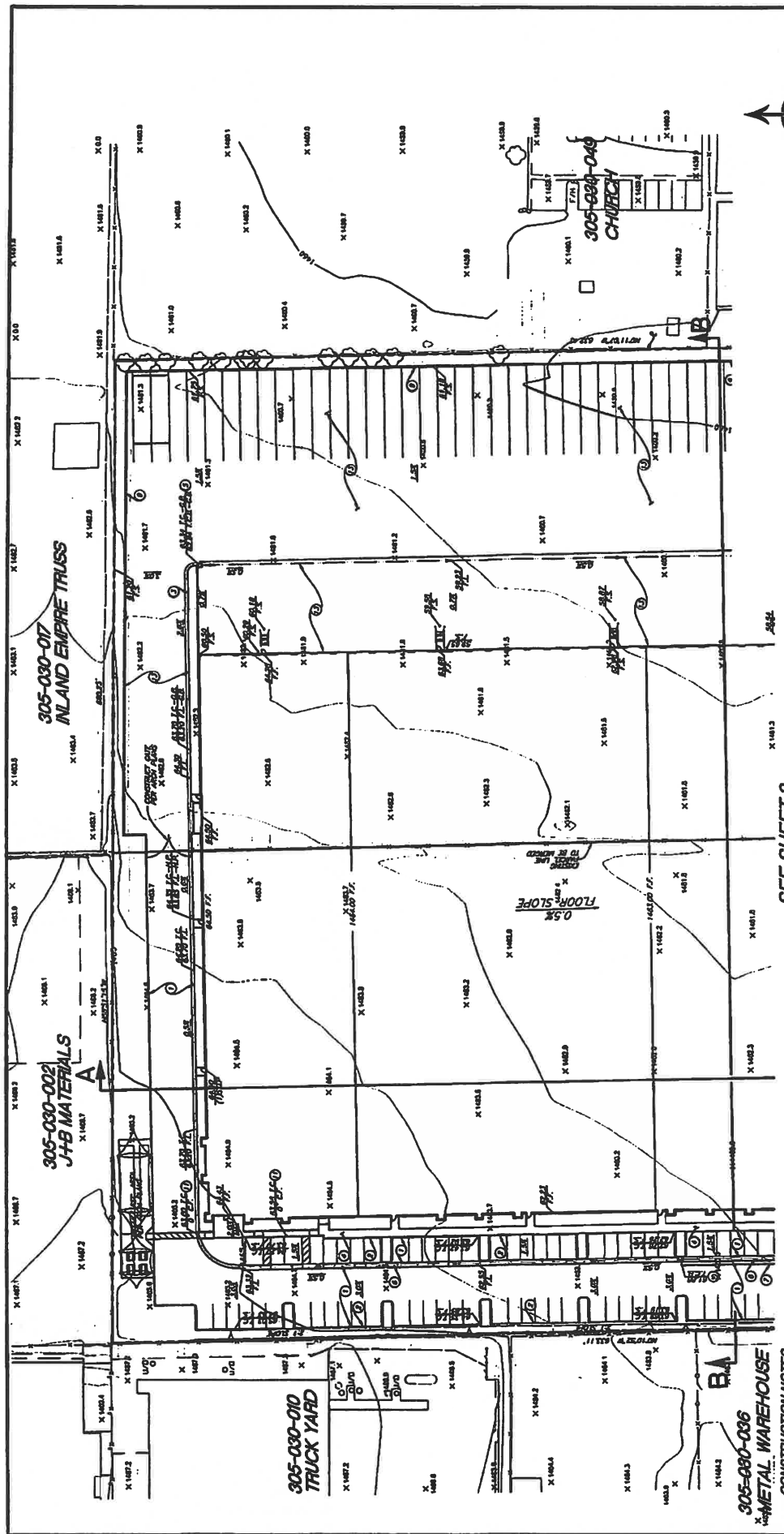
DESIGNED BY: J.S. BROWN
 CHECKED BY: A.S. BROWN
 PROJECT NUMBER: 17-01

PREPARED BY: JANE BROWN
 R.C.E. NO.: 2543
 DATE: 02/03/2017



**PRELIMINARY
 NOT FOR CONSTRUCTION**

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT		
2	ISSUED FOR PERMIT		
3	ISSUED FOR PERMIT		
4	ISSUED FOR PERMIT		
5	ISSUED FOR PERMIT		
6	ISSUED FOR PERMIT		
7	ISSUED FOR PERMIT		
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9	ISSUED FOR PERMIT		
10	ISSUED FOR PERMIT		

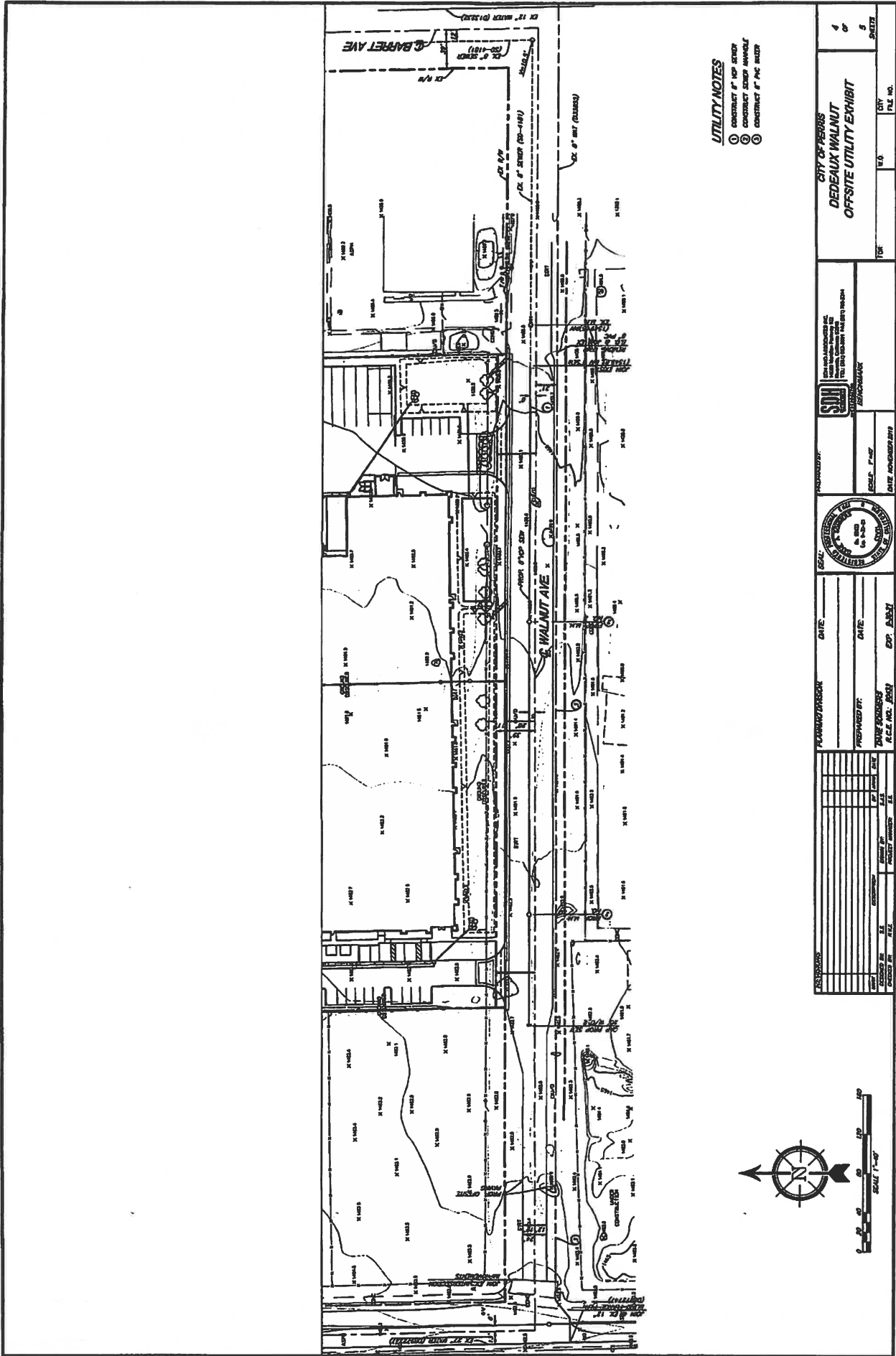


SEE SHEET 2

- CONSTRUCTION NOTES**
1. CONSTRUCT 2" A.C. OVER 4" A.S. FINISH TOP AND FINISH 18" CONC.
 2. CONSTRUCT 8" CURB AND GUTTER
 3. CONSTRUCT 4" CONC. SIDEWALK FINISH PER LANDSCAPE PLAN
 4. CONSTRUCT 24" CURB DRAIN
 5. CONSTRUCT 3" CONC. CONCRETE BERRY GUTTER
 6. CONSTRUCT 1/4" CONC. DRIVEWAY APPROACH
 7. CONSTRUCT 1/4" CONC. DRIVEWAY APPROACH
 8. CONSTRUCT 1/4" CONC. DRIVEWAY APPROACH
 9. CONSTRUCT 2" CONC. DRIVEWAY APPROACH
 10. CONSTRUCT 1/4" CONC. DRIVEWAY APPROACH
 11. CONSTRUCT 1/4" CONC. DRIVEWAY APPROACH
 12. CONSTRUCT 1/4" CONC. DRIVEWAY APPROACH
 13. CONSTRUCT 1/4" CONC. DRIVEWAY APPROACH
 14. CONSTRUCT 1/4" CONC. DRIVEWAY APPROACH
 15. CONSTRUCT 1/4" CONC. DRIVEWAY APPROACH

**PRELIMINARY
NOT FOR CONSTRUCTION**

SHEET NO. 3 OF 6 SHEETS	
CITY OF FERRIS DEDEUX WALNUT PRELIMINARY GRADING PLAN	
FOR:	CITY FILE NO.
PREPARED BY: DATE:	DATE:
CHECKED BY: DATE:	DATE:
APPROVED BY: DATE:	DATE:



UTILITY NOTES

- ① CONTRACT # 107 5209
- ② CONTRACT # 107 5209
- ③ CONTRACT # 107 5209

CITY OF PERRIS
 DEDEUX WALNUT
 OFFSITE UTILITY EXHIBIT

4 OF 5 SHEETS

DATE: 11/10/10

FILE NO.



DATE: 11/10/10



DATE: 11/10/10

DATE: 11/10/10

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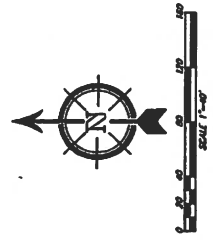
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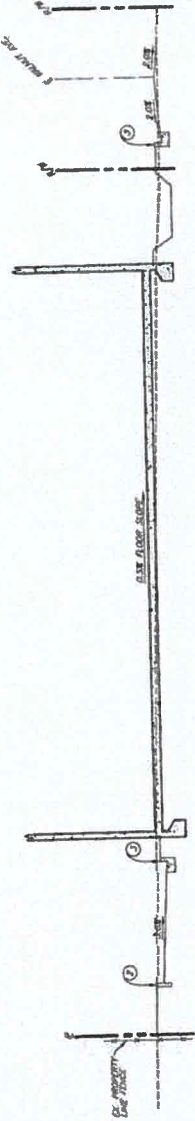
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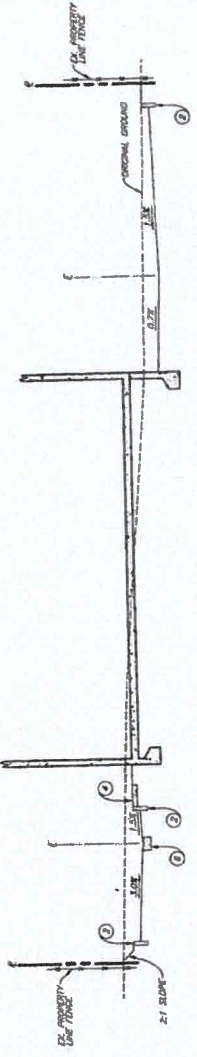
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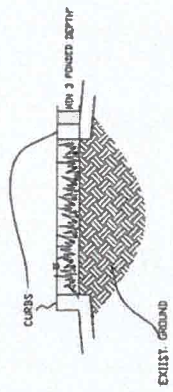




