

EXHIBIT E
Project Drawings







North Elevation



West Elevation



South Elevation



East Elevation



RIDER DISTRIBUTION II

Perris, CA



West Elevation



South Elevation



- 1



FRAZEE 8780
CRYSTAL BALL
- 2



FRAZEE 8532W
LIGHT SHOWERS
- 3



FRAZEE CL3024M
LA MANCHA
- 4



FRAZEE CL3025D
FESTIVAL
- 5



FRAZEE 8825
JACARANDA BROWN
- 6



GRAYLITE TINTED
GLAZING
- 7



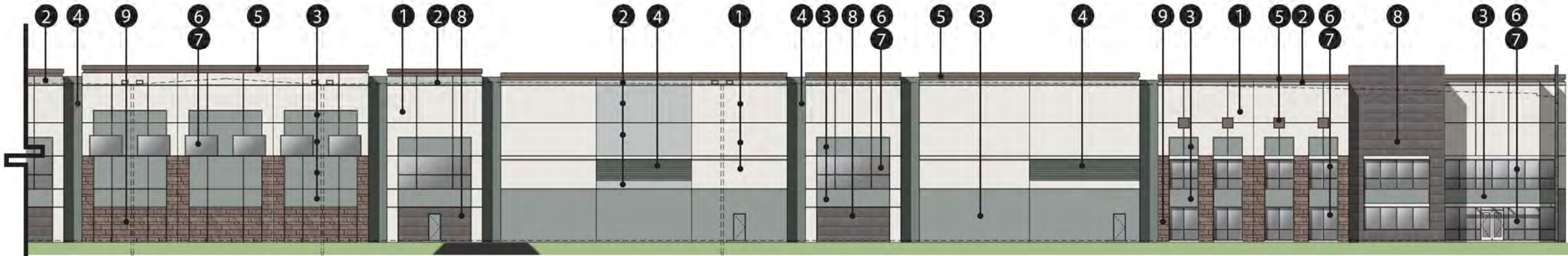
CLEAR ANODIZED
MULLIONS
- 8



ELEGANZA TILE
SLIMTECH-NATURAL
118\"X40"
- 9



PRAIRIE STONE
MOCHA GRANITE



RIDER DISTRIBUTION II

Perris, CA





North Elevation



West Elevation



South Elevation



East Elevation



RIDER DISTRIBUTION IV

Perris, CA



North Elevation



West Elevation



- 1



FRAZEE 8780
CRYSTAL BALL
- 2



FRAZEE 8532W
LIGHT SHOWERS
- 3



FRAZEE CL3024M
LA MANCHA
- 4



FRAZEE CL3025D
FESTIVAL
- 5



FRAZEE 8825
JACARANDA BROWN
- 6



GRAYLITE TINTED
GLAZING
- 7



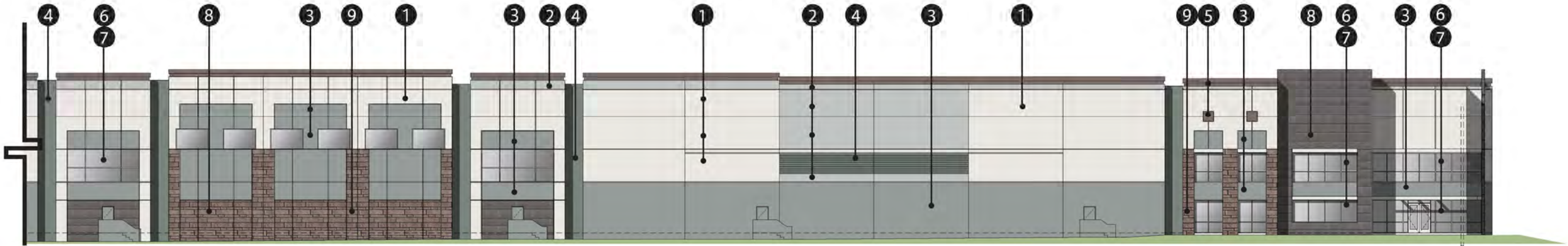
CLEAR ANODIZED
MULLIONS
- 8



ELEGANZA TILE
SLIMTECH-NATURAL
118\"X40"
- 9



PRAIRIE STONE
MOCHA GRANITE



RIDER DISTRIBUTION IV

Perris, CA



DEVELOPMENT PLAN REVIEW NO. 19-00004

IDI LOGISTICS - RIDER II & IV

COVER SHEET

RIDER II A.P.N.
303-170-004, 303-170-005, 303-170-011, 303-170-014, 303-130-022

RIDER II PROJECT DATA

ACREAGE		
GROSS SITE AREA:	1,701,018 S.F.	39.05 AC.
VACATION AREA:	44,372 S.F.	1.01 AC.
R/W DEDICATION:	24,185 S.F.	0.55 AC.
P.V.S.D. CHANNEL DEDICATION:	125 S.F.	0.00 AC.
NET SITE AREA:	1,721,080 S.F.	39.51 AC.

BUILDING AREA		
OFFICE:	10,000 S.F.	
WAREHOUSE:	195,561 S.F.	
TOTAL AREA:	205,561 S.F.	

F.A.R.: 205,561 SF / 1,721,080 SF = 0.41 F.A.R.

LOT COVERAGE, PROPOSED: 46.8% MAX. ALLOWED: 50%

PARKING REQUIREMENTS	
WAREHOUSE:	
1ST. 20K @ 1/1,000 S.F.:	20 STALLS
2ND. 20K @ 1/2,000 S.F.:	10 STALLS
ABOVE 40K @ 1/5,000 S.F.:	154 STALLS
TOTAL PARKING REQUIRED:	184 STALLS

*OFFICE AREA IS LESS THAN 10% OF THE TOTAL GROSS SQUARE FOOTAGE OF THE BUILDING AND DOES NOT REQUIRE SEPARATE CALCULATION.

PARKING PROVIDED	
AUTO:	
STANDARD (9'X19'):	371 STALLS
HANDICAP (9'X19'):	7 STALLS
VAN ACCESSIBLE (12'X19'):	2 STALLS
CLEAN AIR/VAN POOL/RY (10%)(9'X19'):	36 STALLS
TOTAL AUTO:	416 STALLS
TRAILER (12'X53') PROVIDED:	164 STALLS

LANDSCAPED AREA	
LANDSCAPED AREA REQUIRED:	12%
LANDSCAPED AREA PROVIDED:	13%
LANDSCAPED AREA PROVIDED:	228,061 S.F.

LEGAL DESCRIPTION

PARCEL A:
LOTS "A" THROUGH "D", INCLUSIVE, IN BLOCK 5; LOTS "A" THROUGH "D", INCLUSIVE, IN BLOCK 6; LOTS "B", "C" AND "D" IN BLOCK 4, ALL IN TRACT II OF FAIRVIEW FARMS NO. 5, AS SHOWN BY MAP ON FILE IN BOOK 16, PAGE 20 OF MAPS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION WHICH LIES EASTERLY OF THE WESTERLY LINE OF THE PARCEL OF LAND CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT BY DEED RECORDED APRIL 8, 1955, IN BOOK 1720 PAGE 238 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS.

ALSO EXCEPTING ANY PORTION INCLUDED IN THAT CERTAIN PARCEL OF LAND CONDEMNED BY METROPOLITAN WATER DISTRICT BY DECREE OF CONDEMNATION, A CERTIFIED COPY OF WHICH WAS RECORDED DECEMBER 21, 1935 IN BOOK 263, PAGE 244 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS.

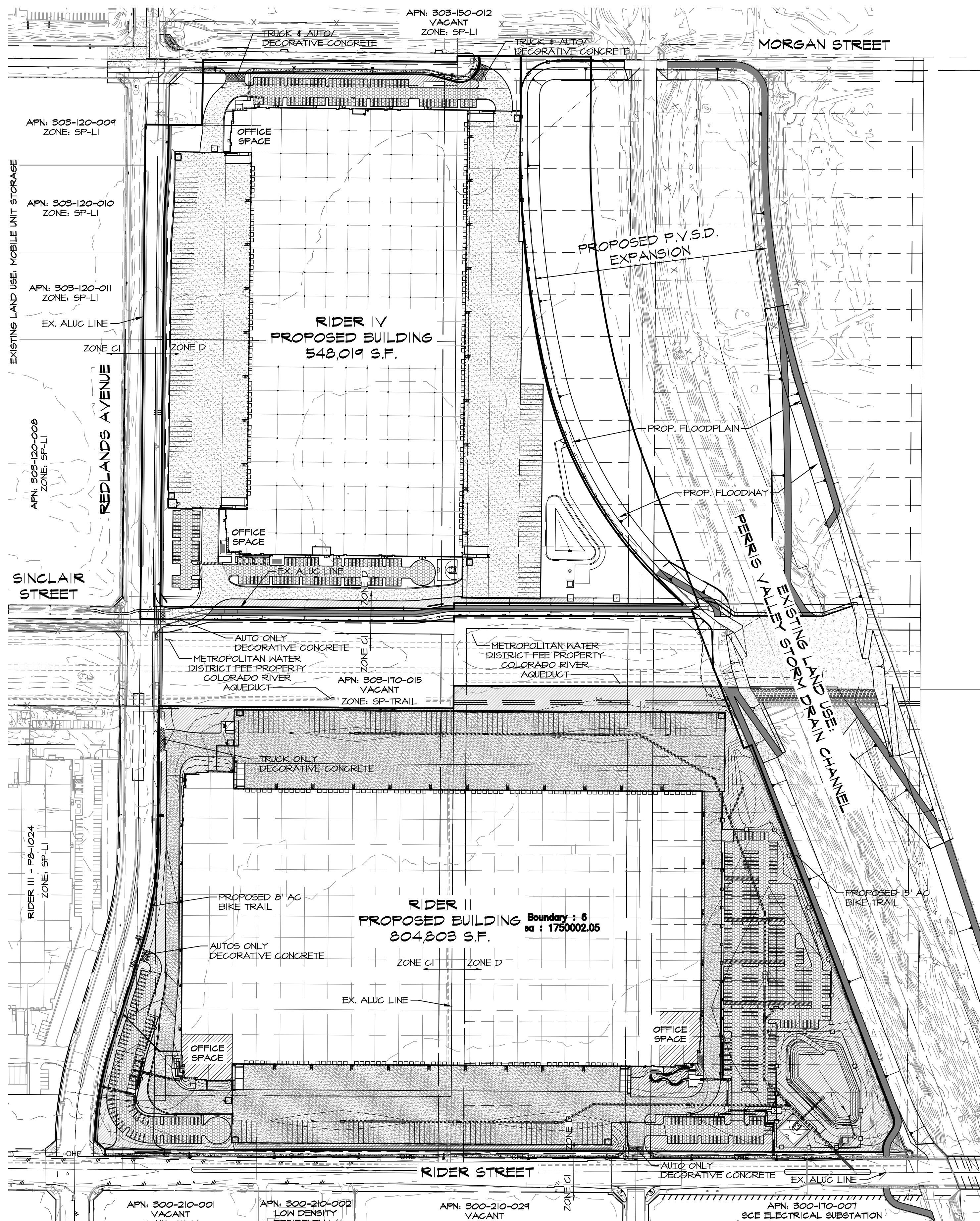
PARCEL B:
LOTS "A" THROUGH "E", INCLUSIVE, IN BLOCK 6; LOTS "AA" THROUGH "EE", INCLUSIVE, IN BLOCK 7; LOTS "A" THROUGH "D", INCLUSIVE, IN BLOCK 8; THE SOUTH HALF OF LOT "B" IN BLOCK 5; AND LOTS "C" AND "D" IN BLOCK 5, ALL IN TRACT 12 OF FAIRVIEW FARMS NO. 5, AS SHOWN BY MAP ON FILE IN BOOK 16, PAGE 20 OF MAPS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION WHICH LIES EASTERLY OF THE WESTERLY LINE OF THE PARCEL OF LAND CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT BY DEED RECORDED APRIL 8, 1955, IN BOOK 1720 PAGE 238 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS.

ALSO EXCEPTING ANY PORTION INCLUDED IN THAT CERTAIN PARCEL OF LAND CONDEMNED BY METROPOLITAN WATER DISTRICT BY DECREE OF CONDEMNATION, A CERTIFIED COPY OF WHICH WAS RECORDED DECEMBER 21, 1935 IN BOOK 263, PAGE 244 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS.
APN: 303-170-004-4 (Affects Parcel A) and 303-170-005-5 (Affects Parcel B)

SHEET INDEX

INDEX MAP	SHEET 1
DETAILS AND SECTIONS	SHEET 2
RIDER II CONCEPTUAL GRADING	SHEET 3
RIDER IV CONCEPTUAL GRADING	SHEET 4



RIDER IV A.P.N.
303-160-002, 303-160-003, 303-160-007, 303-160-009

RIDER IV PROJECT DATA

ACREAGE		
GROSS SITE AREA:	1,464,542 S.F.	33.84 AC.
R/W DEDICATION:	118,423 S.F.	2.63 AC.
P.V.S.D. DEDICATION:	17,619 S.F.	0.40 AC.
NET SITE AREA:	1,588,000 S.F.	36.27 AC.

BUILDING AREA		
WAREHOUSE:	538,019 S.F.	
OFFICE:	10,000 S.F.	
TOTAL AREA:	548,019 S.F.	

F.A.R.: 548,019 SF / 1,588,000 SF = 0.41 F.A.R.

LOT COVERAGE, PROPOSED: 41.3% MAX. ALLOWED: 50%

PARKING REQUIREMENTS	
1ST. 20K @ 1/1,000 S.F.:	20 STALLS
2ND. 20K @ 1/2,000 S.F.:	10 STALLS
ABOVE 40K @ 1/5,000 S.F.:	102 STALLS
TOTAL PARKING REQUIRED:	132 STALLS

*PARKING FOR OFFICE AREA COMPRISING LESS THAN 10% OF THE TOTAL GROSS SQUARE FOOTAGE OF THE BUILDING SHALL BE INCLUDED IN THIS CALCULATION.

PARKING PROVIDED	
AUTO:	
STANDARD (9'X19'):	167 STALLS
HANDICAP (9'X19'):	5 STALLS
VAN ACCESSIBLE (12'X19'):	1 STALLS
CLEAN AIR/VAN POOL/RY (10%)(9'X19'):	16 STALLS
TOTAL:	189 STALLS

TRAILER	
STANDARD (12'X53'):	107 STALLS

LANDSCAPED AREA	
LANDSCAPED AREA REQUIRED:	12.0%
LANDSCAPED AREA PROVIDED:	20.0%
LANDSCAPED AREA PROVIDED:	228,061 S.F.

LEGAL DESCRIPTION

PARCEL 1:
LOTS "A" THROUGH "D", INCLUSIVE, IN BLOCK 1; LOTS "A" THROUGH "D", INCLUSIVE, IN BLOCK 2; LOTS "A" THROUGH "D" INCLUSIVE, IN BLOCK 3; ALL IN TRACT II; AND LOTS "A" THROUGH "D", INCLUSIVE, IN BLOCK 4, IN TRACT 12 OF FAIRVIEW FARMS NO. 5, AS SHOWN BY MAP ON FILE IN BOOK 16, PAGE 20 OF MAPS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION WHICH LIES EASTERLY OF THE WESTERLY LINE OF THE PARCEL OF LAND CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT BY DEED RECORDED APRIL 8, 1955 IN BOOK 1720, PAGE 238 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS.

ALSO EXCEPTING ANY PORTION INCLUDED IN THAT CERTAIN PARCEL OF LAND CONDEMNED BY METROPOLITAN WATER DISTRICT BY DECREE OF CONDEMNATION, A CERTIFIED COPY OF WHICH WAS RECORDED DECEMBER 21, 1935 IN BOOK 263, PAGE 244 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS.

PARCEL 2:
LOTS 1 AND 2 IN BLOCK 19 OF RIVERSIDE TRACT AS SHOWN BY MAP ON FILE IN BOOK 14, PAGE 668 OF MAPS, SAN DIEGO COUNTY RECORDS.

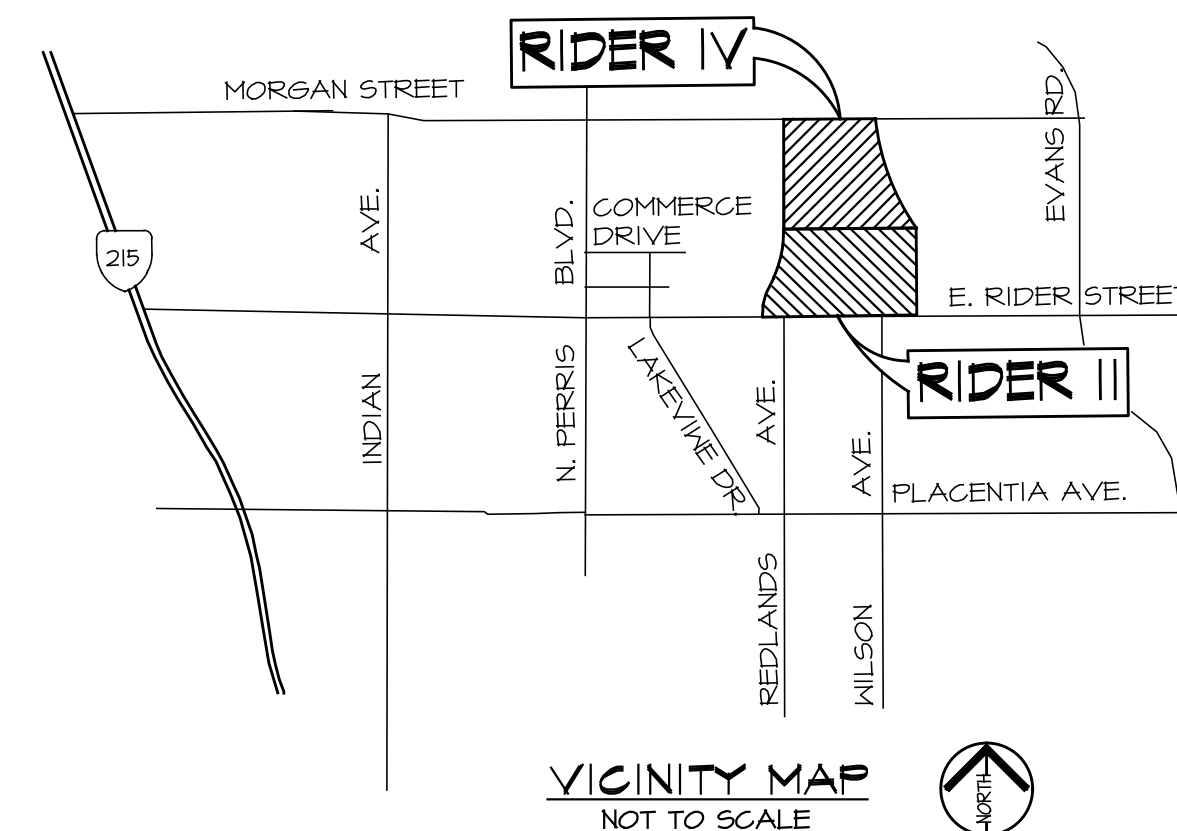
EXCEPTING THEREFROM THAT PORTION OF LOT 1 IS CONVEYED TO COUNTY OF RIVERSIDE, A BODY CORPORATE AND POLITIC BY DEED RECORDED ON JANUARY 02, 1991 AS INSTRUMENT 91-406 OF OFFICIAL RECORDS AND THE SAME PORTION OF LAND IS QUITCLAIMED TO EASTERN MUNICIPAL WATER DISTRICT BY DEED RECORDED ON APRIL 16, 1992 AS INSTRUMENT NO. 1942-136034 OF OFFICIAL RECORDS.

LAND USE

EXISTING/PROPOSED ZONING: SP-LI
EXISTING/PROPOSED GENERAL PLAN USE: SP-LI
EXISTING LAND USE: VACANT
PROPOSED LAND USE: WAREHOUSE DISTRIBUTION

PROJECT DESCRIPTION:

DEVELOPMENT PLAN REVIEW FOR A DISTRIBUTION WAREHOUSE FACILITY CONSISTING OF 1 BUILDING TOTALING 804,803 SQUARE FEET ON 37.24± NET ACRES (RIDER II), AND 1 BUILDING TOTALING 548,019 SQUARE FEET ON 26± NET ACRES (RIDER IV).



