

# CITY OF PERRIS PLANNING COMMISSION

## AGENDA

**December 01, 2021**

**City Council Chambers**  
Meeting to convene at 6:00 P.M.  
101 North "D" Street  
Perris, CA 92570

**1. CALL TO ORDER:**

**2. ROLL CALL:**

**Commissioners:** Lopez, Jimenez, Gomez,  
Vice-Chair Hammond, Chair Shively

**3. INVOCATION:**

**4. PLEDGE OF ALLEGIANCE:** Commissioner Lopez

**5. PRESENTATION:**

**6. CONSENT CALENDAR:**

**A. Planning Commission Minutes for November 17, 2021**

**B. Street Name Review 21-05246** – A proposal to name seven (7) streets within Tentative Tract Map 37722 located at the northwest corner of Green Valley Parkway and Murrieta Road. **Applicant:** Larry Liebel, Richmond American Homes.

**REQUESTED ACTION: APPROVE** Street Name Review 21-05246

**7. PUBLIC HEARING:**

**A. Conditional Use Permit (CUP) 19-05295** – A proposal to construct and operate an 8-island passenger car fueling station, a 1,406 square-foot retail store, a 3,960 square-foot convenience store along with a detached 2,505-square-foot carwash on a 1.36-acre vacant site located at the northwest corner of 4<sup>th</sup> Street and Navajo Road (APN 326-234-003) **Applicant:** Alex Irshaid, RamCam Engineering.

**REQUESTED ACTION: ADOPT Resolution No. 21-25** adopting Mitigated Negative Declaration No. 2363 and approving CUP 19-05295 to construct and operate a convenience store, fueling station with an automated car wash, based on the findings contained in the staff report and subject to the Conditions of Approval.

**8. BUSINESS ITEM:**

- A. Code Enforcement Informational Item** – An informational presentation on the Code Enforcement Division’s operation to promote quality of life for the community of Perris.

**9. PUBLIC COMMENTS:**

*Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, spell your last name, and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.*

**10. COMMISSION MEMBERS ANNOUNCEMENTS OR REPORTS:**

**11. DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:**

**12. ADJOURNMENT**

**COVID-19 REMOTE PUBLIC COMMENT/CITIZEN PARTICIPATION**

*With the intent of adhering to the new community guidelines from the Center for Disease Control, the City of Perris will allow for remote public comment and participation at the upcoming Planning Commission meeting via Zoom. Public Comment is limited to three (3) minutes.*

**ZOOM MEETING INFORMATION**

When: December 1, 2021, 06:00, PM Pacific Time (US and Canada)  
Topic: Planning Commission Meeting

Join Zoom Meeting using the below link or call-in number:  
<https://zoom.us/j/642558532>

Meeting ID: 642 558 532

One tap mobile

+16699009128,,642558532# US (San Jose)

+12532158782,,642558532# US (Tacoma)

Dial by your location

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

During the Planning Commission meeting, if you wish to speak for public comment on any item, please select the raise hand icon next to your name. The moderator will grant you access to speak. Public Comment is limited to (3) three minutes.

# **Planning Commission Agenda**

**CITY OF PERRIS  
November 03, 2021**

## **Item 6A**

**Planning Commission Minutes for  
November 17, 2021**

# ***CITY OF PERRIS***

## MINUTES:

Date of Meeting: November 17, 2021

06:04 PM

Place of Meeting: City Council Chambers

Commission Members Present: Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez, Vice Chair Shively, and Chairman Hammond.

1. CALL TO ORDER:
2. ROLL CALL: Commissioners: Gomez, Lopez, Jimenez, Vice-Chair Hammond, Chair Shively

Commission Members Present: Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez, Vice Chair Shively, and Chairman Hammond.

3. INVOCATION:
4. PLEDGE OF ALLEGIANCE: Commissioner Gomez
5. PRESENTATION:
6. CONSENT CALENDAR:
  - A. Planning Commission Minutes for November 03, 2021

The Chair called for a motion.

M/S/C: Moved by Vice Chair Shively, seconded by Commissioner Jimenez to Approve Planning Commission Minutes for November 03, 2021

AYES: Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez, Vice Chair Shively, Chairman Hammond.

NOES:

ABSENT:

ABSTAIN:

7. PUBLIC HEARING:
  - A. Ordinance Amendment 21-05223, General Plan Amendment 21-05224, and Specific Plan Amendment 21-05225 – A proposal to comprehensively update the truck route designations and regulations in the Municipal Code, General Plan and Perris Valley Commerce Center Specific Plan in order to establish consistency and enable enforcement. Applicant: City of Perris REQUESTED ACTION: Adopt Resolution No.

21-22 recommending the City Council adopt Mitigated Negative Declaration 2364 and approve the following amendments to the Truck Route regulations: • Ordinance Amendment No 21-05223 to the Perris Municipal Code Section, • General Plan Amendment No 21-05224 to the City of Perris Circulation Element, and • Specific Plan Amendment 21-05225 to the Perris Valley Commerce Center Specific Plan.

Consultant Planner Candida Neal, presented the item to the Commission.

Commissioner Lopez, asked for clarification on the updated truck route exhibit.

Staff clarified the updates on the modified truck route exhibit.

Chair Shively, asked about the process to alter the southern truck routes and the inclusion of Goetz Road, Ethanac Road, and Evans Road.

Staff clarified the future plan to update the southern truck routes and that they were not part of this amendment.

Director of Development Services Phung, clarified Exhibit CE-9 in the staff report package.

Commissioner Jimenez, requested clarification on the structure of the revised ordinance.

Assistant City Attorney, clarified how the ordinance is structured and the focus is on updating the northern truck routes of Perris.

The Commissioners commented on the need to revisit the truck routes for the southern portions of Perris.

Vice Chair Shively, asked about truck access for the industrial properties north of Ramona Expressway.

Director of Development Services Phung, commented that Webster Avenue between Ramona Expressway and Markham Street is not a truck route and section 3 number 10 of the updated ordinance requires a clerical revision to the truck route limit.

Commissioner Jimenez, asked about the weight of a trucks with and without a trailer.

Chair Shively, asked about trucks utilizing Ramona Expressway coming from the east.

Commissioner Jimenez, inquired when Staff will address the remaining truck routes to the south.

Staff commented on the timeline and process for addressing the southernly truck routes.

Commissioner Gomez, thanked Staff for the presentation and commented on the differences between the previously and currently approved truck maps.