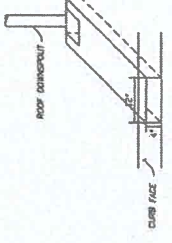
SECTION A-A
NOT TO SCALE



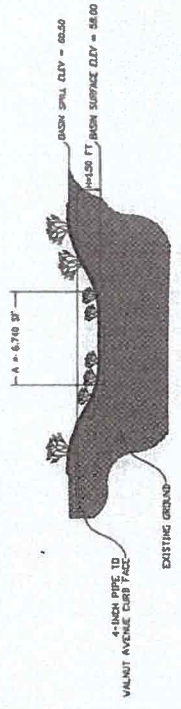
SECTION B-B
NOT TO SCALE



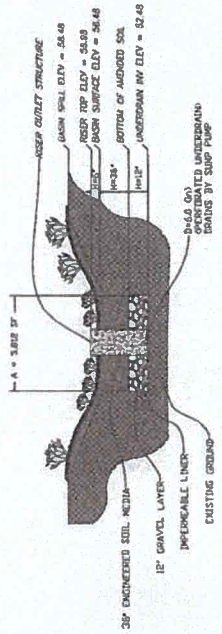
SELF-RETAINING LANDSCAPE (TYPICAL)
NOT TO SCALE



ROOF DRAIN CURB OUTLET STRUCTURE DETAIL
NOT TO SCALE



BMP D1 INFILTRATION BASIN CROSS SECTION
NOT TO SCALE



BMP D2 BIOTENTION CROSS SECTION
NOT TO SCALE

PRELIMINARY
NOT FOR CONSTRUCTION

PLANNING DIVISION DATE: _____ PREPARED BY: _____ CHECKED BY: _____ DATE: _____ PROJECT NUMBER: 2024-001 R.C.E. NO.: 2024-001		SEAL DATE: _____ DATE DOCUMENTING: _____		CITY OF PERRIS DEDEAUX WALNUT SECTIONS CITY: PERRIS, MI F.L. NO.: _____	
SHEET NO. 6 OF 6 DATE: _____		SHEET NO. 6 OF 6 DATE: _____		SHEET NO. 6 OF 6 DATE: _____	



CITY OF PERRIS

PUBLIC WORKS DEPARTMENT

Engineering Administration

NPDES

Special Districts (Lighting, Landscape, Flood Control)

MEMORANDUM

Date: April 21, 2020

To: Nathan Perez, Senior Planner

From: Public Works

Subject: Condition of Approval for **Administrative Development Plan Review** – 19-00014 A proposal to construct a 202,830 SF concrete tilt-up industrial building and along with required landscaping, parking and improvements on a 9.56 acre site located on Walnut Street, between Indian Ave. and Barrett Ave. in a light industrial zoning district, within the Perris Valley Commerce Specific Plan (APN: 305-030-041, 305-030-042)

-
1. **Dedication and Landscape Easement** - Offer of Dedication and/or Landscape Easements for City Maintenance shall be provided as follows:
 - a. **Walnut Street:** Provide Offer of Dedication, as needed to provide for full half width street, curb and gutter, sidewalk, lighting and off-site landscaping requirements, per City General Plan, identifying Caltrans right of way. **Developer to contact all applicable agencies and make himself knowledgeable and responsible to all of their requirements including but not limited to Caltrans, EMWD, SCE etc., having jurisdiction over the Project.**
 2. **Landscape Maintenance Easement and Landscape Easement Agreement** - The Developer shall provide, for review and approval, a Landscape Easement for areas identified by City Staff. Offer of Dedication and Landscape Easement by City Staff Agreement, and certificate of acceptance to the City of Perris. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
 3. **Landscaping Plan Review** – The Developer shall provide the City with Landscape, Irrigation Plans, and a plan titled "LMD Off-Site Landscape Plan ADPR#19-05104," and shall be mutually exclusive of any private property, on-site landscaping, during the plan review process for review and approval. **The full set of Landscape and Irrigation Plans shall be submitted for City review and approved prior to the start of construction.** The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code, the Perris Valley Commerce Center Standards and Guidelines, and approved City of Perris plant list. The location, number, genus, species, and container size of the plants shall be shown. Elements of this Conceptual Landscape and Irrigation Plan shall include but not be limited to the following:

a. **Landscape Limits:** Limits of right-of-way areas and/or easement areas clearly defined on plans as well as limits defined by a concrete mow curb, fully dimensioned, that are to be annexed into the Landscape Maintenance District (LMD). A planting palette and hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; and/or the design intent of neighboring development, as determined by the Special Districts Division, including:

b.

1. Walnut Street

Note: As the City deems necessary, the Developer may be required to match adjacent plant palette. Developer to coordinate with the City.

c. **Irrigation:** A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas, as determined by the Special Districts Division. Components shall include, but not be limited to Salco or GPH flexible PVC risers for a point to point irrigation system. No drip line will be used in the LMD landscape areas. Sentry Guard Cable Guard and Union Guard, and backflow Wilkens Model 375xl, or approved equal. "SMART" Controller shall include an ET based controller with weather station that is centrally controlled capable and Wi-Fi ready (Weather-Trak or approved equal). At the discretion of the Special Districts Division, public landscape areas utilizing no more than 8 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and Wi-Fi ready, such as the Weather Trak System, or approved equal. Proposed system shall be complete with wireless weather station, a five year bundle service, blade antenna, flow sensor and master valve. Coordinate locations of irrigation lines on all components of Architectural Plans, Landscape, Engineering, and all other plans.

d. **Benefit Zone Quantities:** Landscape Plans to include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the Landscape Maintenance District will be required to maintain.

e. **Meters:** Each Maintenance District is required to be metered separately. Show location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for Landscape Maintenance District; Flood Control District; Street Lighting District; Traffic Signal on respective plans. Electrical meter pedestals are to be located in the ROW, easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Coordinate locations of meters on all components of Architectural Plans, Landscape, Engineering, and all other plans.

f. **Controllers:** The off-site irrigation controller, electrical meter, and water meter are to be located within the right of way (within the off-site landscape area). All points of connection equipment including irrigation controller pedestals, electrical meter pedestals, and

backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections and located in the LMD area. Backflow preventers are to be screened on all sides with five (5) gallon plant material and be enclosed in a metal cage. Coordinate locations of controllers on all components of Architectural Plans, Landscape, Engineering, and all other plans.

4. **Recycled Water** - The project landscape architect shall coordinate with Eastern Municipal Water District (EMWD) to verify if the site will be served with recycled water. The Landscape and Irrigation plans and design shall meet the requirements of EMWD and provide additional irrigation components, as needed.
5. **The Project Landscape Architect** – Architect shall submit a copy of all project specifications, Landscaping and Irrigation Plans to EMWD and Caltrans for review and approval.
6. **Landscape Inspections** - The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only “OFF-SITE” landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled 48-Hours (Monday - Friday) in advance prior to actual inspection. Contact Public Works Special Districts Supervisor at (951) 657-3280 Ext. 617 to schedule inspections.
 - **Inspection #1** – Trenches open, irrigation installed, and system pressurized to 150 PSI for four (4) hours.
 - **Inspection #2** – Soil prepared, and plant materials positioned and ready to plant.
 - **Inspection #3** – Landscaping installed, irrigation system fully operational, and request for “start of a 1 year maintenance period” submitted, with all required turn over submittal items provided to Public works Engineering Administration/Special Districts.
 - **Turn-Over Inspection** – On or about the one year anniversary of Inspection #3, Developer shall call for an inspection to allow the City to review and identify any of the following: potential irrigation defects; dead plant material and weeding; debris or graffiti needing removal; stressed, diseased, or dead trees; mulch condition; hardscape; and/or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At the sole expense of the Owner/Developer, shall be responsible for rectifying irrigation system and installation deficiencies, and the one year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City’s Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the inspector shall recommend to the City’s Special District Coordinator to accept turn-over of water and electrical accounts, Wi-Fi communication contracts and the entire landscape installation.

Note: The City reserves the right for the Contractor and/or Developer to pot hole or uncover all irrigation components at the sole expense of the Contractor and/or Developer, if inspection requirements are not met and/or missed inspection, as the City deems necessary.

7. **One Year Maintenance and Plant Establishment Period** – The applicant will be required to provide at a minimum a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one year maintenance period commences upon the successful completion of inspection #3, discussed above, and final approval by the City. During this one year period the applicant shall be required to maintain all landscape areas free of weeds, debris, trash, and/or graffiti removal; and keep all plants, trees and shrubs in a viable growth condition. Prior to start of the one year maintenance period, the developer shall submit a weekly Landscape Maintenance Schedule for the review and approval by the City’s Special Districts Supervisor. The City shall perform periodic site inspections during the one year maintenance period, to identify any and all items needing correction prior to acceptance by the City, at the conclusion of the one year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials; weeding; replenishment of mulches; and/or repair of damaged or non-functioning components; test of irrigation controller communications; etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turn over to the City maintenance staff. The applicant to provide a site point of contact for any site repairs that are needed, prior to final site sign off.
8. **Acceptance into Flood Control District (FCD) #1** - Prior to acceptance into FCD#1, the Developer shall deliver two (2) hard copies and one (1) electronic copy of the Storm Drain Plan As-Built. Developer to also include one (1) copy (CD or USB Flash Drive) of video of the complete storm drain pipe intersections/transitions. The plans and CD to be submitted to the Department of Public Works attention:

Luis Natera
1015 South G Street
Perris, CA 92570
Cell: (951) 634-1187
E-mail: lnatera@cityofperris.org

9. **Street Lights** - Prior to acceptance into Lighting District 84-1, coordinate turn over information pertaining to street lights, and traffic signal electrical/SCE service meters with City’s Special Districts Supervisor at (951) 657-3280 ext. 617. (i.e. provide electrical meter number, photo of pedestal, pole number, and a completed Riverside County Transportation Department Punch List). As-Built of street lights must be provided, to include one (1) hard copy and a Flash Drive containing As-Built. Coordinate “request for transfer of billing information” with SCE and City of Perris for all new service meter(s). The Developer shall pay 18 month energy charges to the City of Perris for all site street lighting. Call Daniel Louie, Project Manager at Willdan Financial Services at 951-587-3564 dlouie@willdan.com for amount due and obtaining a receipt for payment.
10. **Assessment District** - Prior to permit issuance, developer shall deposit \$5,250 per District, \$15,750 total due. Payment is to be made to the City of Perris, and check delivered to the City Engineer’s Office. Payment shall be accompanied by the appropriate document for each District indicating intent and understanding of annexation, to be notarized by property owner(s):

a. Consent and Waiver for Maintenance District No. 84-1:

b. Consent and Waiver for Landscape Maintenance District No. 1:

c. Petition for Flood Control Maintenance District No. 1:

d. Original notarized document(s) to be sent to:

Attn: Daniel Louie
Willdan Financial Services
27368 Via Industria #200
Temecula, Ca 92590
P (951) 395-6670 or (951) 587-3500

e. Additional information related to the annexation process can be obtained by contacting Willdan Financial Services.

f. Confirmation by the City Council completes the annexation process and the condition of approval has been met.

11. Landscaping Plans – The developer shall provide three (3) hard copies and one (1) electronic copy of the Landscape and Irrigation As-Built Plans, and a plan titled “LMD Off-Site Landscape Plan ADPR#19-05104”. As-Built copies shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee.

12. Water Quality Management Plans - The applicant shall submit a Preliminary and final WQMP, accompanied by the appropriate filling fee to the Planning Department and City Engineering Department, respectively. Details for treatment control facilities shall meet both the Riverside County WQMP Design guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce the long term maintenance costs and longevity of improvements. Components shall include, but not limited to:

a. Storm Drain Screens: If off site catch basins are required by the City Engineer’s Office, connector pipe screens shall be included in the new catch basins to reduce sediment and trash loading within the storm pipe. Connector pipe screens shall meet the type, style, and durability requirements of the Public Works Department and Special Districts Division.

b. WQMP Inspections: The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both “ON_SITE” and “OFF_SITE” WQMP inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.

c. Acceptance by Public Works and Special Districts: Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the final WQMP, shall be installed and fully operational, and approved by the final inspection by the City’s WQMP Consultant, CGRM, and/or City Engineer. The Developer shall obtain a Final Clearance Letter

from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The Developer shall deliver the same to the Public Works-Engineering Special Districts. In addition, prior to acceptance by the City, the Developer shall submit a Covenant and Agreement describing ongoing maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works and Special Districts Division. The Public Works Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with Riverside County.

