



PLC North

City of Perris, CA



Job No. 19122.00

PERSPECTIVE COLOR RENDERING - VIEW 1 @ 5FT

IDI Logistics

06.23.2021



PLC North

City of Perris, CA

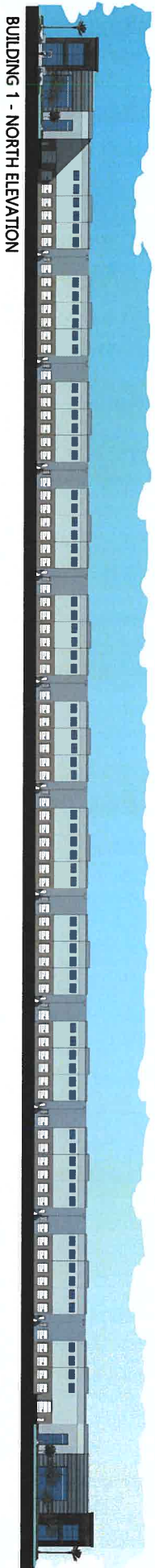


Job No 19122.00

IDI Logistics

PERSPECTIVE COLOR RENDERING - VIEW 2 @ 30FT

06.23.2021



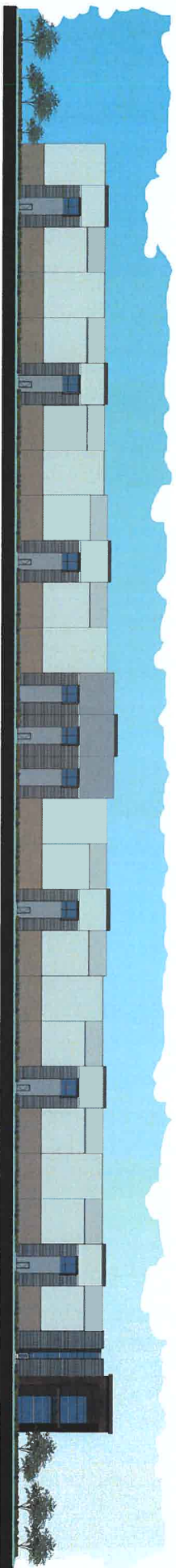
BUILDING 1 - NORTH ELEVATION



BUILDING 1 - WEST ELEVATION - REDLANDS AVENUE



BUILDING 1 - SOUTH ELEVATION



BUILDING 1 - EAST ELEVATION



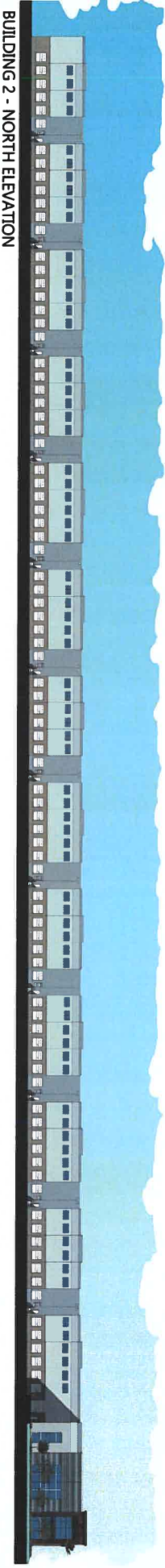
Job No. 1912200

PERRIS LOGISTICS CENTER - NORTH
REDLANDS AVE. & ELLIS AVE.
PERRIS, CA

IDI Logistics

CONCEPTUAL COLORED ELEVATIONS BUILDING 1

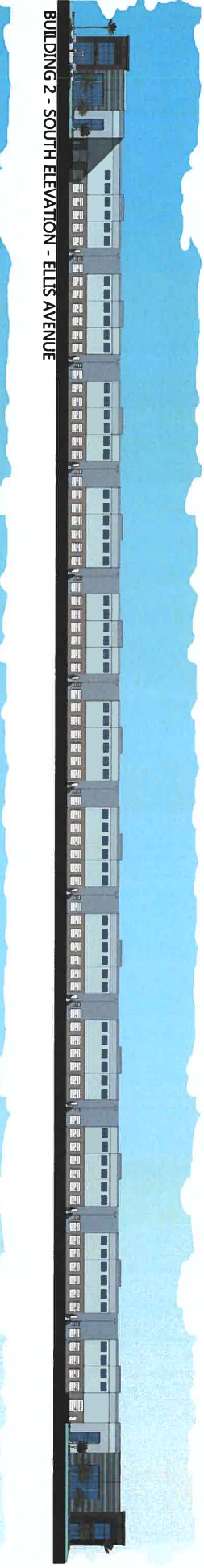
03.22.2021



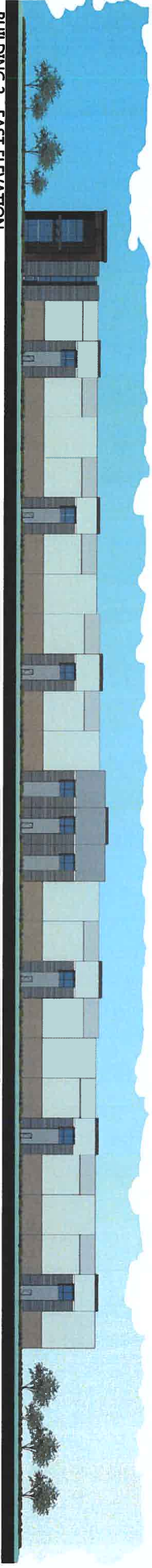
BUILDING 2 - NORTH ELEVATION



BUILDING 2 - WEST ELEVATION - REDLANDS AVENUE



BUILDING 2 - SOUTH ELEVATION - ELLIS AVENUE

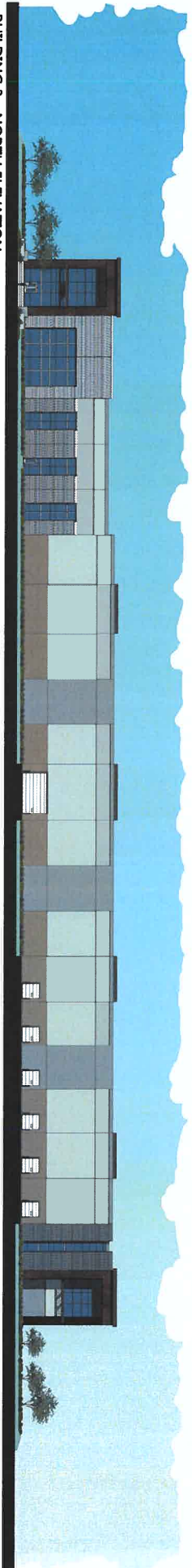


BUILDING 2 - EAST ELEVATION

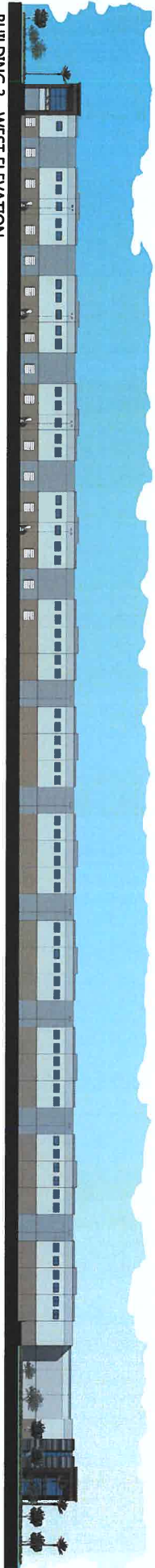


PERRIS LOGISTICS CENTER - NORTH
REDLANDS AVE. & ELLIS AVE.
PERRIS, CA

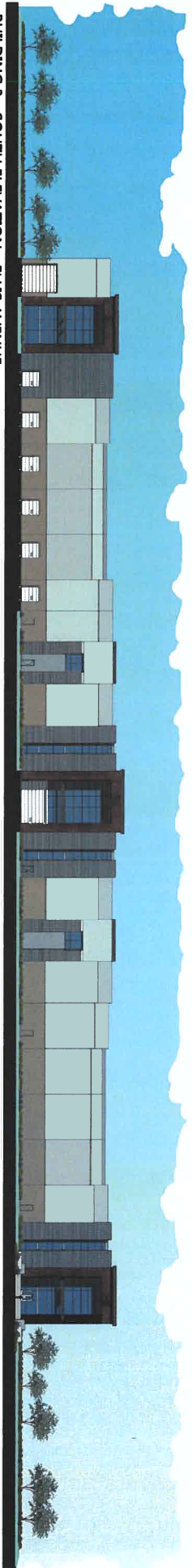




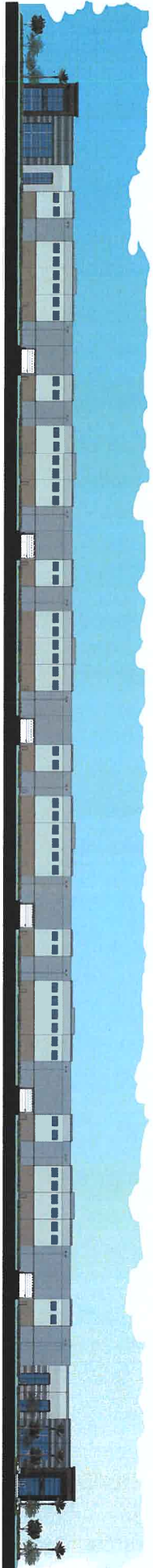
BUILDING 3 - NORTH ELEVATION



BUILDING 3 - WEST ELEVATION



BUILDING 3 - SOUTH ELEVATION - ELLIS AVENUE



BUILDING 3 - EAST ELEVATION



Job No. 19122.00

PERRIS LOGISTICS CENTER - NORTH
REDLANDS AVE. & ELLIS AVE.
PERRIS, CA

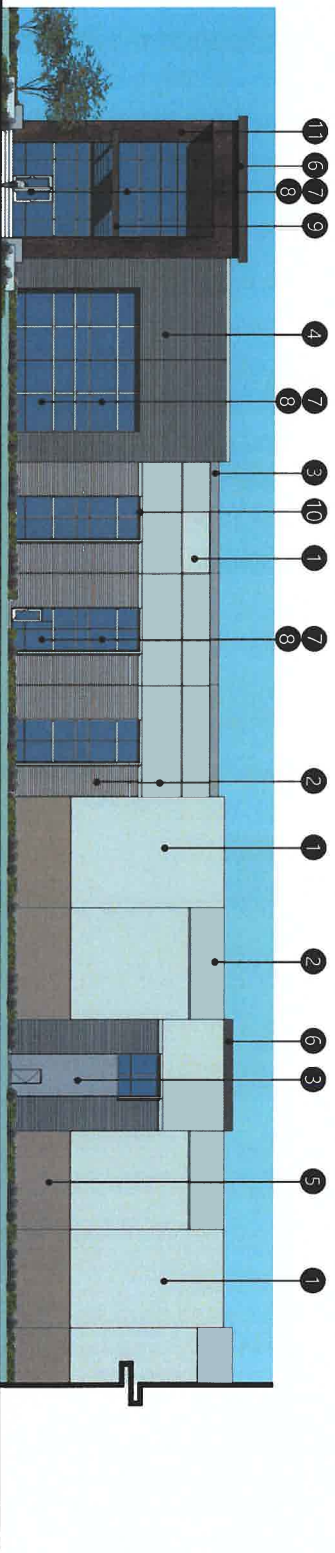
IDI Logistics

CONCEPTUAL COLORED ELEVATIONS BUILDING 3

03.22.2021



BUILDING 1 - WEST ELEVATION - REDLANDS AVENUE



ENLARGED VIEW OF BUILDING 1 - WEST ELEVATION - REDLANDS AVENUE

- 1 Sherwin Williams SW 7071 Gray Screen
- 2 Sherwin Williams SW 7072 Online
- 3 Sherwin Williams SW 7073 Network Gray
- 4 Sherwin Williams SW 7073 Network Gray (Metal Deck)
- 5 Sherwin Williams SW 7504 Keystone Gray
- 6 Sherwin Williams SW 7505 Manor House
- 7 Blue Reflective GLAZING
- 8 Clear Anodized MULLIONS
- 9 Sherwin Williams Acrylic Latex Systems High Gloss/High performance In color: SW 7005 Manor House @Metal CANOPY
- 10 Sherwin Williams Acrylic Latex Systems High Gloss/High performance In color: SW 7505 Online @Metal Fin CANOPY
- 11 LEA CONCRETO Rust 24x48x6mm



PERRIS LOGISTICS CENTER - NORTH
 REDLANDS AVE. & ELLIS AVE.
 PERRIS, CA

IDI Logistics

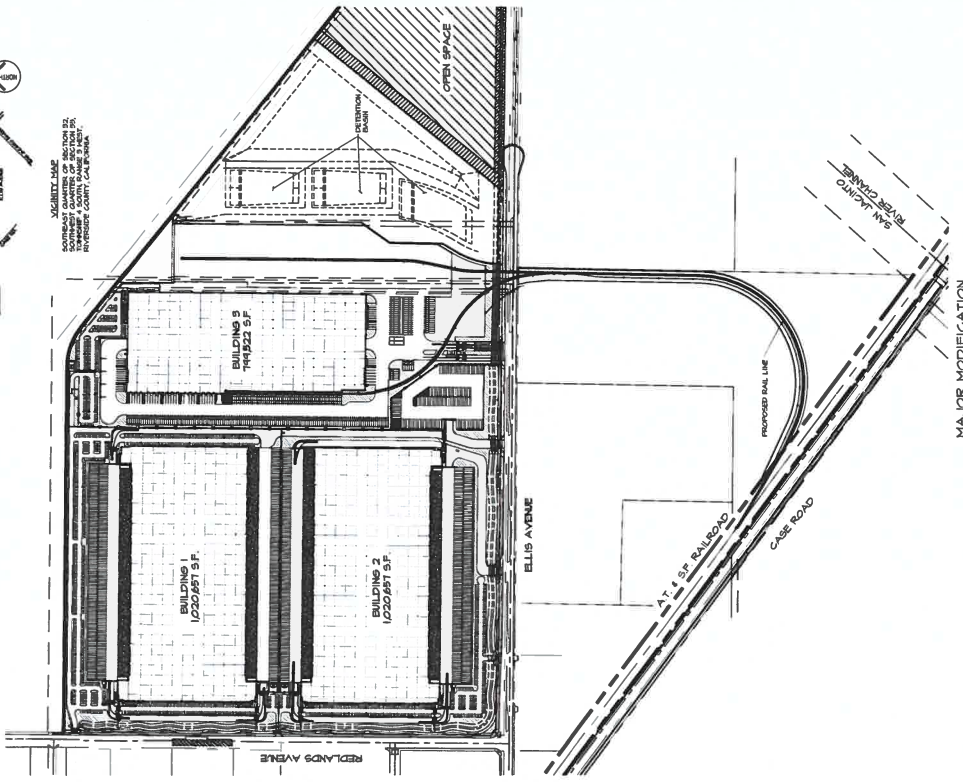
MAJOR MODIFICATION PERRIS LOGISTICS CENTER NORTH

OWNER:
ALFA
30150100
30150101
30150102
30150103
30150104
30150105
30150106
30150107
30150108
30150109
30150110
30150111
30150112
30150113
30150114
30150115
30150116
30150117
30150118
30150119
30150120

ADDRESS:
4400 S. JAVELIN AVENUE, SUITE 949
PERRIS, CALIFORNIA 92506
TEL: (951) 233-2323
FAX: (951) 233-2324

ARCHITECT:
ALBERT W. BISHOP ASSOCIATES
4400 S. JAVELIN AVENUE, SUITE 949
PERRIS, CALIFORNIA 92506
TEL: (951) 233-2323
FAX: (951) 233-2324

PROPERTY MAP
SOUTHWEST QUARTER OF SECTION 12,
TOWNSHIP 35 NORTH, RANGE 15 WEST,
COUNTY OF RIVERSIDE, CALIFORNIA.