Commissioner Lopez, thanked Staff for the updated routes and believes it will benefit the residents of the city.

Commissioner Jimenez, commented that the changes were long overdue, that it will help alleviated congestion for the northern parts of the city, and approves of the options

given for enforcement.

Chair Hammond, commented on the differences in the truck routes from 2008 to the present version, how these changes will benefit the citizens of Perris, the need for posting no truck signage, and the discretion given to law enforcement.

Assistant City Attorney Khuu, summarized the motion proposed to include: update to reflect the revised ordinance provided in the packet and clerical revision to section 3 number 10 in the ordinance to note truck route on Placentia Avenue from 1-215 freeway to Perris Boulevard.

The Chair called for a motion.

M/S/C: Moved by Commissioner Gomez, seconded by Commissioner Lopez to Approve Ordinance Amendment 21-05223, General Plan Amendment 21-05224, and Specific Plan Amendment 21-05225 – A proposal to comprehensively update the truck route designations and regulations in the Municipal Code, General Plan and Perris Valley Commerce Center Specific Plan in order to establish consistency and enable enforcement. Applicant: City of Perris

REQUESTED ACTION: Adopt Resolution No. 21-22 recommending the City Council adopt Mitigated Negative Declaration 2364 and approve the following amendments to the Truck Route regulations:

- Ordinance Amendment No 21-05223 to the Perris Municipal Code Section,
- General Plan Amendment No 21-05224 to the City of Perris Circulation Element, and
- Specific Plan Amendment 21-05225 to the Perris Valley Commerce Center Specific Plan.

AYES: Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez, Vice Chair Shively, Chairman Hammond.

NOES:

ABSENT:

ABSTAIN:

8. **BUSINESS ITEM:**

9. **PUBLIC COMMENTS: Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, spell your last name, and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.**

10. **COMMISSION MEMBERS ANNOUNCEMENTS OR REPORTS:**

Commissioner Lopez, thanked Staff for addressing the truck routes, commented on the grand opening for Aldi's on November 18th and food drives for the upcoming holidays.

Commissioner Gomez, appreciated the revision to the truck route and the option to provide the City Progress newsletter to the public.

Commissioner Jimenez, noted her excitement for the grand opening of Aldi's and the unveiling of the Veteran's Day memorial.

Vice Chair Shively, appreciated the changes to the truck route, and commented on the veteran's memorial ceremony, and that cities should work together to coordinate truck travel

to help alleviate congestion.

Chair Hammond, commented on the unveiling of the veteran's monument, the Aldi's grand opening, requirement to address southern truck routes, the Christmas parade, and the progress of development in the city.

11. **DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:**

Director of Development Services Phung, commented on the Veteran's memorial, Aldi's grand opening on November 18th, City involvement in the upcoming ICSC Conference, Christmas parade on December 11th, Christmas tree lighting on December 3rd, and the next Planning Commission meeting on December 1st.

12. **ADJOURNMENT COVID-19 REMOTE PUBLIC COMMENT/CITIZEN PARTICIPATION**  
**With the intent of adhering to the new community guidelines from the Center for Disease Control, the City of Perris will allow for remote public comment and participation at the upcoming Planning Commission meeting via Zoom. Public Comment is limited to three (3) minutes.**



# **Planning Commission Agenda**

**CITY OF PERRIS  
November 03, 2021**

## **Item 6B**

**Street Name Review 21-05246**



# CITY OF PERRIS

## PLANNING COMMISSION

### AGENDA SUBMITTAL

**MEETING DATE:** December 1, 2021

**SUBJECT:** **Street Name Review 21-05246** – A proposal to name seven (7) streets within Tentative Tract Map 37722 located at the northwest corner of Green Valley Parkway and Murrieta Road. **Applicant:** Larry Liebel, Richmond American Homes.

**REQUESTED ACTION:** **APPROVE** Street Name Review 21-05246

**CONTACT:** Kenneth Phung, Director of Development Services

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**BACKGROUND/DISCUSSION:**

On February 9, 2021, the City Council approved Tentative Tract Maps 37722 (i.e., TTM19-05233) to subdivide 19.4 acres into 116 single-family lots located at the northwest corner of Green Valley Parkway and Murrieta Road. The applicant for the Street Name Review 21-05246 application, Larry Liebel from Richmond American Homes is now proposing to name seven (7) streets within Tentative Tract Map 37722.

Planning Staff reviewed and determined that the proposed street names do not conflict with any existing street names within the City of Perris. Also, the proposed street names have been reviewed by the Riverside County Information Technology Department, GIS Division. County Staff determined that the recommended street names listed below are adequate and would not conflict with existing street names within the County of Riverside. The proposed street names are as follows:

<b>Proposed Street Names for TM 37722</b>	
<b>Placeholder Street Names for Tentative Tract Maps</b>	<b>Proposed Street Names</b>
<b>A Street</b>	Alyssum Lane
<b>B Street</b>	Blue Star Lane
<b>C Court</b>	Calla Lily Court
<b>D Way</b>	Day Lily Way
<b>E Street</b>	English Bluebell Street
<b>F Court</b>	Flax Flower Court
<b>G Street</b>	Spring Wheat Street*
<b>H Street</b>	Hydrangea Street

\* Existing street name south across Green Valley Parkway

Also, the applicant provided alternative street names (see Exhibit B) that were reviewed by Planning Staff and the Riverside County Information Technology GIS Division, which are adequate and would not conflict with existing street names within the City and County of Riverside.

The Planning Commission is designated as the responsible agency to approve street names by the Perris Municipal Code 19.63.020. The following findings are required to approve the street names request:

1. The street names are pleasant sounding, appropriate, easy to read, and add pride to ownership.
2. The street names are homogeneous to the proposed or existing street names in the surrounding area.
3. The street names do not include numerical and alphabetical letter names, surnames of living persons, or frivolous, complicated or undesirable words.
4. The street names do not have an unconventional spelling.
5. The street names avoid unnecessary prefixes and suffixes.
6. The street names are not a duplication of any existing street names within the City.

The proposed street names meet the criteria established by the City's Municipal Code, and therefore comply with the required findings. Staff recommends that the Planning Commission approve Street Name Application 21-05246 based on the findings contained in this submittal and accompanying exhibits.

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**BUDGET (or FISCAL) IMPACT:** Cost of staff preparation of this item is covered by the applicant.