- 13.** The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no more than 45 days. Property owner attendance at this City Council Meeting is not required.



CITY OF PERRIS
COMMUNITY SERVICES

MEMO

To: Mary Blais, Project Planner
From: Jessica Bravo, Project Coordinator
cc: Sabrina Chavez, Director of Community Services
Date: February 20, 2020
Subject: Development Plan Review - #19-00014
Applicant: Dedeaux Properties

Community Services Staff reviewed DPR #19-00014 and offer the following comment(s):

Development Impact Fees – Park Facilities

- Developer to pay into the Non-Residential-Development Industrial Parks Development Impact Fee.



Dennis Grubb and Associates, LLC

Assisting Cities Build Safe Communities

Fire Department Development Review Comments

December 17, 2020

City of Perris
Attn: Mary Blais
135 N. D Street
Perris, CA 92570-2200

Subject: Development Review for Walnut Street Warehouse; DPR 19-00014

As requested a review of the subject property was completed. The following fire conditions shall apply:

1. Prior to the to the issuance of a grading permits a fire department access plan shall be submitted to the City of Perris for review and approval. The fire department access plan shall comply with the requirements specified by the City of Perris Guideline for Fire Department Access & Water Requirements for Commercial & Residential Development, and the California Fire Code, Chapter 5.
2. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
3. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
4. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
5. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
6. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
7. City of Perris approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.

8. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation.
9. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven-feet above the finished surfaced and near the main entrance door.
10. Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system. The emergency radio communication enhancement system shall meet the requirements of CFC § 510 and all applicable subsection. The system shall be installed and inspected by the City of Perris Building Department before the Certificate of Occupancy is issued. The requirement can be waived by the Fire Marshal if the building is evaluated by an Emergency Radio Communication Specialist license by FCC, who certifies the building meets the emergency communications capability as specified by the California Fire Code § 510. The certification shall be in the form of a written report which outlines the analysis used in determining the building meets the emergency communications without an enhancement system.

Respectfully,



Dennis Grubb, CFPE

EXHIBIT B
Vicinity Map



VICINITY MAP

SCALE: NOT TO SCALE



NORTH

EXHIBIT C
Aerial Map



Source: ESRI Aerial Imagery.

FIRSTCARBON
SOLUTIONS™



1,000 500 0 1,000
Feet

Exhibit C
Aerial Map

49960009 • 11/2019 | 2_local_vicinity.mxd

WALNUT AVENUE AND INDIAN AVENUE INDUSTRIAL PROJECT
INITIAL STUDY/MITIGATED NEGATIVE DECLARATION

EXHIBIT D
PVCC Specific Plan Land Use Map

PVCC Specific Plan Land Use Map

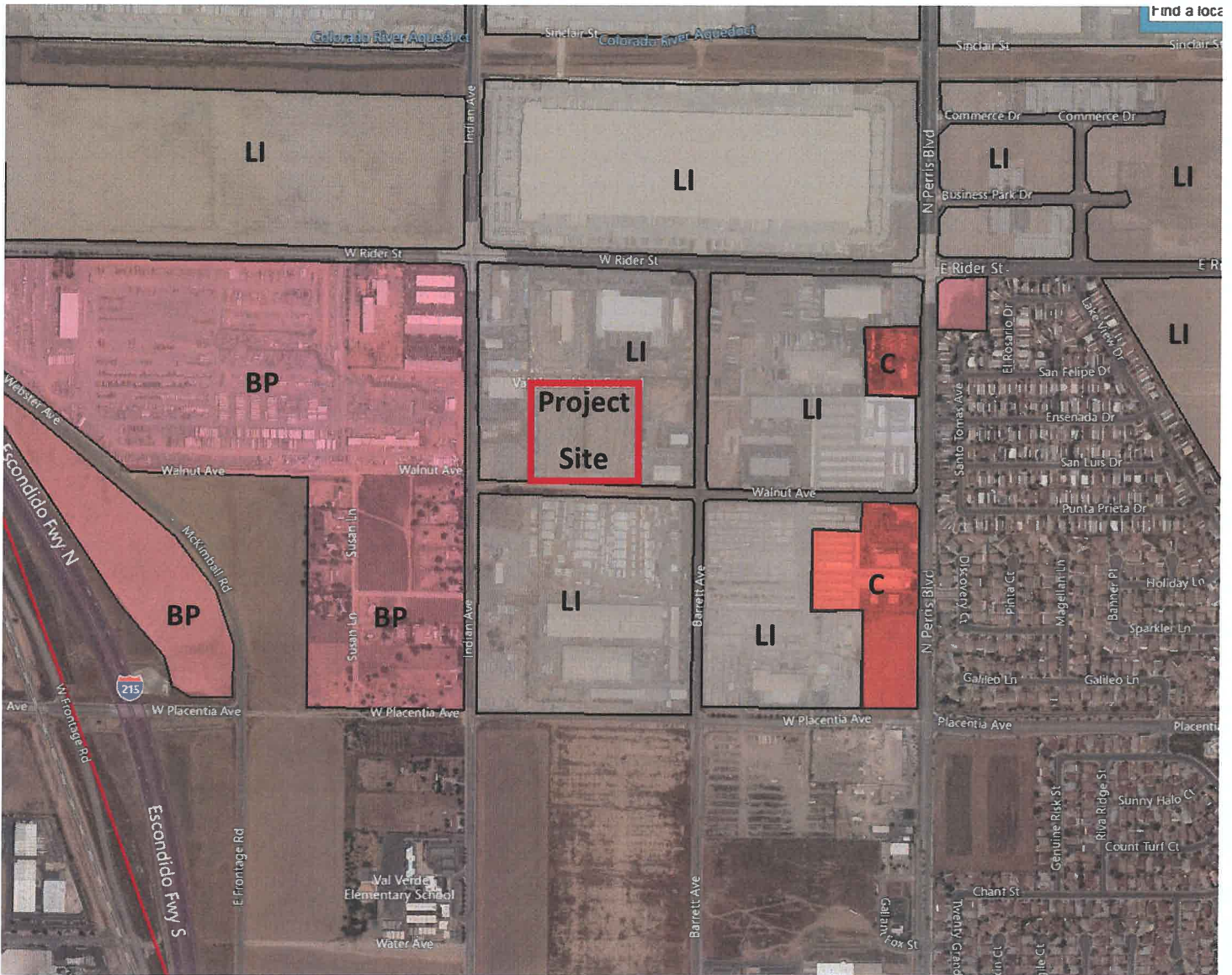


EXHIBIT E
Project Drawings

Walnut Street Perris, California

16 SEPTEMBER 2020

PVCCSP DEVELOPMENT STANDARDS FOR LI	
REQUIREMENT	PROPOSED
MINIMUM LOT SIZE	11,000 SF 416,000 SF (GROSS) 934 sqm (gross) 411,742 SF (NET) 354,553 sqm (net)
LOT COVERAGE BY STRUCTURE	50% MAX 48.99%
STRUCTURE HEIGHT	35 FT MAX 32 FT UTILIZED
FRONT SETBACK (LOCAL COLLECTION - TRAILER FROM TRAILER)	25 FT 37'-0"
SIDE SETBACK	NONE
STREET SIDE SETBACK	25 FT EAST 136'-0" WEST 75'-0" 14'-0"
REAR SETBACK	30 FT
LANDSCAPING/PLANTING ACTIVITIES	5 MIN PROVIDED TO BE PROVIDED
PERMITTED SIGNAGE	REQUIRED
ENHANCED LANDSCAPE SCREENING	10%
SITE LANDSCAPE COVERAGE	17% MIN (60,000 SF)
PROJECT INFORMATION	
TOTAL BUILDING AREA	205,800 SF
WAREHOUSE	199,939 SF
OFFICE	10,000 SF
PARKING PROVIDED	
PERMITTED	64 SPACES
STRUCTURE	1 SPACES
ACCESSIBLE	4 SPACES
TRAILER	1 SPACES
DOOR BOARDS	27 SPACES
LOADING AREA	4 SPACES
PROPOSED OCCUPANCY	
WAREHOUSE (S-I)	497 OCC.
OFFICE (B)	582 OCC.

ACCESSOR'S PARCEL #: 305-030-041, 305-030-042
SPECIFIC PLAN: PERRIS VALLEY COMMERCE CENTER
MARCHAUX OVERLAY ZONE: C1 & C2 (100 PEOPLE MAX PER ACRE)
EXISTING ZONING USE: U
PROPOSED ZONING USE: U (HIGH CUBE WAREHOUSING)
EXISTING LAND USE: VACANT
OCCUPANCY GROUP: S-1, B
CONSTRUCTION TYPE: V-B
DESCRIPTION OF WORK:
 THIS DEVELOPMENT CONSISTS OF A 205,800 SF TRUCKING TERMINAL BUILDING, INCLUDING 10,000 SF OF ACCESSORY OFFICE, TRASH AND STORAGE BUILDING AND WAREHOUSE WITH A TRASH ENCLOSURE CONSTRUCTED BY CONCRETE WITH 9' CEILING TO SCREEN TRUCKS FROM VIEW.
 AUTOMOBILE PARKING IS PROVIDED AT THE WEST SIDE OF THE SITE.
 A FIRE APPARATUS ACCESS LANE AROUND THE BUILDING SHALL BE MAINTAINED AT ALL TIMES. GATES WILL INCLUDE KNOX PADLOCK TO PROVIDE FIRE DEPARTMENT ACCESS.
ADDITIONAL INFORMATION:
 THIS PROPERTY DOES NOT CONTAIN:
 • EXISTING STRUCTURES OR PAVED AREAS
 • EXISTING UTILITIES
 • FLAMMABLE OR COMBUSTIBLE LIQUIDS OR WASTE OIL
 • LOW/MODERATE LIQUEFACTION POTENTIAL
 • HIGH SEISMICITY (HIGH B) TO PALEONTOLOGICAL RESOURCES
 • VERY HIGH FIRE HAZARD AREA - LOCAL RESPONSIBILITY AREA (LRA)
 • STORAGE AREAS CURRENTLY OR WAS RECENTLY UTILIZED FOR HAZARDOUS STORAGE

- ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, REGULATIONS AND LAWS, INCLUDING, BUT NOT LIMITED TO:
- 2019 CALIFORNIA BUILDING CODE (CBC)
 - 2019 CALIFORNIA PLUMBING CODE (CPC)
 - 2019 CALIFORNIA FIRE CODE (FC)
 - 2019 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2019 CALIFORNIA ACCESSIBILITY CODE (CAC)
 - 2019 GREEN BUILDING STANDARDS CODE

- ARCHITECTURAL:**
 A-1 COVER SHEET
 A-2 PRELIMINARY SITE PLAN
 A-3 EXTERIOR ELEVATIONS
 A-4 SITE SECTION AND SCREEN WALL ELEVATIONS
LANDSCAPE:
 L-1 CONCEPTUAL LANDSCAPE PLAN
 L-2 SECTION AND ENLARGEMENTS
CIVIL:
 C-1 PRELIMINARY GRADING TILE SHEET
 C-2 PRELIMINARY SITE GRADING
 C-3 EXHIBIT
 C-4 EXHIBIT
 C-5 EXHIBIT
ELECTRICAL:
 FC-1 SITE PHOTOMETRIC PLAN

APPLICABLE CODES

PROJECT SUMMARY

PROJECT TEAM



Walnut Street Perris, California

Carille Coatsworth Architects, Inc
 1800 North Fairview - Suite 200 - Perris, CA 92370 - Phone (951) 252-5000

OWNER / APPLICANT:
 BEN FULLER
 DEDEAUX PROPERTIES
 1290 OCEAN AVENUE 9TH FLOOR
 IRVINE, CA 92614
 PHONE (951) 252-5000
 alex@dedeauxproperties.com