OWNER/APPLICANT

IDI LOGISTICS
ATTN: STEVE HOLLIS
840 APOLLO STREET, SUITE 343
EL SEGUNDO, CA 90245
TEL: (441) 351-7243

UTILITY COMPANIES:

WATER:	EASTERN MUNICIPAL WATER DISTRICT PHONE: (800) 426-3643
SEWER:	EASTERN MUNICIPAL WATER DISTRICT PHONE: (800) 426-3643
ELECTRIC:	SOUTHERN CALIFORNIA EDISON COMPANY PHONE: (800) 684-8123
TELEPHONE:	CHARTER COMMUNICATIONS PHONE: (833) 644-4254
GAS:	SOUTHERN CALIFORNIA GAS COMPANY PHONE: (800) 427-2200
SCHOOL:	VAL VERDE UNIFIED SCHOOL DISTRICT PHONE: (951) 940-6100

NOTES:

- 2005 THOMAS BROTHERS MAP; PAGE TTT, GRIDS H-2, H-3, J-2 & J-3.
- THIS AREA IS SUBJECT TO MODERATE LIQUEFACTION.
- THIS AREA IS WITHIN THE PERRIS VALLEY COMMERCE SPECIFIC PLAN.
- THIS PROJECT IS NOT WITHIN A COMMUNITY SERVICES DISTRICT.
- THIS PROJECT IS WITHIN THE AIRPORT COMPATIBILITY ZONE C-1 & D.
- PROJECT BOUNDARIES WILL BE CREATED VIA PARCEL MERGER.
- ALL PARCELS WITHIN PROJECT BOUNDARY TO BE COMBINED VIA FUTURE CERTIFICATE OF PARCEL MERGER.

LEGEND

[Pattern]	PROPOSED CONCRETE PAVEMENT
[Pattern]	PROPOSED LANDSCAPE AREA
[Pattern]	PROPOSED DECORATIVE PAVEMENT
[Symbol]	ADA PATH OF TRAVEL
[Symbol]	SCREEN WALL
[Symbol]	FENCE LINE
[Symbol]	GRADEBREAK/RIDGELINE
[Symbol]	FLOWLINE
[Symbol]	FIRE LINE
[Symbol]	FIRE LINE
[Symbol]	EXISTING CONTOURS
[Symbol]	PROPOSED CONTOURS
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SEWER LINE
[Symbol]	EXISTING STORM DRAIN
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING ELECTRICAL LINE
[Symbol]	FF FINISHED FLOOR
[Symbol]	F6 FINISHED GROUND
[Symbol]	FL FINISHED SURFACE
[Symbol]	FN FLOW LINE
[Symbol]	GB GRADE BREAK
[Symbol]	INV INVERT
[Symbol]	LS LANDSCAPE AREA
[Symbol]	LP LOW POINT
[Symbol]	MAX MAXIMUM
[Symbol]	FL PROPERTY LINE
[Symbol]	R/W RIGHT OF WAY
[Symbol]	TYP TYPICAL
[Symbol]	DN DRIVEWAY

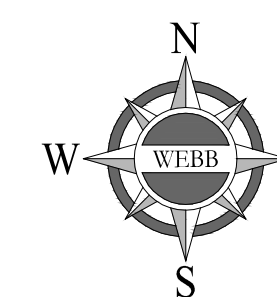
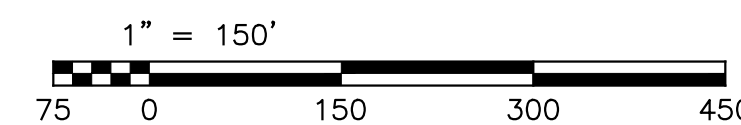
EARTHWORK ESTIMATE:

RIDER II	
CUT:	187,500 CY
FILL:	224,500 CY
SHRINKAGE:	(18,000 CY)
NET:	60,000 CY (IMPORT)

RIDER IV	
CUT:	121,370 CY
FILL:	226,460 CY
SHRINKAGE:	(16,130 CY)
NET:	115,220 CY (IMPORT)

COMBINED TOTAL: 175,220 CY (IMPORT)

*IMPORT MATERIAL TO BE OBTAINED FROM PERRIS VALLEY STORM DRAIN CHANNEL WIDENING



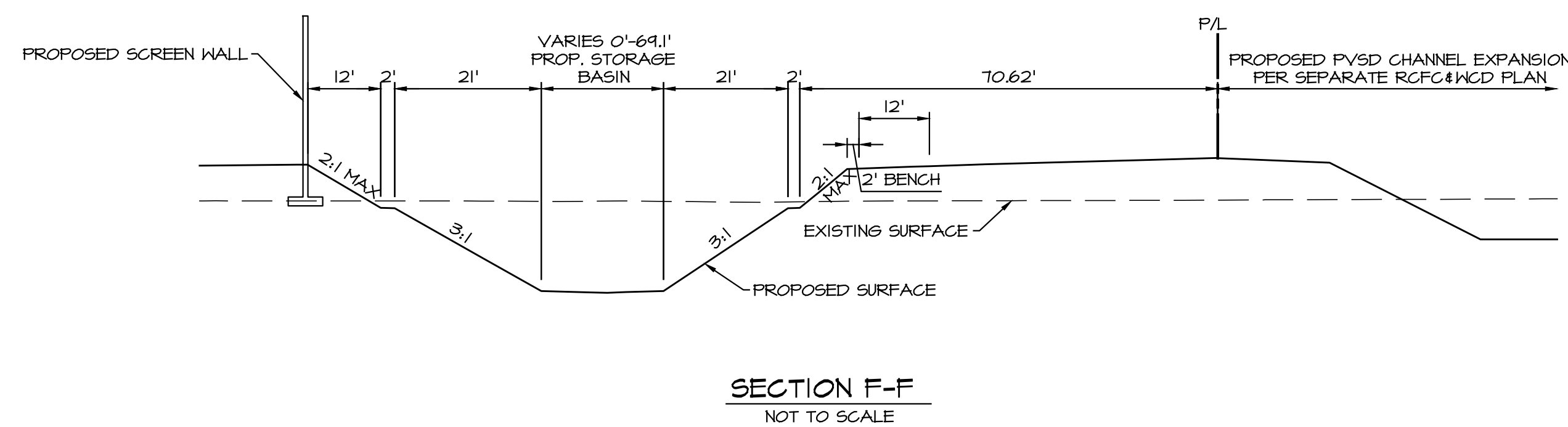
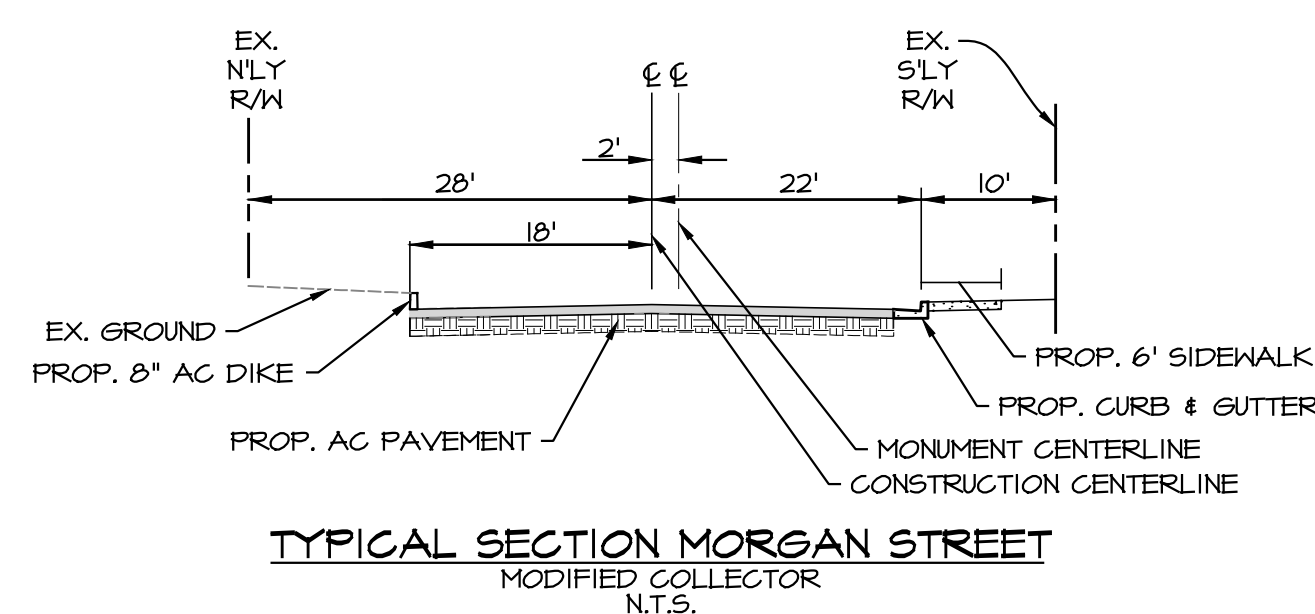
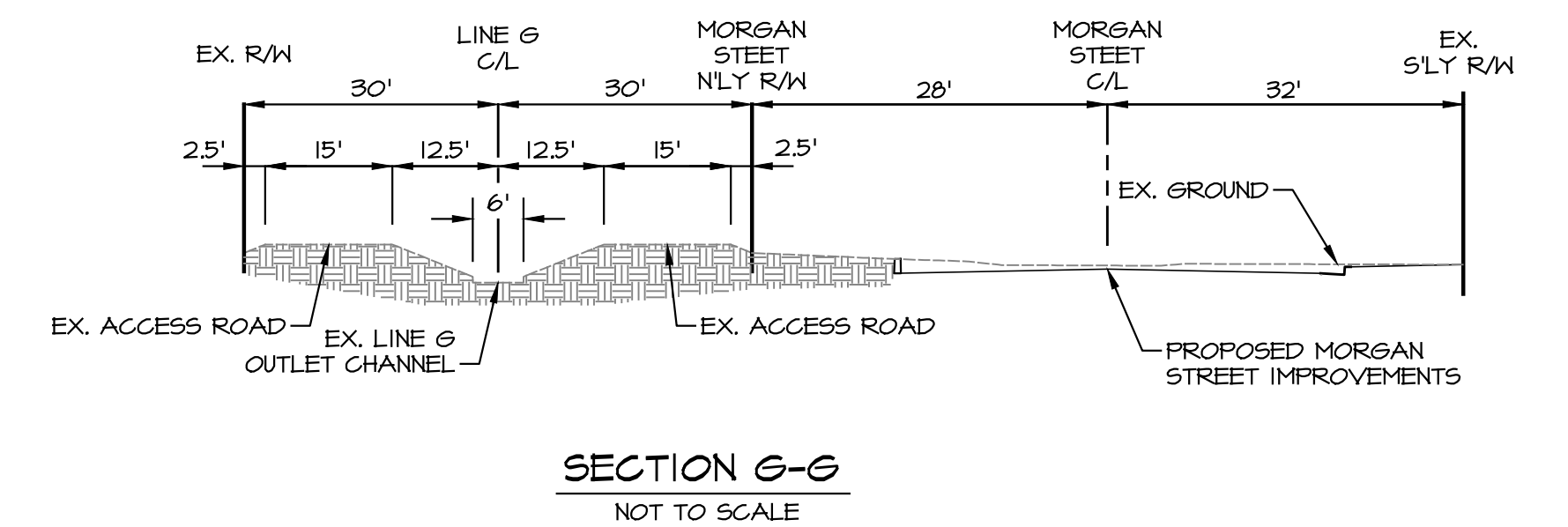
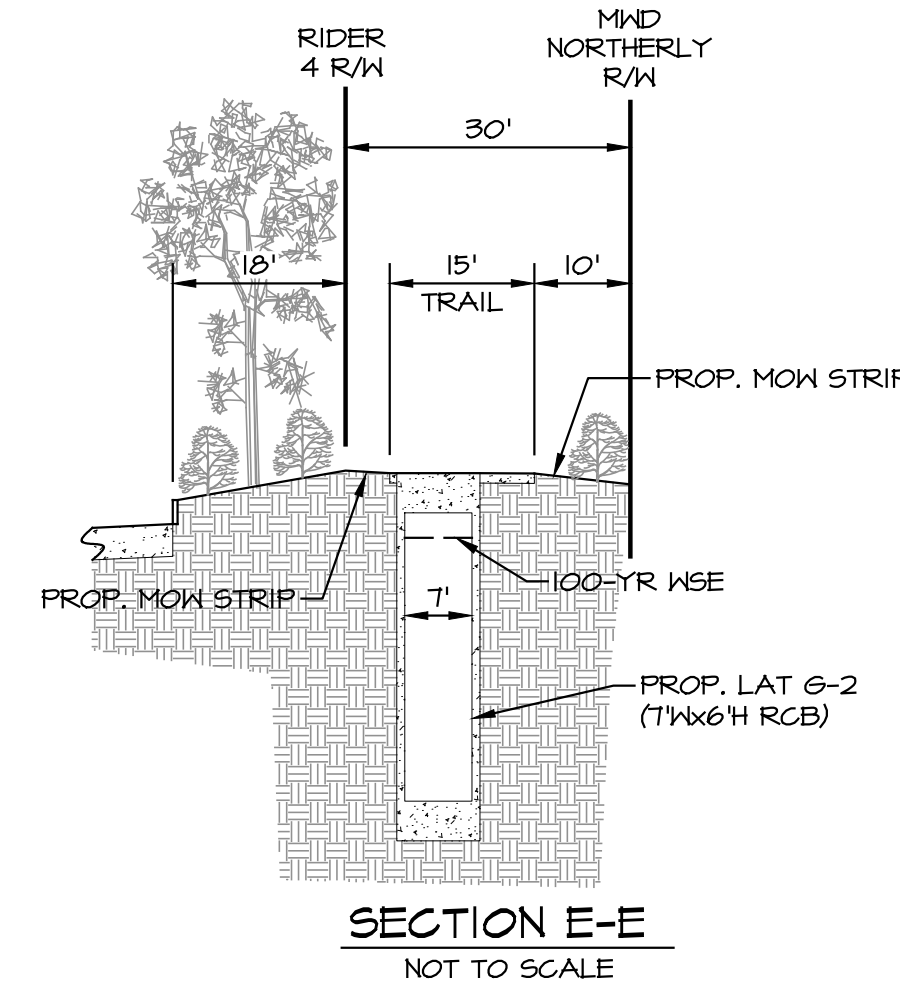
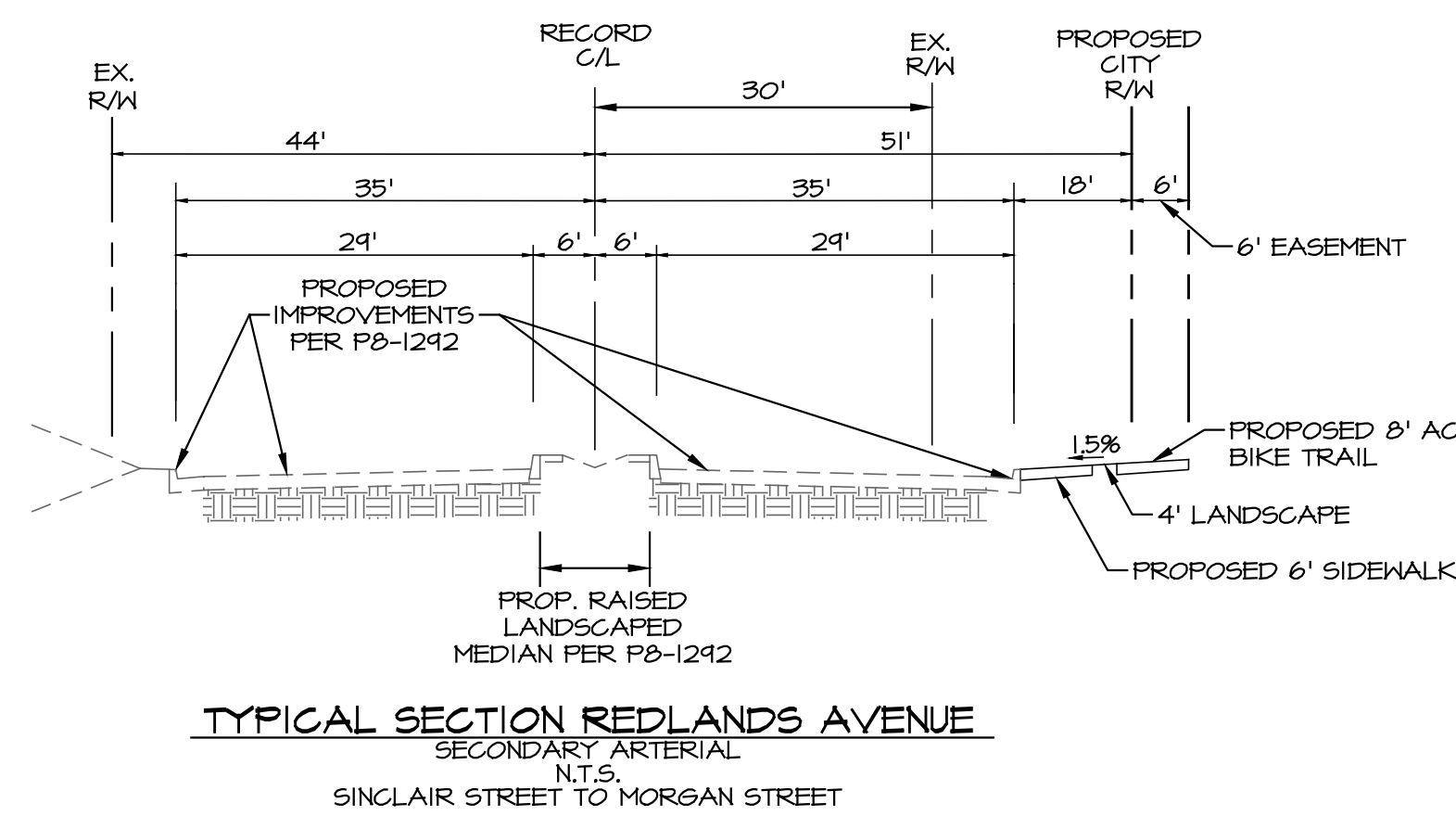
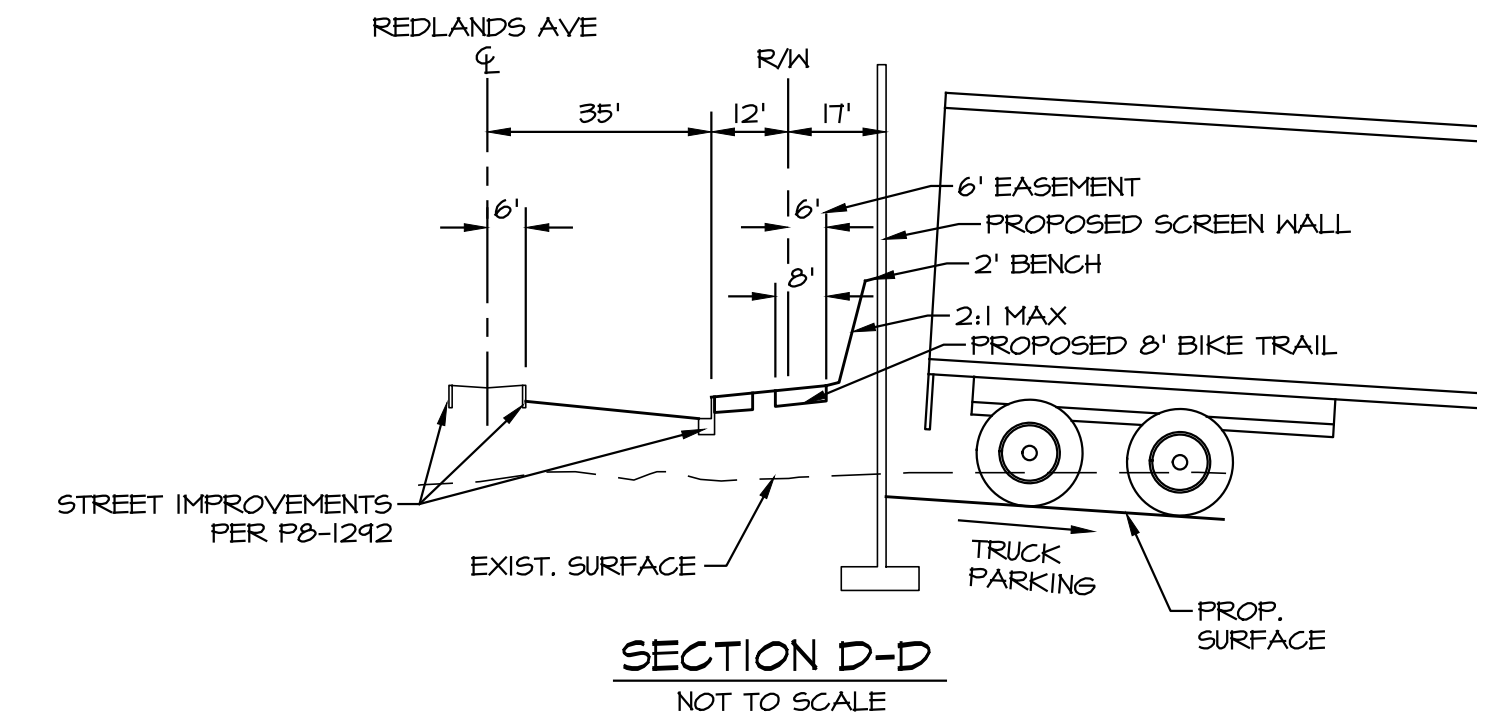
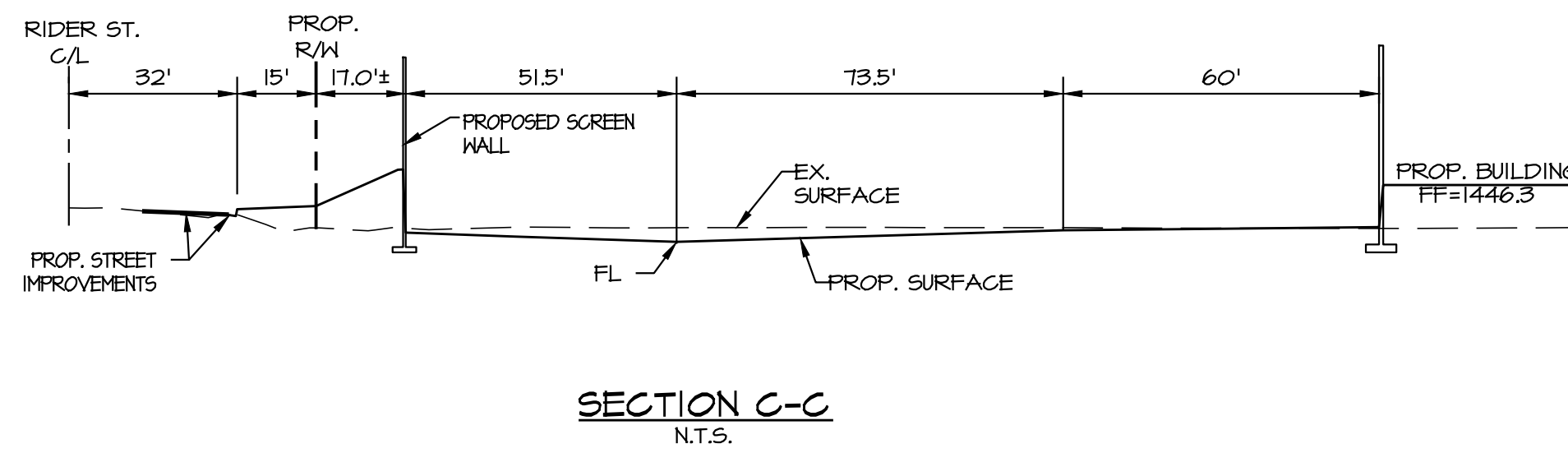
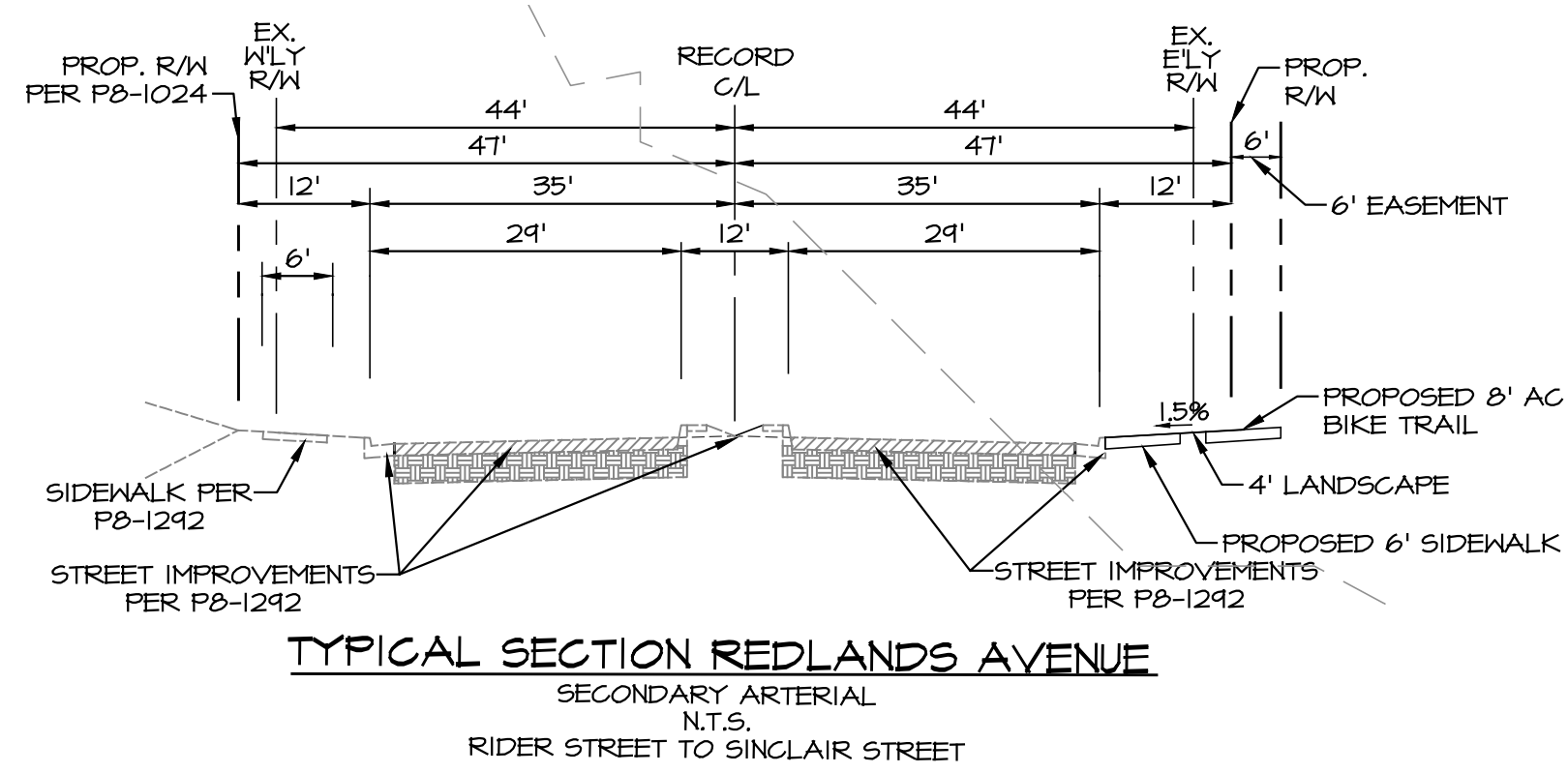
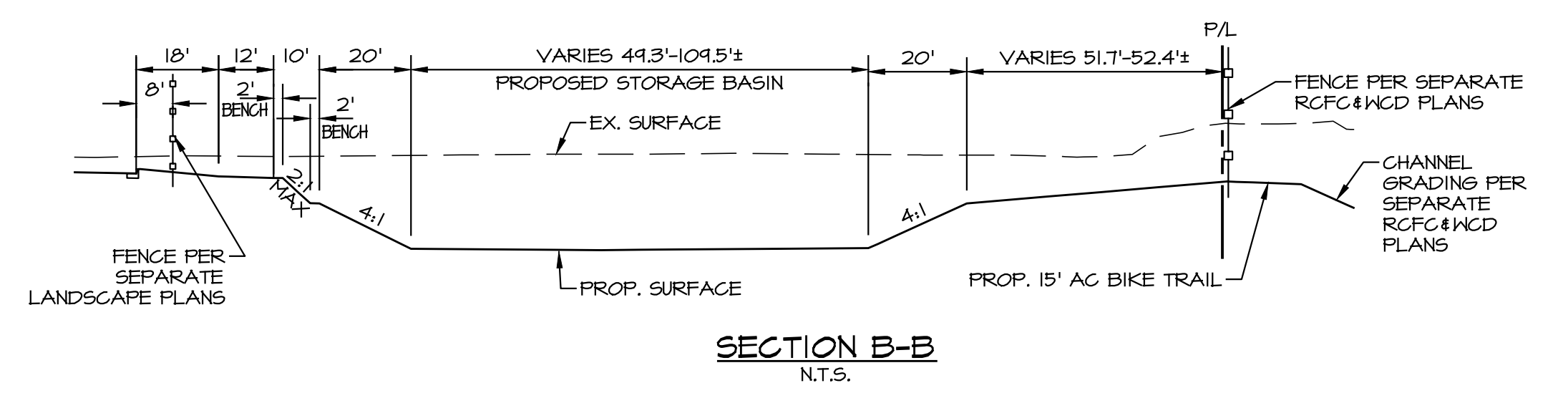
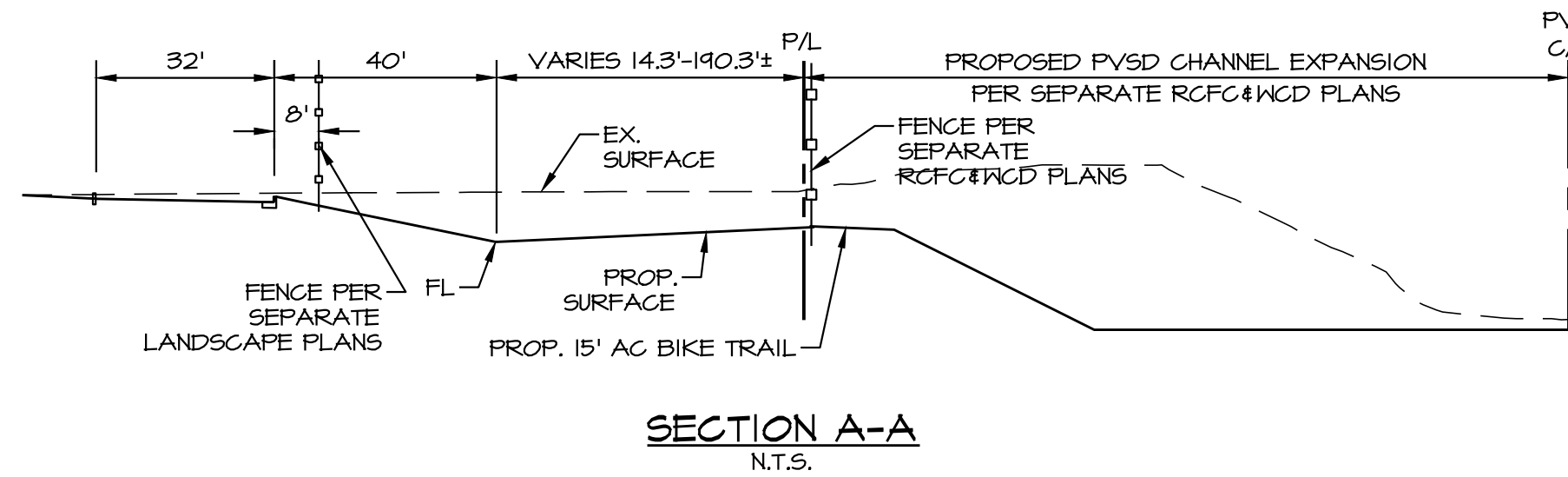
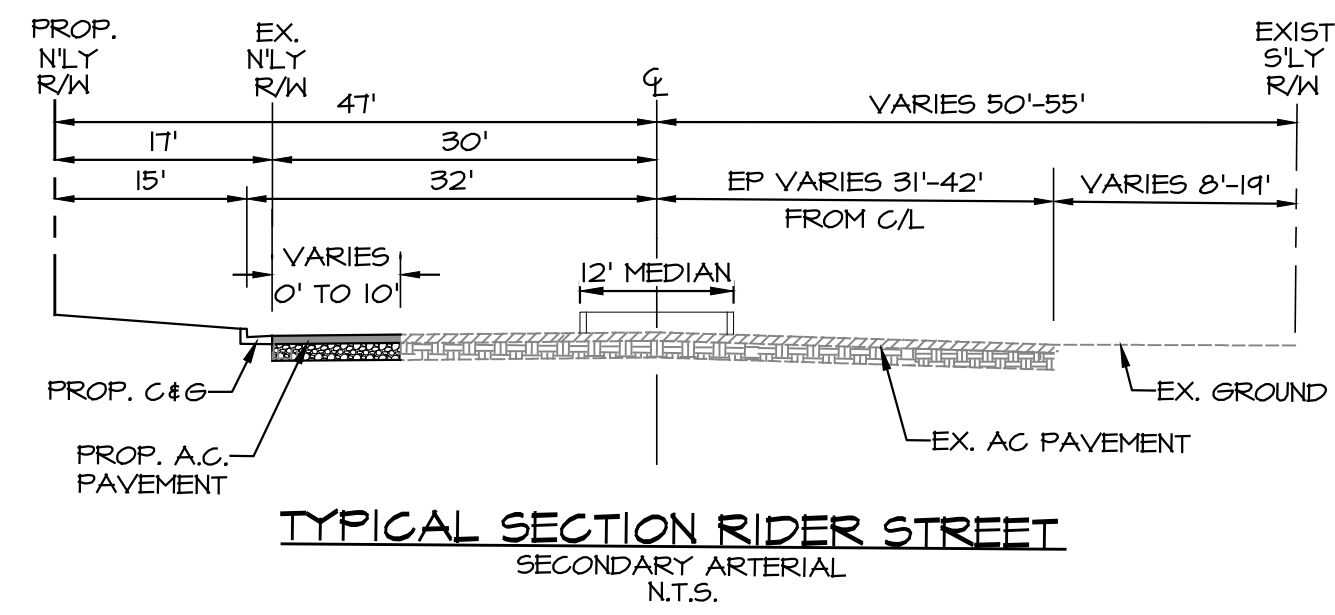
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CHECKED: SRH
PLN CK REF:
F.B.