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Prepared by: Nathan G. Perez, Senior Planner  
**REVIEWED BY:** Kenneth Phung, Director of Development Services

Exhibits: A. Street Map Exhibit  
B. Alternate Street name list

Consent: X  
Public Hearing:  
Workshop:  
Presentation:

# EXHIBIT A

## Alternate Street Name List

**Seasons North at Green Valley Ranch- TR37722  
Street Names Application List**

<b>"A" Street</b>
Alyssum Lane
Acacias Lane
Agapanthus Lane
Aster Lane
<b>"B" Street</b>
Bluestar Lane
Begonia Lane
Bluebonnet Lane
Buttercup Lane
<b>"C" Street</b>
Calla Lily Court
Camelia Court
Carnation Court
Coral Vine Court
<b>"D" Street</b>
Day Lily Way
Desert Rose Way
Dianella Way
Daisy Way

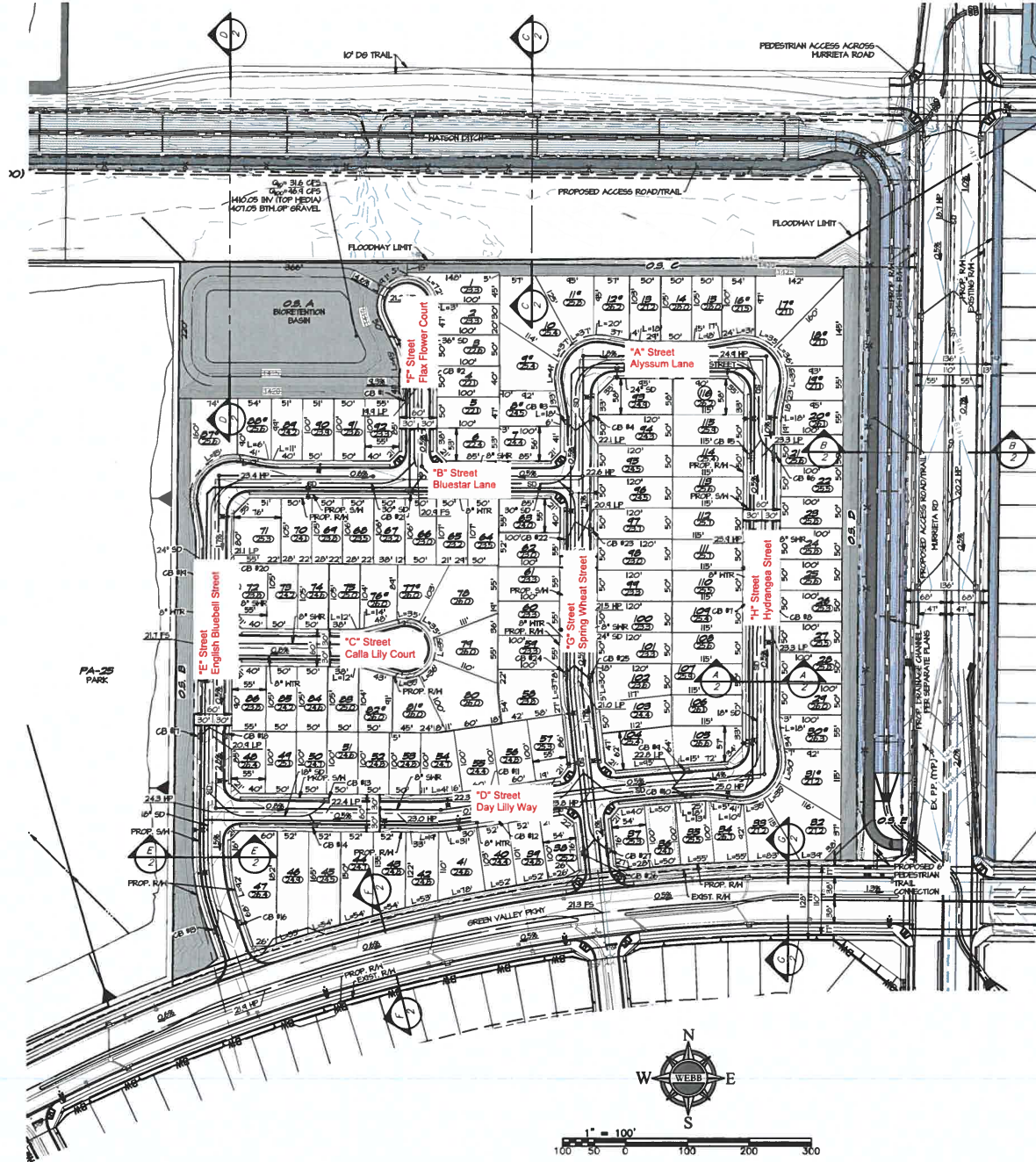
<b>"E" Street</b>
English Bluebell Street
Echinacea Street
Evening Primrose Street
Erica Street
<b>"F" Street</b>
Flax Flower Court
Firethorn Court
Foxglove Court
Freesia Court
<b>"G" Street</b>
Spring Wheat Street
<b>"H" Street</b>
Hydrangea Street
Honeysuckle Street
Helenium Street
Wild Rose Street

\*continued from the existing street

**EXHIBIT B**  
**Street Map Exhibit**

CITY OF PERRIS, CALIFORNIA  
TENTATIVE TRACT MAP NO. 37722  
LOCATED IN SECTION 8, T. 5 S., R. 3 W.

Street Name Application



# **Planning Commission Agenda**

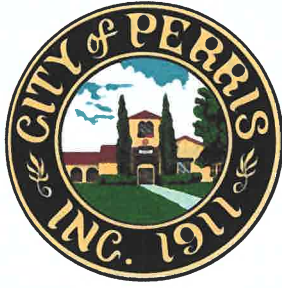
**CITY OF PERRIS  
November 03, 2021**

# Item

# 7A

**Conditional Use Permit  
(CUP) 19-05295**





# CITY OF PERRIS

## PLANNING COMMISSION

### AGENDA SUBMITTAL

**MEETING DATE:** December 1, 2021

**SUBJECT:** **Conditional Use Permit (CUP) 19-05295** – A proposal to construct and operate an 8-island passenger car fueling station, a 1,406 square-foot retail store, a 3,960 square-foot convenience store along with a detached 2,505-square-foot carwash on a 1.36-acre vacant site located at the northwest corner of 4<sup>th</sup> Street and Navajo Road (APN 326-234-003)

**Applicant:** Alex Irshaid, RamCam Engineering.

**REQUESTED ACTION:** **ADOPT Resolution No. 21-25** adopting Mitigated Negative Declaration No. 2363 and approving CUP 19-05295 to construct and operate a convenience store, fueling station with an automated car wash, based on the findings contained in the staff report and subject to the Conditions of Approval.