CITY OF FERRIS
MAJOR MODIFICATION
PERRIS LOGISTICS CENTER NORTH

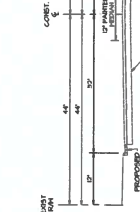
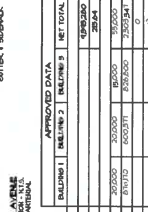
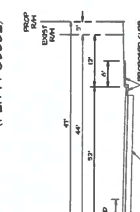
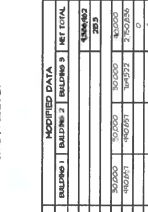
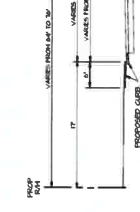
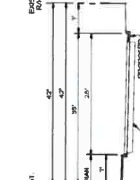
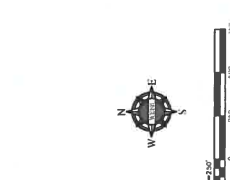
ALBERT W. BISHOP ASSOCIATES
DIVISION OF CONSULTANTS
4400 S. JAVELIN AVENUE, SUITE 949
PERRIS, CALIFORNIA 92506
TEL: (951) 233-2323
FAX: (951) 233-2324

DATE: 01/20/2010
SCALE: AS SHOWN

GENERAL NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION AFTER COMPLETION OF WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND EXCESS MATERIAL FROM THE SITE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY EROSION CONTROL MEASURES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SLOPE PROTECTION MEASURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY DRAINAGE MEASURES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY LIGHTING MEASURES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SIGNAGE MEASURES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FENCING MEASURES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SECURITY MEASURES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SAFETY MEASURES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY ENVIRONMENTAL PROTECTION MEASURES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY HISTORIC PRESERVATION MEASURES.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY CULTURAL RESOURCE PROTECTION MEASURES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY ARCHAEOLOGICAL PROTECTION MEASURES.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PALEONTOLOGICAL PROTECTION MEASURES.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY PLANT AND ANIMAL PROTECTION MEASURES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY VISUAL QUALITY IMPROVEMENT MEASURES.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SOUND AND VIBRATION MITIGATION MEASURES.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY AIR QUALITY IMPROVEMENT MEASURES.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY WATER QUALITY IMPROVEMENT MEASURES.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SOIL CONSERVATION MEASURES.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY CLIMATE CHANGE MITIGATION MEASURES.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY ENERGY EFFICIENCY MEASURES.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY GREEN BUILDING MEASURES.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SUSTAINABLE DESIGN MEASURES.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY LEED CERTIFICATION MEASURES.

LAND USE ZONING:
PERRIS LOGISTICS CENTER NORTH
IS ZONED IN ACCORDANCE WITH THE
CITY OF FERRIS LAND USE ZONING
ORDINANCE. THE PROPOSED
CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE ZONING
ORDINANCE. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY
PERMITS AND APPROVALS FROM
THE APPLICABLE AGENCIES.

CONTRACTOR:
ALBERT W. BISHOP ASSOCIATES
4400 S. JAVELIN AVENUE, SUITE 949
PERRIS, CALIFORNIA 92506
TEL: (951) 233-2323
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QUALITY CONTRACTOR:
ALBERT W. BISHOP ASSOCIATES
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ORIGINALLY APPROVED MAJOR MODIFICATION
(PLN 19-05332)

SITE AREA	APPROVED DATA			APPROVED DATA			NET TOTAL	REVISION 1	REVISION 2	REVISION 3	REVISION 4	NET TOTAL
	BUILDING 1	BUILDING 2	BUILDING 3	BUILDING 1	BUILDING 2	BUILDING 3						
SQ. FT.	1,000	1,000	1,000	1,000	1,000	1,000	3,000	1,000	1,000	1,000	1,000	4,000
BUILDING AREA	1,000	1,000	1,000	1,000	1,000	1,000	3,000	1,000	1,000	1,000	1,000	4,000
OFFICE	500	500	500	500	500	500	1,500	500	500	500	500	1,500
WAREHOUSE	500	500	500	500	500	500	1,500	500	500	500	500	1,500
RETAIL	0	0	0	0	0	0	0	0	0	0	0	0
LABORATORY	0	0	0	0	0	0	0	0	0	0	0	0
INDUSTRIAL	0	0	0	0	0	0	0	0	0	0	0	0
RESEARCH	0	0	0	0	0	0	0	0	0	0	0	0
OTHER	0	0	0	0	0	0	0	0	0	0	0	0
PARKING REQUIREMENTS	0	0	0	0	0	0	0	0	0	0	0	0
TOTAL	1,000	1,000	1,000	1,000	1,000	1,000	3,000	1,000	1,000	1,000	1,000	4,000
NET TOTAL	1,000	1,000	1,000	1,000	1,000	1,000	3,000	1,000	1,000	1,000	1,000	4,000
REVISIONS	0	0	0	0	0	0	0	0	0	0	0	0
TOTAL	1,000	1,000	1,000	1,000	1,000	1,000	3,000	1,000	1,000	1,000	1,000	4,000

LEGAL DESCRIPTION

... CONTAINS THE CITY OF... PARCELS IN THE COUNTY OF... PARCELS IN THE CITY OF... PARCELS IN THE COUNTY OF... PARCELS IN THE CITY OF... PARCELS IN THE COUNTY OF...

PROPERTY OWNER
BROOKLYN HEIGHTS DEVELOPMENT, LLC
500 WEST 130th Street, Suite 200
Brooklyn, NY 11219

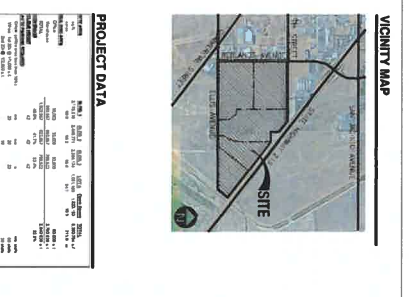
ADDRESS OF THE PROPERTY
1020 457th Street, Long Beach, CA 90804

ASSESSOR'S PARCEL NUMBER
567-001-001-001-001

ZONING
MAP 111-111-111-111

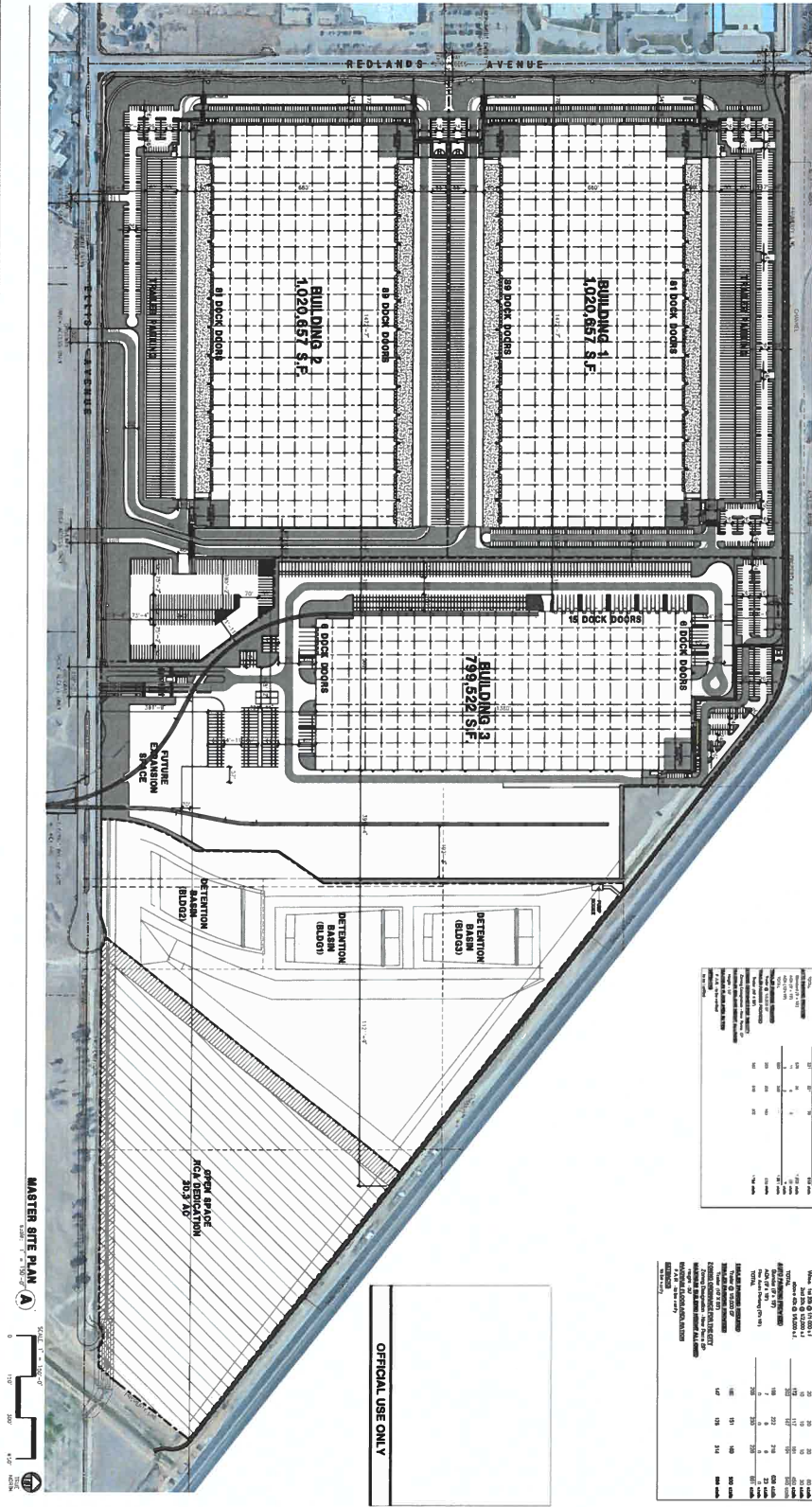
APPLICANT
IDA LOGISTICS

APPLICANT'S REPRESENTATIVE
IDA LOGISTICS
500 West 130th Street, Suite 200
Brooklyn, NY 11219



MAJOR MOD 1 - APRIL 2020

Item	Quantity	Unit	Description	Notes
Concrete	1020457	cubic yd	CONCRETE	
Steel	1020457	tons	STEEL	
Wood	1020457	board ft	WOOD	
Paint	1020457	gallons	PAINT	
Roofing	1020457	sq ft	ROOFING	
Foundation	1020457	sq ft	FOUNDATION	
Interior Finishes	1020457	sq ft	INTERIOR FINISHES	
Exterior Finishes	1020457	sq ft	EXTERIOR FINISHES	
Other	1020457	sq ft	OTHER	



IDA LOGISTICS ARCHITECTURE

1020 457th Street, Suite 200
Brooklyn, NY 11219
Tel: (718) 335-8800
Fax: (718) 335-8801

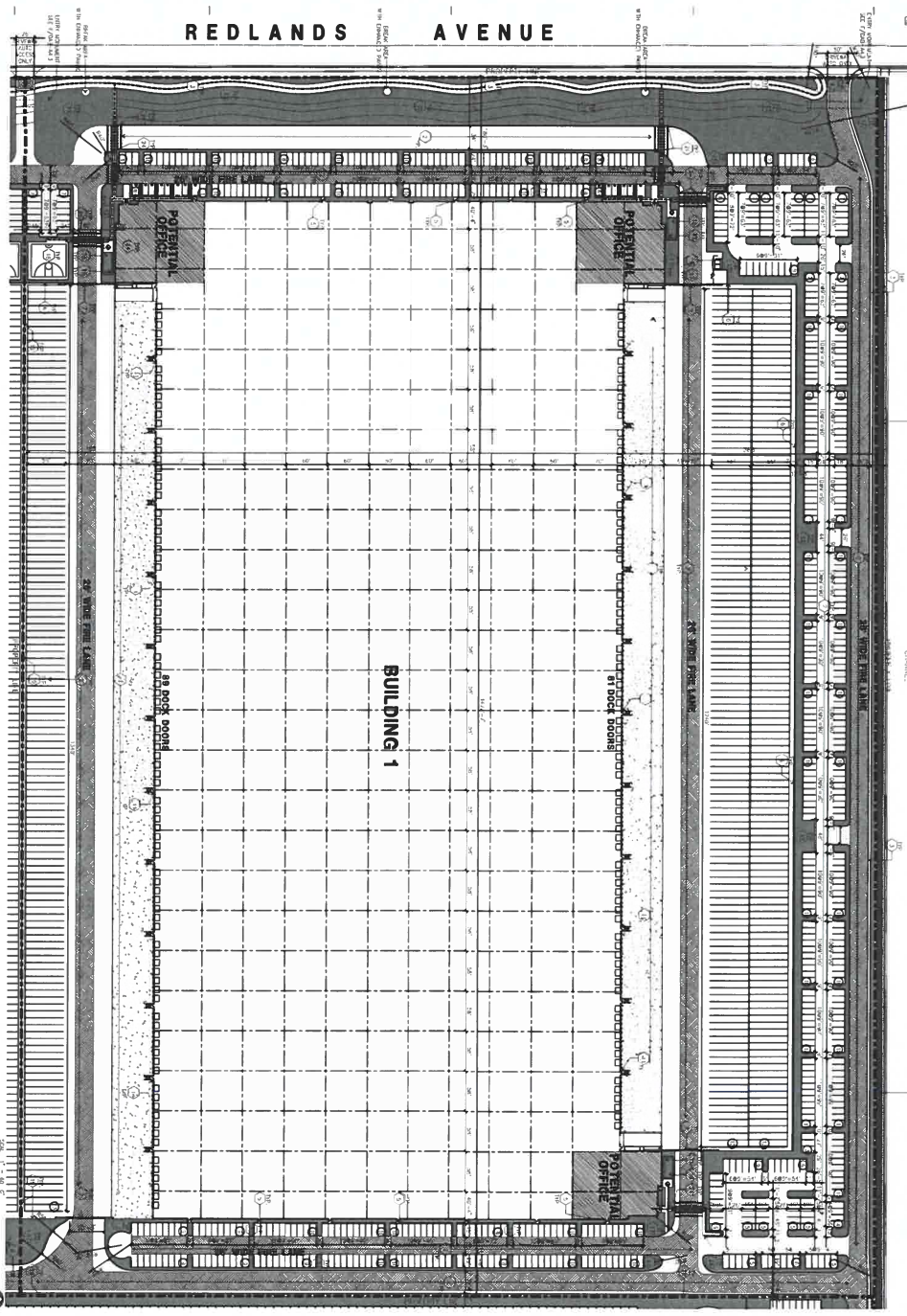
Project: FERRIS LOGISTICS CENTER NORTH
Design: ANE & BLUMHE
Client: FERRIS LOGISTICS CENTER

CONSISTENT ENGINEERS ARCHITECTS
CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING
LANDSCAPE ARCHITECTURE
GENERAL CONTRACTOR

MASTER SITE PLAN

Project Number: 1972
Date: 05/20/20
Revision: 02/07/20

DABA.1.0T



VICINITY MAP



PROJECT DATA

NO.	DESCRIPTION	DATE	BY	CHKD.
1	PRELIMINARY	08/28/08	CS	CS
2	REVISED	09/28/11	CS	CS
3	REVISED	01/26/12	CS	CS
4	REVISED	03/01/12	CS	CS
5	REVISED	03/25/11	CS	CS

GENERAL NOTES - SITE PLAN

- 1. THE SHOWN INFORMATION IS FOR INFORMATION ONLY AND IS NOT TO BE USED AS A BASIS FOR ANY DESIGN OR CONSTRUCTION WITHOUT THE ASSISTANCE OF A PROFESSIONAL ENGINEER OR ARCHITECT.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 3. THE SHOWN INFORMATION IS FOR INFORMATION ONLY AND IS NOT TO BE USED AS A BASIS FOR ANY DESIGN OR CONSTRUCTION WITHOUT THE ASSISTANCE OF A PROFESSIONAL ENGINEER OR ARCHITECT.
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SITE LEGEND