WEBB ASSOCIATES
ENGINEERING CONSULTANTS
3788 MCGRAY STREET
RIVERSIDE, CA 92506
PH. (951) 686-1070
FAX (951) 788-1256

PLOT DATE: 5/12/21

CITY OF PERRIS
DEVELOPMENT PLAN REVIEW NO. 19-00004
IDI LOGISTICS - RIDER II & IV

NO. 2017-0357
SHEET 1
OF 4 SHEETS
DWS. NO.



LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED LANDSCAPE AREA
	PROPOSED DECORATIVE PAVEMENT
	FIRE ACCESS LANE
	ADA PATH OF TRAVEL
	SCREEN WALL
	FENCE LINE
	GRADEBREAK/RIDGELINE
	FLOWLINE
	FIRE LINE
	FIRE LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING STORM DRAIN
	EXISTING GAS LINE
	EXISTING ELECTRICAL LINE
FF	FINISHED FLOOR
F6	FINISHED GROUND
F6	FINISHED SURFACE
FL	FLOW LINE
GB	GRADE BREAK
INV	INVERT
LS	LANDSCAPE AREA
LP	LOW POINT
MAX	MAXIMUM
PL	PROPERTY LINE
R/W	RIGHT OF WAY
TYP	TYPICAL
D/W	DRIVENWAY

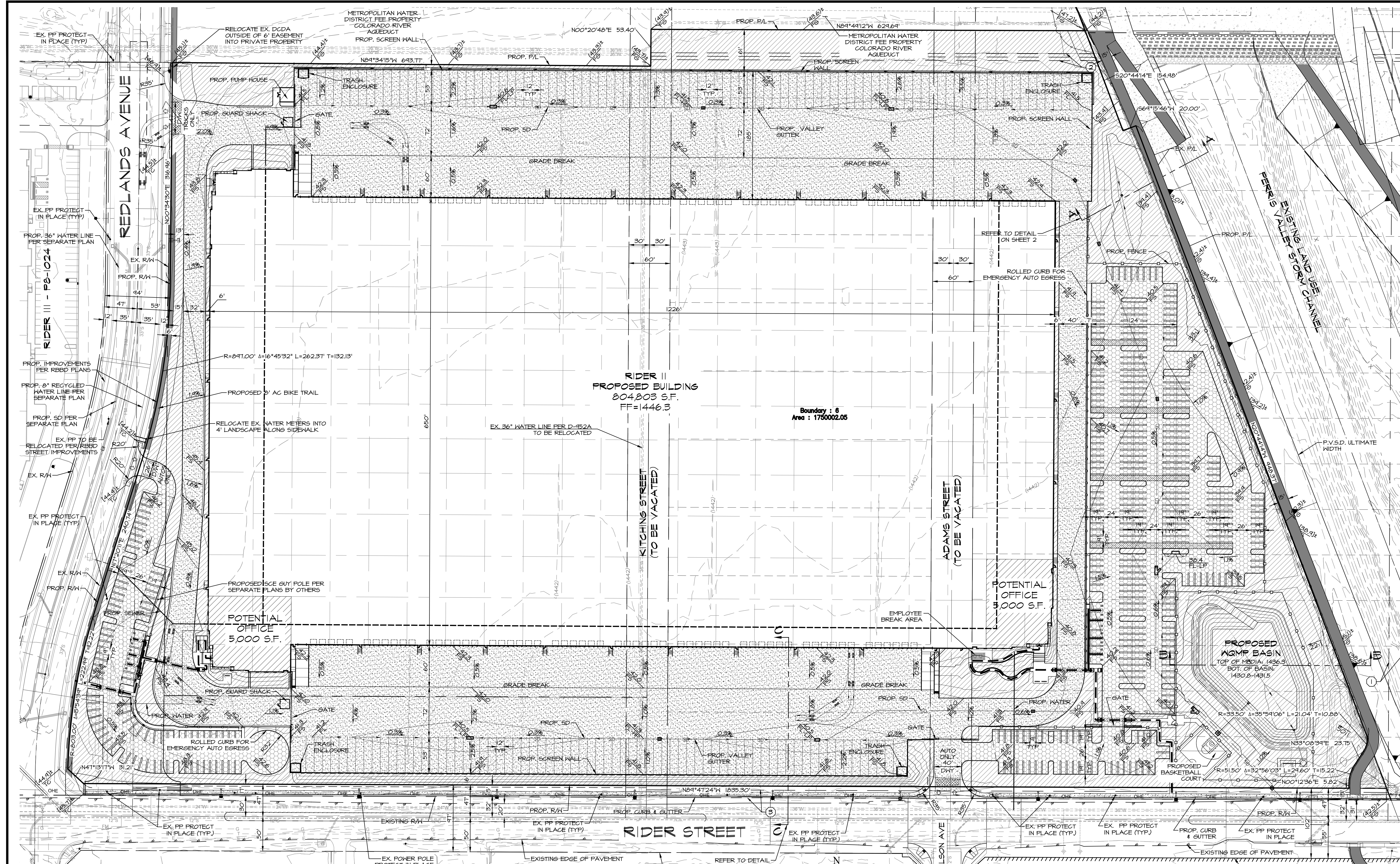
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RIVERSIDE CA, 92506
PH. (951) 686-1070
FAX (951) 788-1256

PLOT DATE: 5/12/21

CITY OF PERRIS
DEVELOPMENT PLAN REVIEW NO. 19-00004
IDI LOGISTICS - RIDER II & IV

NO. 2017-0357
SHEET 2
OF 4 SHEETS
DWS. NO.