**CONTACT:** Kenneth Phung, Development Services Director

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#### **PROJECT DESCRIPTION AND BACKGROUND:**

Alex Irshaid (Applicant) is requesting the approval of a Conditional Use Permit (CUP) to construct and operate an 8-island passenger car fueling station, a 1,406-square-foot retail store, a 3,960 square-foot convenient store with a detached 2,505 square-foot car wash. The Project site is located on a 1.36-acre vacant site at the northwest corner of 4<sup>th</sup> Street and Navajo Road, with frontage on Indian Hills Circle. Two entrances will be provided to the site, one on Indian Hills Circle that will align with Tomahawk Road and one on Navajo Road, restricted to a right in-right and right-out controlled by a raised porch chop median.

The passenger car fueling station would be composed of 8 fueling islands to include 16 fueling dispensers. The passenger car fueling islands would be located under a 4,571-square-foot canopy within the center of the site. The convenience and retail store with an automatic drive-thru car wash will be oriented adjacent to Indian Hills Circle.

The Project would include landscaping and a total of 30 passenger car parking spaces, including two handicap-accessible spaces and one designated loading/unloading space. The car wash will operate from 6 AM to 10 PM, and the service station and convenience store are anticipated to operate 24-hours per day, seven (7) days a week.

**ANALYSIS:**

***Zoning and Specific Plan Consistency***

The existing site is vacant and is zoned for Commercial Community (CC). The proposed Project is consistent with this designation. This land use designation is intended for commercial development that supports a wide range of retail, professional office, and service-oriented business uses. The Project consists of retail uses for fuel and convenient goods as well as carwash services, which is consistent with the zone. Information about adjacent properties is as follows:

The site is surrounded by the following zoning and land uses as outlined in the table below:

Surrounding Zoning:

North: Commercial Community (CC)  
South: Commercial Community (CC)  
East: Commercial Community (CC)  
West: Commercial Community (CC)

Surrounding Land Uses:

North: Commercial Center  
South: Vacant  
East: Vacant  
West: Commercial Center

***Commercial Center Plan Development Standards***

The proposed project lot coverage, floor area ratio (FAR), structure height, and setbacks comply with the Commercial Community (CC) zoning standards. See the table below for development standards compliance.

<b><i>Development Standard</i></b>	<b><i>Required</i></b>	<b><i>Provided</i></b>	<b><i>Complies?</i></b>
<b>Lot Coverage</b>	50 % max	12.6%	Yes
<b>Floor Area Ratio (FAR)</b>	75% max	0.2%	Yes
<b>Structure Height</b>	45 feet max	23 feet (Convenience Store and car wash ) 20 feet Fuel Canopies	Yes
<b>Front Setback (4<sup>th</sup> street )</b>	15 feet min (Arterials)	64 feet (Carwash) 60 feet (Fueling Canopy)	Yes
<b>Side Setback (Navajo Road)</b>	5 feet min (Local Street)	20 feet (Convenience Store)	Yes
<b>Side Setbacks (Indian Hills)</b>	5 feet min (Local Street)	5 feet (Carwash) 5 feet (Convenience Store)	Yes

Overall, the Project complies with Commercial (C) development standards for setbacks, structure height, lot coverage, and floor area ratio (FAR).

***Parking, Access & Circulation***

Site access to the Project would be provided via one driveway at Indian Hills Circle and one at Navajo Road. Indian Hills will be for full access to the site, while Navajo Road will be limited to right-in and right-out with a raised pork-chop median at the entrance. Both entries to the site will provide decorative pavement. Indian Hills Circle will also be improved to connect to 4<sup>th</sup> Street to provide complete access around the property.

There are no specific parking requirements identified in the Municipal Code for the automated carwash component of the Project, but the applicant is providing up to nine (9) car stacking, which exceeds the six (6) car stacking required for a full-service car wash in order to avoid issues with cars blocking the drive aisle.

The proposed convenience store/gas station requires one (1) parking space for every 250 square feet of commercial area. The site plan indicates thirty (30) parking stalls, including two disabled-access stalls one at the convenience store and one at the carwash. The required parking calculation is provided in the table below.

<b><i>Use</i></b>	<b><i>Square footage of use</i></b>	<b><i>City Ratio</i></b>	<b><i>Spaces Required</i></b>
Convenience Store/Gas Station (General Retail)	5,366 sq. ft.	1 space for 250 sq. ft.	21 spaces
Total Parking Spaces Required			21 spaces
Total Parking Spaces Provided			30 spaces

Per the table above, the Project exceed the zoning code requirement for off-street parking.

***Landscaping***

The applicant has submitted a conceptual landscape plan that conforms to the requirements of the Landscaping Ordinance. The proposed on-site landscaping area totals approximately 16,367 sq. ft. or approximately 26.3% of the site, which exceeds the minimum 10% landscape requirement of the code. Landscaping has been provided throughout the parking areas, adjacent to the buildings, and trash enclosure area. All parking rows are framed by end planters, and most landscape areas function as bio-swales.

***Fencing and Lighting***

The project site will have a 4-foot-tall decorative tubular steel fence along 4<sup>th</sup> Street, along a portion along Indian Hills Circle from 4<sup>th</sup> Street to the carwash building, and along Navajo Road from 4<sup>th</sup> Street to the driveway. The fencing is proposed to encourage controlled pedestrian access to the site where there are driveways and ADA access and to protect the enhanced landscaping along 4<sup>th</sup> Street.

All exterior lighting will provide one (1) foot candle of illumination for pedestrian safety and

security along all parking lot and pedestrian areas. All exterior lighting shall provide cut-off fixtures and will be downward facing away from the neighboring properties per City standards.

### ***Building Elevations/Architecture***

The proposed building utilizes different colors and materials to distinguish the building's base, body, and cap. The materials of the building range from stucco, metal canopy, and stone veneer. The stone veneer ranges from 3' to 11' feet from the base of the building. The building colors range from Berh "Fine Sand" and "Nut Brown" for the body of the building and the usage of Berh's "Dark Bronze" for the wall pop-outs, foam trim, and parapet foam cap. The metal awnings are also architecturally enhanced to match the rest of the building's elevations; in addition, all mechanical rooftop equipment is concealed from public view by the parapet roof.