ARCHITECT:
 CARILLE COATSWORTH ARCHITECTS, INC.
 1800 NORTH FAIRVIEW SUITE 200
 PERRIS, CA 92370
 PHONE (951) 252-5000
 james@carillearch.com

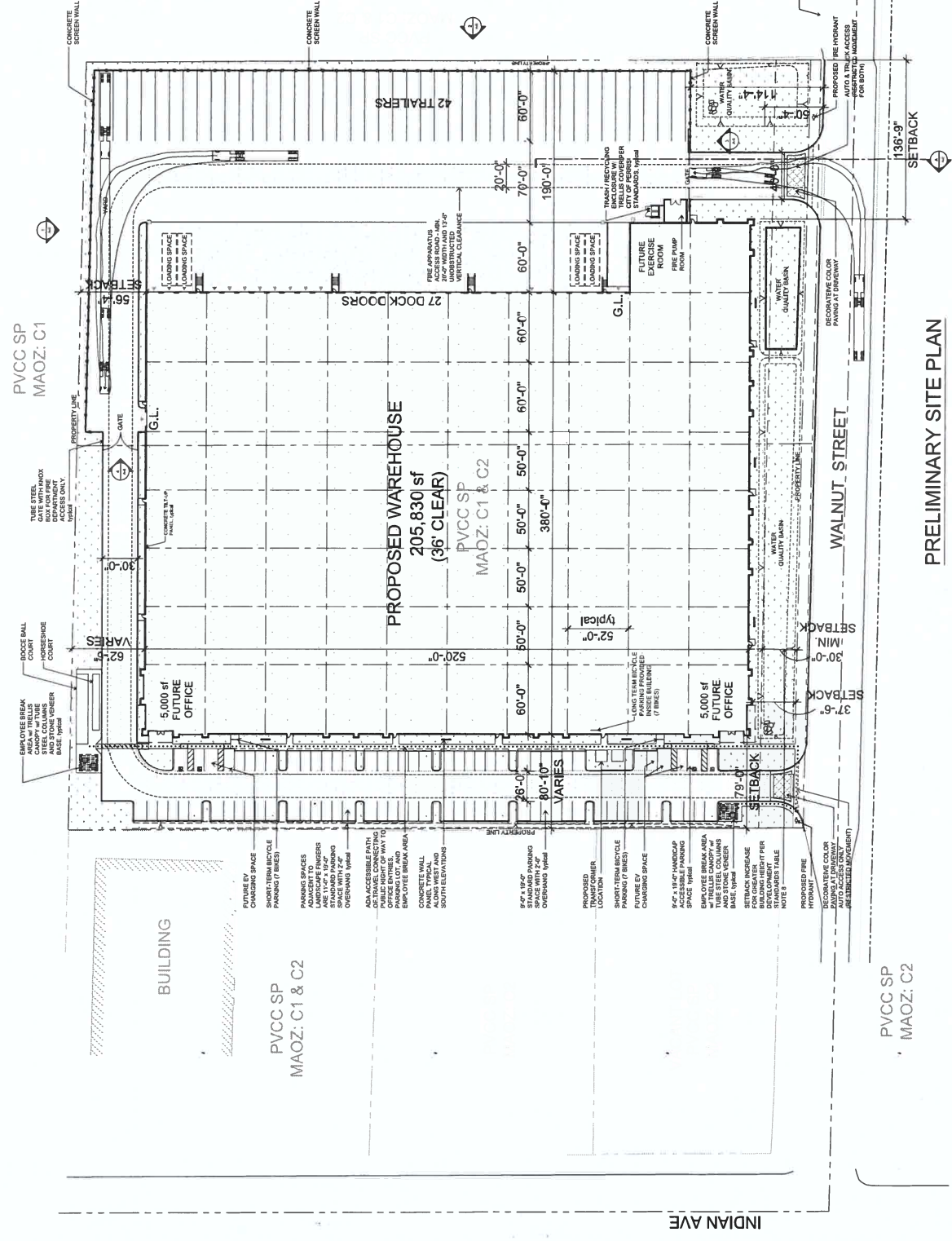
LANDSCAPE ARCHITECT:
 SCOTT PETERSON LANDSCAPE ARCHITECT INC
 1400 MIDDIAN HWY
 FALLBROOK, CA 92025
 PHONE (760) 842-8993
 sp@scottpeterson.com

CIVIL ENGINEER:
 JAMES COATSWORTH
 1400 MIDDIAN HWY
 FALLBROOK, CA 92025
 PHONE (760) 842-8993
 james@scottpeterson.com

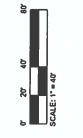


PVCCSP DEVELOPMENT STANDARDS FOR L.I.	
MINIMUM LOT SIZE:	REQUIRED: 15,000 SF PROVIDED: 416,430 SF (GROSS) (9.56 acres gross) 411,742 SF (NET) (8.53 acres net)
LOT COVERAGE BY STRUCTURE:	50% MAX (8.53 acres net / 411,742)
STRUCTURE HEIGHT:	50' MAX 37'-4"
FRONT SETBACK:	25' (10' + 5' per 10' of structure over 25')
LEGAL COLLECTOR-TIMEN FROM WALNUT	NONE (10' + 5' per 10' of structure over 25')
SIDE SETBACK:	25'
STREET SIDE SETBACK:	25' (10' + 5' per 10' of structure over 25')
REAR SETBACK:	30'
LOADING AND UNLOADING ACTIVITIES	5'
PERIMETER LANDSCAPING:	REQUIRED
ENTRIES / PARKING / LOADING	TO BE PROVIDED
ENHANCED LANDSCAPE SCREENING	12% MIN (50,379 SF)
SITE LANDSCAPE COVERAGE:	14%

PROJECT INFORMATION	
TOTAL BUILDING AREA:	205,830 SF
WAREHOUSE:	195,000 SF
OFFICE:	10,830 SF
PARKING REQUIRED:	62 SPACES
OFFICE: 10,830 SF - when the office space is under construction, the adjacent area of the industrial use, no other use shall be permitted.	
WAREHOUSE: 195,000 SF - 10,830 SF OFFICE	
10,000 for the second 20,000 sf	20 SPACES
15,000 from portion over 40,000 sf	19 SPACES
	32 SPACES
REQUIRED TRAILER PARKING:	42 SPACES
1 per 5000 SF	
PARKING PROVIDED:	84 SPACES
STANDARD:	75 SPACES
FUTURE BY:	5 SPACES
ACCESSIBLE:	4 SPACES
TRAILER PARKING:	42 SPACES
DOCK DOORS:	27 SPACES
LOADING AREA:	4 SPACES
PROPOSED OCCUPANCY:	492 OCC.
OFFICE (10' + 5' PER 10' SF)	396 OCC.
WAREHOUSE (10' + 5' PER 10' SF)	108 OCC.



A-2



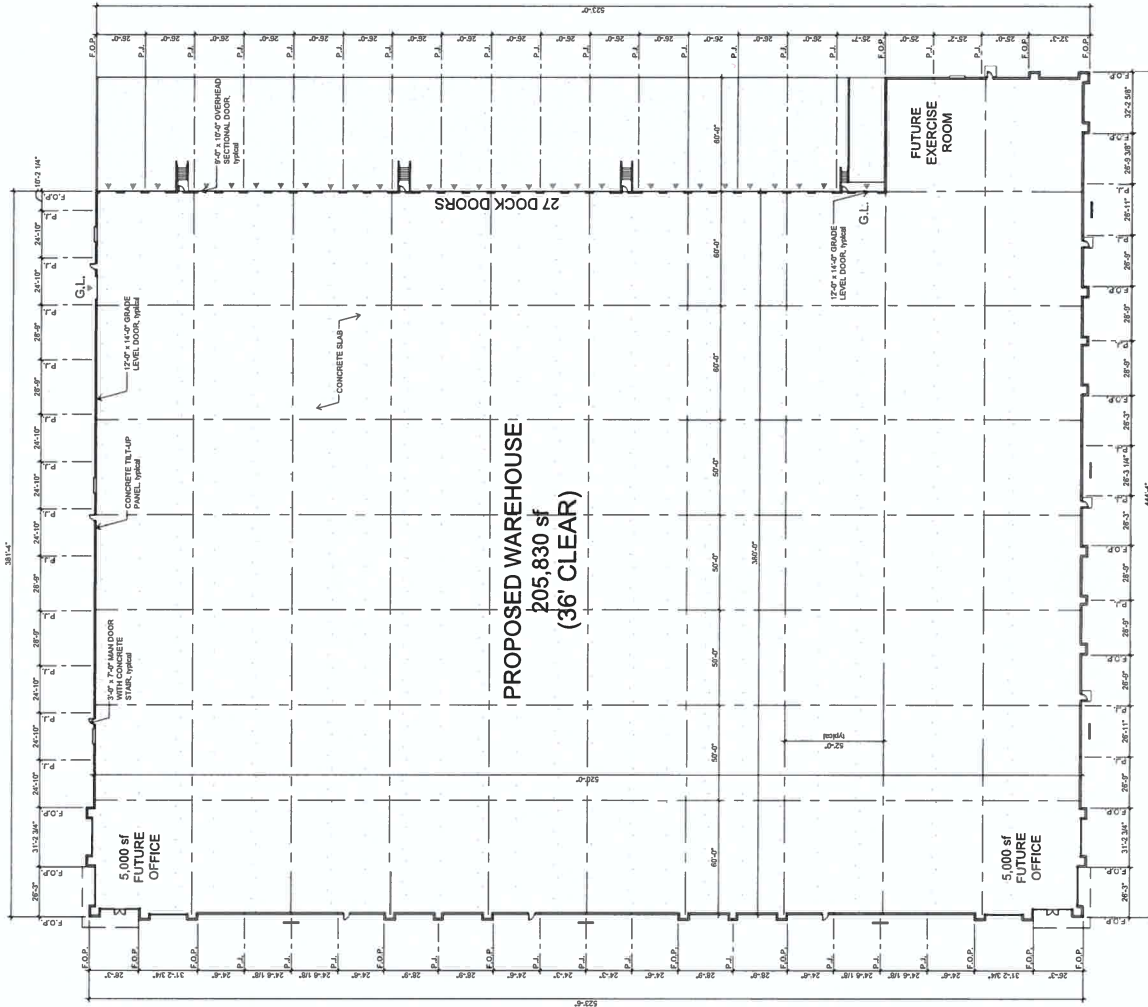
PRELIMINARY SITE PLAN
16 September 2020

Walnut Street
Perris, California

PVCC SP
MAOZ: C2

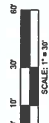
PVCC SP
MAOZ: C2

Carfile Coatsworth Architects, Inc
18075 Moorpark Road - Suite 300 - Palo Alto, CA 94303 - Phone: (650) 953-0000



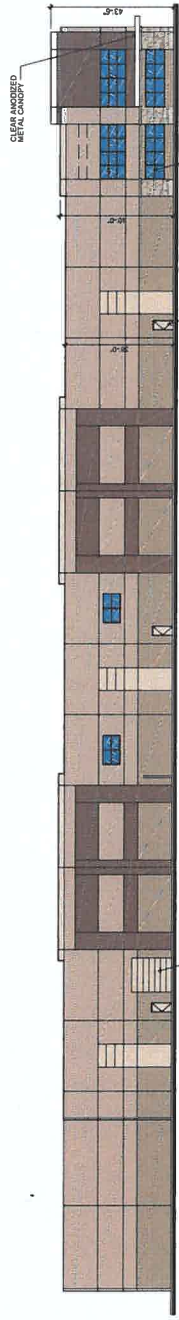
FLOOR PLAN
16 SEPTEMBER 2020

Walnut Street
Perris, California



	TILT-UP CONCRETE WALL PANEL
	WALL PANEL FIELD COLOR
	SHERWIN WILLIAMS - #7572 - CREAMY
	TILT-UP CONCRETE WALL PANEL
	SHERWIN WILLIAMS - #7572 - CREAMY
	SHERWIN WILLIAMS - #7043 - WORLDLY GRAY
	TILT-UP CONCRETE WALL PANEL
	WALL PANEL ACCENT COLOR
	SHERWIN WILLIAMS - #7043 - WORLDLY GRAY
	TILT-UP CONCRETE WALL PANEL
	WALL PANEL ACCENT COLOR
	SHERWIN WILLIAMS - #7043 - WORLDLY GRAY
	TILT-UP CONCRETE WALL PANEL
	STONE VENEER
	1" INSULATED DUAL PANE MEDIUM PERFORMANCE
	PPG VITRO PACIFICA GLASS
	CLEAR ANODIZED ALUMINUM MULLIONS