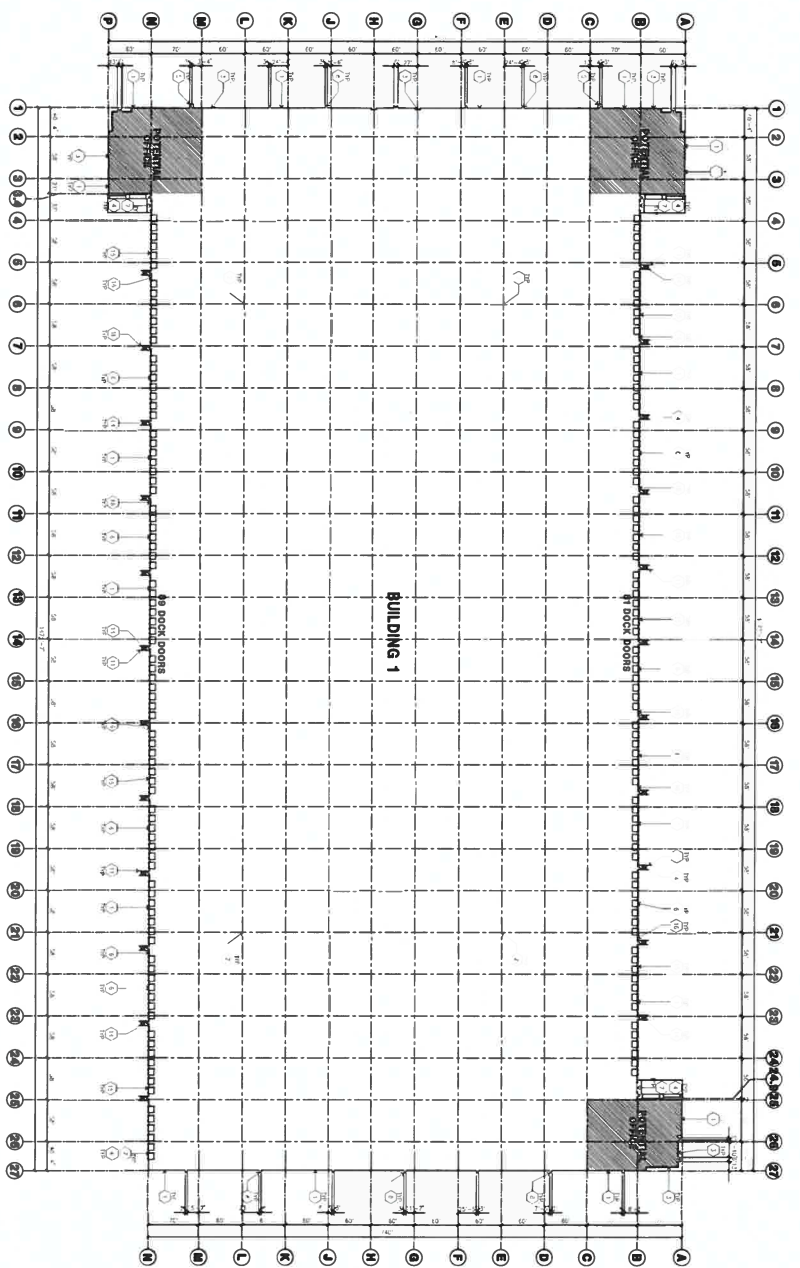
- 1. EXISTING BUILDING
- 2. PROPOSED BUILDING
- 3. EXISTING DRIVE
- 4. PROPOSED DRIVE
- 5. EXISTING SIDEWALK
- 6. PROPOSED SIDEWALK
- 7. EXISTING LANDSCAPE
- 8. PROPOSED LANDSCAPE
- 9. EXISTING UTILITY
- 10. PROPOSED UTILITY
- 11. EXISTING FENCE
- 12. PROPOSED FENCE
- 13. EXISTING WALL
- 14. PROPOSED WALL
- 15. EXISTING CURB
- 16. PROPOSED CURB
- 17. EXISTING PAVEMENT
- 18. PROPOSED PAVEMENT
- 19. EXISTING GRAVEL
- 20. PROPOSED GRAVEL
- 21. EXISTING ASPHALT
- 22. PROPOSED ASPHALT
- 23. EXISTING CONCRETE
- 24. PROPOSED CONCRETE
- 25. EXISTING BRICK
- 26. PROPOSED BRICK
- 27. EXISTING STONE
- 28. PROPOSED STONE
- 29. EXISTING METAL
- 30. PROPOSED METAL
- 31. EXISTING WOOD
- 32. PROPOSED WOOD
- 33. EXISTING GLASS
- 34. PROPOSED GLASS
- 35. EXISTING PLASTER
- 36. PROPOSED PLASTER
- 37. EXISTING GYPSUM
- 38. PROPOSED GYPSUM
- 39. EXISTING STUCCO
- 40. PROPOSED STUCCO
- 41. EXISTING MORTAR
- 42. PROPOSED MORTAR
- 43. EXISTING SAND
- 44. PROPOSED SAND
- 45. EXISTING GRAVEL
- 46. PROPOSED GRAVEL
- 47. EXISTING ASPHALT
- 48. PROPOSED ASPHALT
- 49. EXISTING CONCRETE
- 50. PROPOSED CONCRETE

SITE PLAN NOTES

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OVERALL SITE PLAN

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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OVERALL FLOOR PLAN

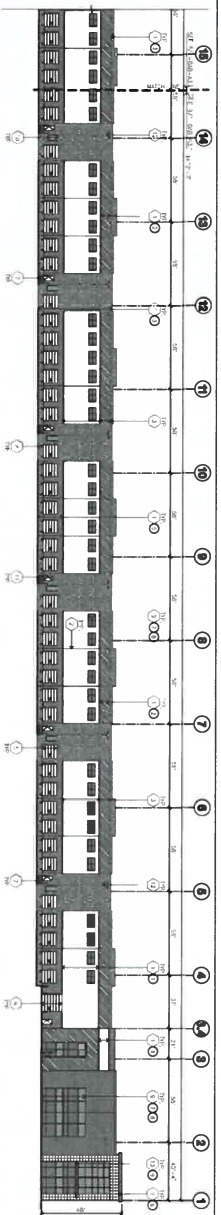
KEYNOTES - FLOOR PLAN

- 1) CONCRETE 1.5-UP PAULT
- 2) FLOOR FINISH
- 3) FLOOR FINISH SYSTEM WITH GROUTING SEE DETAIL ROOM-UP AND
- 4) FLOOR FINISH SYSTEM WITH GROUTING AND TYPICAL
- 5) CONCRETE SLAB
- 6) CONCRETE WALLS WITH GROUTING AND TYPICAL
- 7) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
- 8) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
- 9) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
- 10) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
- 11) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
- 12) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
- 13) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
- 14) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
- 15) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
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- 17) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
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- 19) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE
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- 27) 2"X4" BRICK OVER VERTICAL UTILITY STAIRWELL CHASE

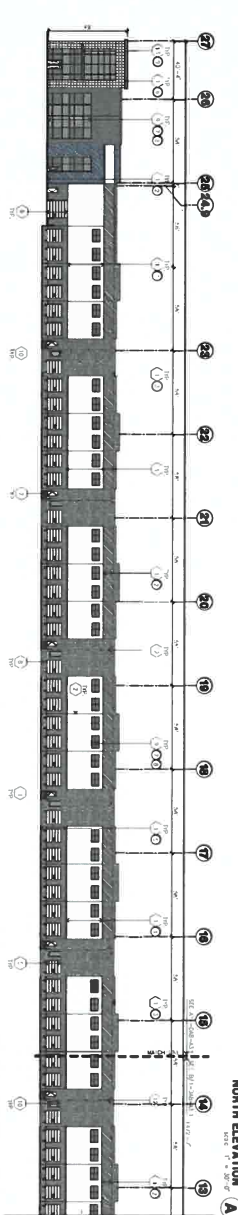
GENERAL NOTES - FLOOR PLAN

- 1. THIS BUILDING IS DESIGNED FOR HIGH RISE ELEVATOR AND FIRE ACCESS WITH
- 2. FOR ALL MECHANICAL/ELECTRICAL SYSTEMS SEE DETAIL ROOM-UP AND
- 3. FOR ALL MECHANICAL/ELECTRICAL SYSTEMS SEE DETAIL ROOM-UP AND
- 4. FOR ALL MECHANICAL/ELECTRICAL SYSTEMS SEE DETAIL ROOM-UP AND
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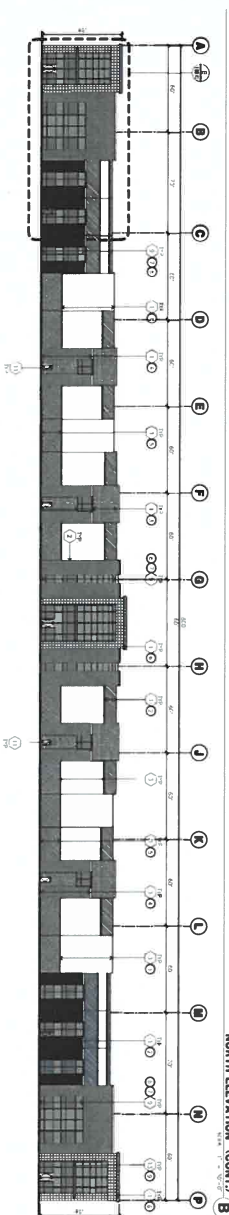
<p>HPA ARCHITECTURE</p> <p>1801 NORTH WALKER, SUITE 200 DENVER, CO 80202 TEL: 303.733.1177 FAX: 303.733.1178 WWW.HPAARCHITECTURE.COM</p>	<p>Project: PERRIS LOGISTICS CENTER</p> <p>Project Location: PERRIS, CA 92571</p> <p>Project Number: 1922</p> <p>Client: CFL</p> <p>Date: 02/28/21</p> <p>Scale: AS SHOWN</p>	<p>Consultants: HERNANDEZ & WEBB</p> <p>CIVIL ENGINEER ARCHITECT MECHANICAL ENGINEER ELECTRICAL ENGINEER MECHANICAL ENGINEER STRUCTURAL ENGINEER</p>	<p>Project: PERRIS LOGISTICS CENTER</p> <p>Project Location: PERRIS, CA 92571</p> <p>Project Number: 1922</p> <p>Client: CFL</p> <p>Date: 02/28/21</p> <p>Scale: AS SHOWN</p>	<p>Project: PERRIS LOGISTICS CENTER</p> <p>Project Location: PERRIS, CA 92571</p> <p>Project Number: 1922</p> <p>Client: CFL</p> <p>Date: 02/28/21</p> <p>Scale: AS SHOWN</p>
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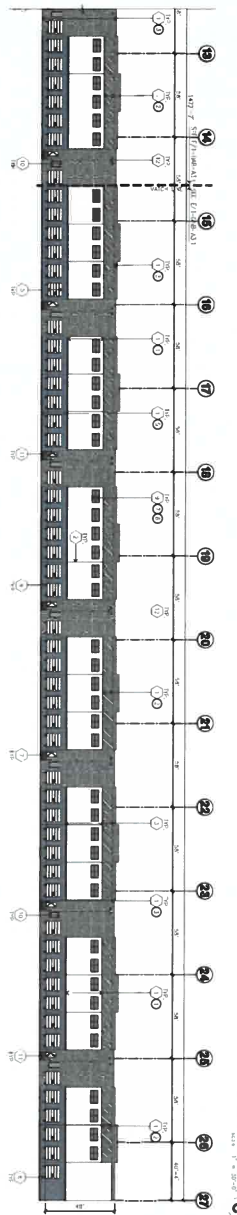
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



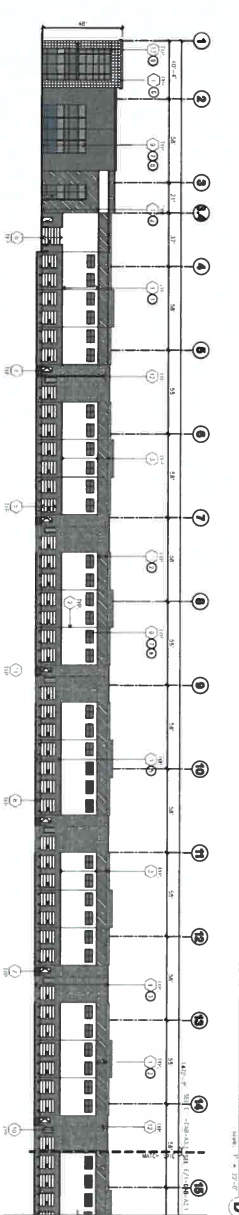
NORTH ELEVATION (CONT.)
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (CONT.)
SCALE: 1/8" = 1'-0"

- KEYNOTES - ELEVATIONS**
- 1. CHIMNEY (BLACK) (PANEL FINISHED)
 - 2. BRASS DOOR
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- COLOR SCHEDULE - ELEVATIONS**
- 1. BRASS DOOR
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- GLAZING LEGEND**
- 1. BRASS DOOR
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- GENERAL NOTES - ELEVATIONS**
1. ALL ELEVATIONS TO BE FINISHED TO FACE UNLESS NOTED OTHERWISE.
 2. BRASS DOOR TO BE FINISHED TO FACE UNLESS NOTED OTHERWISE.
 3. BRASS DOOR TO BE FINISHED TO FACE UNLESS NOTED OTHERWISE.
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 45. BRASS DOOR TO BE FINISHED TO FACE UNLESS NOTED OTHERWISE.