The trash enclosure has a wood canopy with cement block walls painted to match the building wall color with a 3 foot high stone veneer wrap. The fuel canopy is supported by columns also painted to match the main building in color with a decorative 7 foot high stone veneer base. The canopy is aluminum sheet metal with a textured finish, with an LED light banding. Eleven parking stalls include vacuums and are covered with a perforated metal trellis painted to match the colors of the building.

## **ENVIRONMENTAL CONSIDERATIONS AND CEQA PROCESS**

### ***CEQA Compliance Process and Determination***

The potential environmental impacts associated with the Project were evaluated in Draft Initial Study Mitigated Negative Declaration No. 2363 (IS/MND) that was circulated to public agencies, property owners within 300 feet of the site and was posted on the City's website for a 30-day public review period from September 22, 2021, to October 28, 2021. No comments from any adjacent property owners or public agencies have been received.

It has been determined that all potential effects of the proposed Project will be reduced to less than significant levels with the implementation of mitigation measures.

## **AIRPORT LAND USE COMMISSION**

California Public Utilities Code (CPUC Section 21676) requires that all jurisdictions (County or City) refer all Specific Plan Amendments within an Airport Land Use Compatibility Plan (ALUCP) for ALUC review. The proposed Project is located within zone E of the March Air Reserve Base and within the March Air Reserve Base/Inland Port Airport Influence Area (March AIA). On October 21, 2020, the Riverside County Airport Land Use Commission (ALUC) considered and determined that the Project as "Consistent" with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB ALUCP).

**RECOMMENDATION:**

**ADOPT Resolution No. 21-25** adopting Mitigated Negative Declaration No. 2363 and approving Conditional Use Permit 19-05295 to construct and operate a convenience store, fueling station with an automated car wash, based on the findings contained in the staff report and subject to the Conditions of Approval.

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**BUDGET (or FISCAL) IMPACT:** Costs for staff preparation of this item are borne by the applicant.

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Prepared by: Alfredo Garcia, Associate Planner  
**REVIEWED BY:** Kenneth Phung, Director of Development Services

**EXHIBITS:** A – A Resolution 21-25 with Conditions of Approval (Planning, Engineering, Public Works, and Building)  
B – Aerial  
C – Land use  
D – Plans  
E – Initial Study/MND and Associated Studies (*due to the size of the files, the documents are located at the following webpage link*):

<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-290>

## EXHIBIT A

Reso 21-25 with Conditions of Approval  
(Planning, Engineering, Community  
Services, Public Works and Building)

**RESOLUTION NUMBER NO. 21-25**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA ADOPTING MITIGATED NEGATIVE DECLARATION NUMBER 2363 AND APPROVING CONDITIONAL USE PERMIT 19-05295 TO CONSTRUCT A 3,960 SQ. FT. CONVENIENCE STORE, WITH ATTACHED 1,406 SQ. FT. RETAIL STORE, 16 FUELING DISPENSERS UNDER A 4,571 SQ. FT. CANOPY AND A DETACHED 2,505 SQ. FT. CARWASH (TUNNEL) ALONG WITH REQUIRED IMPROVEMENTS ON A 1.36 ACRE SITE LOCATED AT THE NORTHWEST CORNER OF 4<sup>TH</sup> STREET AND NAVAJO ROAD, SUBJECT TO CONDITIONS OF APPROVAL AND THE FINDINGS NOTED HEREIN.**

**WHEREAS**, the applicant, Mr. Alex Irshaid, proposes to construct a 3,960 sq. ft. convenience store, with attached 1,406 sq. ft. retail store, 16 fueling pumps under a 4,290 sq. ft. canopy, and a detached 2,505 sq. ft. car wash (tunnel) with required improvements on a 1.36-acre site at the west of the intersection of Indian Hills Circle and Navajo Road; and

**WHEREAS**, a Conditional Use Permit application (CUP 19-05295) was submitted for consideration of architectural design and site layout and operations (the "Project"); and

**WHEREAS**, proposed Conditional Use Permit 19-05295 is considered a "project" as defined by the California Environmental Quality Act ("CEQA"); and

**WHEREAS**, an Initial Study and Mitigated Negative Declaration #2363 was prepared for Conditional Use Permit 19-05295 and was publicly reviewed for a thirty (30) day period in accordance with CEQA, from September 22, 2021, to October 28, 2021; and

**WHEREAS**, On October 21, 2021, the Riverside County Airport Land Use Commission ("ALUC") considered and determined that the Project as "Consistent" with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan ("MARB ALUCP"); and

**WHEREAS**, a duly noticed public hearing was held on December 1, 2021, at which time all interested persons were given full opportunity to be heard and to present evidence; and

**WHEREAS**, Chapter 19.54 of the City of Perris Municipal Code (Zoning Code, Authority and Review Procedures) authorizes the City to approve, conditionally approve, or deny requests for a Conditional Use Permit; and

**WHEREAS**, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

**WHEREAS**, all other legal prerequisites to the adoption of this Resolution have occurred.

***NOW, THEREFORE, BE IT RESOLVED*** by the Planning Commission of the City of Perris as follows:

***Section 1.*** The above recitals are all true and correct and incorporated herein by this reference.

***Section 2.*** The Planning Commission hereby determines pursuant to Section 15070 of the CEQA Guidelines that based upon the forgoing, all written and oral testimony and presentations made at the December 1, 2021, public hearing (including such testimony and presentations by members of the public and City staff) and the Initial Study, staff report, supporting exhibits prepared for the Project in accordance with City of Perris guidelines for implementing CEQA, all of the Project's potential significant effects on the environment can be reduced to a less than significant level through mitigation measures, the design of the development, the Zoning Code, and standard requirements of the City, and, therefore a Mitigated Negative Declaration ("MND") #2363 has been prepared. The City has complied with the California Environmental Quality Act ("CEQA") and determinations of the Planning Commission reflect the independent judgment of the City. Based upon the forgoing, the Planning Commission, therefore, determines as follows:

- A. No significant environmental effects would occur and there is no substantial evidence, in light of the whole record, that the Project as revised may have a significant effect on the environment, and a Mitigated Negative Declaration #2363 has been prepared.
- B. The City has complied with the California Environmental Quality Act (CEQA).
- C. Determinations of the Planning Commission reflect the independent judgment of the City.