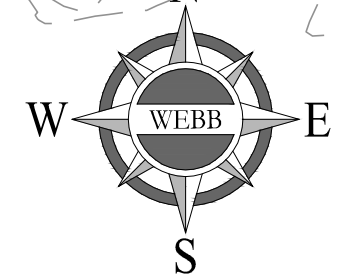
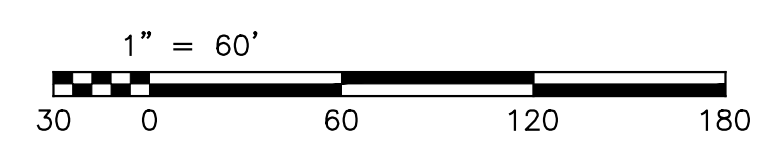


**RIDER II
PROPOSED BUILDING
804,803 S.F.
FF=1446.3**

Boundary : 6
Area : 1750002.05

RIDER III - P2-1024

- EASEMENTS**
- ① UTILITY EASEMENT GRANTED TO CALIFORNIA ELECTRIC POWER COMPANY, RECORDED NOVEMBER 20, 1952 AS INSTRUMENT NO. 44641 OF OFFICIAL RECORDS.
 - ② UTILITY EASEMENT GRANTED TO CALIFORNIA ELECTRIC POWER COMPANY, RECORDED APRIL 24, 1956 AS INSTRUMENT NO. 24006 OF OFFICIAL RECORDS.
 - ③ UTILITY EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY, RECORDED JANUARY 10, 1942 AS INSTRUMENT NO. 42-10124 OF OFFICIAL RECORDS.



SCALE: AS SHOWN
DATE: 5/12/21
DESIGNED: CV
CHECKED: SRH
PLN CK REF:
FB.

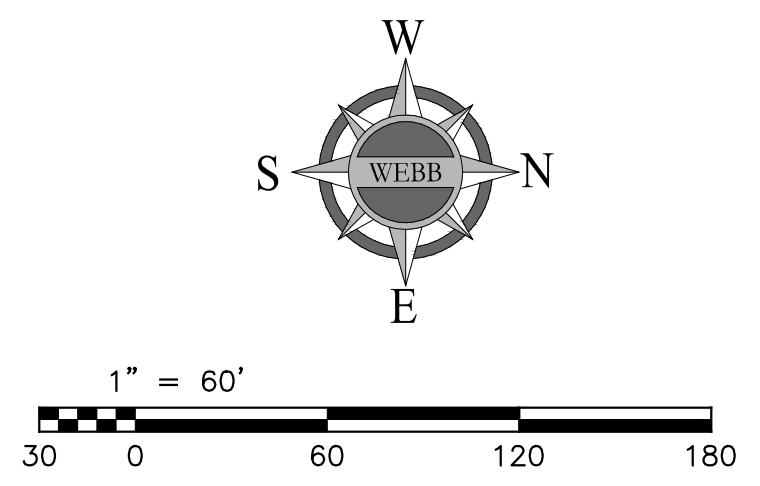
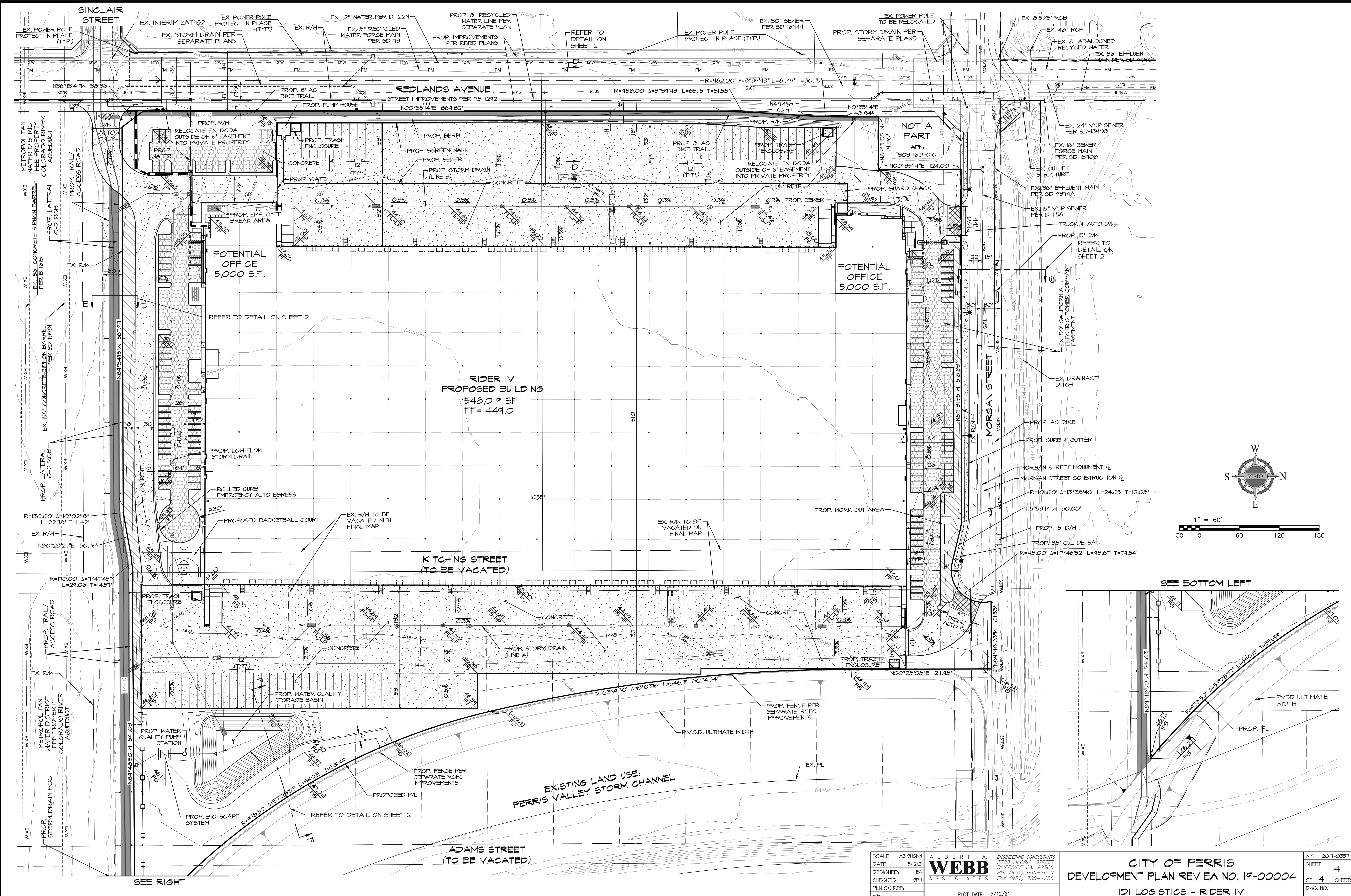
WEBB
ASSOCIATES

ENGINEERING CONSULTANTS
3788 MCGRAW STREET
RIVERSIDE CA 92506
PH. (951) 686-1070
FAX (951) 788-1256

PLT DATE: 5/12/21

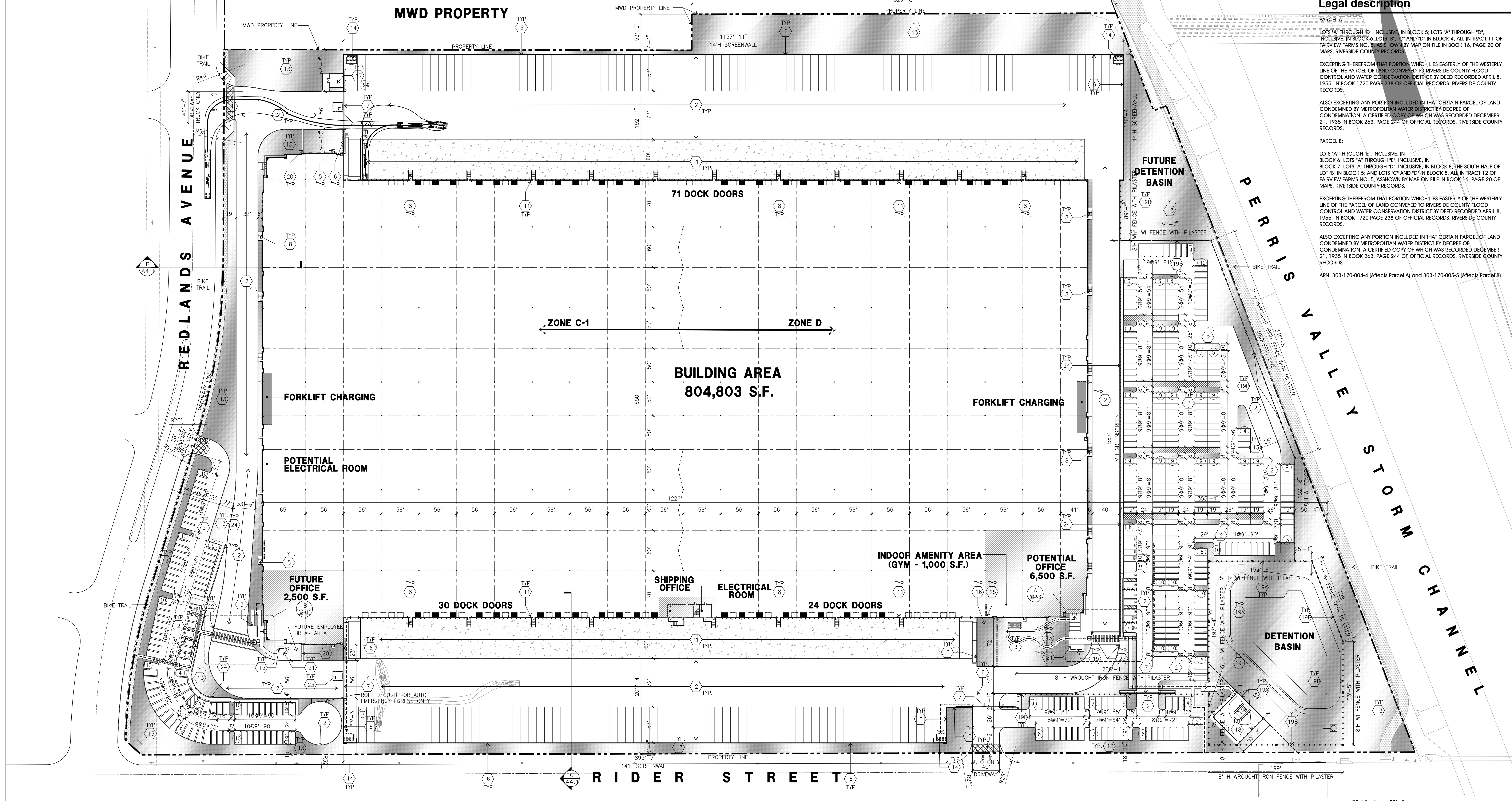
**CITY OF PERRIS
DEVELOPMENT PLAN REVIEW NO. 19-0004
IDI LOGISTICS - RIDER II**

NO. 2011-0351
SHEET **3**
OF 4 SHEETS
DWS. NO.



SCALE: AS SHOWN	ALBERT A. WEBB ASSOCIATES	ENGINEERING CONSULTANTS	CITY OF PERRIS	P.L.O. 2011-0351
DATE: 5/12/21	3788 MCGRAW STREET	RIVERSIDE, CA 92506	DEVELOPMENT PLAN REVIEW NO. 19-00004	SHEET 4
DESIGNED: EA	PH. (951) 686-1070			OF 4 SHEETS
CHECKED: SRH	FAX (951) 788-1256			DWS. NO.
PLN CK REF:			IDI LOGISTICS - RIDER IV	
FB.	PLOT DATE: 5/12/21			

© 2017-2021, Drawings/Entirement/17-355-C-PR-Plan-5/12/2021 4:29:02 PM



Legal description

PARCEL A:
 LOTS 'A' THROUGH 'D', INCLUSIVE, IN BLOCK 5, LOTS 'A' THROUGH 'D', INCLUSIVE, IN BLOCK 6, LOTS 'B', 'C' AND 'D' IN BLOCK 4, ALL IN TRACT 11 OF FAIRVIEW FARMS NO. 5, AS SHOWN BY MAP ON FILE IN BOOK 16, PAGE 20 OF MAPS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION WHICH LIES EASTERLY OF THE WESTERLY LINE OF THE PARCEL OF LAND CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT BY DEED RECORDED APRIL 8, 1955, IN BOOK 1720 PAGE 238 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS.

ALSO EXCEPTING ANY PORTION INCLUDED IN THAT CERTAIN PARCEL OF LAND CONVEYED BY METROPOLITAN WATER DISTRICT BY DEED OF CONDEMNATION, A CERTIFIED COPY OF WHICH WAS RECORDED DECEMBER 21, 1935 IN BOOK 263, PAGE 244 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS.

PARCEL B:
 LOTS 'A' THROUGH 'E', INCLUSIVE, IN BLOCK 6; LOTS 'A' THROUGH 'E', INCLUSIVE, IN BLOCK 7; LOTS 'A' THROUGH 'D', INCLUSIVE, IN BLOCK 8; THE SOUTH HALF OF LOT 'B' IN BLOCK 5; AND LOTS 'C' AND 'D' IN BLOCK 5, ALL IN TRACT 12 OF FAIRVIEW FARMS NO. 5, AS SHOWN BY MAP ON FILE IN BOOK 16, PAGE 20 OF MAPS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION WHICH LIES EASTERLY OF THE WESTERLY LINE OF THE PARCEL OF LAND CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT BY DEED RECORDED APRIL 8, 1955, IN BOOK 1720 PAGE 238 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS.

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APN: 303-170-004-4 (Affects Parcel A) and 303-170-005-5 (Affects Parcel B)

HPA architecture

hpa, inc.
 18831 bardeen avenue - ste. #100
 irvine, ca 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparchs.com

LICENSED ARCHITECT
 9-31-21
 RENEWAL DATE

Owner:
 Overall Site Plan

IDI Logistics

IDI Logistics
 840 Apollo Street, Suite 343
 El Segundo, CA 90245
 tel: 213-330-8030

Project:
 RIDER 2

TBD
 PERRIS, CA

Consultants:

CIVIL: WEBB ASSOCIATES
 STRUCTURAL: HSA
 MECHANICAL: RPM
 PLUMBING: RPM
 ELECTRICAL: EIE
 LANDSCAPE: WEBB
 FIRE PROTECTION: GUPP
 SOILS ENGINEER: GUPP

Property owner
 IDI Logistics
 840 Apollo Street, Suite 343
 El Segundo, CA 90245
 949-351-7243

Address of the property
 TBD, Perris CA

Assessor's Parcel Number
 303-170-004-4
 303-170-005-5

Zoning
 PERRIS VALLEY COMMERCE CENTER SPECIFIC PLAN—LIGHT INDUSTRIAL

Applicant
 IDI Logistics
 840 Apollo Street, Suite 343
 El Segundo, CA 90245
 949-351-7243

Applicant's representative
 HPA, INC.
 18831 BARDEEN AVE SUITE 100
 IRVINE, CA 92612
 TEL: 949-862-2116
 ATTN: STEVE HONG

- SITE PLAN KEYNOTES**
- HEAVY BROOM FINISH CONC. PAVEMENT
 - ASPHALT CONCRETE (AC) PAVING.
 - CONCRETE WALKWAY, MEDIUM BROOM FINISH.
 - DRIVEWAY APRONS TO BE CONSTRUCTED
 - 24" O.C. CROSS SAW CUT LIGHT SANDBLAST FINISH.
 - 5'-6" X 5'-6" X 4" MIN. THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPE AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY W/ 1:20 MAX. AS REQ. BY CITY INSPECTOR.
 - 14" H CONCRETE TILT-UP SCREEN WALL
 - PROVIDE 8" H TUBE STEEL, MANUALLY OPERATED GATES WITH KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. GATE TO BE DESIGNED FOR 90 MPH WIND LOAD, EXPOSURE "C". CONTRACTOR TO DESIGN & DETAIL GATES.
 - CONCRETE STAIRS.
 - TRANSFORMER.
 - FIRE HYDRANT W/ CONC. FILLED STEEL GUARD POSTS
 - INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
 - EXTERIOR PARKING LIGHT POLE.
 - LANDSCAPE. SEE "L" DWGS. LANDSCAPE AREAS INDICATED BY SHADED PATTERN.
 - COVERED TRASH ENCLOSURE E/DAB-A4.1
 - BICYCLE RACKS
 - OUTDOOR PATIO, EMPLOYEE BREAK AREA, F/DAB-A4.1
 - PUMP HOUSE
 - BASKETBALL HALF COURT
 - 5" H WROUGHT IRON FENCE WITH PILASTER @ 100' O.C. MAX
 - 8" H WROUGHT IRON FENCE WITH PILASTER @ 100' O.C. MAX
 - U CHANNEL FOR DRAINAGE
 - SMOKING AREA.
 - CROSSWALK SIGN.
 - GUARD HOUSE.
 - 4" H WROUGHT IRON FENCE

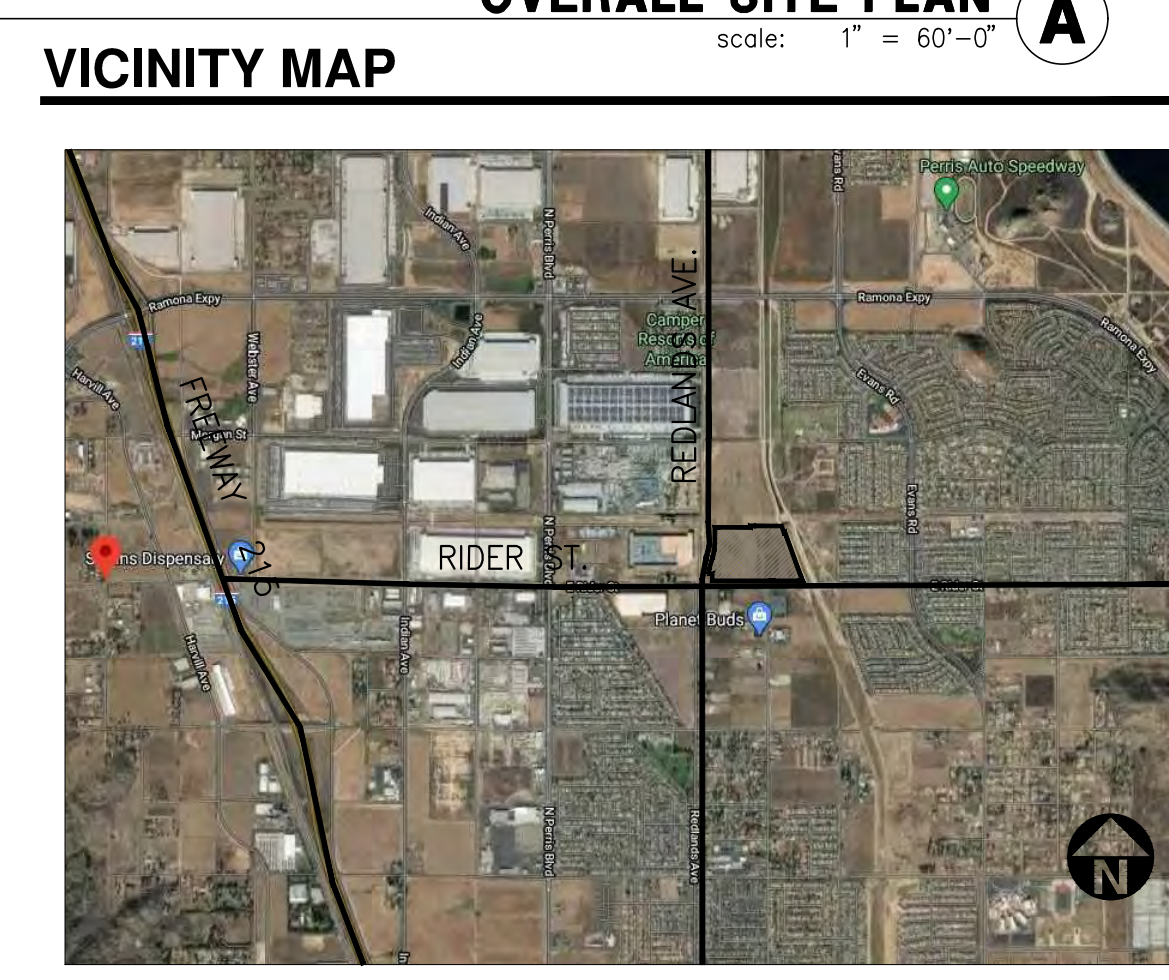
- GENERAL NOTES - SITE PLAN**
- THE SOILS REPORT PREPARED BY SOCAL GEO PROJ. NO. _____ DATED ON _____ SHOULD BE A PART OF THESE CONTRACT DOCUMENTS.
 - IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORING FOR ALL SITE CONCRETE.
 - ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
 - SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DETAILS ON SHEET AD.1 ARE MINIMUM STANDARDS.
 - THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM. PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION.
 - SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
 - PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
 - CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
 - SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
 - CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" LA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "L" DRAWINGS FOR FINISH.
 - PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT
 - CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
 - ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
 - LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
 - APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT
 - WITHIN ZONES C-1 AND D, RESTRICTION APPLY AND CONDITIONS OF APPROVAL WILL BE APPLIED TO ADDRESS DEVELOPMENT IN THESE ZONES.