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MEDICINE

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Project:
PENINS LOGISTICS
CENTER

Location:
PENINS AVE & BLAKE AVE
HOUSTON, TX 77058

Architect:
CIVIL ENGINEERS & ARCHITECTS
1801 Highway 101
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Houston, TX 77058
Tel: 281-488-1100
Fax: 281-488-1101
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Consultants:

- CIVIL ENGINEERS & ARCHITECTS
- MECHANICAL ENGINEERS
- ELECTRICAL ENGINEERS
- PLUMBING ENGINEERS
- STRUCTURAL ENGINEERS
- HAZARDOUS WASTE ENGINEERS
- ENVIRONMENTAL ENGINEERS
- LANDSCAPE ARCHITECTS
- INTERIOR DESIGNERS
- MARKETING CONSULTANTS
- LEGAL CONSULTANTS
- FINANCIAL CONSULTANTS
- INSURANCE BROKERS
- GENERAL CONTRACTORS
- MECHANICAL CONTRACTORS
- ELECTRICAL CONTRACTORS
- PLUMBING CONTRACTORS
- STRUCTURAL CONTRACTORS
- HAZARDOUS WASTE CONTRACTORS
- ENVIRONMENTAL CONTRACTORS
- LANDSCAPE ARCHITECTS
- INTERIOR DESIGNERS
- MARKETING CONSULTANTS
- LEGAL CONSULTANTS
- FINANCIAL CONSULTANTS
- INSURANCE BROKERS

Project Number: 1812
Client: CCI
Drawn by: J. D. B. A. 3.1
Date: 03/29/01
Revision:

Scale:

Sheet:

I-DAB-A3.1



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 18015 Highway 100, Suite 1100
 Irvine, CA 92618
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 State of California
 License No. 48628-CA-001



IDI Logistics
 IDI Logistics
 24500 Redwood Road
 San Bruno, CA 94066
 Tel: 650.335.2000

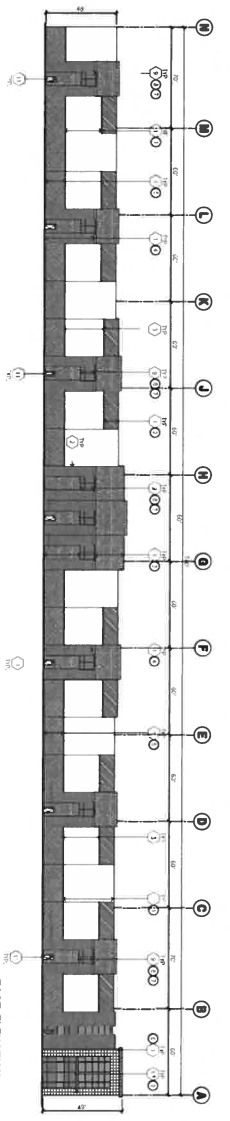
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 PERNIS LOGISTICS CENTER
 NORTH

RENAME A/E & ENGINEER
 PERNIS LOGISTICS CENTER
 ORIGINAL PROJECT NUMBER:
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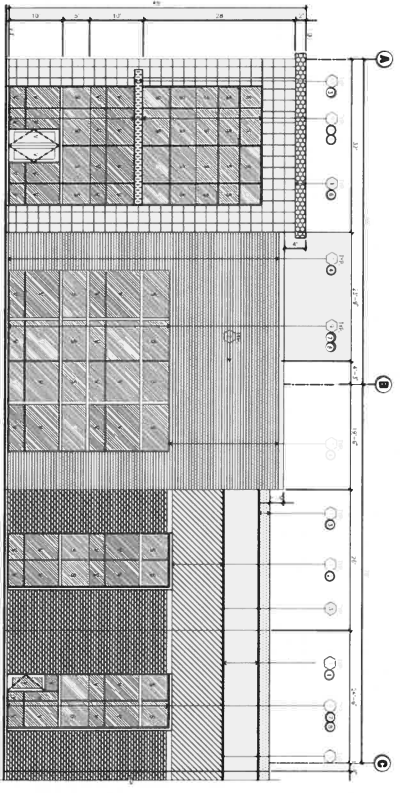
CONSULTANTS:
 CIVIL: THORNTON TOMASETTI
 ARCHITECTURAL: THORNTON TOMASETTI
 PLUMBING: THORNTON TOMASETTI
 ELECTRICAL: THORNTON TOMASETTI
 LANDSCAPE: HARTEN
 MECHANICAL: HARTEN
 STRUCTURAL: HARTEN
 INTERIORS: HARTEN
 SIGNAGE: HARTEN
 SPECIALTY: HARTEN
 SECURITY: HARTEN
 VENTILATION: HARTEN
 WASTE: HARTEN
 WATER: HARTEN
 WOOD: HARTEN
 YARD: HARTEN

Sheet:
 1-DAB-A3.2

Title: Elevations
 Project Number: 1922
 Drawing By: DS
 Date: 03/29/11
 Revision:



EAST ELEVATION



ENLARGED WEST ELEVATION

NOTES - ELEVATIONS

- 1. CONJECTURE: SEE FOR FURTHER INFORMATION.
- 2. FINISH: SEE GENERAL NOTES.
- 3. FINISH: SEE GENERAL NOTES.
- 4. FINISH: SEE GENERAL NOTES.
- 5. FINISH: SEE GENERAL NOTES.
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- 10. FINISH: SEE GENERAL NOTES.

COLOR SCHEDULE - ELEVATIONS

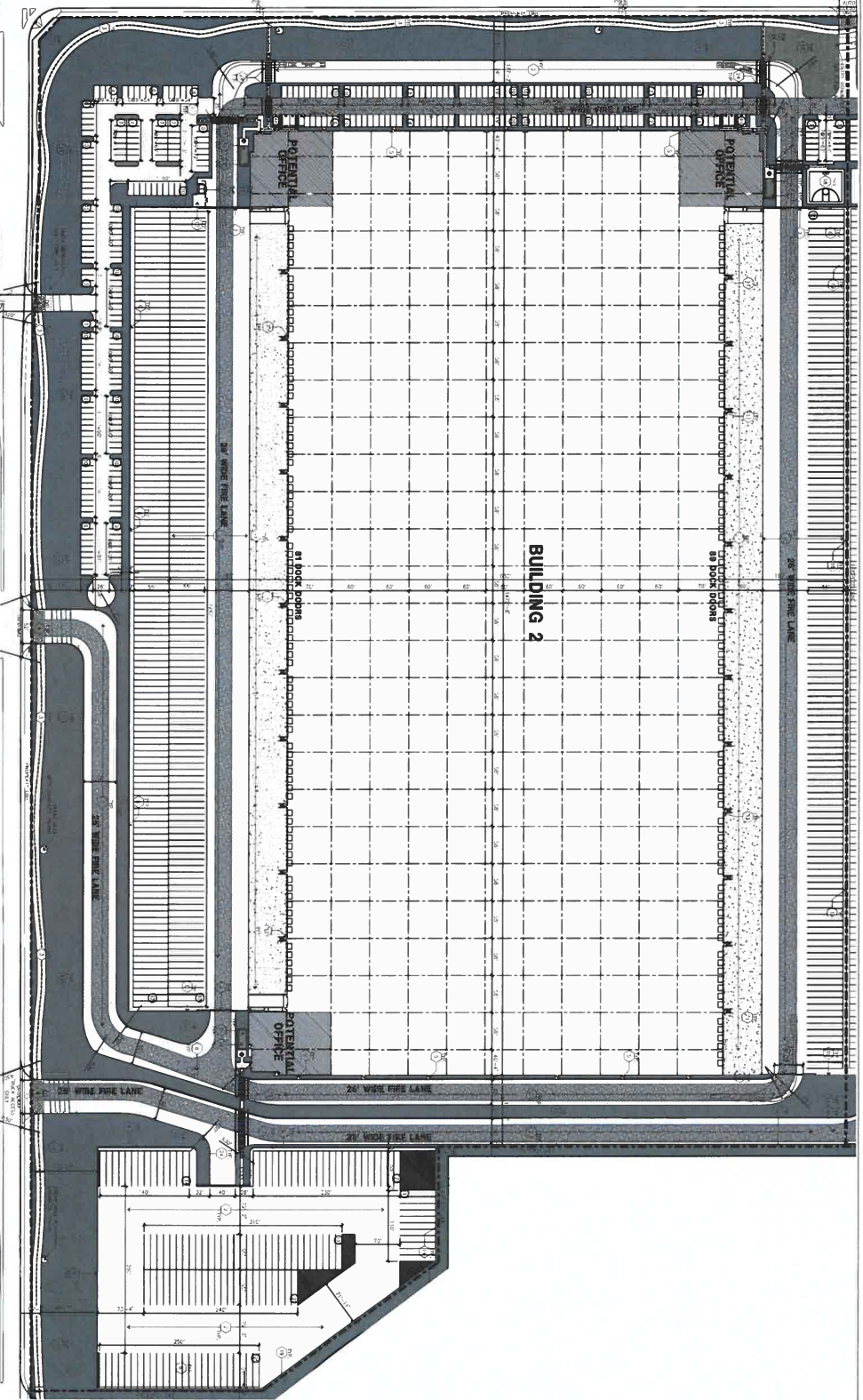
- 1. CONJECTURE: SEE FOR FURTHER INFORMATION.
- 2. FINISH: SEE GENERAL NOTES.
- 3. FINISH: SEE GENERAL NOTES.
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GLAZING LEGEND

- 1. CONJECTURE: SEE FOR FURTHER INFORMATION.
- 2. FINISH: SEE GENERAL NOTES.
- 3. FINISH: SEE GENERAL NOTES.
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GENERAL NOTES - ELEVATIONS

- 1. CONJECTURE: SEE FOR FURTHER INFORMATION.
- 2. FINISH: SEE GENERAL NOTES.
- 3. FINISH: SEE GENERAL NOTES.
- 4. FINISH: SEE GENERAL NOTES.
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- 10. FINISH: SEE GENERAL NOTES.



ELLIS AVENUE

GENERAL NOTES - SITE PLAN

SITE PLAN NOTES

OVERALL SITE PLAN

PROJ: 1922
 CLIENT: IDI LOGISTICS
 DATE: 02/28/23



PROJECT DATA

OWNER	REDLANDS AVENUE, 200' WIDE FIRE LANE, 20' WIDE FIRE LANE, 20' WIDE FIRE LANE, 20' WIDE FIRE LANE, 20' WIDE FIRE LANE
PROJECT NAME	BUILDING 2
PROJECT ADDRESS	ELLIS AVENUE, REDLANDS AVENUE
PROJECT AREA	12.00 AC.
PROJECT PERMITS	PLANNING, ENGINEERING, LANDSCAPE, ELECTRICAL, MECHANICAL, FIRE, SIGN
PROJECT PHASES	CONCEPT, PRELIMINARY, PERMITTING, CONSTRUCTION
PROJECT SCHEDULE	CONCEPT: 10/2022, PRELIMINARY: 11/2022, PERMITTING: 12/2022, CONSTRUCTION: 1/2023
PROJECT CONTACTS	ARCHITECT: IDI LOGISTICS, ENGINEER: JAMES M. WATSON & ASSOCIATES, LANDSCAPE: GARDEN OF EDDY & ASSOCIATES, ELECTRICAL: CH2M HILL, MECHANICAL: CH2M HILL, FIRE: CH2M HILL, SIGN: CH2M HILL
PROJECT NOTES	1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. 2. THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY. 3. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSE. 4. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSE. 5. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSE.

GENERAL NOTES - SITE PLAN

1. ALL NOTES AND CONDITIONS SHALL BE READ AND UNDERSTOOD BY ALL CONTRACTORS AND SUBCONTRACTORS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL UTILITIES AND STRUCTURES.

7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS AND WASTE MATERIALS.

9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES FOR ALL WORKERS AND THE PUBLIC.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL RESOURCES.

SITE LEGEND

[Symbol]	Accessed area	[Symbol]	Utility Easement
[Symbol]	Asphalt	[Symbol]	Utility Right-of-Way
[Symbol]	Concrete	[Symbol]	Utility Right-of-Way
[Symbol]	Grass	[Symbol]	Utility Right-of-Way
[Symbol]	Gravel	[Symbol]	Utility Right-of-Way
[Symbol]	Paved Area	[Symbol]	Utility Right-of-Way
[Symbol]	Unpaved Area	[Symbol]	Utility Right-of-Way

SITE PLAN NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL UTILITIES AND STRUCTURES.

2. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS AND WASTE MATERIALS.

4. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES FOR ALL WORKERS AND THE PUBLIC.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL RESOURCES.

OVERALL SITE PLAN

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL UTILITIES AND STRUCTURES.

2. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC UTILITIES AT ALL TIMES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS AND WASTE MATERIALS.

4. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES FOR ALL WORKERS AND THE PUBLIC.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL RESOURCES.



1801 North Loop West, Suite 4100
 Houston, Texas 77056
 Tel: 281.486.1175
 Fax: 281.486.2453
 Email: info@hparch.com



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 Houston, Texas 77057
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Project:
FERRIS LOGISTICS CENTER
NORTH

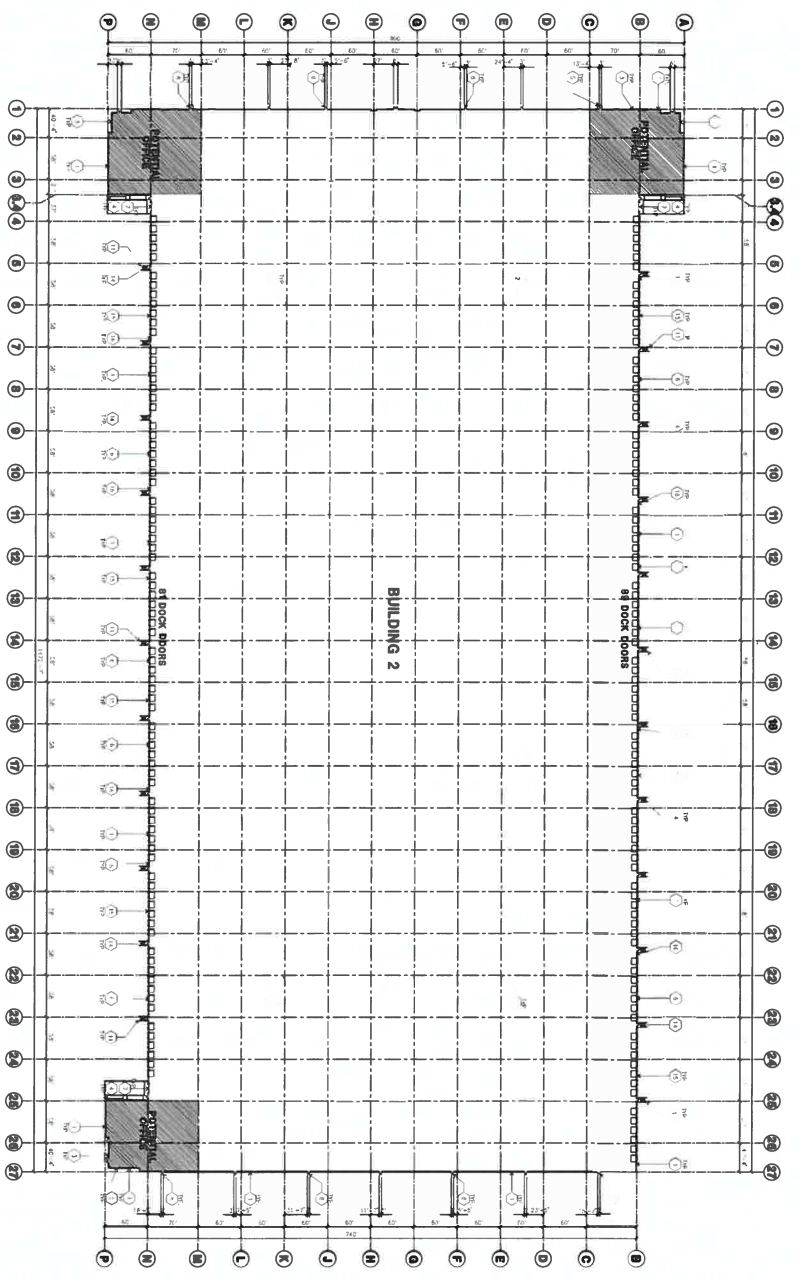
REDAUX INC. & SUBS. INC.
FERRIS CENTER
 6400 Katy Street, Suite 200
 Houston, Texas 77057
 Tel: 281.486.1175

Consultants:
FRANK & WEBB
 CIVIL
 STRUCTURAL
 MECHANICAL
 ELECTRICAL
 PLUMBING
 HVAC
 INTERIORS
 LANDSCAPE
 SIGNAGE

Project Number: 1922
Drawn By: GS
Date: 03/20/17
Revision:

Title: OVERALL FLOOR PLAN

Scale:
2'-0" = 1'-0"



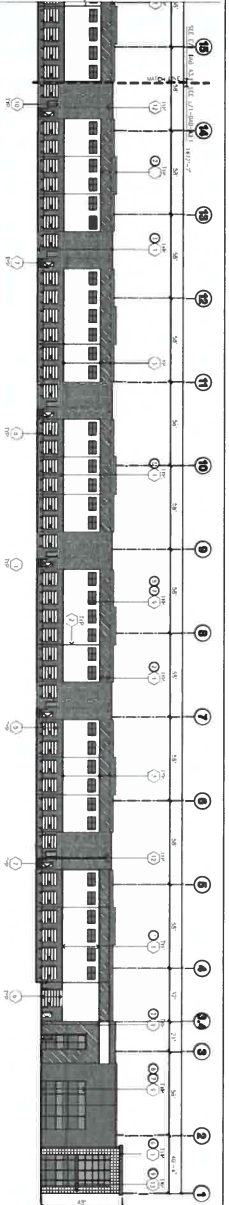
OVERALL FLOOR PLAN
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 D
 C
 B
 A