***Section 3.*** Based upon the forgoing, staff report, supporting exhibits, and all written and oral testimony and presentations (including, but not limited to, such testimony and presentations made by members of the public and City staff) made at the public hearing on December 1, 2021, the Planning Commission further finds the following regarding the Project:

1. The location, size, design, density, and intensity of the proposed development and improvements are consistent with the City's General Plan, the Perris Valley Commerce Center Specific Plan, the purposes and provisions of the Perris Municipal Code, the purposes of the Zone in which the site is located, and the development policies and standards of the City.

The proposed location of the Project is in accordance with the objectives of the Conditional Use Permit provisions of the City's Zoning Code, Chapter 19.61, in that the proposed commercial buildings are desirable for the community and appropriate use that provides a new area for the public to shop and work and ensure compatibility with



surrounding uses and protect the aesthetics and public, health and welfare of the community.

2. The proposed plan is consistent with the City's General Plan and conforms to all Specific Plans, zoning standards, applicable subdivision requirements, and other ordinances and resolutions of the city.

The proposed Project is consistent with the City's General Plan, meets the intent of the Commercial Community zone and conforms to applicable provisions of the City's Zoning regulations in that appropriate conditions of approval have been developed to ensure that the use operates according to City policies and regulations to protect the public health and welfare.

3. The proposed location of the Conditional Use Permit and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

As conditioned, the proposed Project, which includes a gas station, retail store and car wash will not be detrimental to the public health, safety or welfare, or injurious to property and improvements in the vicinity or to the general welfare of the City. Similar commercial centers currently exist adjacent to the project site. A traffic signal currently exists at the intersection of Hwy 74 and Navajo Road to help provide safe access /exit to the site as stated in the Conditions of Approval to ensure safe traffic conditions. The traffic study for the Project concluded that all the study area intersections are anticipated to operate at acceptable levels of service after the Project is operating.

The gas station portion of the Project will dispense, store, and handle gasoline, diesel, diesel exhaust fluids, biodiesel fuels, and oil during the course of daily operations. These types of hazardous materials are subject to regulation by the Department of Environmental Health of the Riverside County Community Health Agency and to other local, state, and federal regulations and guidelines that ensure proper/safe transport, storage, and use of hazardous materials, generation of hazardous waste, and treatment of any potentially hazardous materials and/or waste incidents. With mandatory regulatory compliance with federal, State, and local laws (as described above), potential hazardous materials impacts associated with long-term operation of the Project would be less than significant and mitigation is not required.

4. The architecture proposed is compatible with community standards and protects the character of adjacent development.

The Project proposes an architecturally enhanced building with varying roofline angles and heights, steel canopy awnings, frosted glass building elements, and glass storefront components. Finishes on the exterior of the building include perforated aluminum metal panels, stucco, and metal coping. Colors on the façades range from brown and tan which creates a modern yet warm palette. This meets the development standards of the

Commercial Community Zone.

5. The landscaping plan ensures visual relief and provides an attractive environment for the public's enjoyment.

The proposed Project meets or exceeds the on-site landscape standards for the Commercial Community (CC) zoning district as outlined in the City of Perris Municipal Code. The proposed on-site landscaping area totals approximately 16,367 sq. ft. or approximately 26.3% of the site, which exceeds the minimum 10% landscape requirement of the code by providing a mix of specimen native and drought-tolerant trees, shrubs, ground cover, and annual color throughout the site to ensure visual relief and effectively frame, soften and embellish access points, building entries, parking areas, and trash enclosures.

**Section 4.** Based upon the forgoing, staff report, supporting exhibits, and all written and oral testimony and presentations (including, but not limited to, such testimony and presentations made by members of the public and City staff) made at the public hearing on December 1, 2021, the Planning Commission adopts MND #2363 and mitigation measures.

**Section 5.** Based upon the forgoing, staff report, supporting exhibits, and all written and oral testimony and presentations (including, but not limited to, such testimony and presentations made by members of the public and City staff) made at the public hearing on December 1, 2021, the Planning Commission hereby approves the Project (Conditional Use Permit 19-05295) to construct a 3,960 sq. ft. convenience store, with attached 1,406 sq. ft. retail store, 16 fueling pumps under a 4,290 sq. ft. canopy, and a detached 2,505 sq. ft. car wash (tunnel) along with required improvements on a 1.36-acre site at the northwest corner of 4<sup>th</sup> Street and Navajo Road; and determines that the Project is covered under MND #2363, as adopted; subject to the Planning Division, Building, Fire, Public Works and Engineering Departments' Conditions of Approval (COA) attached hereto as Exhibit A, and incorporated herein by this reference, and subject to the mitigation measures under MND #2363.

**Section 6.** The Planning Commission declares that should include any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

**Section 7.** The Chairperson shall sign, and the Secretary shall certify to the passage and adoption of this Resolution.

**ADOPTED, SIGNED and APPROVED** this 1<sup>st</sup> day of December 2021.

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CHAIRPERSON, PLANNING COMMISSION

ATTEST:

\_\_\_\_\_  
Secretary, Planning Commission

STATE OF CALIFORNIA     )  
COUNTY OF RIVERSIDE    ) §  
CITY OF PERRIS            )

I, Kenneth Phung, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 21-25 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 1<sup>st</sup> day of December 2021, and that it was so adopted by the following vote:

AYES:  
NOES:  
ABSTAIN:  
ABSENT:

\_\_\_\_\_  
Secretary, Planning Commission

**Attachments:** Conditions of Approval (Planning, Engineering, Public Works, Community Services and Building)

**CITY OF PERRIS  
DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

**CONDITIONS OF APPROVAL**

**Conditional Use Permit No. 19-05295**

**Approved December 1, 2021**

**PROJECT:** A proposal to construct and operate an 8-island passenger car fueling station, a 1,406 square-foot retail store, a 3,960 square-foot convenience store along with a detached 2,505-square-foot carwash on a 1.36-acre vacant site located at the northwest corner of 4<sup>th</sup> Street and Navajo Road (APN 326-234-003) **Applicant:** Alex Irshaid, RamCam Engineering.