SITE LEGEND

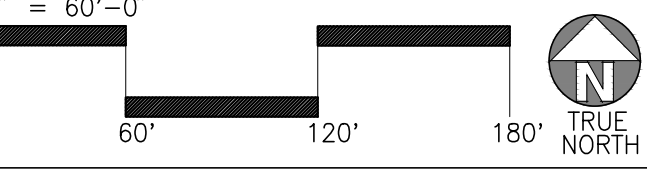
[Symbol]	LANDSCAPED AREA	[Symbol]	LIGHT STANDARD
[Symbol]	AC. PAVING - SEE "C" DWGS. FOR THICKNESS	[Symbol]	EXISTING PUBLIC FIRE HYDRANT
[Symbol]	CONCRETE PAVING SEE "C" DWGS. FOR THICKNESS	[Symbol]	PRIVATE FIRE HYDRANT - APPROXIMATE LOCATION
[Symbol]	CHAIN LINK FENCE	[Symbol]	PEDESTRIAN WALKWAY WITH LED WARNING LIGHT
[Symbol]	PROPERTY LINE	[Symbol]	CATCH BASIN, APPROX. LOCATION. SEE CIVIL DWGS.
[Symbol]	STANDARD PARKING STALL (9' X 19')	[Symbol]	WATER LINE SEE CIVIL DWGS
[Symbol]	HANDICAP PARKING STALL (9' X 19')	[Symbol]	GAS LINE SEE CIVIL DWGS
[Symbol]	PATH OF TRAVEL	[Symbol]	SEWER LATERAL SEE CIVIL DWGS.
[Symbol]	TRAIL/MAINTENANCE ROAD	[Symbol]	BIKE TRAIL, SEE CIVIL DRAWING FOR WIDTH
[Symbol]	CROSS WALK WITH WARNING LED LIGHTS		

PROJECT DATA

SITE AREA	1,721,000 s.f.
Net in s.f.	99,510 ac
BUILDING AREA	6,800 s.f.
Office - ground level	773 s.f.
Warehouse	797,000 s.f.
TOTAL	803,576 s.f.
COVERAGE	40.8%
PARKING REQUIRED**	
Warehouse	20 stalls
1 to 20,000 s.f. @ 1/1,000 s.f.	10 stalls
20,001 s.f. to 40,000 s.f. @ 1/2,000 s.f.	154 stalls
Over 40,001 s.f. @ 1/5,000 s.f.	194 stalls
TOTAL	238 stalls
AUTO PARKING PROVIDED	
standard (9'x19')	371 stalls
accessible standard (9'x19')	7 stalls
accessible van (12'x19')	2 stalls
EV/CS standard (future, 9'x19')	23 stalls
EV/CS accessible standard (future, 9'x19')	2 stalls
EV/CS accessible van (future, 12'x19')	1 stall
clean air (vanpool) / EV (9'x19')	9 stalls
TOTAL	416 stalls
TRAILER PARKING PROVIDED	144 stalls
Scale: (12x30)	
BIKE PARKING REQUIRED	
short term bike parking	23
long term bike parking	23
BIKE PARKING PROVIDED	
short term bike parking	27
long term bike parking	27
Maximum Building Height allowed	50'
Maximum F.A.R. Allowed	0.75
Maximum Coverage allowed	1
Zoning Ordinance for City	50%
 setbacks	
Frontstreet building setback at secondary arterial - 15'	
rear/side building setback - none	
Note	
**Net area is based on street R.O.W.	
**Office area is less than 10% of office area and does not require separate parking count.	
Landscape Area Required	206,530 s.f.
12% of site area except truck yards	
Landscape Area Provided	228,861 s.f.
Area	138.1%
Percentage	



OVERALL SITE PLAN
 scale: 1" = 60'-0"
 A

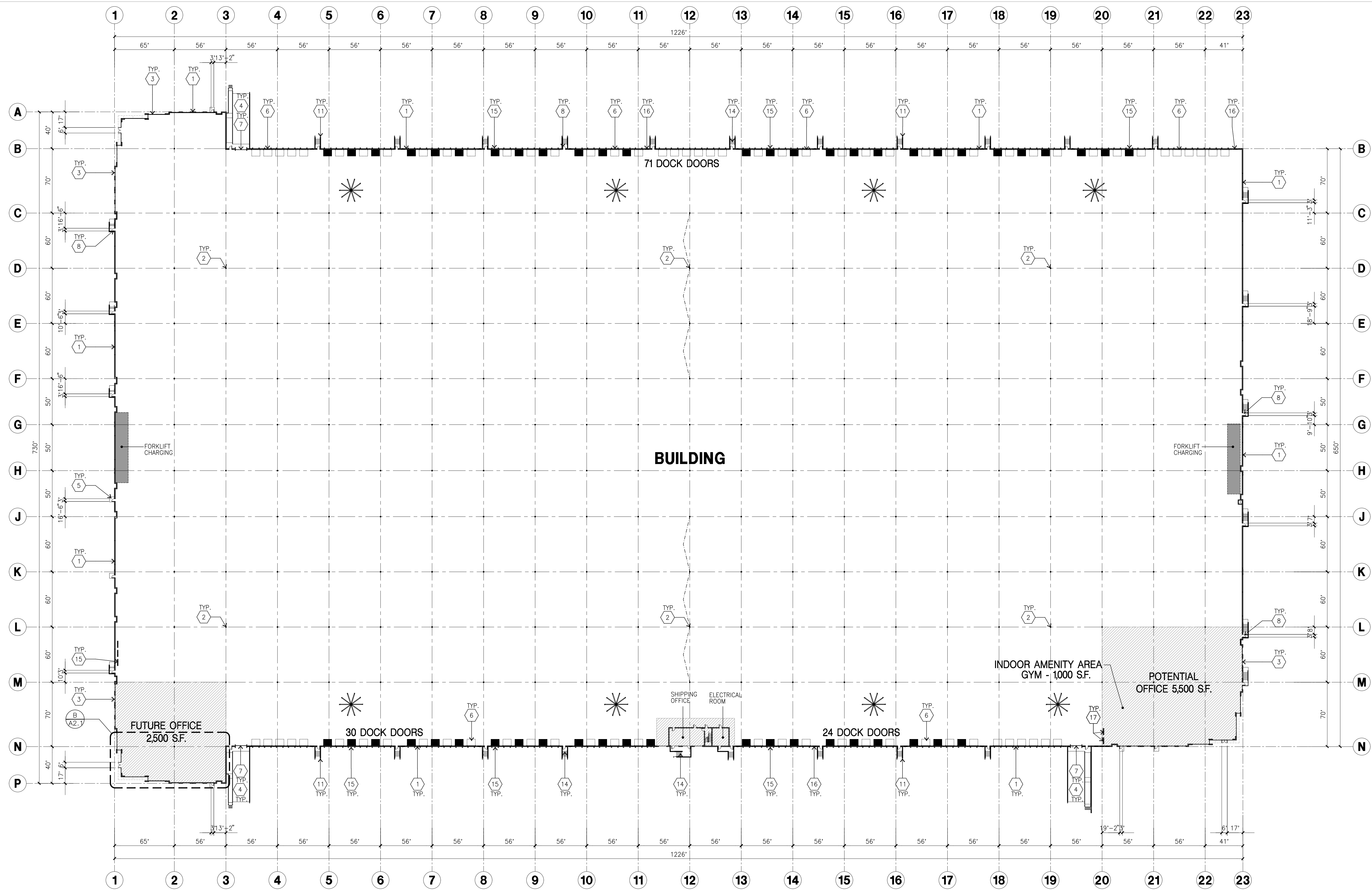


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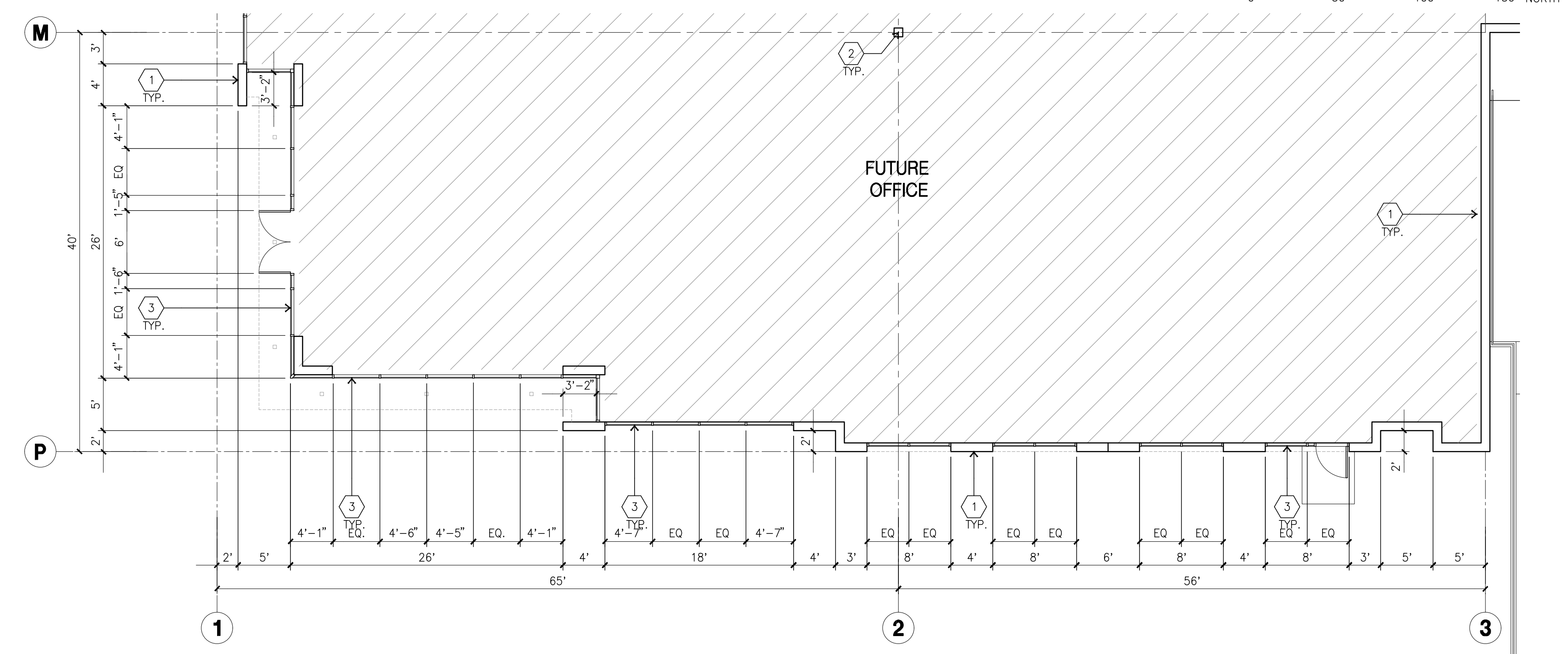
Project Number: 17131
 Drawn by: S.H.
 Date: 03/27/20
 Revision:

Sheet:
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OFFICIAL USE ONLY



OVERALL FLOOR PLAN
 scale: 1" = 50'-0"
 A



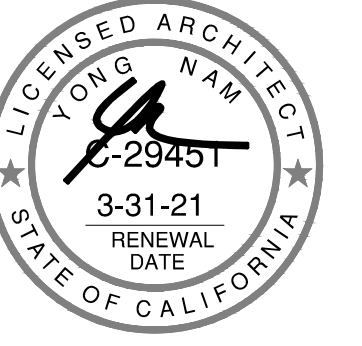
ENLARGED FLOOR PLAN
 scale: 1/8" = 1'-0"
 B

- KEYNOTES - FLOOR PLAN**
- 1 CONCRETE TILT-UP PANEL.
 - 2 STRUCTURAL STEEL COLUMN.
 - 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
 - 4 CONCRETE RAMP
 - 5 5'-6"X5'X4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
 - 6 9'X10' INSULATED TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
 - 7 12'X14' DRIVE THRU, VERTICAL LIFT, STANDARD GRADE.
 - 8 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
 - 9 SOFFIT ABOVE
 - 10 ROOF ACCESS LADDER
 - 11 CONC. FILLED GUARD POST. 6" DIA. UNO 42"H.
 - 12 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER
 - 13 EMPLOYEE AMENITIES: BREAK ROOM & COFFEE BAR W/INTERNET ACCESS
 - 14 EXTERIOR CONCRETE STAIR
 - 15 DOCK BUMPER WITH DOCK LEVELER
 - 16 METAL LOUVER
 - 17 BIKE RACK

- GENERAL NOTES - FLOOR PLAN**
- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPERATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
 - B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
 - C. THE BUILDING FLOOR SLAB SLOPES 1/2", SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
 - D. FLOOR SLAB SHALL BE SEALED WITH LAPOLIDITH MANUFACTURER: SONOBORN) OR APPROVED EQUAL.
 - E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE GREY PRIMER ONLY. ALL CYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
 - F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
 - G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
 - H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
 - I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
 - J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.



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Project:

RIDER 2

TBD
 PERRIS, CA

Consultants:

CIVIL	WEBB ASSOCIATES
STRUCTURAL	HSA
MECHANICAL	RPM
PLUMBING	RPM
ELECTRICAL	EIE
LANDSCAPE	WEBB
FIRE PROTECTION	GUPP
SOILS ENGINEER	-

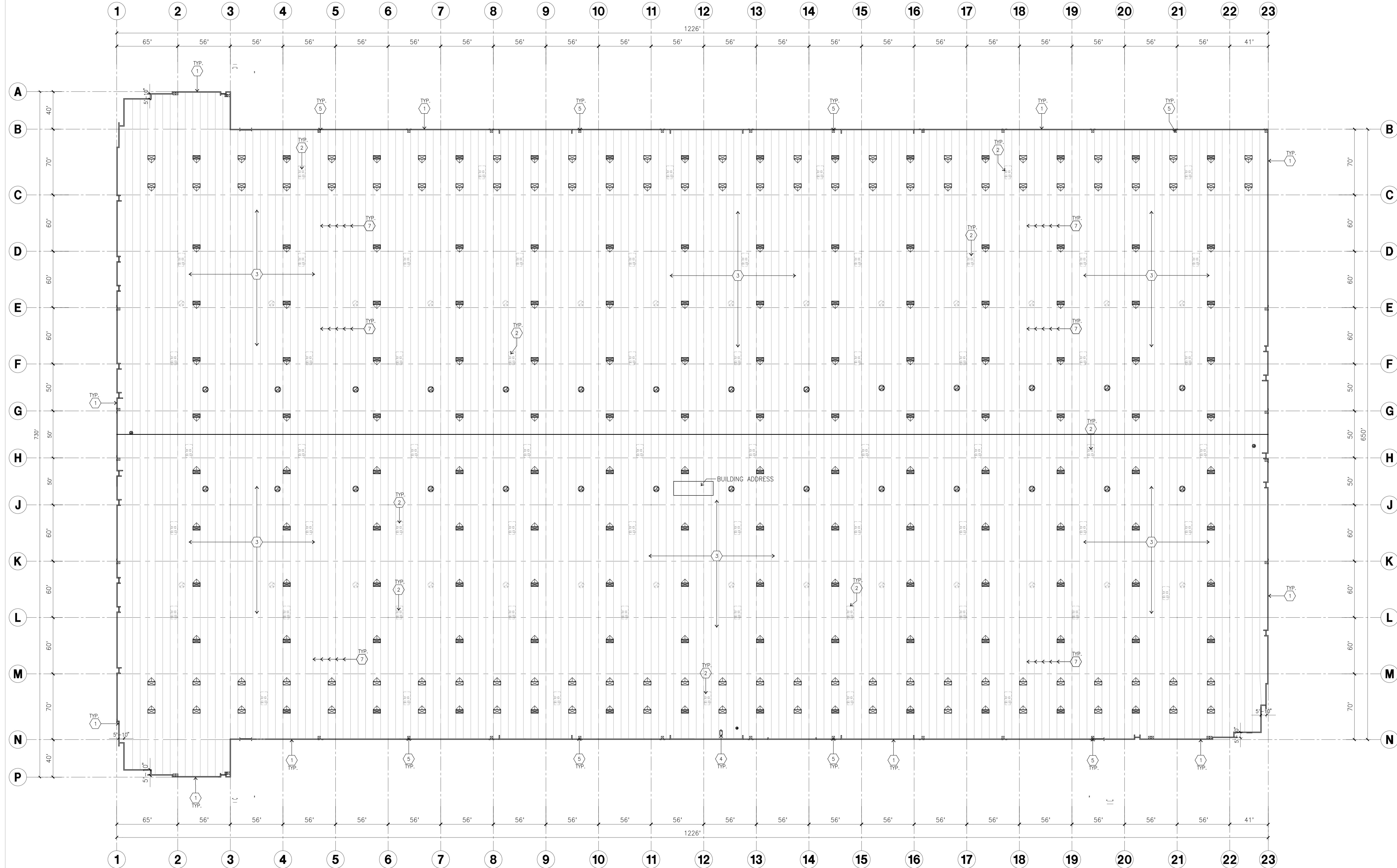
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Project Number: 17131
 Drawn by: S.H.
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ROOF PLAN GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, GRIDLINE, OR FACE OF STUD. (U.N.O.)
- B. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT.) PRIOR TO ROOF INSULATION INSTALLATION.
- C. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
- D. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
- E. FOR TYP. ROOF PENETRATIONS, SEE DETAIL 6, 9, 10/AD.3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
- F. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
- G. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS. LOCATIONS ON DRAWINGS ARE APPROXIMATE.
- H. ALL SKYLIGHTS TO BE DESIGNED FOR 110 M.P.H., EXPOSURE "C" W/ STRONGER FRAMES, SUPPORTS AND DOMES. MANUFACTURER TO CONFIRM IN WRITING.
- I. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
- J. NOT USED
- K. PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN.).

- L. ROOFING TO BE DESIGNED FOR I 90
- M. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.
- Q. WHITE SCRIM FOIL INSULATION UNDER ENTIRE ROOF DECK (ADD ALTERNATE)
- S. ROOF DRAINS, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS
- T. ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.

ROOF PLAN KEYNOTES

- 1 CONCRETE PARAPET.
- 2 FUTURE 25T GAS / ELECTRIC POWER AIR CONDIONING UNIT
- 3 SINGLE PLY 60 MIL TPO OVER DEN'S-DECK WITH (2) 4" RIGID INSULATION
- 4 ROOF HATCH.
- 5 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 6 PARAPET RETURN.
- 7 STRUCTURAL JOIST.