LEGEND

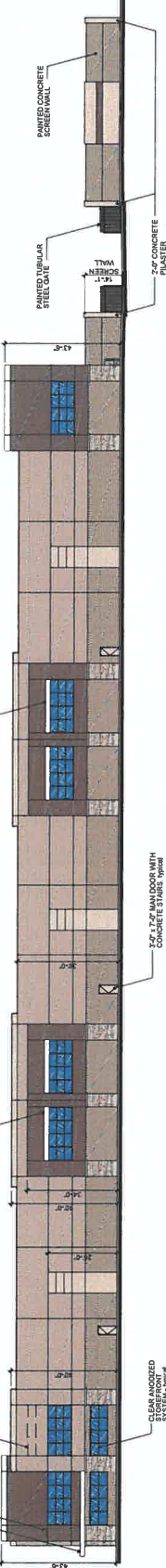


NORTH ELEVATION

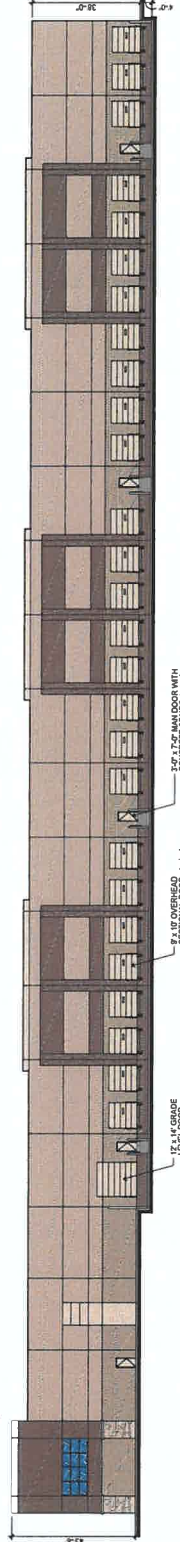


WEST ELEVATION

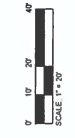
ENTRY - typical
 CLEAR ANODIZED METAL CANOPY - typical
 FUTURE ADDRESS SIGN LOCATION
 TENANT SIGN LOCATION



SOUTH ELEVATION (WALNUT STREET)

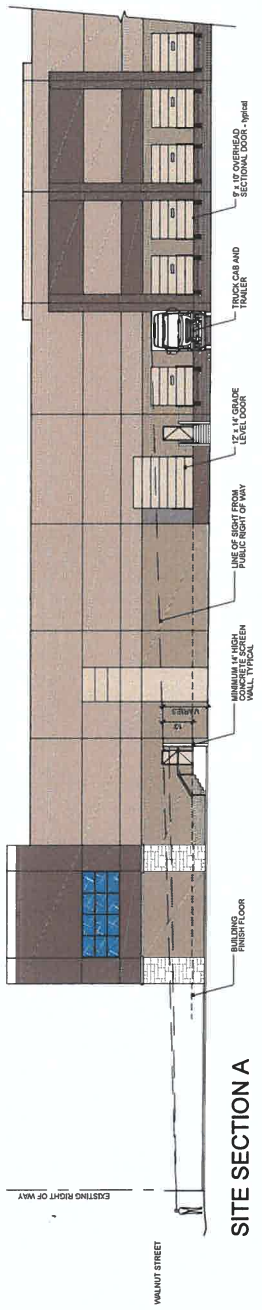


EAST ELEVATION

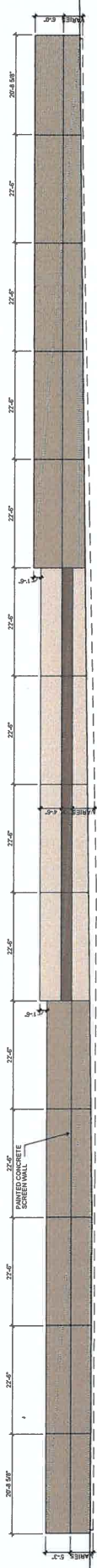


	TILT-UP CONCRETE WALL PANEL MATERIAL COLOR OF SHEERWILLIAMS - #7012 - CREAMY
	TILT-UP CONCRETE WALL PANEL MATERIAL COLOR OF SHEERWILLIAMS - #7043 - WORLDLY GRAY
	TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR DUINN EDWARDS - #DEC771 - SHAGGY BARKED
	TILT-UP CONCRETE WALL PANEL WALL PANEL ACCENT COLOR DUINN EDWARDS - #DEC755 - COCOA
	TILT-UP CONCRETE WALL PANEL STONE VENEER EL DORADO STONE - STACKED STONE "DAYBREAK"
	1" INSULATED DUAL PANE MEDIUM PERFORMANCE PPG VITRO PACIFICA GLASS CLEAR ANODIZED ALUMINUM MULLIONS

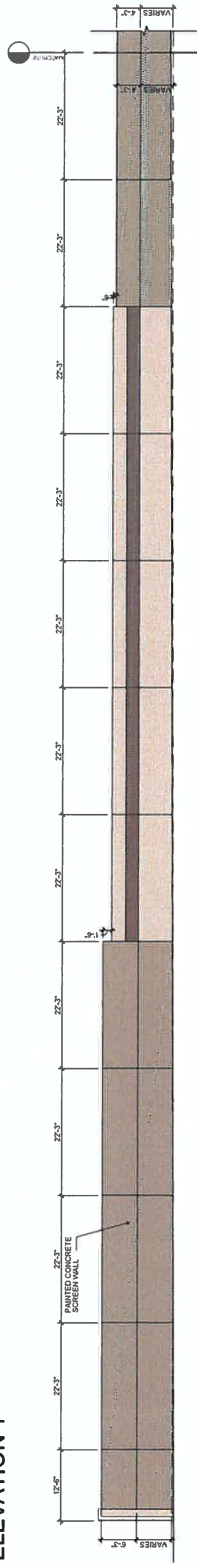
LEGEND



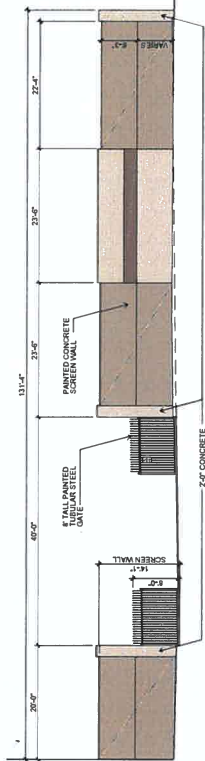
SITE SECTION A



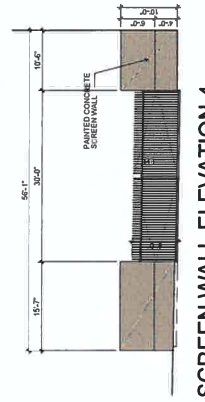
SCREEN WALL ELEVATION 1



SCREEN WALL ELEVATION 2



SCREEN WALL ELEVATION 3 (WALNUT STREET)

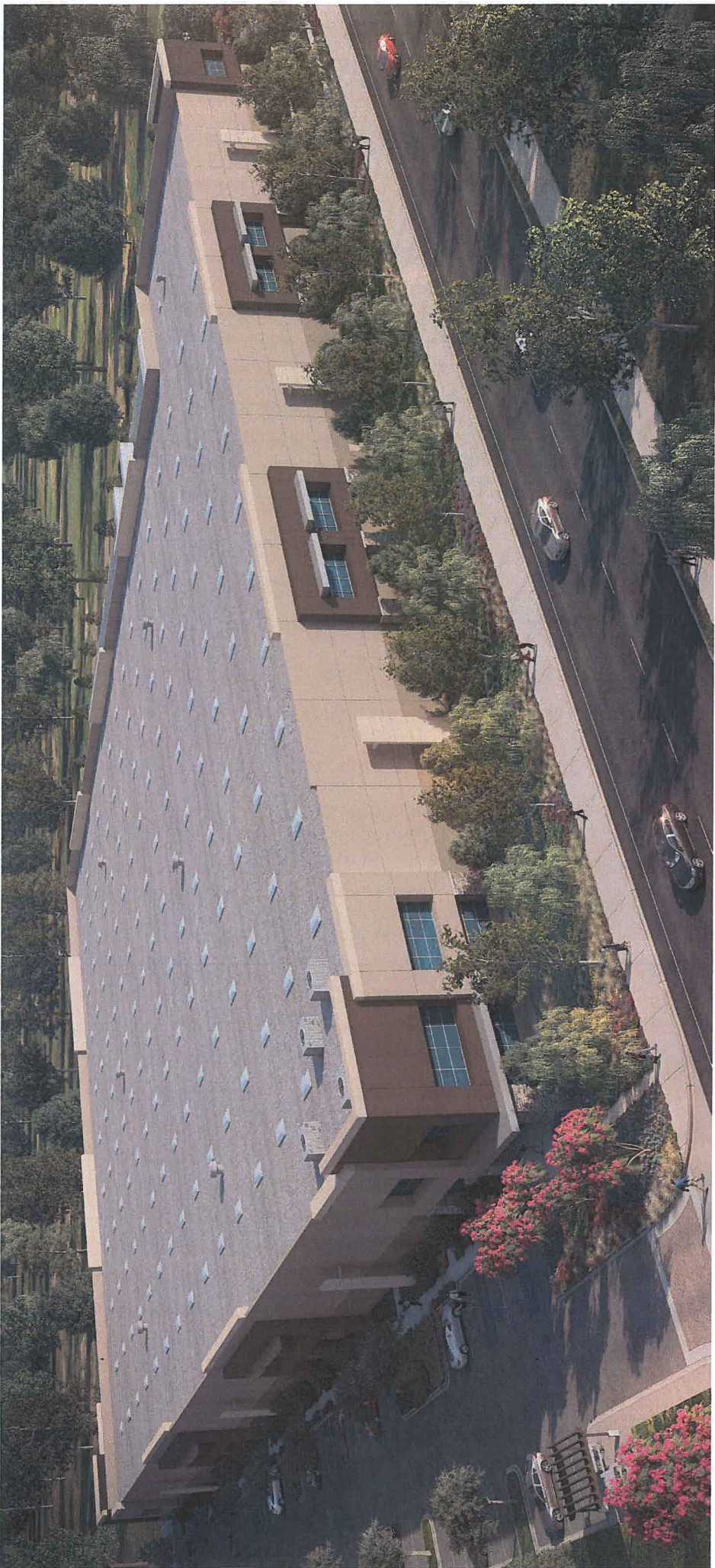


SCREEN WALL ELEVATION 4

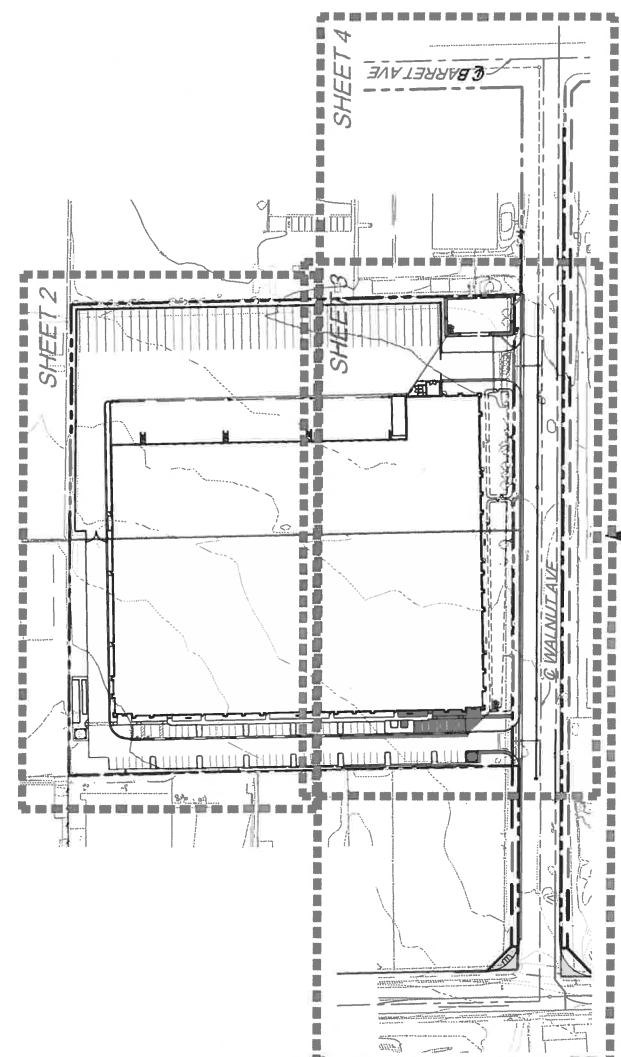
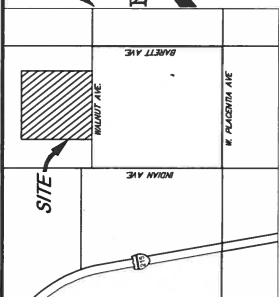