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**General Requirements:**

1. **Mitigation Monitoring Program.** The project shall fully comply with all provisions of the adopted Mitigation Monitoring and Reporting Program (MMRP) for Mitigated Negative Declaration 2363 (MND 2363). The MMRP Checklist is attached to reduce potential traffic, biological resources, cultural, geology/soils, and hydrology impacts, and shall be implemented in accordance with the timeline, reporting and monitoring intervals listed.
2. **Development Standards.** The project shall conform to all requirements of the City of Perris Municipal Code Title 19.
3. **Future Obligation of Buyers and Lessees.** All future buyers and lessees shall be informed of their obligation to comply with these Conditions of Approval. The applicant shall provide a copy of these conditions and inform the buyer or lessee of their obligation to maintain compliance with all local and City ordinances.
4. **City Ordinances and Business License.** The subject business shall maintain compliance with all local and City Ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
5. **Conformance to Approved Plans.** Development of the project site, building elevations, and conceptual landscaping shall conform substantially to the approved set of plans presented at the December 1, 2021, Planning Commission meeting or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.
6. **Term of Approval.** This approval shall be used within three (3) years of approval date; otherwise it becomes null and void. By use is meant the beginning of substantial construction pursuant to this approval within the three (3) year period which is thereafter diligently pursued to completion, or the beginning of substantial utilization contemplated by this approval. A maximum of three (3) one-year time extensions shall be permitted.
7. **Expansion of Use.** No expansion of the site or the use shall occur without subsequent reviews and approvals from the Planning Division.

8. **Building Official/Fire Marshal.** The proposed project shall adhere to all requirements of the Building Official/Fire Marshal. Fire hydrants shall be located on the project site pursuant to the Building Official. The applicant shall submit a fire access and fire underground plan prior to construction drawings. Water, gas, sewer, electrical transformers, power vaults and separate fire/water supply lines (if applicable) must be shown on the final set of construction plans pursuant to the requirements of the Building Official. All Conditions of Approval shall be included on building plans. See City of Perris website, Office of the Fire Marshal, for examples and relevant information for access and underground plan available at: <http://www.cityofperris.org>.
9. **City Engineer's Conditions.** The project shall comply with all requirements of the City Engineer's Conditions of Approval dated September 29, 2021.
10. **Community Services:** The project shall comply with all Conditions of Approval by the Public Works Department dated May 4, 2021.
11. **Fire Department Conditions.** The project shall comply with all Conditions of Approval by the Fire Department dated July 8, 2020, consisting of the following requirements.
  - a. Prior to the to the issuance of a grading permits, evidence of sufficient fire flow of 1500 GPM for 2 hours shall be provided to the City of Perris. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.
  - b. Prior to the to the issuance of a grading permits a fire department access plan shall be submitted to the City of Perris for review and approval. The fire department access plan shall comply with the requirements specified by the City of Perris Guideline for Fire Department Access & Water Requirements for Commercial & Residential Development, and the California Fire Code, Chapter 5.
  - c. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
  - d. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
  - e. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
  - f. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
  - g. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.

- h. City of Perris approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.
  - i. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation.
  - j. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven feet above the finished surfaced and near the main entrance door.
12. **Public Works Conditions:** The project shall comply with all Conditions of Approval by the Public Works Department dated July 28, 2021.
13. **Building Conditions:** The project shall comply with all Conditions of Approval by the Building Department dated November 19, 2019.
14. **Southern California Edison.** The applicant shall contact the Southern California Edison (SCE) area service planner (951) 928-8323 to complete the required forms prior to commencement of construction.
15. **Exterior Downspouts.** Exterior downspouts are not permitted on the elevations of any building where exposed to public view. Interior downspouts are required.
16. **Screening of Roof-Mounted Equipment.** Parapet walls shall prevent public views of roof-mounted equipment.
17. **Utilities.** All utility facilities attached to buildings, including meters and utility boxes, shall be enclosed within cabinets, as appropriate, and/or painted to match the building to which they are affixed.
18. **Waste Hauling.** The developer shall use only the City-approved waste hauler for all construction and other waste disposal.
19. **Graffiti** located on-site shall be removed within 48 hours. The site shall be maintained in a graffiti-free state at all times. The material surface containing graffiti shall be painted to match the original color. Should graffiti be present on the wall surface, the entire wall panel shall be painted to match.
20. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance and Chapter 7.42 regarding Property Maintenance. In addition, the project shall comply with the one-year landscape maintenance schedule identified in Public Works Department Condition of Approval No. 5, dated May 28, 2020.
21. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City,

or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City, concerning CUP 18-05248. The City shall promptly notify the developer/applicant of any claim, action, or proceeding for which indemnification is sought and shall further cooperate fully in the defense of the action.

22. **Construction Practices.** To reduce potential air quality nuisances, the following items shall be listed as "General Notes" on the construction drawings:
- a. Construction activity and equipment maintenance is limited to the hours between 7:00 a.m. and 7:00 p.m. Per Zoning Ordinance, Noise Control, Section 7.34.060, it is unlawful for any persons between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on a legal holiday, or on Sundays to erect, construct, demolish, excavate, alter or repair any building or structure in a manner as to create disturbing excessive or offensive noise. Construction activity shall not exceed 80 dBA in residential zones in the City.
  - b. Stationary construction equipment that generates noise in excess of 65 dBA at the project boundaries must be shielded and located at least 100 feet from occupied residences. The equipment area with appropriate acoustic shielding shall be designated on building and grading plans. Equipment and shielding shall remain in the designated location throughout construction activities.
  - c. Project applicants shall provide construction site electrical hook-ups for electric hand tools such as saws, drills, and compressors, to eliminate the need for diesel powered electric generators or provide evidence that electrical hookups at construction sites are not practical or prohibitively expensive.

**Project-Specific Requirements:**

23. **Access.** Navajo Road driveway shall be limited to right-in, right-out only and be signed appropriately and only used by auto vehicles.
24. **Signs.** The project does not include signage. All signage shall be reviewed and approved by the Planning Division by a sign application prior to the issuance of signage permits.
25. **State, County and City Ordinances.** All tenants shall maintain in compliance with all State, County and City ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
26. **County, State and Federal Regulations.** All tenants shall comply with regulations related to hazards and hazardous materials associated with fuel dispensing, storage and disposal.

**Prior to Grading Permit Issuance:**

27. **Water Quality Management Plan (WQMP).** The applicant shall submit a final WQMP

substantially in conformance with the approved Preliminary WQMP including, but not limited to, plans and details providing the elevations, slopes, and other details for the proposed structural source control BMPs, and vegetative swales. The Public Works Department shall review and approve the final WQMP plans and details.

28. **Planning Clearance.** The applicant shall first obtain clearance from the Planning Division verifying that all pertinent conditions of approval have been met.

**Prior to Building Permit Issuance:**

29. **Site Lighting Plan.** The site lighting plan shall conform to the requirements of the City's adopted Mount Palomar Ordinance and be submitted to the Planning Division for final review and approval. Full cutoff fixtures shall be used to prevent light and glare above the horizontal plane of the bottom of the lighting fixture. A minimum of one (1) foot-candle of light shall be provided in parking and pedestrian areas.