ROOF LEGEND

- 4' X 8' CURB MOUNTED SKYLIGHTS
- 4' X 8' CURB MOUNTED SMOKE HATCHES
- BUILDING PARAPET LINE
- 30' X 54' ROOF HATCH



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Owner:
Overall Roof Plan

IDI Logistics

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Project:

RIDER 2

TBD
PERRIS, CA

Consultants:

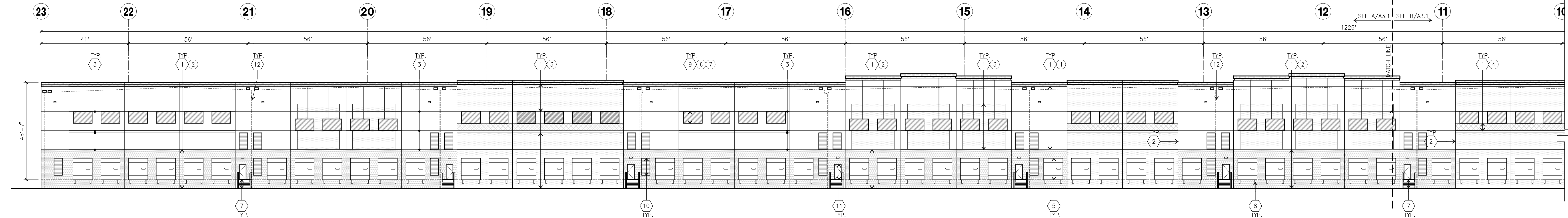
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|-----------------|-----------------|
| CIVIL | WEBB ASSOCIATES |
| STRUCTURAL | HSA |
| MECHANICAL | RPM |
| PLUMBING | RPM |
| ELECTRICAL | EIE |
| LANDSCAPE | WEBB |
| FIRE PROTECTION | GUPP |
| SOILS ENGINEER | - |

Title: Overall Roof Plan

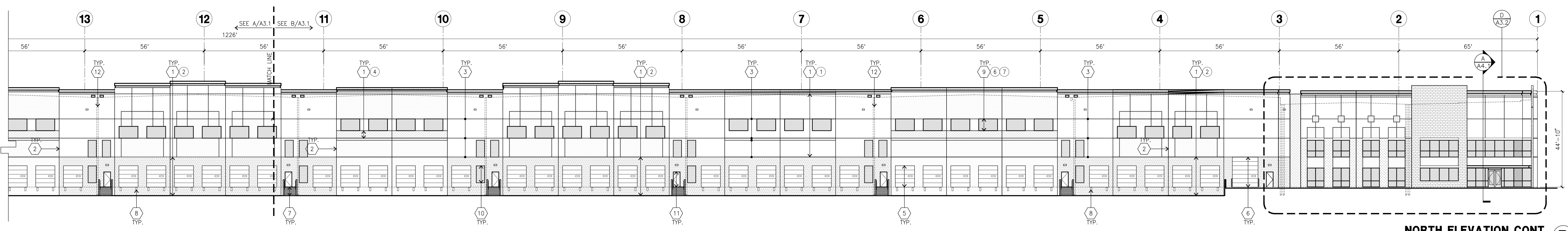
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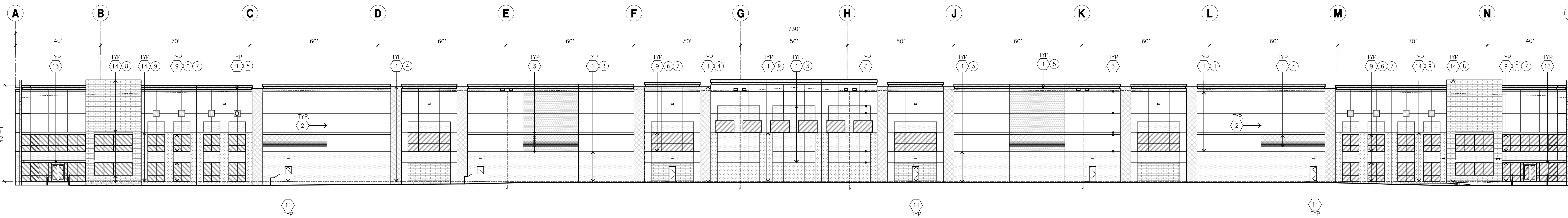
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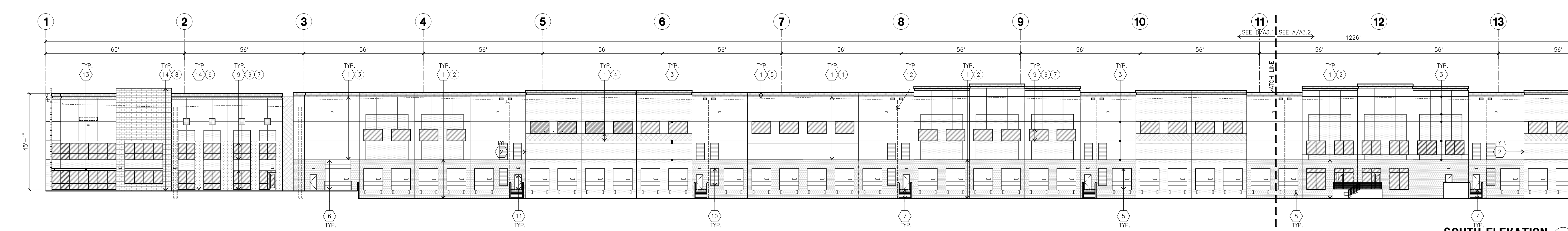
NORTH ELEVATION
scale: 1" = 20'-0"



NORTH ELEVATION CONT.
scale: 1" = 20'-0"



WEST ELEVATION
scale: 1" = 20'-0"



SOUTH ELEVATION
scale: 1" = 20'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD INSULATED DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 13 EXTERIOR CANOPY.
- 14 CORONADO STONE VENEER.

COLOR SCHEDULE - ELEVATIONS

1	CONCRETE TILT-UP PANEL	PANT BRAND	FRAZEE 8780 CRYSTAL BALL
2	CONCRETE TILT-UP PANEL	PANT BRAND	FRAZEE 8532W LIGHT SHOWERS
3	CONCRETE TILT-UP PANEL	PANT BRAND	FRAZEE CL3024M LA MANCHA
4	CONCRETE TILT-UP PANEL	PANT BRAND	FRAZEE CL3025D FESTIVAL
5	CONCRETE TILT-UP PANEL	PANT BRAND	FRAZEE 88250 JACARANDA BROWN
6	GLAZING	COLOR	GRAYTILE TINTED
7	MULLIONS	FINISH	CLEAR ANODIZED
8	CORONADO STONE VENEER & CAP/TRIM	MODEL NAME	SLMTECH-NATURAL
9	CORONADO STONE VENEER & CAP/TRIM	MODEL NAME	PAIRIE STONE
		MODEL NAME	MOCHA GRANITE

GLAZING LEGEND

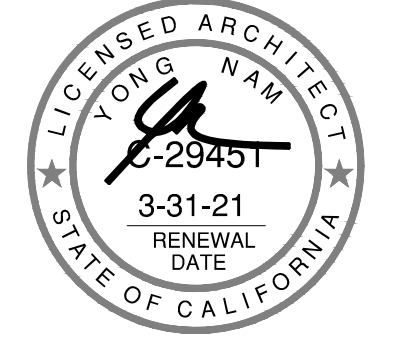
- TEMPERED VISION GLASS
 - TEMPERED SPANDREL GLASS
- ALL GLASS TO BE NON-REFLECTIVE

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



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Owner:
Elevations

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RIDER 2

TBD
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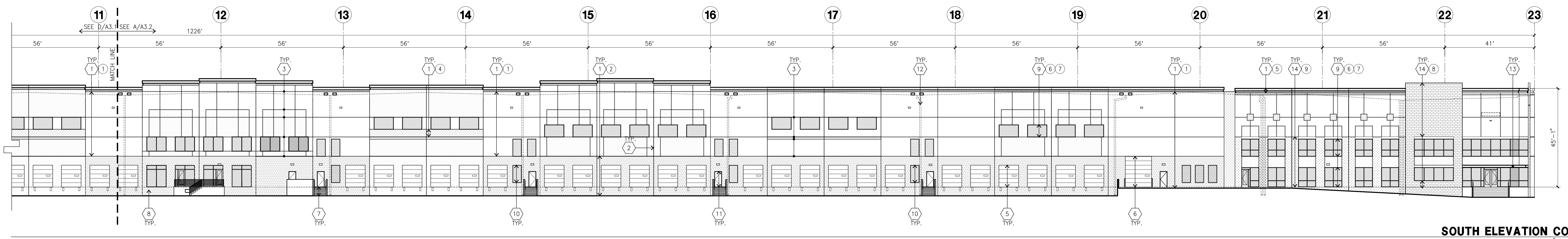
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Drawn by: S.H.
Date: 03/27/20
Revision:

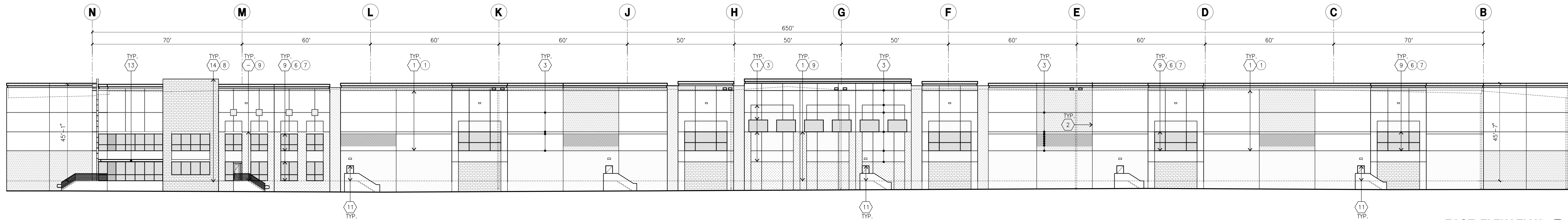
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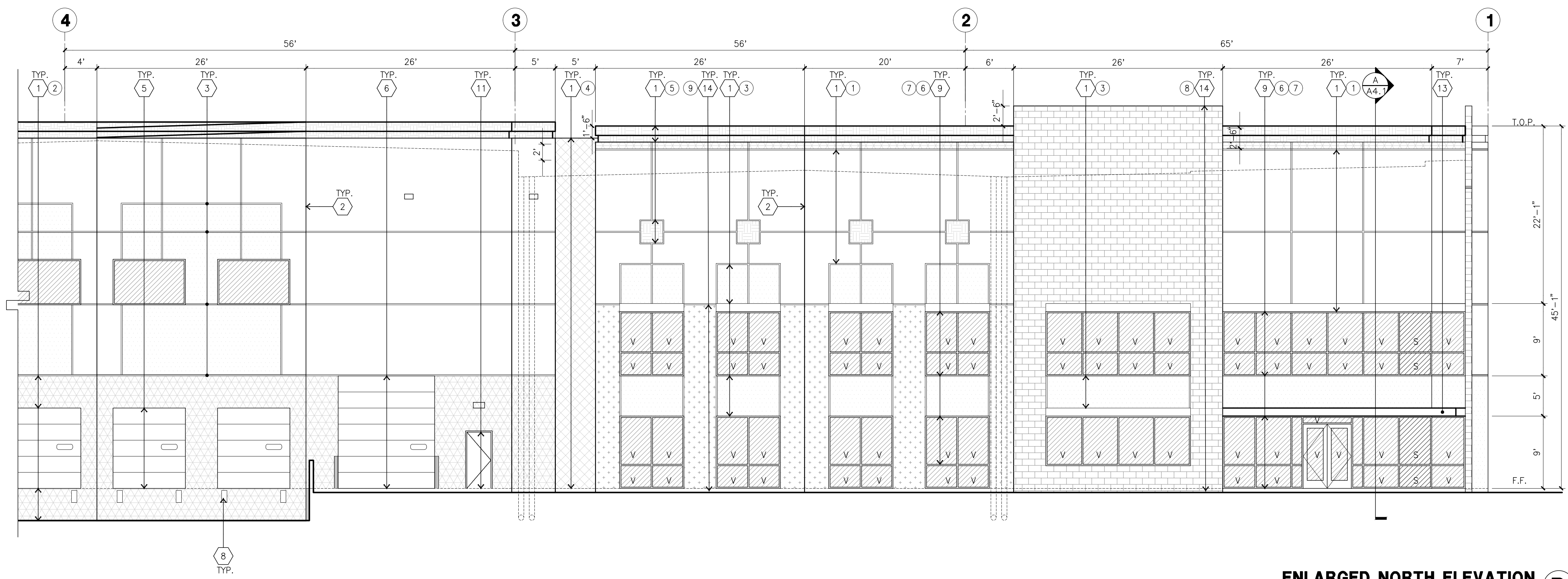
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SOUTH ELEVATION CONT. A
scale: 1" = 20'-0"



EAST ELEVATION B
scale: 1" = 20'-0"



ENLARGED NORTH ELEVATION D
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD INSULATED DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
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- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 13 EXTERIOR CANOPY.
- 14 CORONADO STONE VENEER.

COLOR SCHEDULE - ELEVATIONS

Symbol	Material	Paint Brand	Color
1	CONCRETE TILT-UP PANEL	FRATZEE 8780 CRYSTAL BALL	
2	CONCRETE TILT-UP PANEL	FRATZEE 8532W LIGHT SHOWERS	
3	CONCRETE TILT-UP PANEL	FRATZEE CL3024M LA MANCHA	
4	CONCRETE TILT-UP PANEL	FRATZEE CL3025D FESTIVAL	
5	CONCRETE TILT-UP PANEL	FRATZEE 8825D JACARANDA BROWN	
6	GLAZING	GRAYTILE TINTED	
7	MULLIONS	FINISH	CLEAR ANODIZED
8	CORONADO STONE VENEER & CAP/TRIM	MODEL NAME	ELEGANZA TILE SLIMTECH-NATURAL
9	CORONADO STONE VENEER & CAP/TRIM	MODEL NAME	PRAIRIE STONE MOCHA GRANITE

GLAZING LEGEND

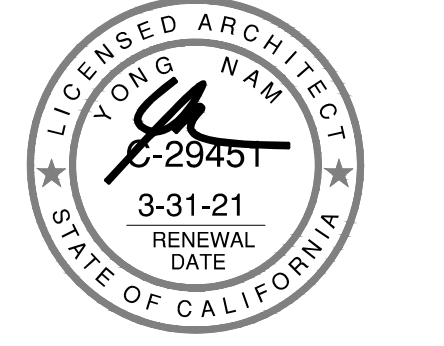
Symbol	TEMPERED VISION GLASS	Symbol	TEMPERED SPANDREL GLASS
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GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



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Owner:
Elevations

IDI Logistics

IDI Logistics
840 Apollo Street, Suite 343
El Segundo, CA 90245
tel: 213-330-8030

Project:

RIDER 2

TBD
PERRIS, CA

Consultants:

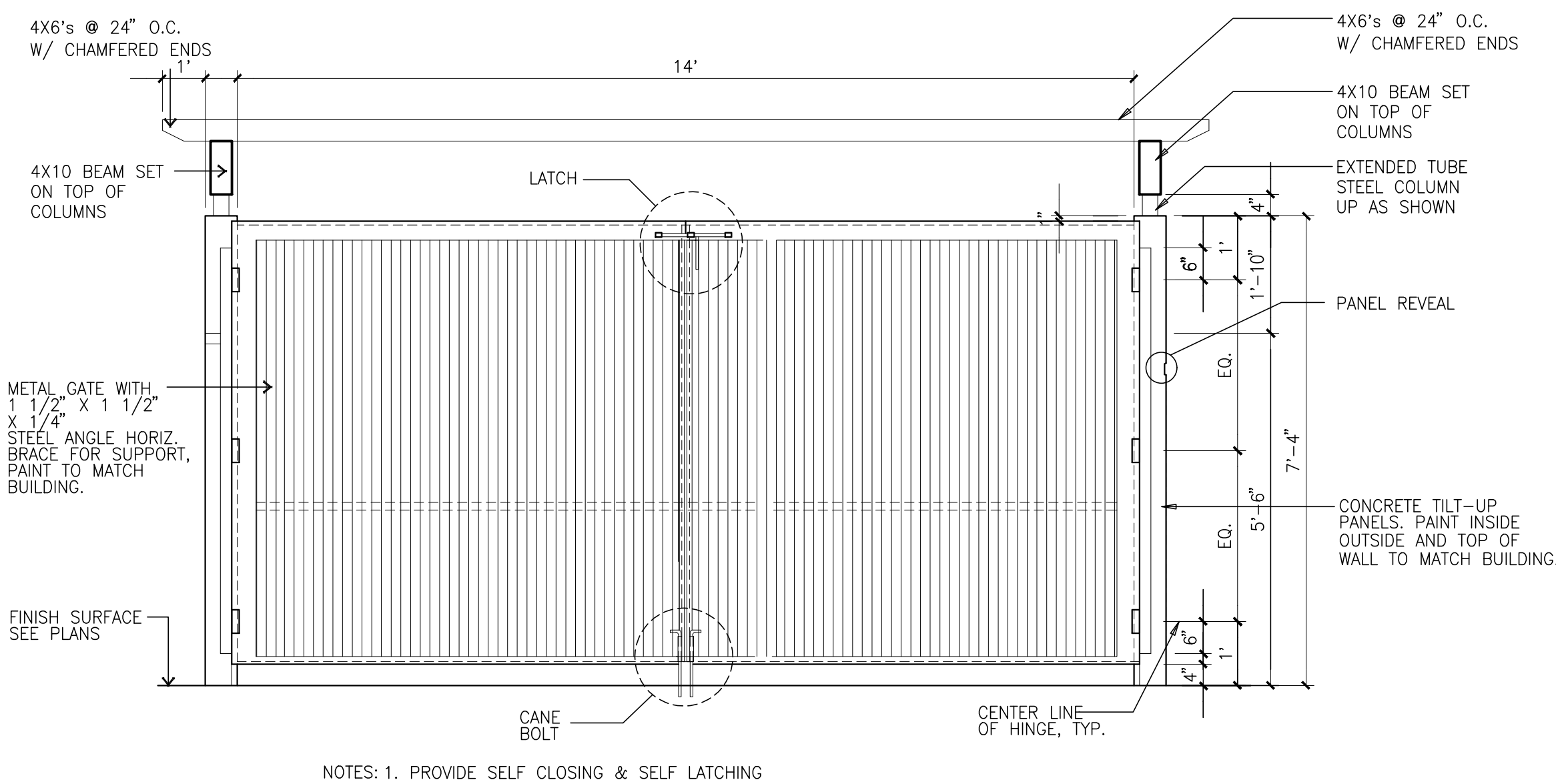
CIVIL	WEBB ASSOCIATES
STRUCTURAL	HSA
MECHANICAL	RPM
PLUMBING	RPM
ELECTRICAL	EIE
LANDSCAPE	WEBB
FIRE PROTECTION	GUFP
SOILS ENGINEER	-

Title: Elevations

Project Number: 17131
Drawn by: S.H.
Date: 03/27/20
Revision:

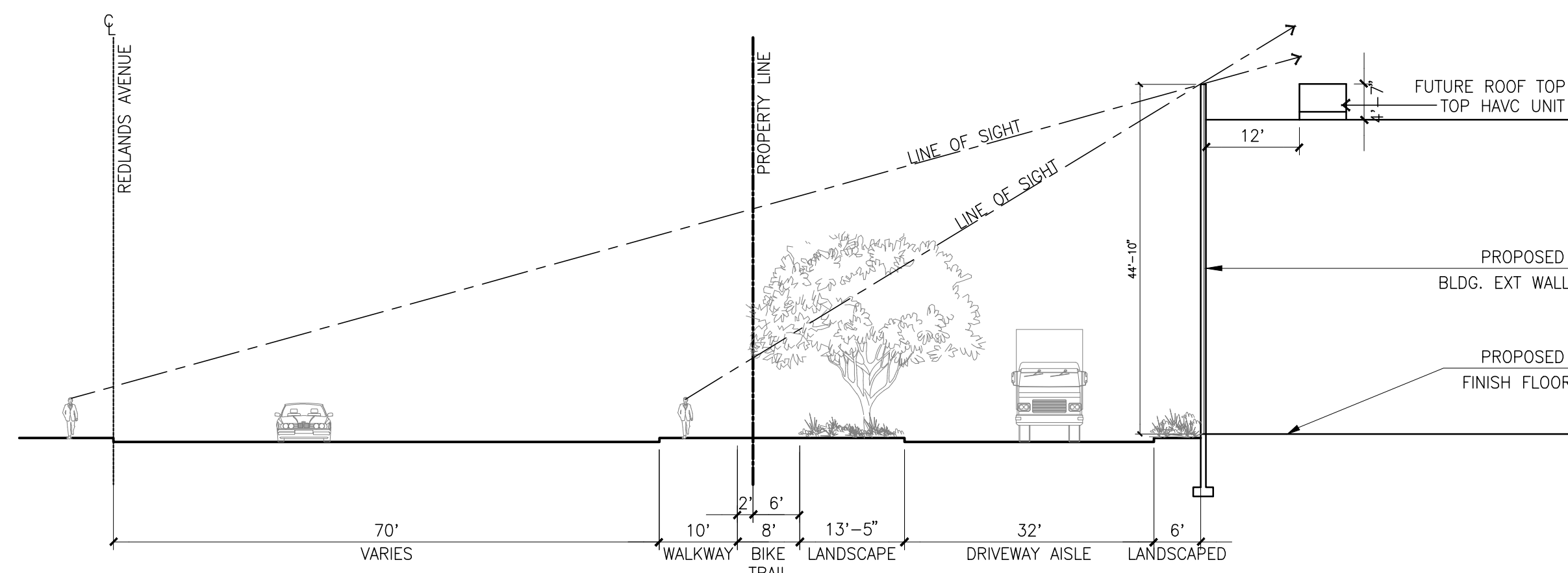
Sheet:

DAB-A3.2
PAM16-160

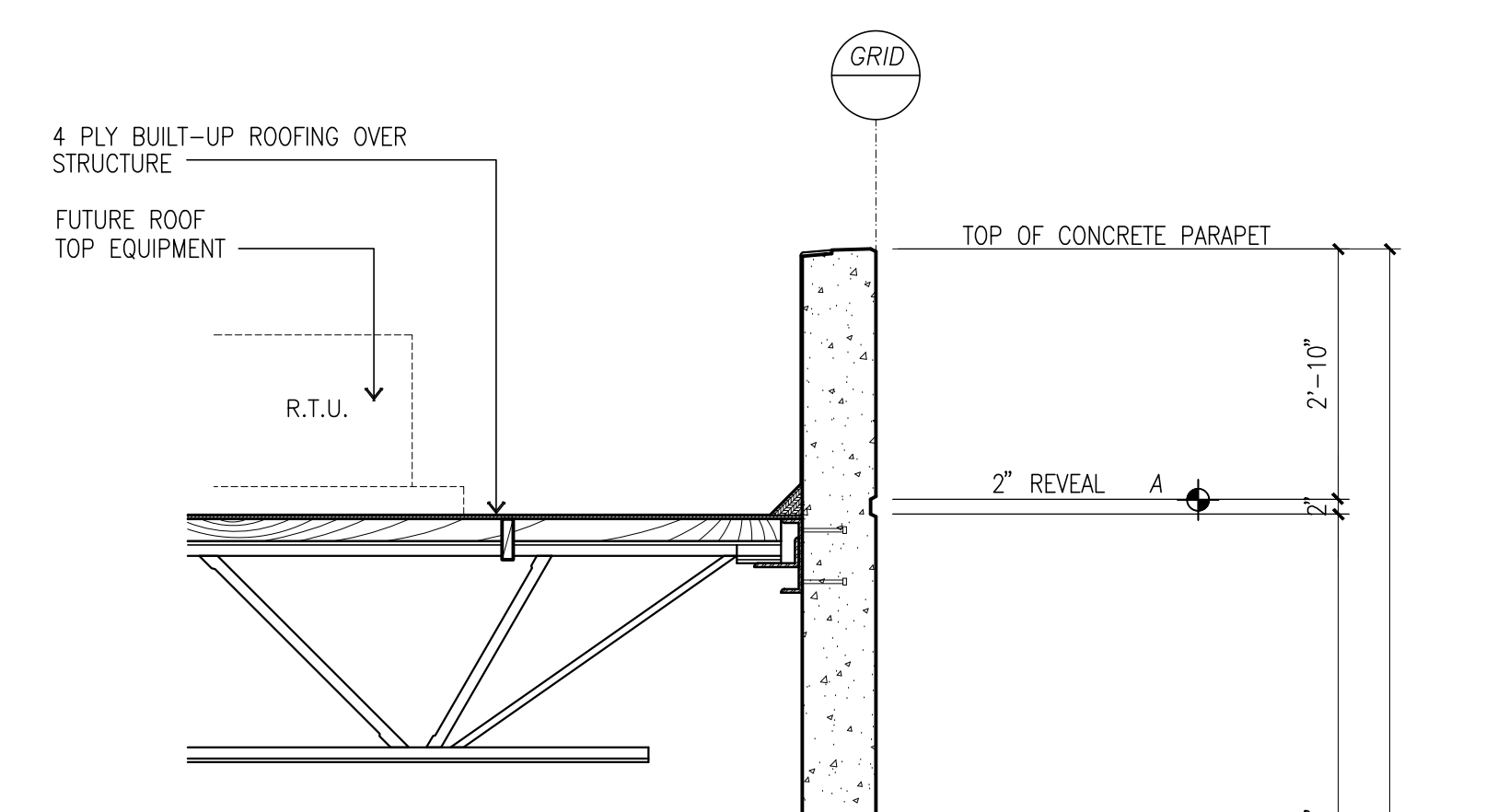


NOTES: 1. PROVIDE SELF CLOSING & SELF LATCHING

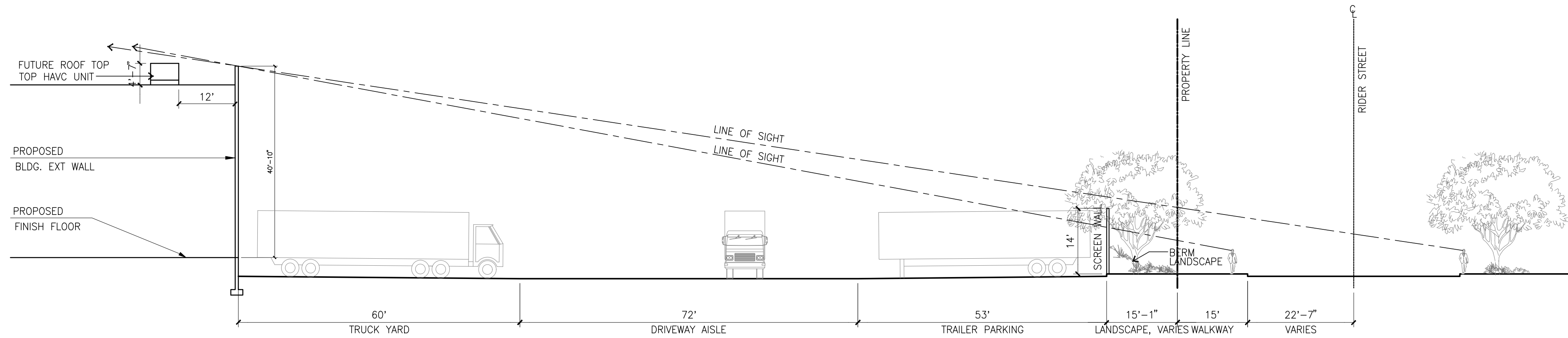
TRASH ENCLOSURE ELEVATION E
scale: 1/2" = 1'-0"



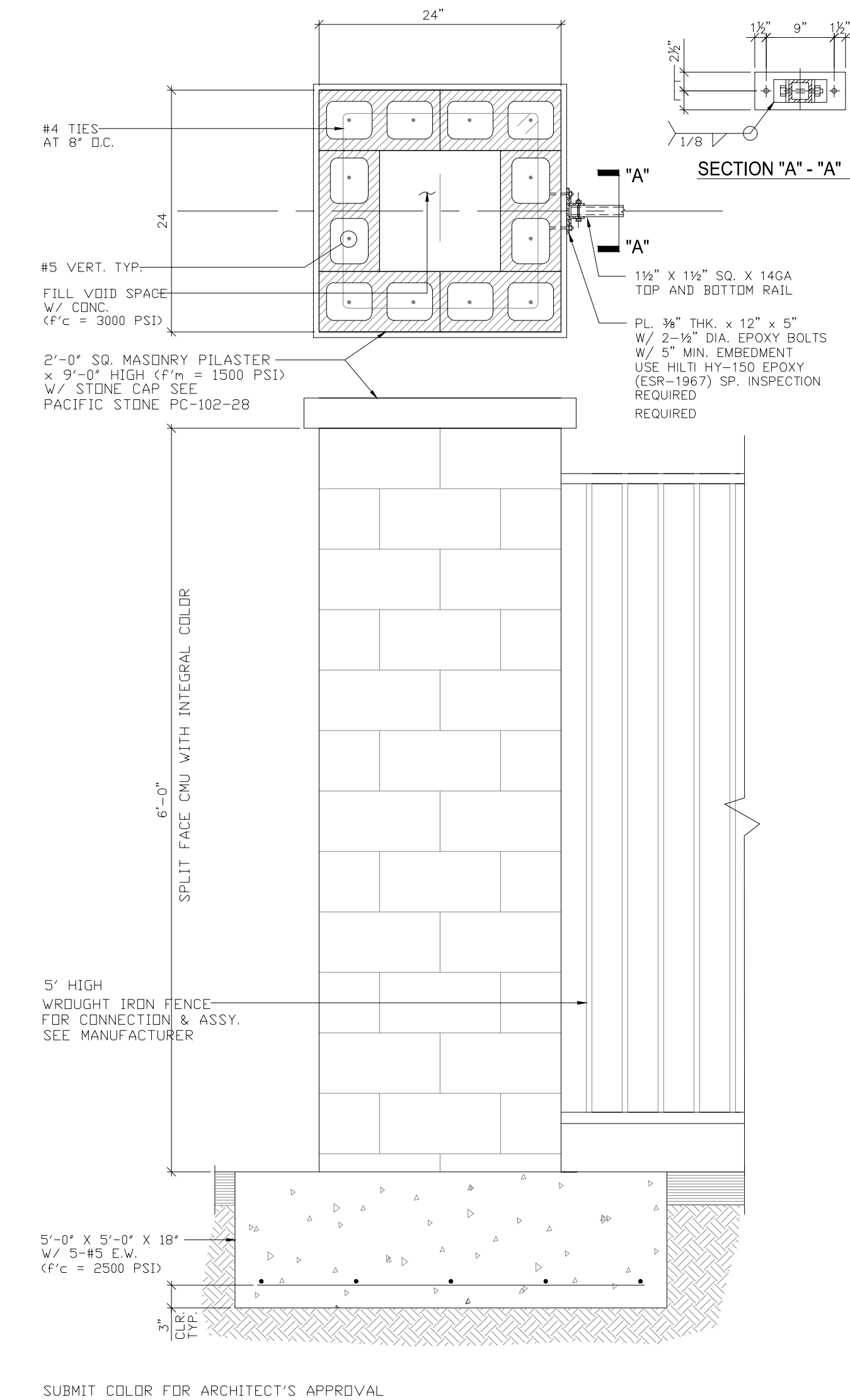
CROSS SECTION STUDY @ REDLANDS AVE. B
scale: 1/16" = 1'-0"



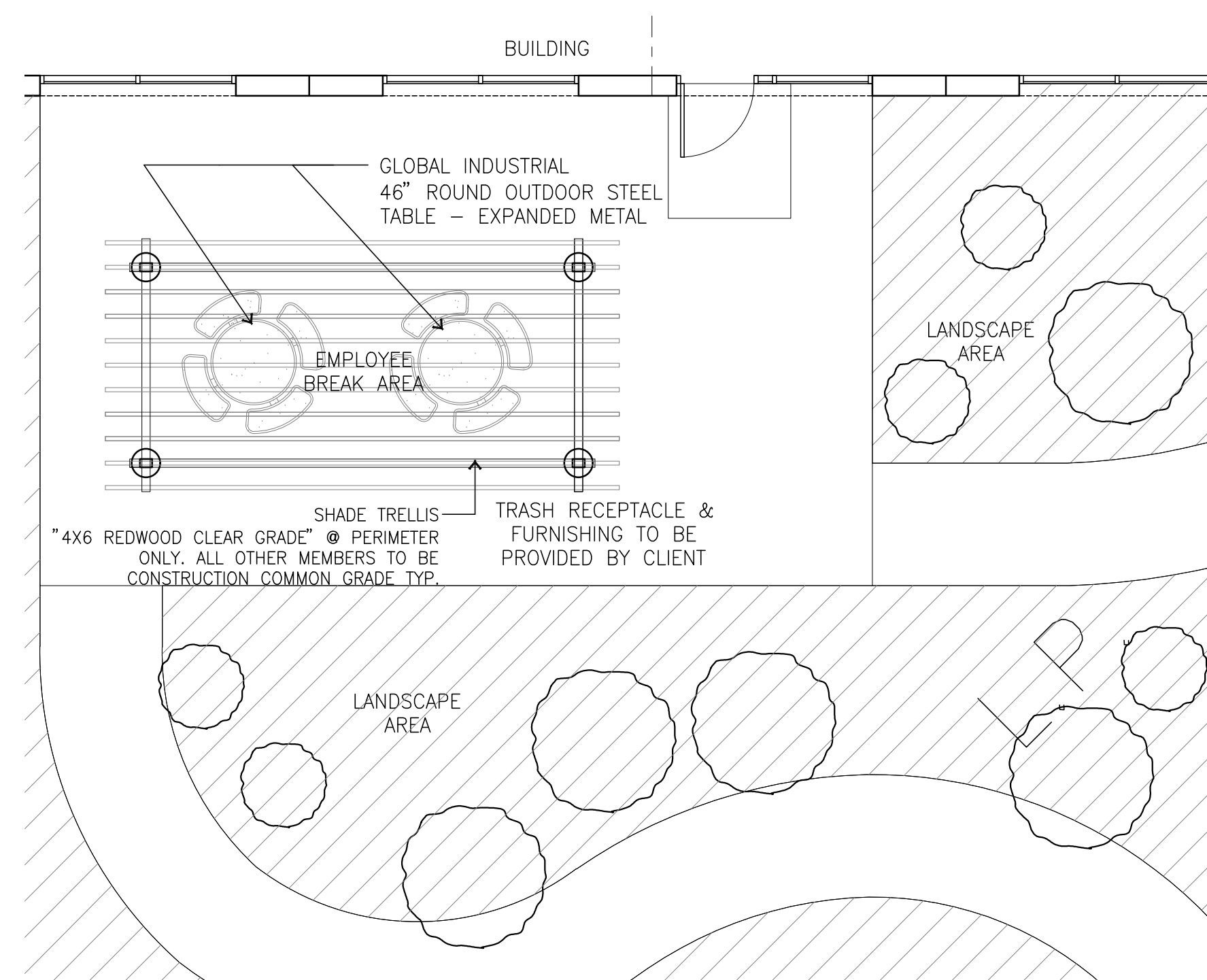
WALL SECTION A
scale: 1/2" = 1'-0"



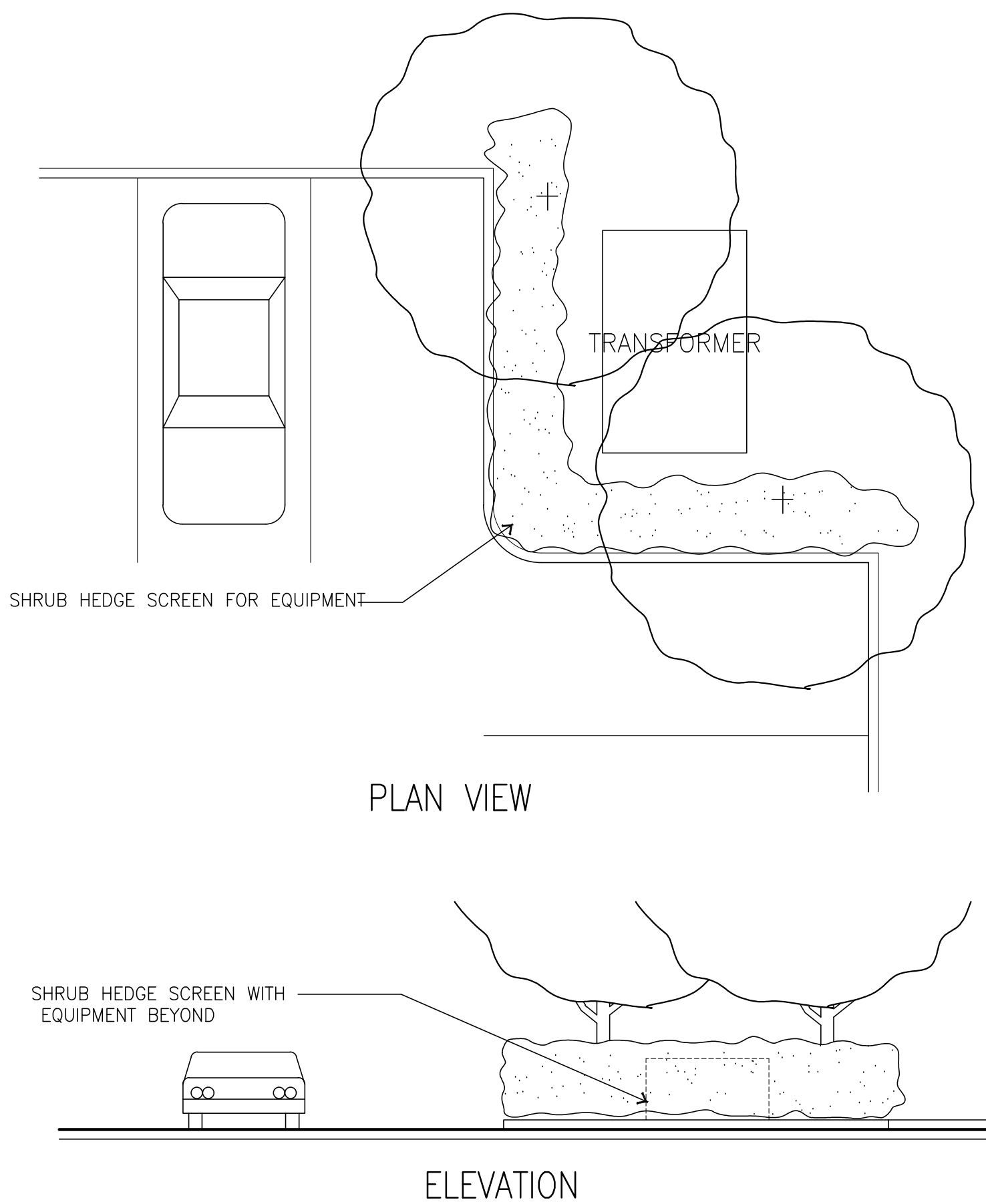
CROSS SECTION STUDY - DOCK AREA @ RIDER ST. C
scale: 1/16" = 1'-0"