KEYNOTES - FLOOR PLAN

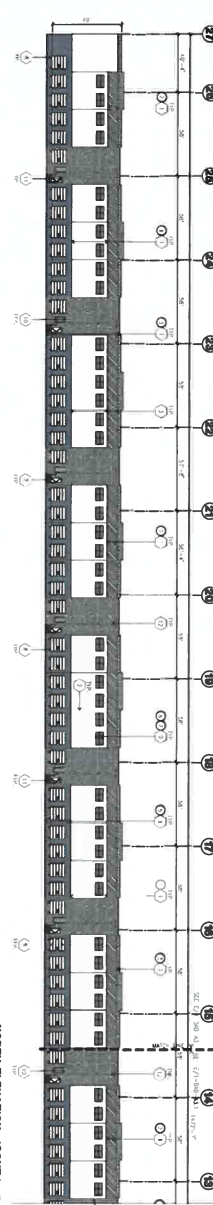
- 1) CONCRETE IN-UP PANEL
- 2) INTERIOR STAIR SHAFT
- 3) FLOOR OR PARTIAL FLOOR WITH OUTLINE SEE OFFICE BLOW-UP AND FLOOR OR PARTIAL FLOOR WITH OUTLINE SEE OFFICE BLOW-UP AND FLOOR OR PARTIAL FLOOR WITH OUTLINE SEE OFFICE BLOW-UP AND
- 4) CONCRETE SLAB
- 5) 2" - 8" SLAB INCL. CONCRETE, GYPSUM LATHING AND PAPER, 4" MINIMUM BRIDGE FLOOR FINISH FLOOR FINISH 3" W/ 3/8" SLAB/STRENGTH
- 6) 9" X 12" BRICK/CONC. VERTICAL LIFT, STANDARD GRADE
- 7) 12" X 12" VERTICAL LIFT, STANDARD GRADE
- 8) 2" X 12" W/ 1/2" W/ 1/2" CRITERION WAS ROOM
- 9) STAIR ADJAC
- 10) STAIR ADJAC
- 11) CONC. IN THE GABLE ROOF OF THE BLDG. 2"
- 12) INTERIOR ROOFING WITH GYPSUM SCOFFER
- 13) INTERIOR ROOFING WITH GYPSUM SCOFFER
- 14) INTERIOR ROOFING WITH GYPSUM SCOFFER
- 15) INTERIOR ROOFING WITH GYPSUM SCOFFER
- 16) INTERIOR ROOFING WITH GYPSUM SCOFFER
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- 24) INTERIOR ROOFING WITH GYPSUM SCOFFER
- 25) INTERIOR ROOFING WITH GYPSUM SCOFFER
- 26) INTERIOR ROOFING WITH GYPSUM SCOFFER
- 27) INTERIOR ROOFING WITH GYPSUM SCOFFER

GENERAL NOTES - FLOOR PLAN

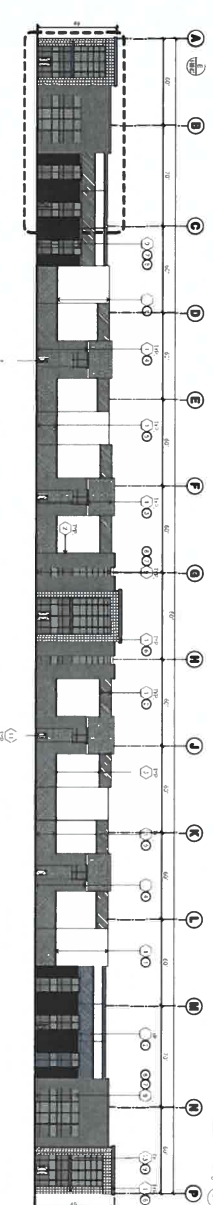
- 1. - ALL DIMENSIONS ARE SHOWN TO FACE UNLESS NOTED OTHERWISE.
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- 27. - ALL DIMENSIONS ARE SHOWN TO FACE UNLESS NOTED OTHERWISE.



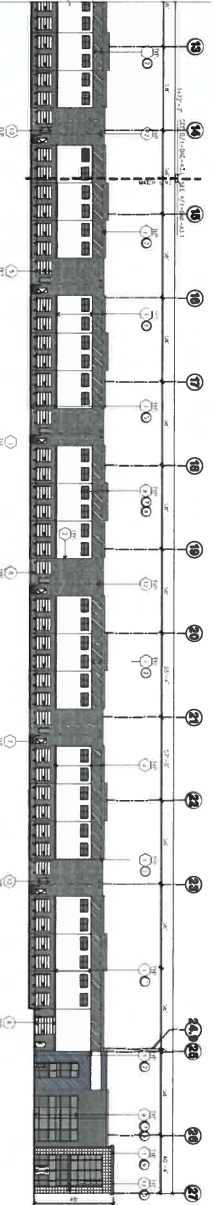
NORTH ELEVATION A



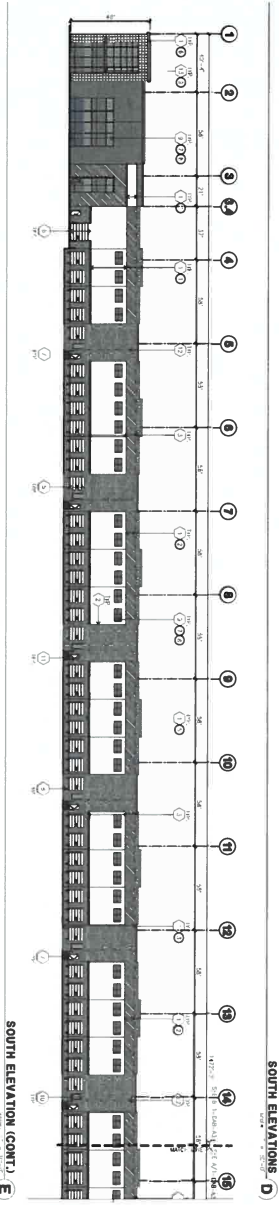
NORTH ELEVATION (CONT.) B



WEST ELEVATION C



SOUTH ELEVATIONS D



SOUTH ELEVATION (CONT.) E

REMARKS - ELEVATIONS

- 1) OVER-HUNG UP-ROCK, 1/2" MIN. (1/4" MIN. 1/2")
- 2) PANEL, 20" x 12"
- 3) PANEL, 20" x 12"
- 4) OVERHUNG DOOR & DOOR CASE
- 5) OVERHUNG DOOR & DOOR CASE
- 6) OVERHUNG DOOR & DOOR CASE
- 7) OVERHUNG DOOR & DOOR CASE
- 8) OVERHUNG DOOR & DOOR CASE
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- 35) OVERHUNG DOOR & DOOR CASE

COLOR SCHEDULE - ELEVATIONS

- 1) OVERHUNG UP-ROCK, 1/2" MIN. (1/4" MIN. 1/2")
- 2) PANEL, 20" x 12"
- 3) PANEL, 20" x 12"
- 4) OVERHUNG DOOR & DOOR CASE
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- 35) OVERHUNG DOOR & DOOR CASE

LAYOUT LEGEND

- 1) OVERHUNG UP-ROCK, 1/2" MIN. (1/4" MIN. 1/2")
- 2) PANEL, 20" x 12"
- 3) PANEL, 20" x 12"
- 4) OVERHUNG DOOR & DOOR CASE
- 5) OVERHUNG DOOR & DOOR CASE
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- 35) OVERHUNG DOOR & DOOR CASE

GENERAL NOTES - ELEVATIONS

- 1) OVERHUNG UP-ROCK, 1/2" MIN. (1/4" MIN. 1/2")
- 2) PANEL, 20" x 12"
- 3) PANEL, 20" x 12"
- 4) OVERHUNG DOOR & DOOR CASE
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- 34) OVERHUNG DOOR & DOOR CASE
- 35) OVERHUNG DOOR & DOOR CASE

HPA ARCHITECTURE

1801 Taylor Ave. Ste. 400
 West, CA
 Tel: 949-483-1170
 Fax: 949-483-1053
 www.hpa-arch.com

IDI Logistics

Elizaveta
 8425 S. Orange Ave. Suite 300
 West, CA
 Tel: 714-333-0000

Project
PERRIS LOGISTICS CENTER

North

REYNOLDS & ELZAVETA
 PERRIS, CA 92570

ORIGINIAL PROJECT FILE # 83
 WEST, CA
 1/15/2010

UNLESS NOTED OTHERWISE

Consultants:

CIVIL ENGINEER
INHERS & WEBB
 ARCHITECTURAL
 PLUMBING
 ELECTRICAL
 MECHANICAL
 INSULATION
 CONTRACTOR
 HANSEN

2D-DAB-A3.1

Sheet

Project Number: 1812
 Client: CI
 Date: 02/29/11



IDI Logistics

8100 Guyton
8400 Guyton
8400 Guyton
8400 Guyton
8400 Guyton
8400 Guyton

Project

PERINS LOGISTICS CENTER
NORTH

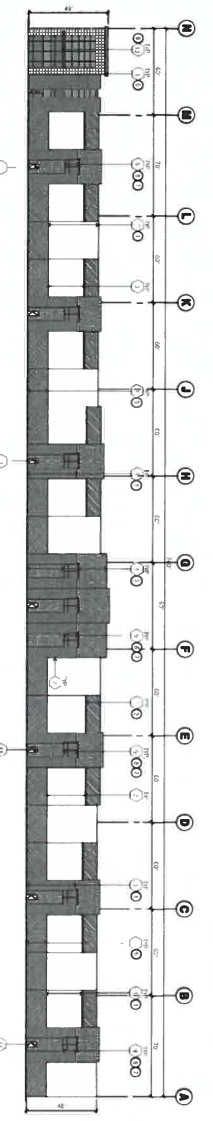
REYNOLDS INC & ELIS INC
PERINS CA 1679
ORIGINAL PROJECT NUMBER:
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W09101543003

Consultants

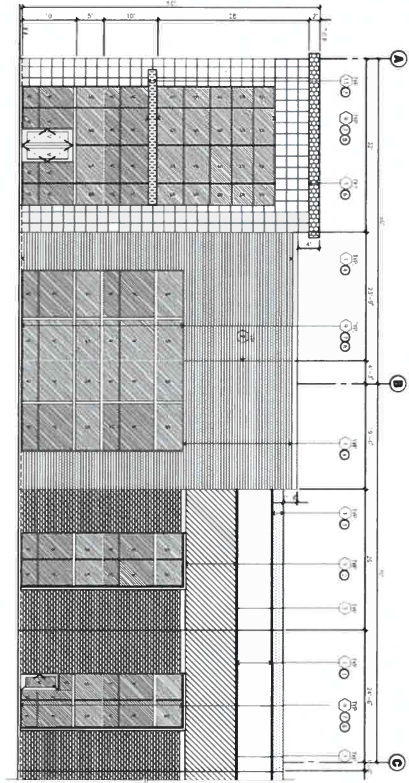
TRINBER & WEBB
ARCHITECTURAL
MECHANICAL
ELECTRICAL
PLUMBING
AND
HAZARDOUS WASTE
CONSULTANTS

DATE: 11/11/2011
TIME: 10:00 AM
BY: TRINBER & WEBB
PROJECT NUMBER: 1812
CLIENT: C1
DATE: 02/29/11

2-DRAW-A32



EAST ELEVATION



ENLARGED WEST ELEVATION B

NOTES - ELEVATIONS

1. SUBJECT: 2nd-FLOOR WEST (PART B)
2. DATE: 11/11/2011
3. DRAWN BY: TRINBER & WEBB
4. CHECKED BY: TRINBER & WEBB
5. APPROVED BY: TRINBER & WEBB
6. PROJECT: PERINS LOGISTICS CENTER - NORTH
7. LOCATION: 8400 GUYTON ROAD, WACO, TX
8. SCALE: AS SHOWN
9. UNITS: FEET AND INCHES (ROUNDED UP)
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
11. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
12. SEE GENERAL NOTES FOR WINDOW SCHEDULES.
13. SEE GENERAL NOTES FOR DOOR SCHEDULES.
14. SEE GENERAL NOTES FOR ELEVATION CONSTRUCTION.
15. SEE GENERAL NOTES FOR ELEVATION FINISHES.
16. SEE GENERAL NOTES FOR ELEVATION COORDINATION.
17. SEE GENERAL NOTES FOR ELEVATION INTERFERENCES.
18. SEE GENERAL NOTES FOR ELEVATION CLEARANCES.
19. SEE GENERAL NOTES FOR ELEVATION PROJECTIONS.
20. SEE GENERAL NOTES FOR ELEVATION CUTS.

COLOR SCHEDULE - ELEVATIONS

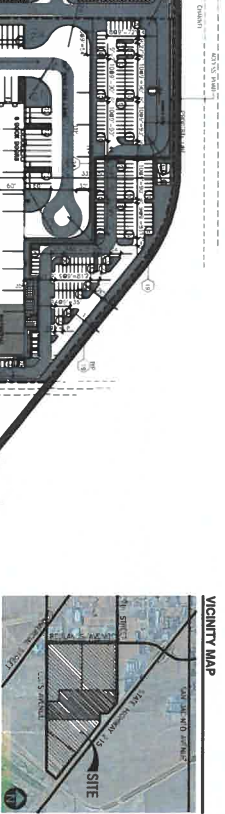
- 1. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 2. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 3. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 4. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 5. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 6. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 7. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 8. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 9. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
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- 17. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 18. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 19. Concrete (Finish with form finish and decorative aggregate) - See Note 10.
- 20. Concrete (Finish with form finish and decorative aggregate) - See Note 10.

GLAZING LEGEND

- 1. Single Glazed (6090 Series)
- 2. Double Glazed (6090 Series)
- 3. Single Glazed (6090 Series)
- 4. Double Glazed (6090 Series)
- 5. Single Glazed (6090 Series)
- 6. Double Glazed (6090 Series)
- 7. Single Glazed (6090 Series)
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- 15. Single Glazed (6090 Series)
- 16. Double Glazed (6090 Series)
- 17. Single Glazed (6090 Series)
- 18. Double Glazed (6090 Series)
- 19. Single Glazed (6090 Series)
- 20. Double Glazed (6090 Series)

GENERAL NOTES - ELEVATIONS

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
3. SEE GENERAL NOTES FOR WINDOW SCHEDULES.
4. SEE GENERAL NOTES FOR DOOR SCHEDULES.
5. SEE GENERAL NOTES FOR ELEVATION CONSTRUCTION.
6. SEE GENERAL NOTES FOR ELEVATION FINISHES.
7. SEE GENERAL NOTES FOR ELEVATION COORDINATION.
8. SEE GENERAL NOTES FOR ELEVATION INTERFERENCES.
9. SEE GENERAL NOTES FOR ELEVATION CLEARANCES.
10. SEE GENERAL NOTES FOR ELEVATION PROJECTIONS.
11. SEE GENERAL NOTES FOR ELEVATION CUTS.
12. SEE GENERAL NOTES FOR ELEVATION FINISHES.
13. SEE GENERAL NOTES FOR ELEVATION COORDINATION.
14. SEE GENERAL NOTES FOR ELEVATION INTERFERENCES.
15. SEE GENERAL NOTES FOR ELEVATION CLEARANCES.
16. SEE GENERAL NOTES FOR ELEVATION PROJECTIONS.
17. SEE GENERAL NOTES FOR ELEVATION CUTS.
18. SEE GENERAL NOTES FOR ELEVATION FINISHES.
19. SEE GENERAL NOTES FOR ELEVATION COORDINATION.
20. SEE GENERAL NOTES FOR ELEVATION INTERFERENCES.