**Walnut Street
Perris, California**





IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PRELIMINARY GRADING PLAN PM 37650
 PORT. SEC. 18 T4S, R3W, S88M
 SEPTEMBER 2020



- CONSTRUCTION NOTES**
1. CONSTRUCT 3" A.C. OVER 4" A.B. PARALLEL DIME AND PARKING AREAS
 2. CONSTRUCT 6" CURB ONLY
 3. CONSTRUCT 6" CURB AND GUTTER
 4. CONSTRUCT 4" PVC SIDEWALK (FINISH PER LANDSCAPE PLANS)
 5. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 6. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 7. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 8. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 9. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 10. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 11. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 12. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 13. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 14. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 15. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 16. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 17. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 18. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 19. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
 20. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER

LEGAL DESCRIPTION
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 PARCEL A:
 LOTS A, B, C, D AND E IN BLOCK 6 OF PRADO FAIRBANKS NO. 15, AS SHOWN BY MAP ON FILE IN BOOK 18 PAGES 59 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
 PARCEL B:
 LOTS A, B, C, D AND E IN BLOCK 7 OF PRADO FAIRBANKS NO. 15, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 18 PAGES 58 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

PRELIMINARY
NOT FOR CONSTRUCTION



DATE: SEPTEMBER 2020
 SCALE: 1"=80'
 FOR: CITY OF PERRIS
 PROJECT: DEDEAUX WALNUT PRELIMINARY GRADING PLAN TITLE SHEET

MARK	DESCRIPTION	DATE	BY	DATE
5.5	DESIGNATION	08/20/20	DAVE SOMMERER	08/20/20
4.2	PROJECT NUMBER	37650		

OWNER/APPLICANT
 DEDEAUX PROPERTIES
 1299 OCEAN AVE, 9TH FLOOR
 OCEANA, CA 92651
 TEL: (424) 931-8225
 ATTN: ROBERT W. HARRING

ENGINEER
 DANA AND ASSOCIATES, INC.
 1299 OCEAN AVE, 9TH FLOOR
 OCEANA, CA 92651
 TEL: (424) 931-8225
 ATTN: ROBERT W. HARRING

TOPOGRAPHY SOURCE
 PROVIDED BY CLIENT
 APPROVED MAPS

ARCHITECT
 CHARLE COASTWORTH ARCHITECTS, INC.
 1299 OCEAN AVE, 9TH FLOOR
 OCEANA, CA 92651
 TEL: (424) 931-8225

EARTHWORK
 CIVIL: 10,500 C.Y.
 FILL: 10,500 C.Y.

UTILITY PURVEYORS
 WATER: WESTERN MUNICIPAL WATER DISTRICT
 GAS: SO CAL GAS
 SANITATION: SCS
 TELEPHONE: SCS
 SEWER: WESTERN MUNICIPAL WATER DISTRICT

PROJECT DATA
 SIZE AREA: 418,430 S.F. (9.56 AC.)
 NET AREA: 411,742 S.F. (9.45 AC.)
 BUILDING AREA: 205,830 S.F.

PARKING INFO
 PARKING REQUIRED: 62 SPACES
 PARKING PROVIDED: 84 SPACES

COMMUNITY FACILITIES DISTRICT
 FACILITIES DISTRICT

HAZARDOUS MATERIALS
 NO HAZARDOUS MATERIALS ARE KNOWN TO BE ON THIS SITE.

FEMA FLOOD ZONE DESIGNATION
 ZONE X

ZONING AND LAND USE
 EXISTING ZONING: U (LIGHT INDUSTRIAL)
 EXISTING LAND USE: MEDIUM STORAGE
 PROPOSED LAND USE: INDUSTRIAL

THOMAS BROTHERS INFO
 PAGE: 771, ORG: F4, C4

WATER QUALITY
 A PROJECT SPECIFIC PUMP WILL BE PREPARED FOR THIS PROJECT

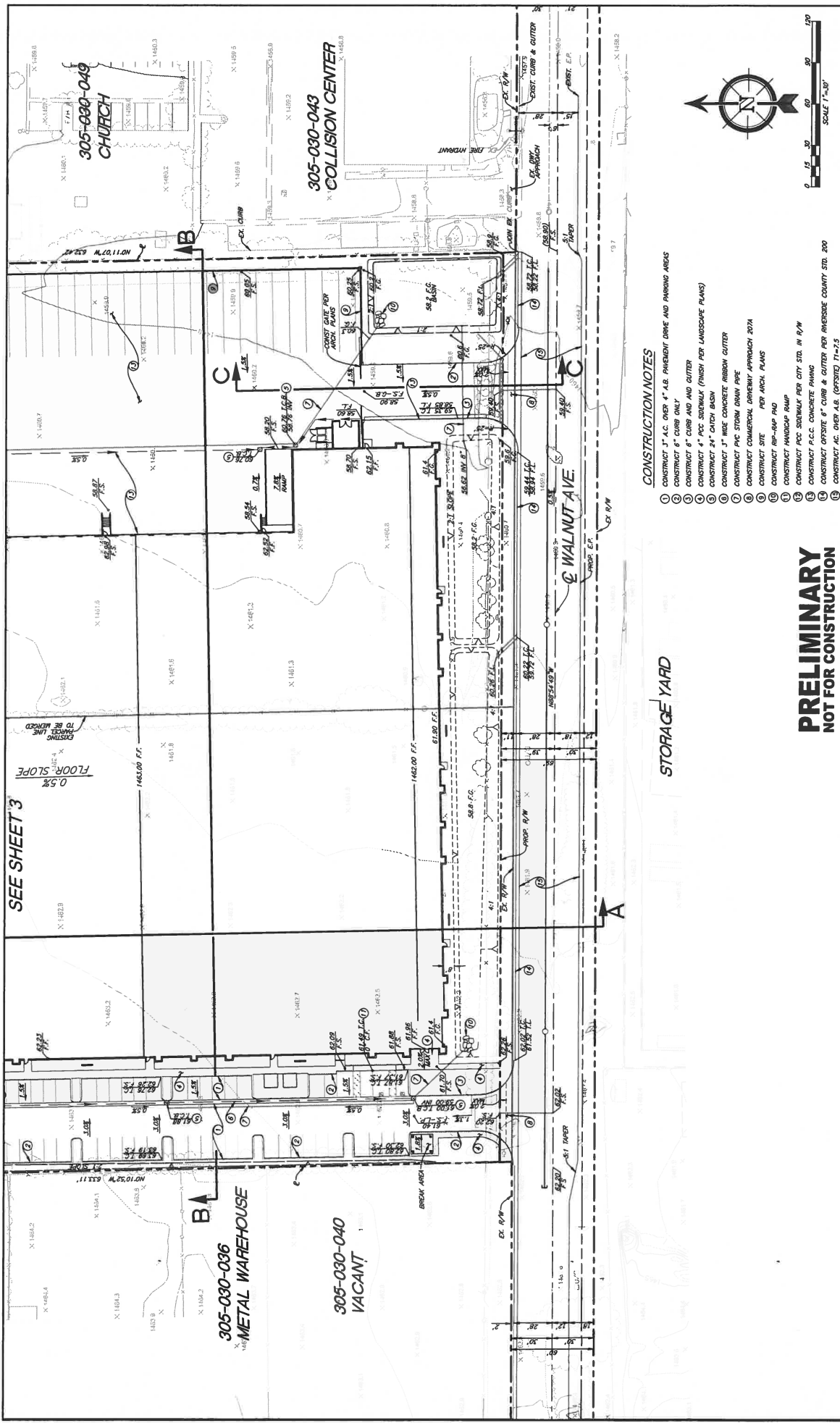
APN:
 305-030-041

SCHOOL DISTRICT
 WILHELM

SHEET INDEX
 SHEET 1: TITLE SHEET
 SHEET 2: PRELIMINARY GRADING PLAN
 SHEET 3: PRELIMINARY GRADING PLAN
 SHEET 4: UTILITY EXHIBIT
 SHEET 5: SECTIONS AND DETAILS

LEGEND

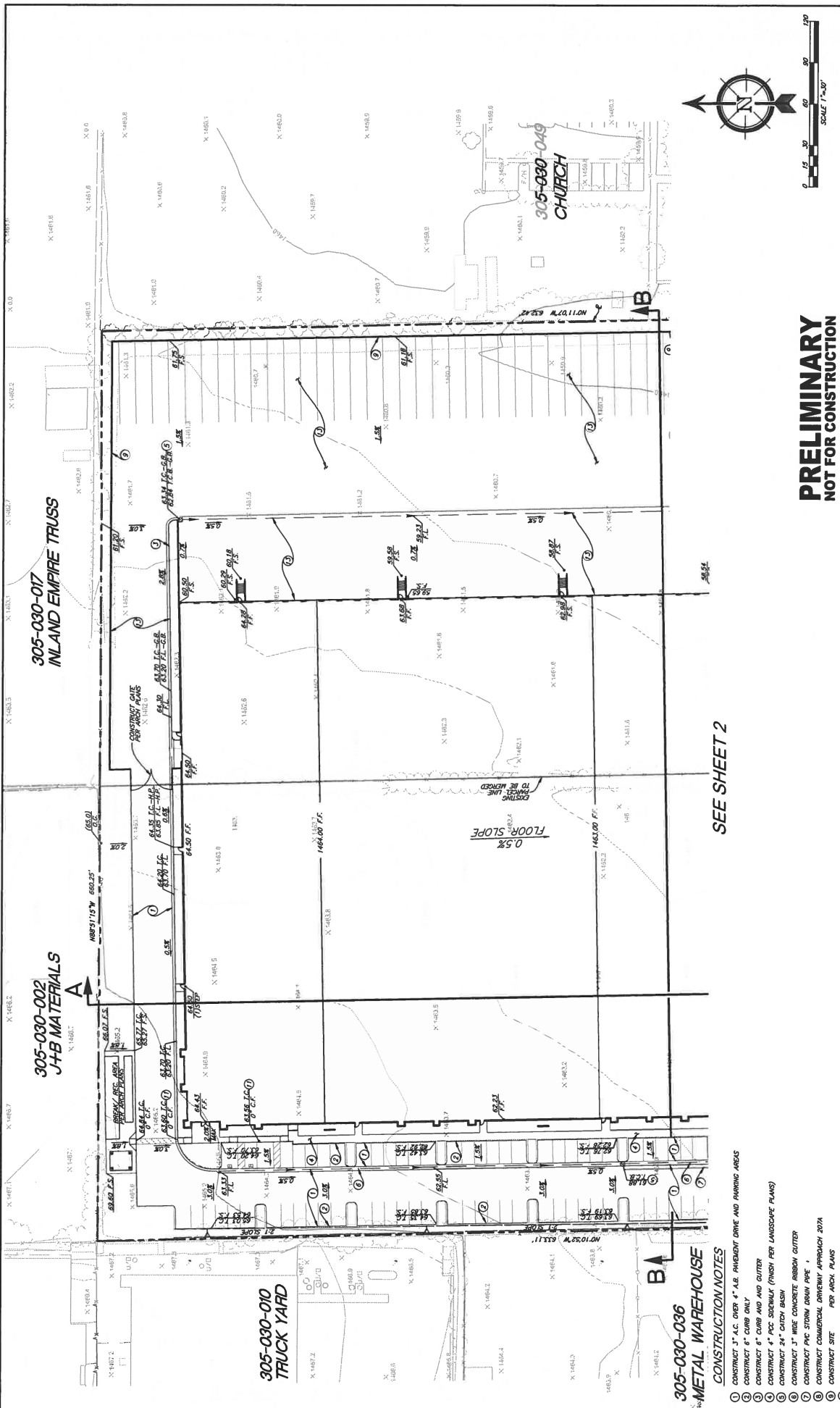
- T.C.B. - TOP CATCH BASIN
- P.L. - PAVED DRIVE
- M.P. - MESH POINT
- EXST. - EXISTING
- P.E. - PAID ELEVATION
- G.B. - GRADE BREAK
- O - STEM WALL HEIGHT
- TRACT BOUNDARY
- CENTERLINE
- CURB AND GUTTER
- EXISTING CONTOUR LINE
- LOT LINE
- SLOPE