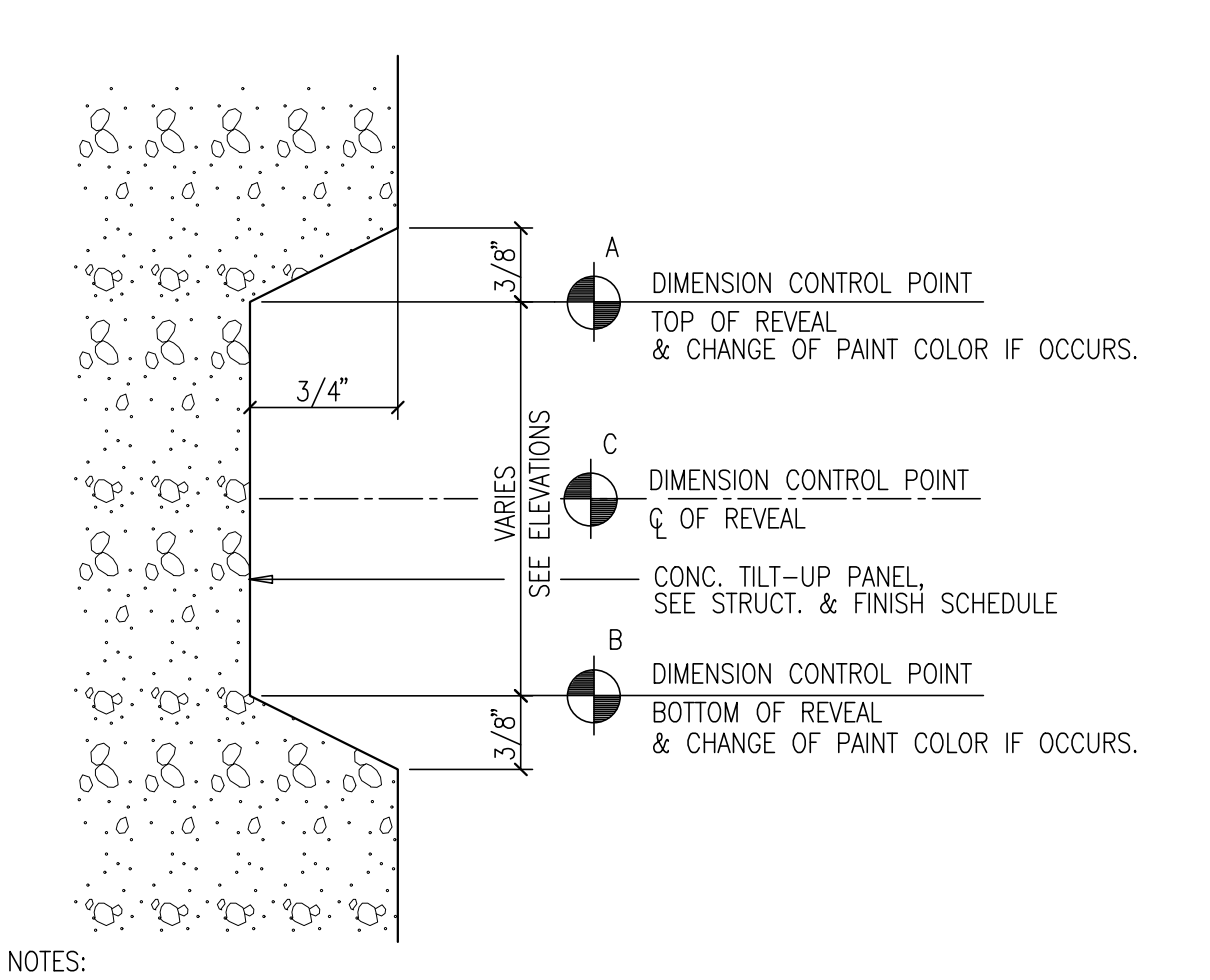
PILASTER @ METAL FENCE H
scale: 1/8" = 1'-0"



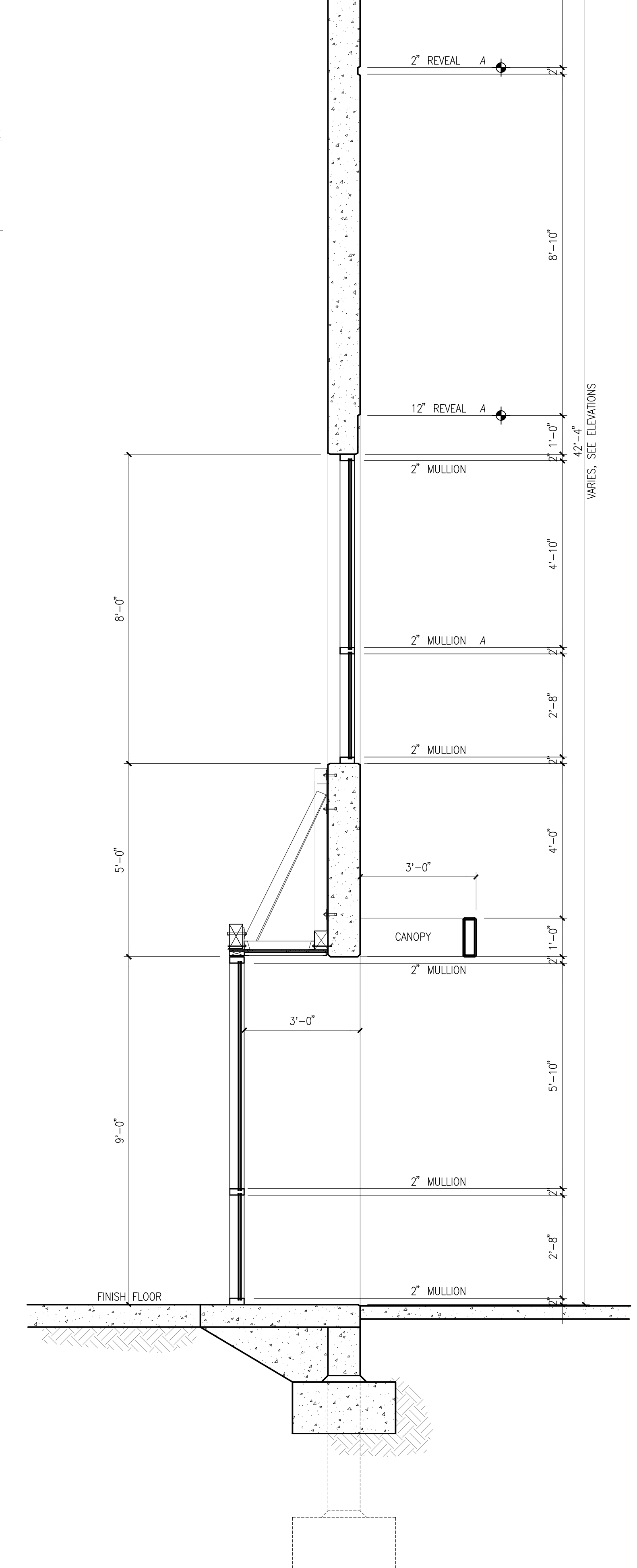
EMPLOYEE BREAK AREA F
scale: 3/16" = 1'-0"



GROUND MOUNTED EQUIPMENT SCREENING, TYP. G
scale: 1/2" = 1'-0"



TYPICAL CONCRETE REVEAL D
scale: 1/2" = 1'-0"



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Project:

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STRUCTURAL	HSA
MECHANICAL	RPM
PLUMBING	RPM
ELECTRICAL	EIE
LANDSCAPE	WEBB
FIRE PROTECTION	GUFF
SOILS ENGINEER	

Title: SECTIONS

Project Number: 17131
Drawn by: S.H.
Date: 03/27/20
Revision:

Sheet:

Owner:

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Project:

RIDER 2

TBD
PERRIS, CA

Consultants:

CIVIL	WEBB ASSOCIATES
STRUCTURAL	HSA
MECHANICAL	RPM
PLUMBING	RPM
ELECTRICAL	EIE
LANDSCAPE	WEBB
FIRE PROTECTION	GUFP
SOILS ENGINEER	-

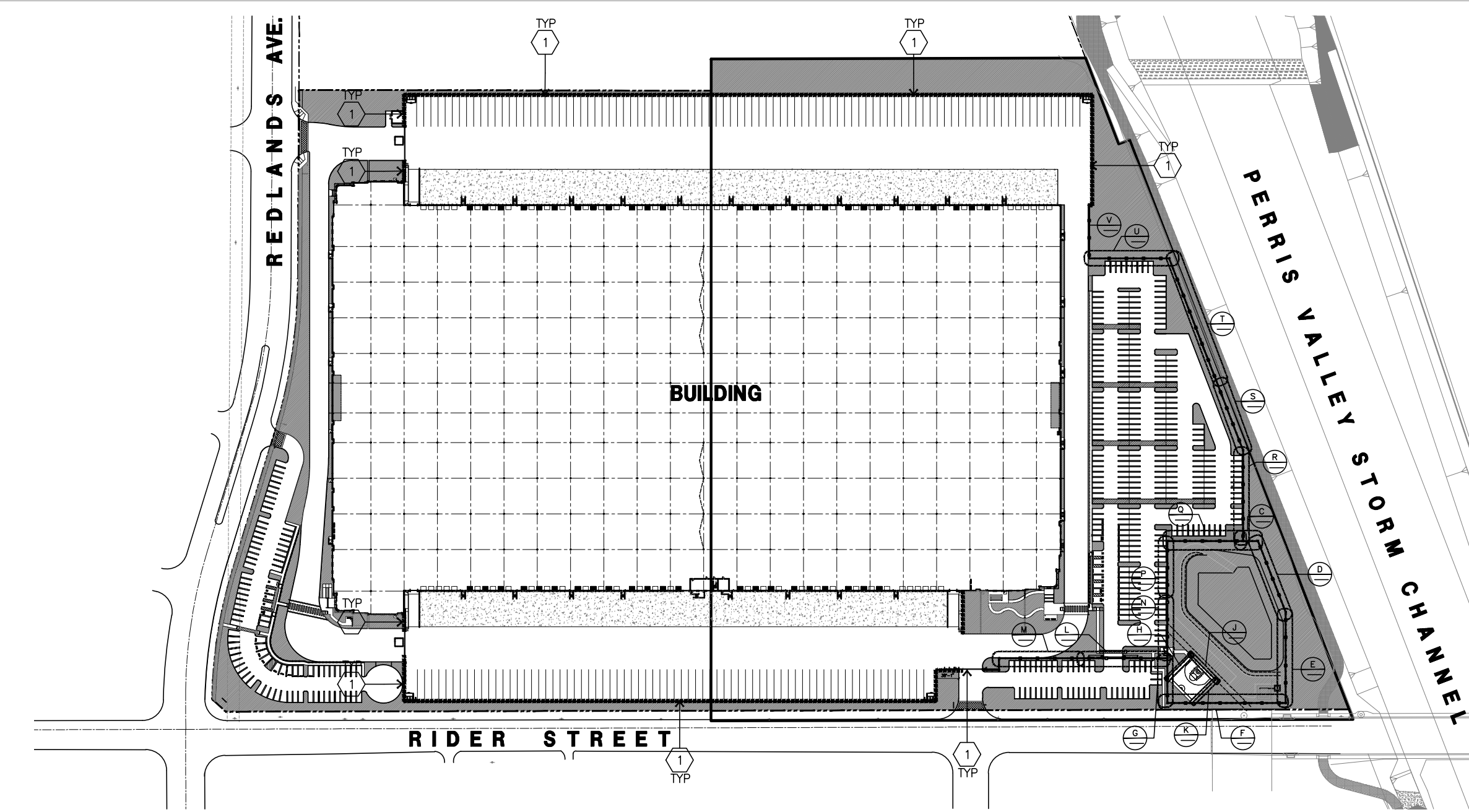
Title: SCREEN WALL AND FENCE

Project Number: 17131
Drawn by: S.H.
Date: 03/27/20
Revision:

Sheet:

DAB-A4.2

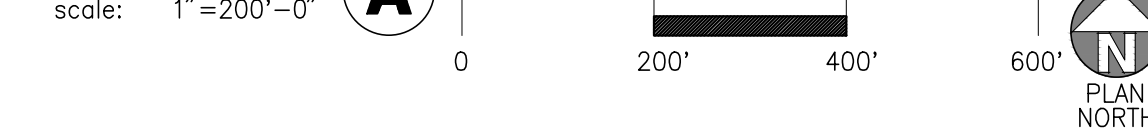
PAM16-160



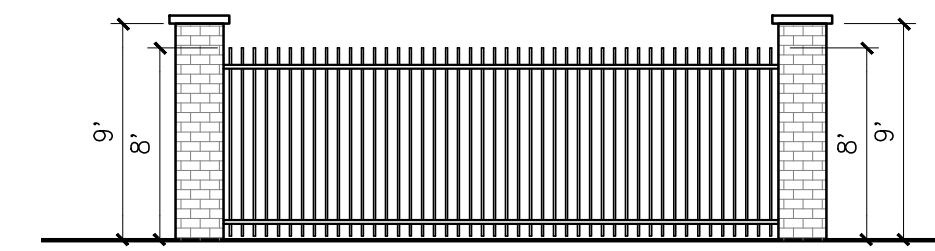
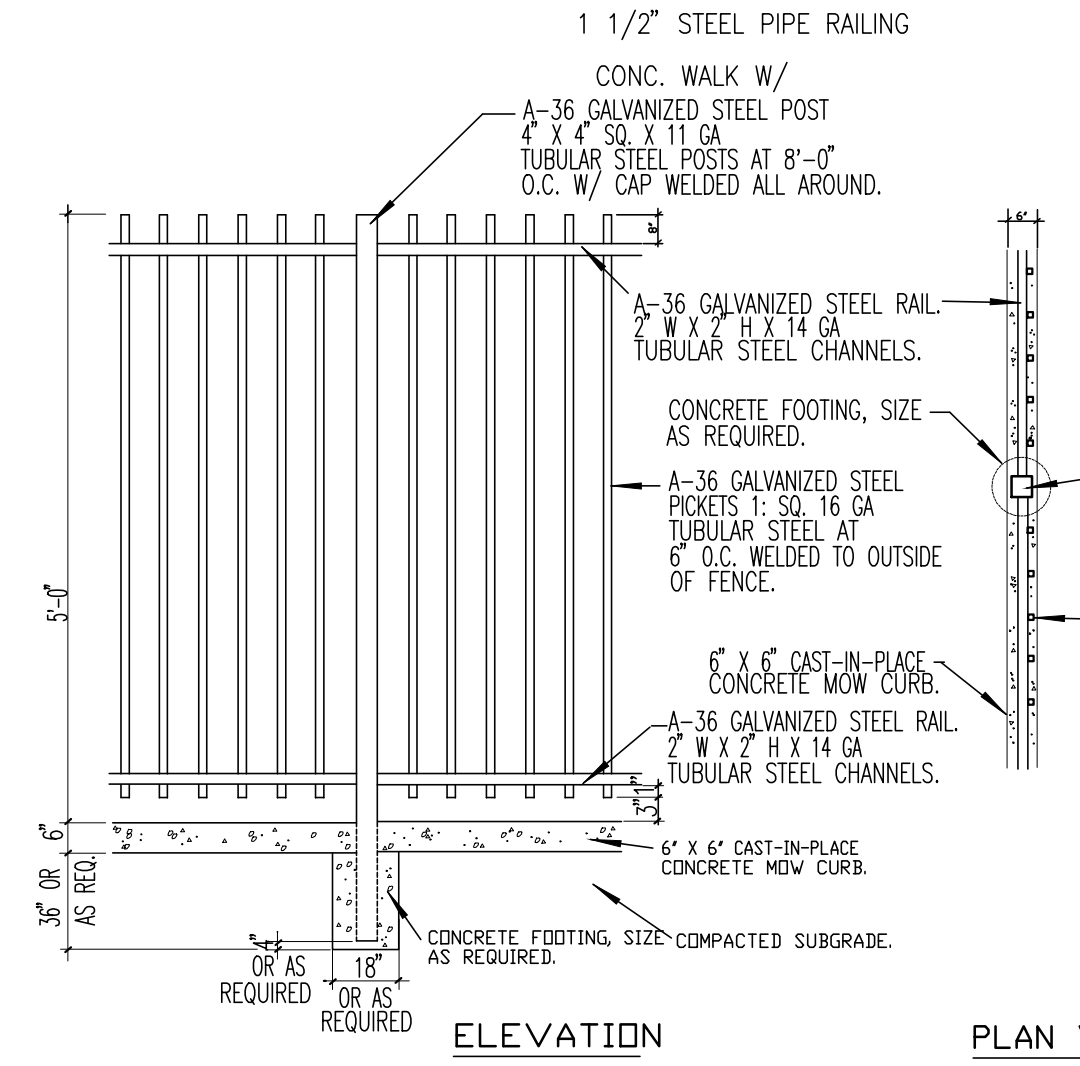
SITE WALL LEGEND

- ① 14" H CONCRETE TILT-UP SCREENWALL WITH BERM ON STREET SIDE.
- ② 5' WROUGHT IRON FENCE.
- ③ 8' WROUGHT IRON FENCE.

KEYPLAN A

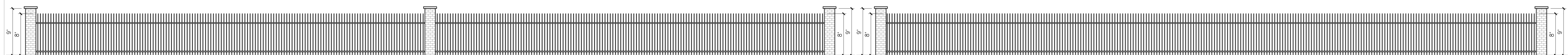


- NOTES:
1. ALL TERMINAL POSTS TO BE 4" X 4" X 8' D X 11 GA STEEL TUBES W/ CAP WELDED ALL AROUND.
 2. ALL FENCE COMPONENTS TO BE PRIMED AND PAINTED TO MATCH BLDG.
 3. CONCRETE MOW CURB IS REQUIRED WHEN FENCE IS ADJACENT TO DRIVE AREAS ONLY. ALL OTHER PLANTER AREAS ADJACENT TO FENCE WILL NOT HAVE MOW CURB.
 4. SAND AND GRIND ALL WELDS SMOOTH.
 5. PAINT BLACK PER THE SPEC.

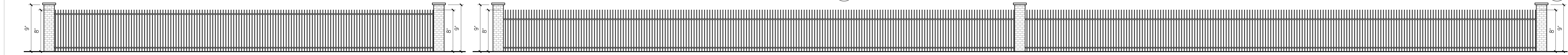


METAL FENCE C
scale: 1/8" = 1'-0"

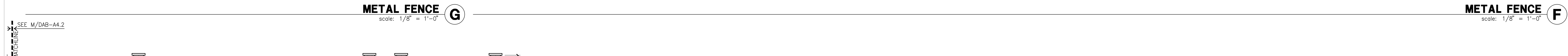
TYPICAL METAL FENCE ELEVATION AND DETAIL B
scale: N.T.S.



METAL FENCE E
scale: 1/8" = 1'-0"

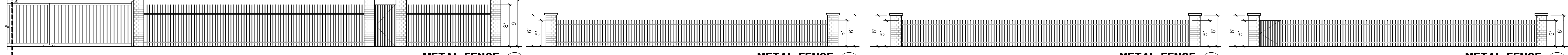


METAL FENCE D
scale: 1/8" = 1'-0"



METAL FENCE G
scale: 1/8" = 1'-0"

METAL FENCE F
scale: 1/8" = 1'-0"

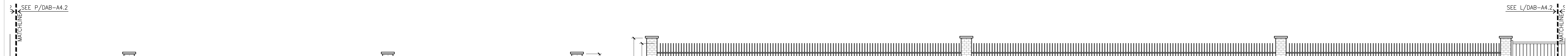


METAL FENCE L
scale: 1/8" = 1'-0"

METAL FENCE K
scale: 1/8" = 1'-0"

METAL FENCE J
scale: 1/8" = 1'-0"

METAL FENCE H
scale: 1/8" = 1'-0"

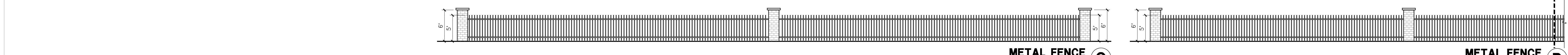


METAL FENCE N
scale: 1/8" = 1'-0"

METAL FENCE M
scale: 1/8" = 1'-0"

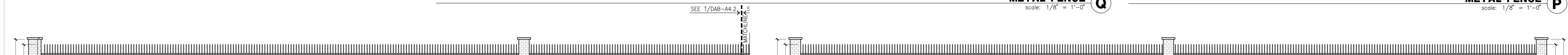
METAL FENCE S
scale: 1/8" = 1'-0"

METAL FENCE R
scale: 1/8" = 1'-0"

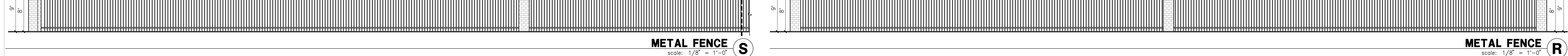


METAL FENCE Q
scale: 1/8" = 1'-0"

METAL FENCE P
scale: 1/8" = 1'-0"



METAL FENCE T
scale: 1/8" = 1'-0"



METAL FENCE U
scale: 1/8" = 1'-0"

METAL FENCE U
scale: 1/8" = 1'-0"