VICINITY MAP

PROJECT DATA

DATE	11/01/2017	PROJECT NUMBER	1922
SCALE	1/4" = 1'-0"	DRAWN BY	AM
PROJECT NAME	3-DAB-A1.1	CHECKED BY	AM
OWNER	IDA LOGISTICS	DATE PLOTTED	11/01/2017
LOCATION	112TH AVENUE & SULLY AVENUE	DATE	11/01/2017
DESCRIPTION	OVERALL SITE PLAN	SCALE	1/4" = 1'-0"
DESIGNER	IDA LOGISTICS ARCHITECTURE	PROJECT NUMBER	1922
PROJECT NUMBER	1922	DATE	11/01/2017
CLIENT	IDA LOGISTICS	SCALE	1/4" = 1'-0"
PROJECT NAME	3-DAB-A1.1	DATE	11/01/2017
LOCATION	112TH AVENUE & SULLY AVENUE	SCALE	1/4" = 1'-0"
DESCRIPTION	OVERALL SITE PLAN	SCALE	1/4" = 1'-0"

IDA LOGISTICS
 1801 Velle Drive
 Suite 204
 Lincoln, NE 68502-1779
 Tel: 402.352.8500
 Fax: 402.352.8501
 Email: ida@idalogistics.com

IDA LOGISTICS
 DESIGNER
 8480 Dodge Street, Suite 310
 Omaha, NE 68130
 Tel: 402.352.8500

Project:
 FERRIS LOGISTICS CENTER
NORTH

VENUE NAME & SUBNAME:
 FERRIS CENTER NORTH
 CHASSIS PROJECT NUMBER
 1905/01/19/01/2017
 1905/01/19/01/2017

LOCATION ID

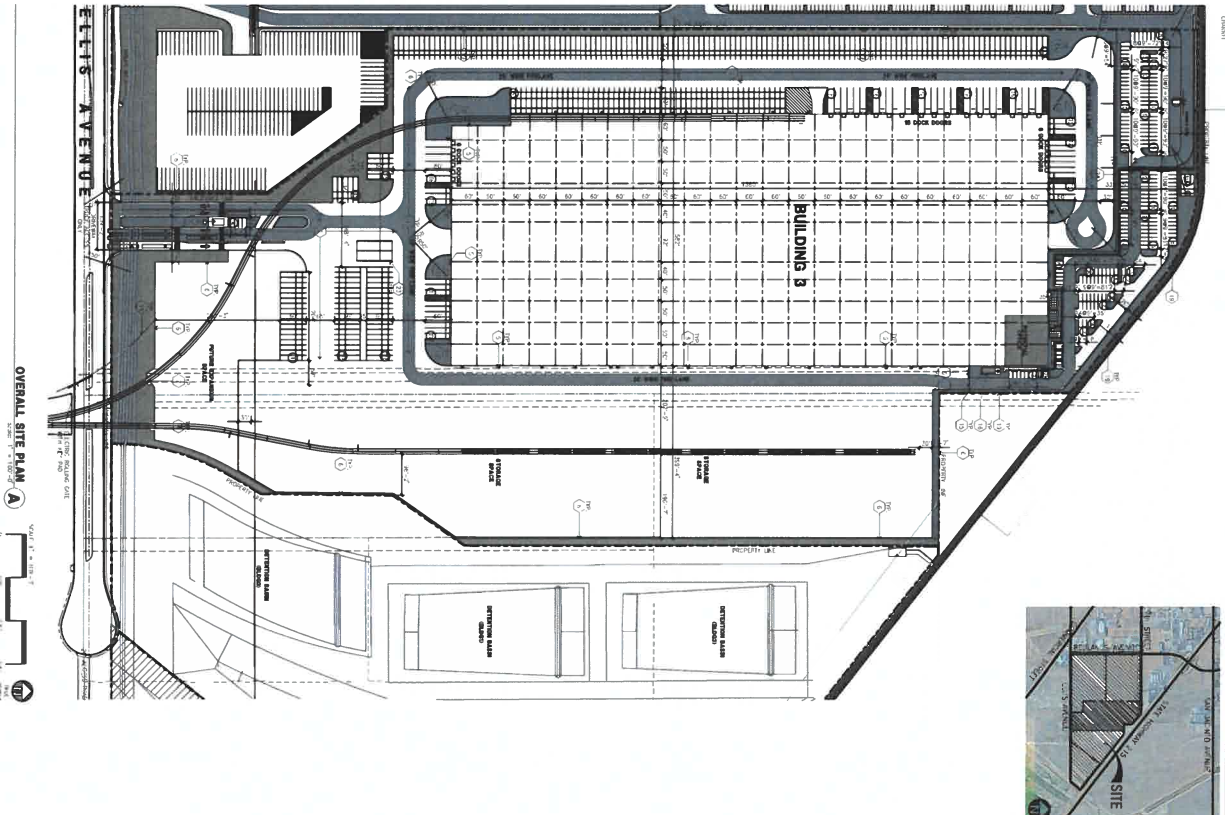
Consultants:
 CIVIL: THEBERG & WEBB
 MECHANICAL: THEBERG & WEBB
 ELECTRICAL: THEBERG & WEBB
 LANDSCAPE: THEBERG & WEBB
 INTERIORS: THEBERG & WEBB

TS#
 OVERALL SITE PLAN

Project Number: 1922
 Date: 02/02/17

3-DAB-A1.1

Overall Site Plan



OVERALL SITE PLAN



GENERAL NOTES - SITE PLAN

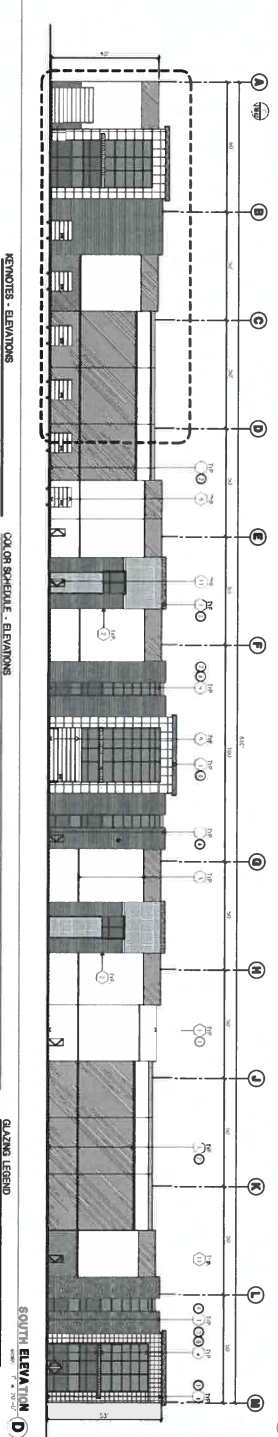
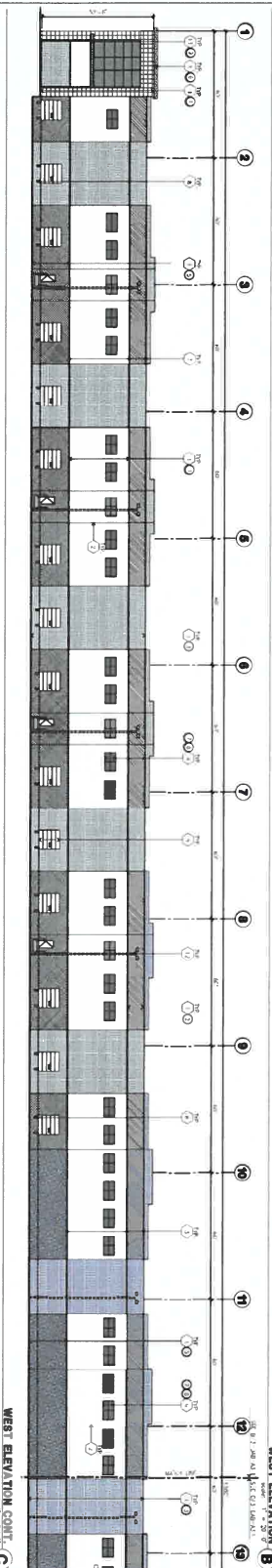
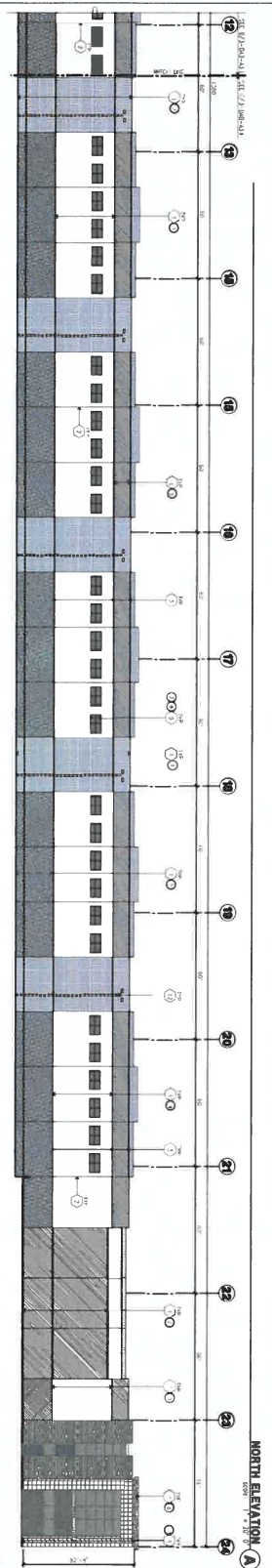
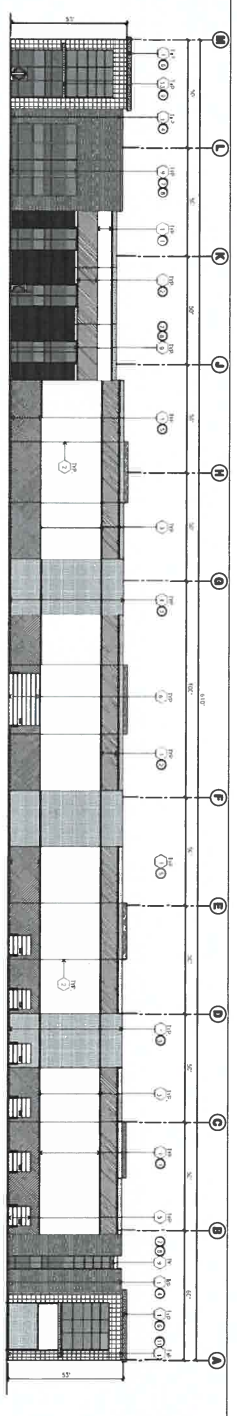
1. THE SITE PLAN SHALL BE USED AS A GUIDE ONLY FOR CONSTRUCTION.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES, EXISTING AND PROPOSED, PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES AND RESTORE THEM TO ORIGINAL CONDITION OR BETTER.
7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SITE MATERIALS AND RESTORE THEM TO ORIGINAL CONDITION OR BETTER.
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES AND RESTORE THEM TO ORIGINAL CONDITION OR BETTER.
10. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE UNLESS OTHERWISE NOTED.
11. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SITE MATERIALS AND RESTORE THEM TO ORIGINAL CONDITION OR BETTER.
12. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES AND RESTORE THEM TO ORIGINAL CONDITION OR BETTER.
13. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE UNLESS OTHERWISE NOTED.
14. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING SITE MATERIALS AND RESTORE THEM TO ORIGINAL CONDITION OR BETTER.
15. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES AND RESTORE THEM TO ORIGINAL CONDITION OR BETTER.

SITE PLAN NOTES

1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
2. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE OF THE ROAD OR TO THE FACE OF THE CURB, UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE OF THE ROAD OR TO THE FACE OF THE CURB, UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE OF THE ROAD OR TO THE FACE OF THE CURB, UNLESS OTHERWISE NOTED.
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15. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE OF THE ROAD OR TO THE FACE OF THE CURB, UNLESS OTHERWISE NOTED.

SITE LEGEND

[Symbol]	UNDERSIDE AREA	[Symbol]	PAVEMENT
[Symbol]	PAVEMENT	[Symbol]	CONCRETE
[Symbol]	CONCRETE	[Symbol]	ASPHALT
[Symbol]	ASPHALT	[Symbol]	LANDSCAPE
[Symbol]	LANDSCAPE	[Symbol]	TREES
[Symbol]	TREES	[Symbol]	EROSION CONTROL
[Symbol]	EROSION CONTROL	[Symbol]	UTILITIES
[Symbol]	UTILITIES	[Symbol]	BOUNDARY



- SYMBOLS - ELEVATIONS**
- 1 Concrete finish over formwork
 - 2 Paint
 - 3 Brick
 - 4 Concrete masonry
 - 5 Metal siding
 - 6 Metal panels
 - 7 Metal panels
 - 8 Concrete masonry
 - 9 Concrete masonry
 - 10 Concrete masonry
 - 11 Concrete masonry
 - 12 Concrete masonry
 - 13 Concrete masonry
 - 14 Concrete masonry
 - 15 Concrete masonry
 - 16 Concrete masonry
 - 17 Concrete masonry
 - 18 Concrete masonry
 - 19 Concrete masonry
 - 20 Concrete masonry
 - 21 Concrete masonry
 - 22 Concrete masonry
 - 23 Concrete masonry
- COLOR SCHEDULE - ELEVATIONS**
- 1 Concrete masonry
 - 2 Concrete masonry
 - 3 Concrete masonry
 - 4 Concrete masonry
 - 5 Concrete masonry
 - 6 Concrete masonry
 - 7 Concrete masonry
 - 8 Concrete masonry
 - 9 Concrete masonry
 - 10 Concrete masonry
 - 11 Concrete masonry
 - 12 Concrete masonry
 - 13 Concrete masonry
 - 14 Concrete masonry
 - 15 Concrete masonry
 - 16 Concrete masonry
 - 17 Concrete masonry
 - 18 Concrete masonry
 - 19 Concrete masonry
 - 20 Concrete masonry
 - 21 Concrete masonry
 - 22 Concrete masonry
 - 23 Concrete masonry
- GLAZING LEGEND**
- 1 Clear glass
 - 2 Clear glass
 - 3 Clear glass
 - 4 Clear glass
 - 5 Clear glass
 - 6 Clear glass
 - 7 Clear glass
 - 8 Clear glass
 - 9 Clear glass
 - 10 Clear glass
 - 11 Clear glass
 - 12 Clear glass
 - 13 Clear glass
 - 14 Clear glass
 - 15 Clear glass
 - 16 Clear glass
 - 17 Clear glass
 - 18 Clear glass
 - 19 Clear glass
 - 20 Clear glass
 - 21 Clear glass
 - 22 Clear glass
 - 23 Clear glass
- GENERAL NOTES - ELEVATIONS**
1. All elevations shall be shown in accordance with the notes on the drawings.
 2. All elevations shall be shown in accordance with the notes on the drawings.
 3. All elevations shall be shown in accordance with the notes on the drawings.
 4. All elevations shall be shown in accordance with the notes on the drawings.
 5. All elevations shall be shown in accordance with the notes on the drawings.
 6. All elevations shall be shown in accordance with the notes on the drawings.
 7. All elevations shall be shown in accordance with the notes on the drawings.
 8. All elevations shall be shown in accordance with the notes on the drawings.
 9. All elevations shall be shown in accordance with the notes on the drawings.
 10. All elevations shall be shown in accordance with the notes on the drawings.
 11. All elevations shall be shown in accordance with the notes on the drawings.
 12. All elevations shall be shown in accordance with the notes on the drawings.
 13. All elevations shall be shown in accordance with the notes on the drawings.
 14. All elevations shall be shown in accordance with the notes on the drawings.
 15. All elevations shall be shown in accordance with the notes on the drawings.
 16. All elevations shall be shown in accordance with the notes on the drawings.
 17. All elevations shall be shown in accordance with the notes on the drawings.
 18. All elevations shall be shown in accordance with the notes on the drawings.
 19. All elevations shall be shown in accordance with the notes on the drawings.
 20. All elevations shall be shown in accordance with the notes on the drawings.
 21. All elevations shall be shown in accordance with the notes on the drawings.
 22. All elevations shall be shown in accordance with the notes on the drawings.
 23. All elevations shall be shown in accordance with the notes on the drawings.