- CONSTRUCTION NOTES**
- 1 CONSTRUCT 3\"/>
 - 2 CONSTRUCT 6\"/>
 - 3 CONSTRUCT 6\"/>
 - 4 CONSTRUCT 4\"/>
 - 5 CONSTRUCT 24\"/>
 - 6 CONSTRUCT 3\"/>
 - 7 CONSTRUCT 3\"/>
 - 8 CONSTRUCT 3\"/>
 - 9 CONSTRUCT 3\"/>
 - 10 CONSTRUCT 3\"/>
 - 11 CONSTRUCT 3\"/>
 - 12 CONSTRUCT 3\"/>
 - 13 CONSTRUCT 3\"/>
 - 14 CONSTRUCT 3\"/>
 - 15 CONSTRUCT 3\"/>

**PRELIMINARY
NOT FOR CONSTRUCTION**

	PLANNING DIVISION DATE: _____	PREPARED BY: DANE SOMMERS P.C.E. NO. 20253	PROJECT NUMBER: 55	DRAWN BY: _____ CHECKED BY: _____ DATE: _____	EXP. 03.02.21
	CITY OF FERRIS DEDEUX WALNUT PRELIMINARY GRADING PLAN				
SCALE 1"=30' DATE SEPTEMBER 2020	FOR:	W.D.	CITY	FILE NO.	SHEETS 2 OF 5



PRELIMINARY NOT FOR CONSTRUCTION

DATE: SEPTEMBER 2020

SCALE: 1"=30'

FOR: BENCHMARK

PREPARED BY: SUH

CITY OF PERRIS
DEDEAUX WALNUT
PRELIMINARY GRADING PLAN

3 OF 5 SHEETS

FILE NO.

PLANNING DIVISION

MARK	DATE	BY	DATE
DESIGNED BY			
CHECKED BY			
APPROVED BY			

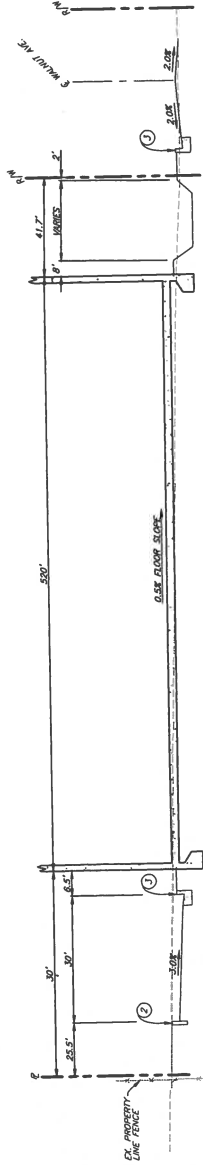
DATE: _____ DATE: _____

PREPARED BY: TAME SCHMERS
R.C.E. NO. 90433 EXP. 9-30-21

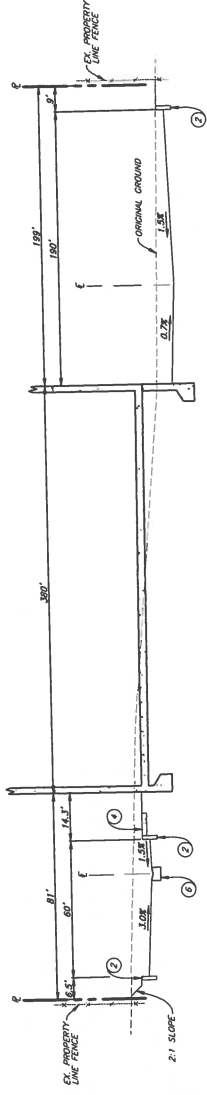
CONSTRUCTION NOTES

- 1 CONSTRUCT 3" A.C. OVER 4" A.B. PAVEMENT DRIVE AND PARKING AREAS
- 2 CONSTRUCT 6" CURB ONLY
- 3 CONSTRUCT 4" CURB AND GUTTER
- 4 CONSTRUCT 4" PCC SIDEWALK (FINISH PER LANDSCAPE PLANS)
- 5 CONSTRUCT 24" CATCH BASIN
- 6 CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER
- 7 CONSTRUCT PCC STORM DRAIN PIPE
- 8 CONSTRUCT COMMERCIAL DRIVEWAY APPROACH 20% PER ARCH. PLANS
- 9 CONSTRUCT SITE PER ARCH. PLANS
- 10 CONSTRUCT 18"-RIP RAG
- 11 CONSTRUCT 1/2" RCP RAMP
- 12 CONSTRUCT P.C.C. SIDEWALK PER CITY STD. 11.4 R/W
- 13 CONSTRUCT P.C.C. CONCRETE FINISH
- 14 CONSTRUCT OFFSITE 6" CURB & GUTTER PER INHERSIVE COUNTY STD. 200
- 15 CONSTRUCT A.C. OVER A.B. (OFFSITE) 11.4-7.5

SEE SHEET 2



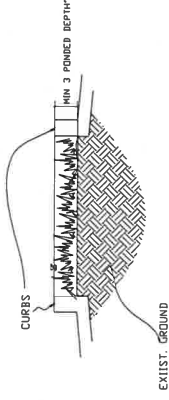
SECTION A-A
NOT TO SCALE



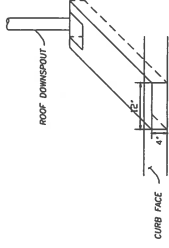
SECTION B-B
NOT TO SCALE



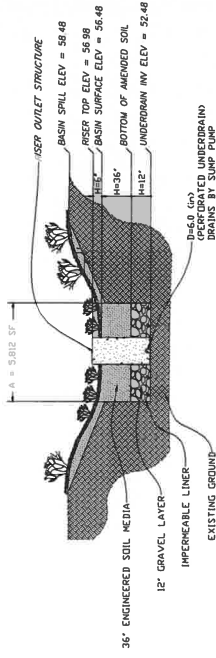
SECTION C-C
1"=10'



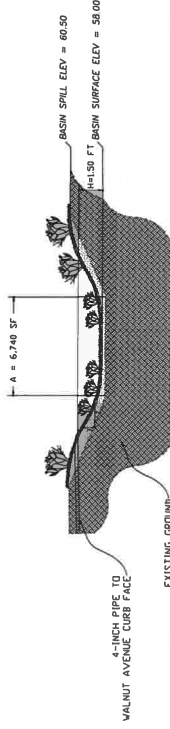
SELF-RETAINING LANDSCAPE (TYPICAL)
NOT TO SCALE



ROOF DRAIN CURB OUTLET STRUCTURE DETAIL
NOT TO SCALE

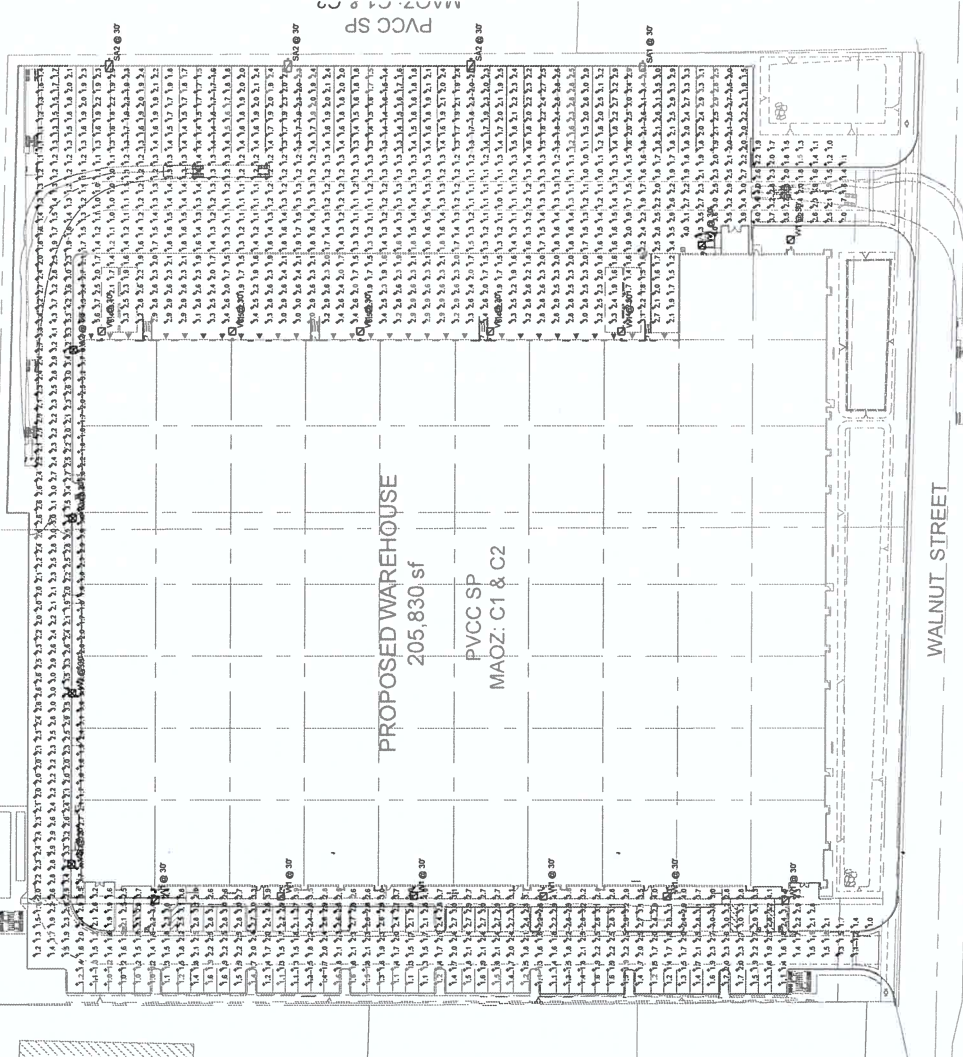


BMP D/2 BIORETENTION CROSS SECTION
NOT TO SCALE



BMP D/1 INFILTRATION BASIN CROSS SECTION
NOT TO SCALE

PRELIMINARY NOT FOR CONSTRUCTION		CITY OF PERRIS DEDEAUX WALNUT SECTIONS		5 OF 5 SHEETS
PREPARED BY: DANE SOMMERS CHECKED BY: S.S.		SCALE: AS SHOWN DATE: SEPTEMBER 2020		FOR: W.O. CITY FILE NO.
PLANNING DIVISION:		PREPARED BY: DANE SOMMERS P.L.C.E. NO.: 25353		PROJECT NUMBER: S.S.
DATE:		DATE:		PROJECT NAME:
SEAL:		REGISTERED PROFESSIONAL ENGINEER STATE OF CALIFORNIA NO. 81824 EXPIRES 12/31/24		PROJECT NAME:
PREPARED BY:		DATE:		PROJECT NAME:
CHECKED BY:		DATE:		PROJECT NAME:
DATE:		DATE:		PROJECT NAME:
PROJECT NAME:		PROJECT NAME:		PROJECT NAME:



SITE PHOTOMETRIC STUDY

FC-1



RPM
RICHARD P. MANNING
Professional Engineer
No. 015896
11/15/2011 - 11/15/2016
1000 W. WALNUT STREET, SUITE 100
PERRIS, CA 92404
PH: (951) 221-1111
FAX: (951) 221-1112
WWW.RPMENGINEERS.COM
RPM [P] 17

Walnut Street
Perris, California

SITE PHOTOMETRIC STUDY
SCALE: 1"=40'



Standard	Symbol	Limit	County	Department	Code	Comments	Remarks	Light Level Factor	Number
	☐	SA1	9	U.S. ARCHITECTURAL	10	U.S. ARCHITECTURAL	U.S. ARCHITECTURAL	0.3	264A
	☑	SA2	9	U.S. ARCHITECTURAL	10	U.S. ARCHITECTURAL	U.S. ARCHITECTURAL	0.3	264A
	☑	W1	11	U.S. ARCHITECTURAL	10	U.S. ARCHITECTURAL	U.S. ARCHITECTURAL	0.3	264A
	☑	W2	9	U.S. ARCHITECTURAL	10	U.S. ARCHITECTURAL	U.S. ARCHITECTURAL	0.3	264A

Standard	Symbol	Limit	County	Department	Code	Comments	Remarks	Light Level Factor	Number
	☑	W1	11	U.S. ARCHITECTURAL	10	U.S. ARCHITECTURAL	U.S. ARCHITECTURAL	0.3	264A
	☑	W2	9	U.S. ARCHITECTURAL	10	U.S. ARCHITECTURAL	U.S. ARCHITECTURAL	0.3	264A



CITY CORRECTIONS 02-26-20

L-1

CONCEPTUAL LANDSCAPE PLAN
WALNUT STREET
PERRIS, CALIFORNIA

8857 MacArthur Boulevard - Suite 200 - Inver, CA 95221 - Phone: (916) 833-3300

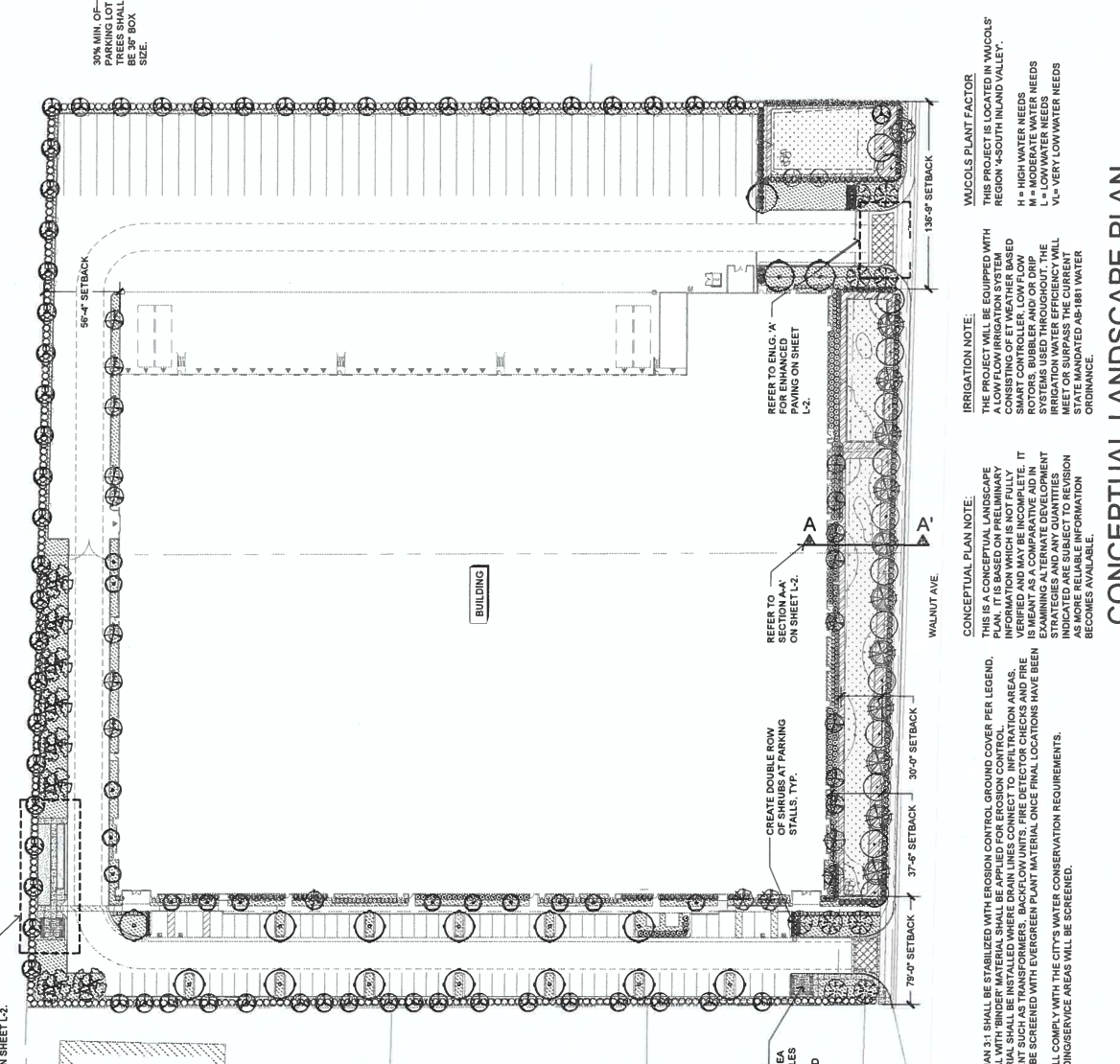


Cartile Coatsworth Architects, Inc

PLANTING LEGEND

TREES		WUCOLS	
SYMBOL	TREE NAME	QTY.	WUCOLS
	STREET TREE ALONG WALNUT AVE. PLATANUS SPECIOSA, CALIFORNIA SYCAMORE OR CATALPA BIGNONIUM	12	M
	FLOWERING ACACIA TREE CECROPIA X. DESERT MUSEUM, DESERT MUSEUM PALM VERDE, 24" BOX SIZE, STANDARD TRUNK	9	L
	PARKING LOT SHADE TREE PROSOPIS JULIFLORA, CHILEAN NUESQUITE 14" GAL. SIZE 30" BOX SIZE	11	L
	SECONDARY PARKING LOT TREE ACACIA GYMNOCARPA, SHOE STRING ACACIA 14" GAL. SIZE 30" BOX SIZE	2	L
	EVERGREEN SCREEN TREE PINUS ELDARICA, MONSIEUR PINE 24" BOX SIZE	59	L
	CANADIAN TREE PINUS MONTEBELLIANA, COAST LIVE OAK 24" BOX SIZE	8	L
	VERTICAL TREE ALONG BUILDING BRACHYCHITON POUILLANUS, BOTTLE TREE 15" GAL. SIZE, COLUMNAR	15	L
	FLOWERING ACACIA TREE CECROPIA X. DESERT MUSEUM, DESERT MUSEUM PALM VERDE, 24" BOX SIZE, STANDARD TRUNK	4	M
	VERTICAL TREE ALONG BUILDING GEIGERA PARVIFLORA, AUSTRALIAN WILLOW 15" GAL. SIZE	12	L
	FLOWERING ACACIA TREE ALONG WALNUT AVE. ACACIA GYMNOCARPA, SHOE STRING ACACIA 24" BOX SIZE	14	L
SHRUBS - SHRUBS SHALL CONSIST OF THE FOLLOWING			
SYMBOL	SHRUB NAME	QTY.	WUCOLS
	YUKONIA VISCOSA, PURPUREA, HOPESEED BUSH 5 GAL. SIZE		L
	DALEA PILULARIA, SANTA CATALINA PRARIE 5 GAL. SIZE		L
	TEUCOMA STANS, YELLOW BELLS 5 GAL. SIZE		L
	PRUNUS LAEVOFOLIA, HOLYLEAF CHERRY 5 GAL. SIZE		L
	WESTRANGIA FRUITCOOSA, COAST ROSEMARY 5 GAL. SIZE		L
	CORDIA PARVIFOLIA, LITTLE LEAF CORDIA 5 GAL. SIZE		L
	CAESALPINIA PULCHERRIMA, PEACOCK FLOWER 5 GAL. SIZE		L

GROUND COVER AND SHRUB MASSES - GROUND COVER AND SHRUB MASSES SHALL BE CHOSEN AS SPECIFIED FOLLOWING		WUCOLS	
SYMBOL	GROUND COVER/SHRUB MASS NAME	QTY.	WUCOLS
	DIETES BICOLOR, FORTNIGHT LILY 1 GAL. SIZE @ 30" O.C.		L
	MULBERRERIA DUBIA, PINE MULRY 1 GAL. SIZE @ 30" O.C.		L
	VERBERNA RIGIDA, SAND PAPER VERBERNA 1 GAL. SIZE @ 24" O.C.		L
	HESPERALOE PARVIFLORA, RED YUCCA 5 GAL. SIZE @ 30" O.C.		L
	ROSMARINUS OFFICINALIS, PROSTRATUS, CREEPING ROSEMARY 1 GAL. SIZE @ 30" O.C.		L
	LEYMOUS CONDENSATUS, CANYON PRINCE, CANYON PRINCE WILD RYE 1 GAL. SIZE @ 30" O.C.		L
	BACCHARIS TWIN PEAKS, DWARF COYOTE BUSH 1 GAL. SIZE @ 470 O.C.		L
	SEE TECHNICAL DRAWING SHALL RECEIVE A HYDROSEED MIX CONSISTING OF THE FOLLOWING		M
	Species/Plant Name	Bulk #/Area	Min. #/Area
	Adiantum medium	1.00	75
	Agrostis pallens	2.00	77
	Arundo donax	4.00	78
	Elymus trichocladus	2.00	83
	Erigeron philadelphicus	2.00	85
	Festuca rubra, Red fescue	10.00	81
	Hieracium bryanthoides, Mustard-hairy herb	3.00	72
	Melica californica	3.00	60
	Strymonium bellum	1.00	80



IRRIGATION NOTE:
THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM CONSISTING OF ET WEATHER BASED CONTROLS, BURIED AND/OR SURFACE SYSTEMS USED THROUGHOUT. THE IRRIGATION WATER EFFICIENCY WILL BE MONITORED AS THE CURRENT STATE MANDATED 40%-60% WATER CONSERVATION.
WUCOLS PLANT FACTOR
THIS PROJECT IS LOCATED IN WUCOLS REGION #SOUTH INLAND VALLEY.
H = HIGH WATER NEEDS
L = LOW WATER NEEDS
VL = VERY LOW WATER NEEDS

CONCEPTUAL PLAN NOTE:
THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY DETERMINED. IT IS MEANT AS COMPARE AND IT IS EXAMINING ALTERNATE DEVELOPMENT STRATEGIES AND ANY QUANTITIES SHOWN ARE APPROXIMATE. THIS INFORMATION IS NOT TO BE USED FOR DECISION MAKING UNLESS MORE RELIABLE INFORMATION BECOMES AVAILABLE.

GENERAL NOTES:
• SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL GROUND COVER PER LEGEND.
• ROCK RIP-RAP MATERIAL WITH BINDER MATERIAL SHALL BE APPLIED FOR EROSION CONTROL.
• CHECK UTILITY EQUIPMENT SUCH AS TRANSFORMERS, BACKFLOW UNITS, FIRE DETECTOR CHECKS AND FIRE DETERMINED.
• ALL LANDSCAPE SHALL COMPLY WITH THE CITY'S WATER CONSERVATION REQUIREMENTS.
• ALL VIEWS INTO LOADING/SERVICE AREAS WILL BE SCREENED.

REFER TO ENGL. 'B' FOR CURB AND UTILITY AREA ON SHEET L-2.

REFER TO ENGL. 'A' FOR SECTION A-A' ON SHEET L-2.

REFER TO ENGL. 'X' FOR ENHANCED PAVING ON SHEET L-2.

CREATE DOUBLE ROW OF SHRUBS AT PARKING STALLS, TYP.

OUTDOOR BREAK AREA WITH TABLES AND OVERHEAD TRELLIS

WALNUT AVE

136'-0" SETBACK