HPA
ARCHITECTURE

18011 Valley View, Ste. 4100
Dallas, TX 75248
Tel: 972.346.1170
Fax: 972.346.1171
www.hpaarch.com

IDI Logistics

20000 North Central Expressway, Suite 400
Dallas, TX 75248
Tel: 972.346.1170

Project:
FERRIS LOGISTICS CENTER

North

RENDERING BY: J. GIBBS
PROJECT NUMBER: 18011 VALLEY VIEW, STE. 4100
DATE: 10/20/2011

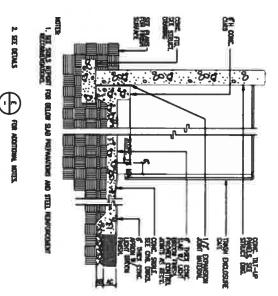
Consultants:
THOMAS & WEBB

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING
LANDSCAPE
HAZARDOUS
INTERIORS

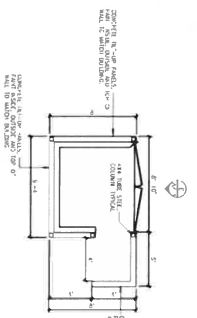
THE ELEVATIONS

Project Number: 18011
Created by: JG
Date: 10/20/2011

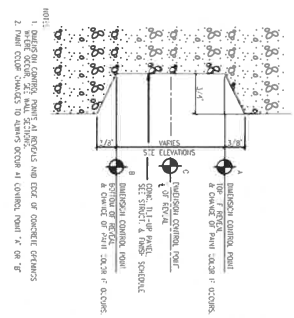
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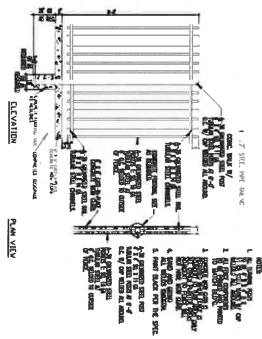
TRASH ENCLOSURE SECTION F



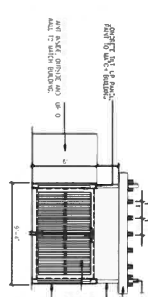
TRASH ENCLOSURE PLAN C



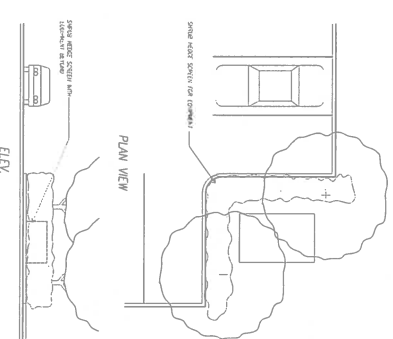
TYP. CONCRETE REVEAL B



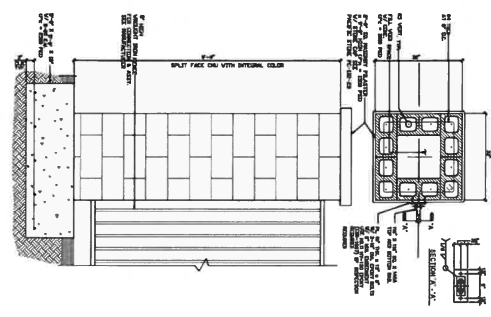
METAL FENCE DETAIL H



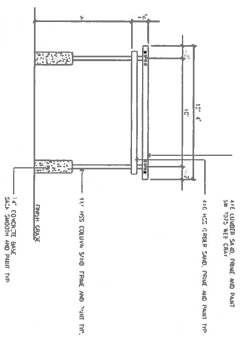
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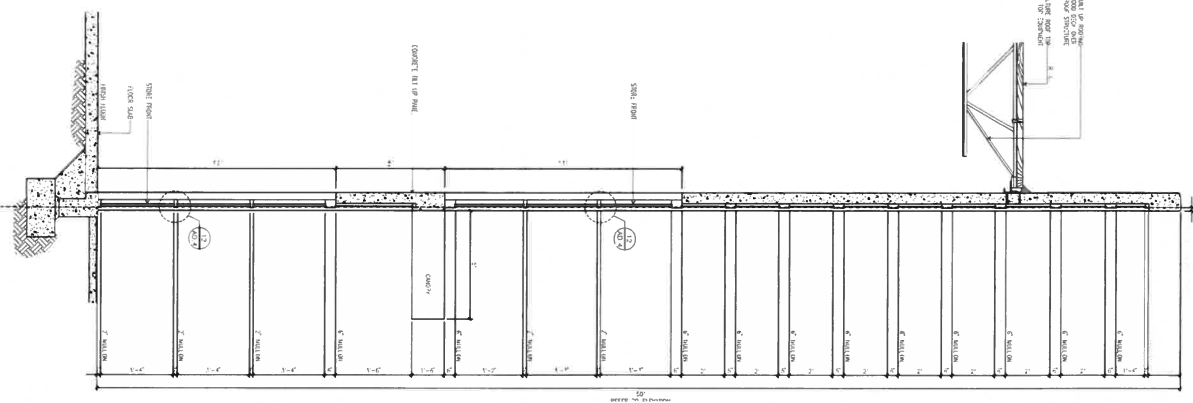
GROUND MOUNTED EQUIPMENT SCREENING, TYP. D



PLASTER DETAIL



TRUSS PLAN AND ELEVATION G



TYP. STOREFRONT SECTION A

HPA
ARCHITECTURE

1631 Webster Street, Ste. 4100
Houston, TX 77002
Tel: 713.462.1170
Fax: 713.462.1170
www.hpaarchitect.com

IDI Logistics

811 Logistics
8000 Katy Freeway, Suite 400
Houston, TX 77024
Tel: 281.333.0000

Project:
PERRIS LOGISTICS CENTER NORTH

REARMS INC & ELBA INC
PERRIS CANALS

GROUND FOOTPRINT NUMBER:
NORTH LOGISTICS CENTER PHASE 1
19-055121

ARCHITECT ID:
19-055121

Consultants:

TRUSSS MEMBERS:
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
MECHANICAL
MANTRA

Title: SECTION

Project Number: 1912

Drawn by: CH

Date: 03/28/21

Check:

DAB-A4.1

DAB-A4.3

Sheet	
Revision	
Drawn By	CR
Project Number	1912
Date	03/29/21
SECTION	

CONSULTANTS:

CIVIL: THAMES & WEBB
 ELECTRICAL: -
 MECHANICAL: -
 PLUMBING: -
 ELECTRICAL: -
 LANDSCAPE: HINTER
 ARCHITECTURE: -
 STRUCTURAL: -
 INTERIORS: -
 EXTERIORS: -
 SIGNAGE: -
 LIGHTING: -
 SECURITY: -
 SUSTAINABILITY: -
 TRANSPORTATION: -
 UTILITIES: -
 VEGETATION: -
 WATER: -
 WIND: -
 YIELD: -

PROJECT:

PERPINS LOGISTICS CENTER
 NORTH
 REDLANDS AVE & ELLIS AVE
 REDLANDS, CA 92370
 ORIGINAL PROJECT NUMBER: 1912-0007
 ARCHITECT: MORGAN ARCHITECTURE, INC.
 15-05332
 (MORAN MOD ID)

PROJECT:

PERPINS LOGISTICS CENTER
 NORTH

IDI Logistics

811 Logistics
 600 Foothill Street, Suite 343
 Brea, CA 92620
 Tel: 714-300-0000

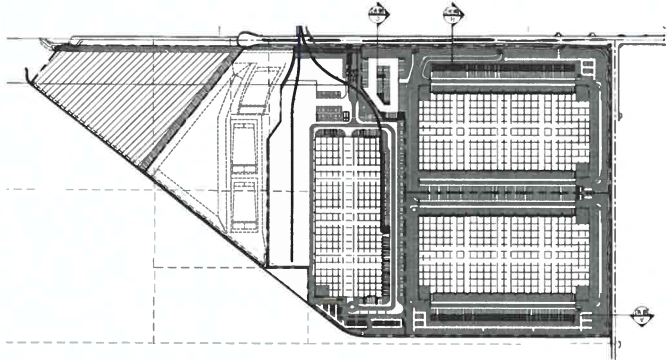


HPA ARCHITECTURE

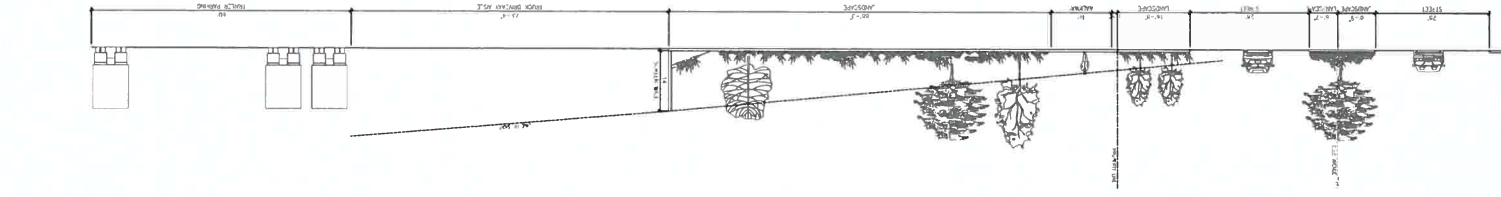
1820 Linderoth Avenue - 4th Fl. #100
 Brea, CA 92620
 Tel: 949-853-1770
 Fax: 949-853-0511
 Email: hpa@hpaarchitecture.com



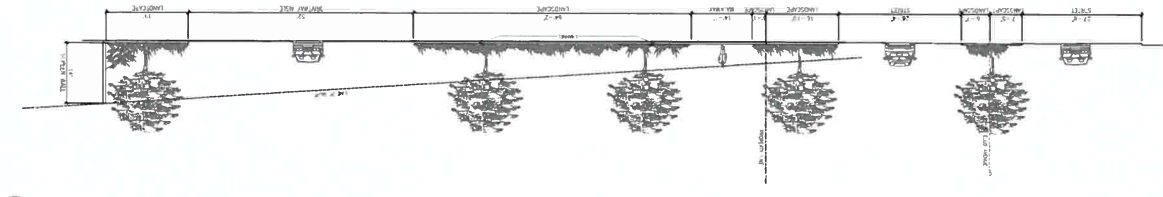
KEYPLAN
 1/8" = 1'-0"



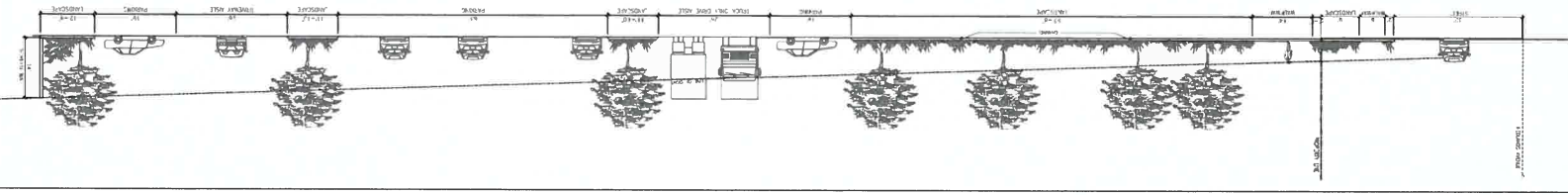
SITE SECTION • ELLIS AVE.



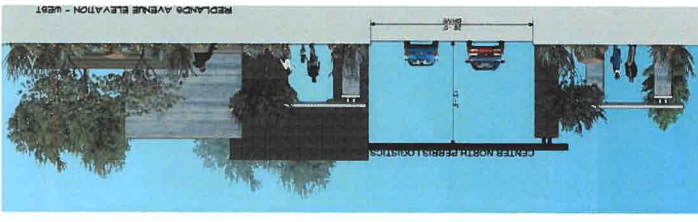
SITE SECTION • ELLIS AVE.

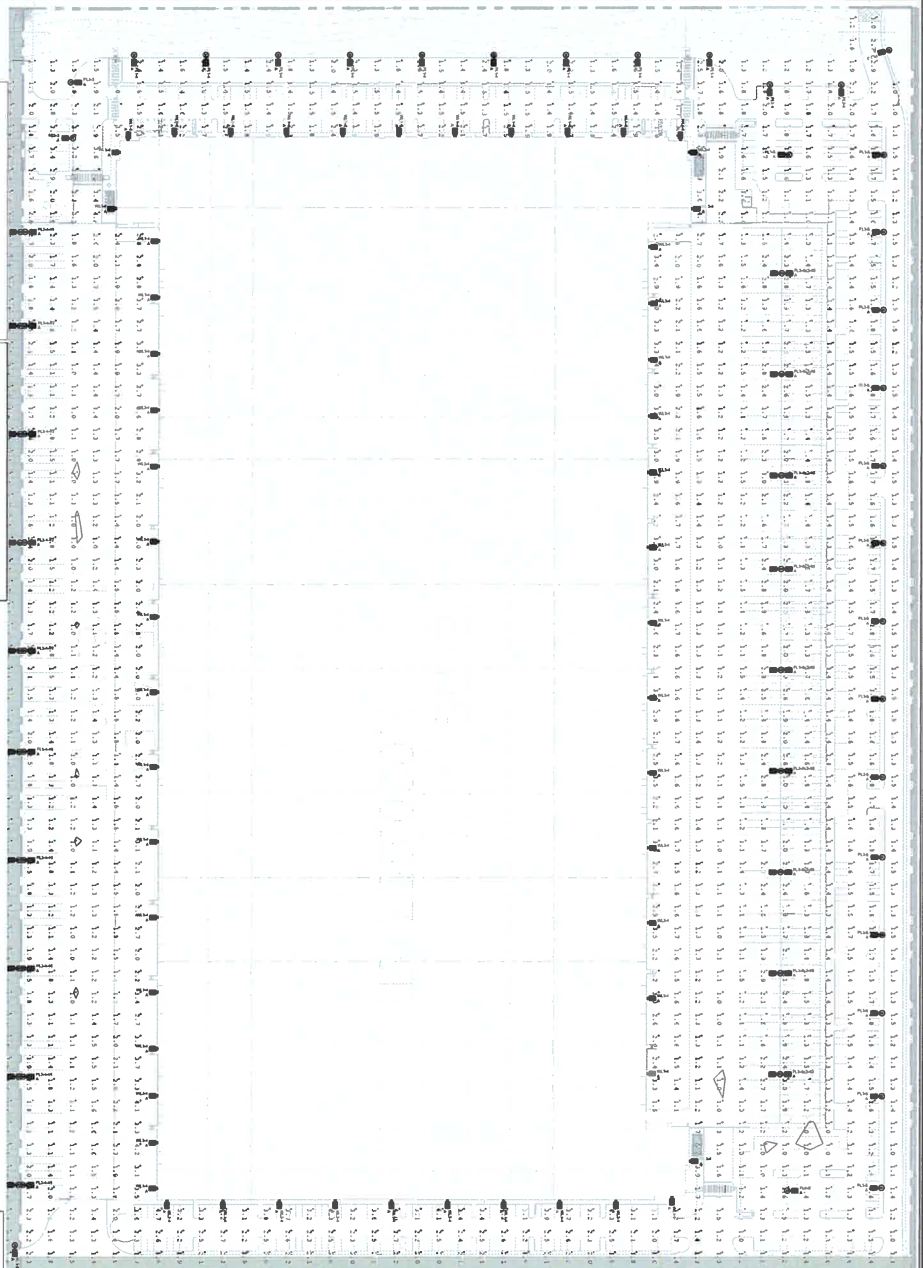


SITE SECTION • REDLANDS AVE.



ENTRY MONUMENT





BUILDING 1 SITE LIGHTING PLAN
SCALE: 1/8" = 1'-0"

NOTES

1. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
2. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
3. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
4. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
5. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
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7. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
8. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
9. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
10. ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

SITE LIGHTING STATISTICS

ITEM	QUANTITY	UNIT
POLE BASES	10	POLE BASES
FIXTURES	100	FIXTURES
WIRING	1000	WIRING
CONDUIT	1000	CONDUIT
TERMINALS	1000	TERMINALS
WALL MOUNTED	1000	WALL MOUNTED
POLE MOUNTED	1000	POLE MOUNTED
RECESSED	1000	RECESSED
EXPOSED	1000	EXPOSED
INDUSTRIAL	1000	INDUSTRIAL
COMMERCIAL	1000	COMMERCIAL
RESIDENTIAL	1000	RESIDENTIAL
OFFICE	1000	OFFICE
RETAIL	1000	RETAIL
RESTAURANT	1000	RESTAURANT
BAR	1000	BAR
CHEF	1000	CHEF
DISCO	1000	DISCO
CLUB	1000	CLUB
THEATER	1000	THEATER
CONCERT	1000	CONCERT
STADIUM	1000	STADIUM
ARENA	1000	ARENA
GYMNASIUM	1000	GYMNASIUM
INDUSTRIAL	1000	INDUSTRIAL
WAREHOUSE	1000	WAREHOUSE
FACTORY	1000	FACTORY
LABORATORY	1000	LABORATORY
OFFICE	1000	OFFICE
RETAIL	1000	RETAIL
RESTAURANT	1000	RESTAURANT
BAR	1000	BAR
CHEF	1000	CHEF
DISCO	1000	DISCO
CLUB	1000	CLUB
THEATER	1000	THEATER
CONCERT	1000	CONCERT
STADIUM	1000	STADIUM
ARENA	1000	ARENA
GYMNASIUM	1000	GYMNASIUM

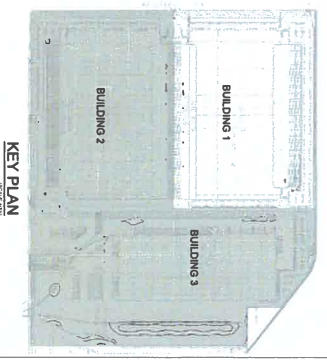


FIGURE LEGEND

SYMBOL	DESCRIPTION	SCALE
(Symbol)	POLE BASE	1/8" = 1'-0"
(Symbol)	FIXTURE	1/8" = 1'-0"
(Symbol)	WIRING	1/8" = 1'-0"
(Symbol)	CONDUIT	1/8" = 1'-0"
(Symbol)	TERMINALS	1/8" = 1'-0"
(Symbol)	WALL MOUNTED	1/8" = 1'-0"
(Symbol)	POLE MOUNTED	1/8" = 1'-0"
(Symbol)	RECESSED	1/8" = 1'-0"
(Symbol)	EXPOSED	1/8" = 1'-0"
(Symbol)	INDUSTRIAL	1/8" = 1'-0"
(Symbol)	COMMERCIAL	1/8" = 1'-0"
(Symbol)	RESIDENTIAL	1/8" = 1'-0"
(Symbol)	OFFICE	1/8" = 1'-0"
(Symbol)	RETAIL	1/8" = 1'-0"
(Symbol)	RESTAURANT	1/8" = 1'-0"
(Symbol)	BAR	1/8" = 1'-0"
(Symbol)	CHEF	1/8" = 1'-0"
(Symbol)	DISCO	1/8" = 1'-0"
(Symbol)	CLUB	1/8" = 1'-0"
(Symbol)	THEATER	1/8" = 1'-0"
(Symbol)	CONCERT	1/8" = 1'-0"
(Symbol)	STADIUM	1/8" = 1'-0"
(Symbol)	ARENA	1/8" = 1'-0"
(Symbol)	GYMNASIUM	1/8" = 1'-0"
(Symbol)	INDUSTRIAL	1/8" = 1'-0"
(Symbol)	WAREHOUSE	1/8" = 1'-0"
(Symbol)	FACTORY	1/8" = 1'-0"
(Symbol)	LABORATORY	1/8" = 1'-0"
(Symbol)	OFFICE	1/8" = 1'-0"
(Symbol)	RETAIL	1/8" = 1'-0"
(Symbol)	RESTAURANT	1/8" = 1'-0"
(Symbol)	BAR	1/8" = 1'-0"
(Symbol)	CHEF	1/8" = 1'-0"
(Symbol)	DISCO	1/8" = 1'-0"
(Symbol)	CLUB	1/8" = 1'-0"
(Symbol)	THEATER	1/8" = 1'-0"
(Symbol)	CONCERT	1/8" = 1'-0"
(Symbol)	STADIUM	1/8" = 1'-0"
(Symbol)	ARENA	1/8" = 1'-0"
(Symbol)	GYMNASIUM	1/8" = 1'-0"

SEE ARCHITECTURAL PLANS FOR ACTUAL POLE BASE HEIGHTS

PROJECT: PERIRE LOGISTICS CENTER BUILDING 1

DATE: 05/15/2018

SCALE: 1/8" = 1'-0"

PROJECT NO.: 20840

DATE: 05/15/2018

SCALE: 1/8" = 1'-0"

PROJECT NO.: 1ESL1

CONTRACTORS ENGINEERS
LENN 201842

Gregg Blackie Inc.

608 W. EMERSON ST.
ONTARIO, CA 91762
(951) 836-1744

PERIRE LOGISTICS CENTER BUILDING 1

DATE: 05/15/2018

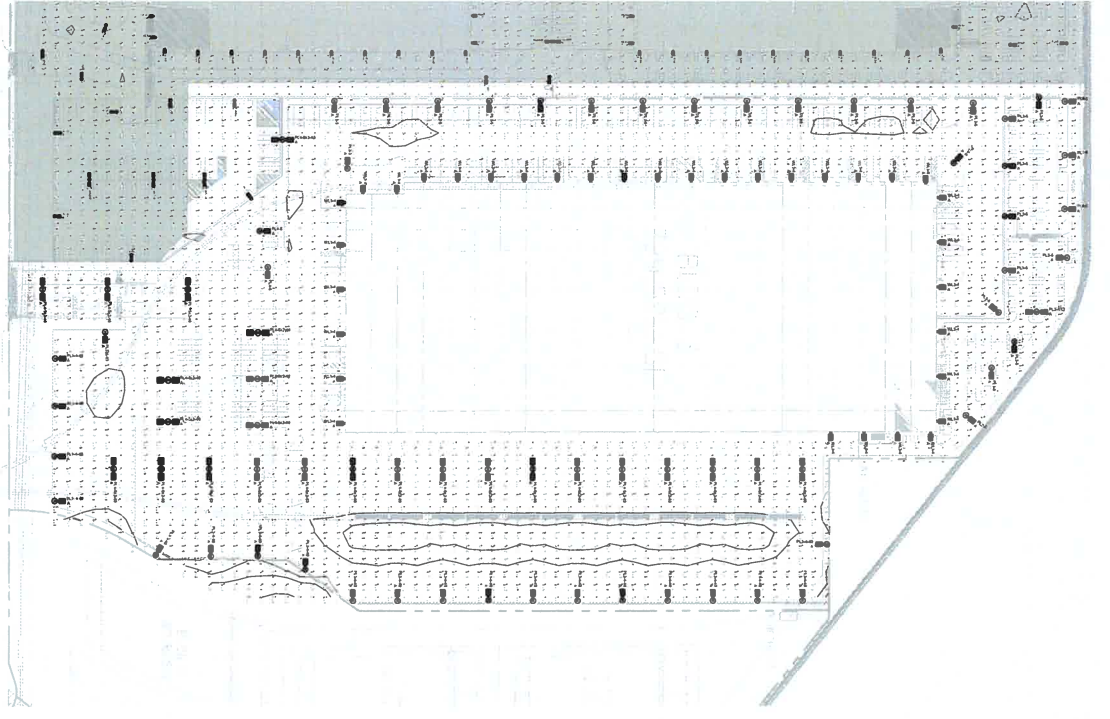
SCALE: 1/8" = 1'-0"

PROJECT NO.: 20840

DATE: 05/15/2018

SCALE: 1/8" = 1'-0"

PROJECT NO.: 1ESL1



BUILDING 3 SITE LIGHTING PLAN

RSX2 LED
Aero Luminaire

Specifications:
 Model: RSX2 LED
 Height: 14' 0" (4.27 m)
 Lumens: 147,000
 Beam Spread: 120°
 Power: 200 W
 Voltage: 120 VAC
 Frequency: 60 Hz
 Life Span: 50,000 hours

EXHIBIT 3EESL1 TO THE EXISTING PLAN

Location	Quantity	Notes
Building 3 - North Wing	12	Standard spacing
Building 3 - South Wing	12	Standard spacing
Building 3 - East Wing	12	Standard spacing
Building 3 - West Wing	12	Standard spacing

Site Lighting Statistics

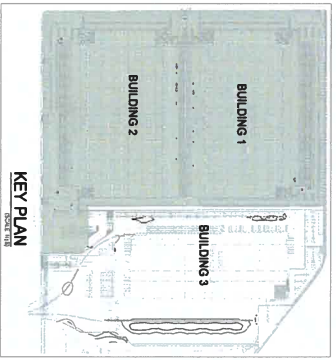
Area	Area (sq ft)	Area (sq m)	Footcandle (fc)	Footcandle (lm/m²)
Building 3	1,200,000	111,484	1.0	107.6
Building 1	800,000	74,323	1.0	107.6
Building 2	600,000	55,742	1.0	107.6

FIGURE LEGEND

Symbol	Description	Notes
○	Standard Footcandle	1.0 fc
○	Standard Footcandle	2.0 fc
○	Standard Footcandle	3.0 fc
○	Standard Footcandle	4.0 fc
○	Standard Footcandle	5.0 fc
○	Standard Footcandle	6.0 fc
○	Standard Footcandle	7.0 fc
○	Standard Footcandle	8.0 fc
○	Standard Footcandle	9.0 fc
○	Standard Footcandle	10.0 fc
○	Standard Footcandle	11.0 fc
○	Standard Footcandle	12.0 fc
○	Standard Footcandle	13.0 fc
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○	Standard Footcandle	18.0 fc
○	Standard Footcandle	19.0 fc
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○	Standard Footcandle	43.0 fc
○	Standard Footcandle	44.0 fc
○	Standard Footcandle	45.0 fc
○	Standard Footcandle	46.0 fc
○	Standard Footcandle	47.0 fc
○	Standard Footcandle	48.0 fc
○	Standard Footcandle	49.0 fc
○	Standard Footcandle	50.0 fc

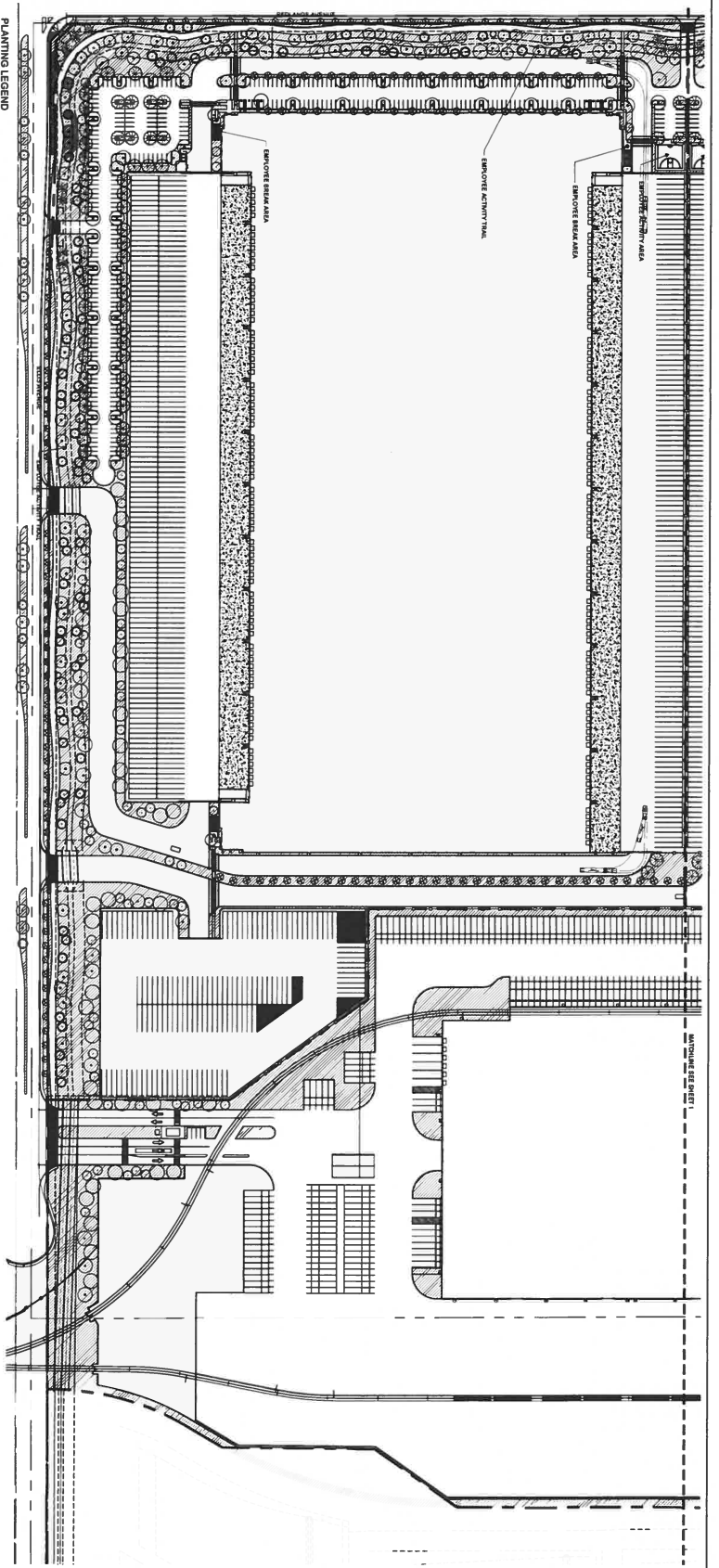
SITE LIGHTING STATISTICS

Area	Area (sq ft)	Area (sq m)	Footcandle (fc)	Footcandle (lm/m²)
Building 3	1,200,000	111,484	1.0	107.6
Building 1	800,000	74,323	1.0	107.6
Building 2	600,000	55,742	1.0	107.6

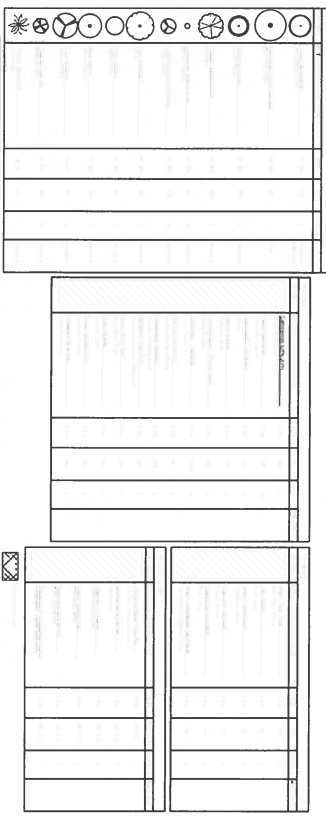


KEY PLAN

<p>CONTRACTORS ENGINEERS 603 W. EMPORIA ST. OAKLAND, CA 94612 (415) 764-1144</p>		<p>PROJECT: PERINS LOGISTICS CENTER BUILDING 3</p>	<p>TITLE: THE LIGHTING PLAN</p>	<p>DATE: 02/20/2020</p> <p>PROJECT NUMBER: 20840</p> <p>DESIGNER: 3ESL1</p>
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PLANTING LEGEND



Perris Logistic Center North

10/25/20
10/26/20
10/27/20
10/28/20
10/29/20

Perris, California

SHEET 2 OF 2



HUNTER LANDSCAPE
211 8TH STREET PASCADUNA, CA 92520
714.986.2400 FAX 714.986.2408