30. **Trash Enclosures.** A covered trash enclosure constructed to City standards is required. The trash enclosure shall be easily accessible to the tenant and be screened by landscaping from the public view. The blocked wall trash enclosure shall have an overhead trellis treatment. Elevations shall be included on final landscape plans for review and approval by the Planning Division. In addition, added security measures shall be installed to eliminate vagrancy activity from entering into the enclosure via a metal mesh or guidewire.

31. **Landscaping Plans.** Prior issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Division for approval, accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a California registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. The landscaping shall be consistent with the conceptual landscape plan

a. **BMPs for Water Quality.** All BMPs (vegetated swales, detention basins, etc.) shall be indicated on the landscape plans with appropriate planting and irrigation, including the detention basin.

b. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for final landscape inspection after all the landscaping and irrigation has been installed and is completely operational. Before calling for a final inspection, a "Certificate of Compliance" form shall be completed and signed by the designer/auditor responsible for the project, and submitted to the project planner for approval.

32. **Fees.** Prior to the issuance of building permits, the developer shall pay the following fees:

- a. Stephen's Kangaroo Rat Mitigation Fees
- b. Development Impact Fees
- c. Multiple Species Habitat Conservation Plan fees



- d. Statutory school fees in effect to all appropriate school districts
- f. TUMF fees
- g. District drainage fees
- h. All fees identified on Conditions of Approval from other departments

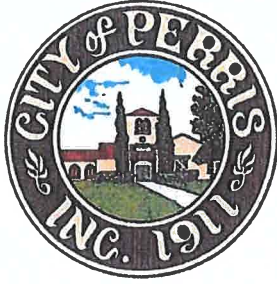
**Prior to Issuance of Occupancy Permits:**

33. **Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to issuance of a Certificate of Occupancy. See Public Works/Engineering Conditions of Approval.

**Operational Requirements:**

34. **Hours of Operation for Carwash.** The carwash shall operate from 6 a.m. to 10 p.m. Monday thru Sunday.
35. **Alcohol.** No alcohol will be sold at this location.
36. **Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-offs from the Building Division and Engineering Department. Planning Staff shall verify that all pertinent conditions of approval have been met. The applicant shall have all required paving, parking, walls, site lighting, landscaping and automatic irrigation installed and in good condition.

End of Conditions



# CITY OF PERRIS

STUART E. MCKIBBIN, CONTRACT CITY ENGINEER

## CONDITIONS OF APPROVAL

P8-1414

September 29, 2021

CUP 19-05295 – Service Station

SW Corner of Navajo Road & Highway 74/4<sup>th</sup> Street

APN 326-234-003

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer/property owner provides the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and their omission may require the site plan to be resubmitted for further consideration. These ordinances and the following conditions are essential parts and requirement occurring in ONE is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditioned shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic Impact Analysis, the most stringent in the opinion of the City shall prevail.

### **General Conditions:**

1. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.
2. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.

**DEPARTMENT OF ENGINEERING**  
24 SOUTH D STREET, SUITE 100, PERRIS, CA 92570  
TEL.: (951) 943-6504 - FAX: (951) 943-8416

**Prior to Issuance of Grading Permit:**

3. To accommodate the development of the project, the developer/property owner is requesting vacation of a segment of the Highway 74/Fourth Street and Navajo Road rights-of-way along the property frontage. The developer/property owner shall complete the execution of the vacation in compliance to the City's procedure for the vacation. The attached Exhibit "A" displays the extend and limits of right-of-way vacation and dedications.
4. The offsite and treated onsite runoff shall be collected and conveyed via underground storm drain system or open drainage provisions (i.e. catch basins, cross gutter) and discharged to an adequate outlet as directed by the City Engineer. There is an existing storm drain pipe crossing Navajo Road which may be in conflict and inadequate with the proposed onsite improvements and Highway 74/Fourth Street widening improvements in which case the developer/property owner shall be responsible to upgrade the drainage facilities – at both inlet and outlet points – and construct necessary drainage improvements as directed by the City Engineer.
5. The developer/property owner shall sign the consent and waiver form to join the City's Lighting and Landscape Districts and City's flood Control District as appropriate. The proposed streetlights and traffic signals shall be maintained by the City and cost paid by the developer/property owner through the said annexations.
6. The driveway on Navajo Road shall be restricted to right-in/right-out only. A pork chop shall be constructed as part of the onsite improvements to accommodate the implementation. Furthermore, access to delivery and service trucks shall be restricted.
7. One driveway shall be permitted on Indian Hills Circle and it shall align with Tomahawk Road.
8. Driveway access shall be restricted on Highway 74/Fourth Street.
9. The driveways shall be per County of Riverside Standard No. 207A.
10. The developer/property owner shall submit the following to the City Engineer for review and approval:
  - a. Onsite Grading Plans and Erosion Control Plans – Plans shall show the approved WDID No.
  - b. Street Improvement Plans
  - c. Traffic Signal Plans
  - d. Signing and Striping Plans
  - e. Final Drainage Plans, Hydrology and Hydraulic Report
  - f. Final WQMP (for reference)

- g. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards

The design shall be in compliance with EMWD, RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

**Prior to Issuance of Building Permit:**

11. Submit Water and Sewer Plans to the City Engineer for review and approval. Fire Department and Eastern Municipal Water District (EMWD) approvals of onsite and offsite water and sewer plans are required prior to the City Engineer's approval of the plan.

12. The extent and limits of rights-of-way vacation and dedications shall correspond to the attached Exhibit "A".

13. Navajo Road is classified as a Collector (66'/44') per the General Plan. A 30-foot half-width right-of-way is currently dedicated on Navajo Road long the property frontage; the applicant/property owner shall dedicate the required additional 3 feet of right-of-way.

The dedication shall be offered to the public in perpetuity and shall be free from all encumbrances as approved by the City Engineer.

14. Indian Hills Circle is classified as a Local (60'/40'). The developer/property owner shall dedicate a 30-foot half width right-of-way along the property frontage.

The dedication shall be offered to the public in perpetuity and shall be free from all encumbrances as approved by the City Engineer.

15. Highway 74/Fourth Street is classified as a Primary Arterial (128'/94') per the General Plan. The developer/property owner shall dedicate a 64 foot half-width right-of-way along the property frontage and to include adequate right-of-way to accommodate a 14-foot wide deceleration/designated right turn lane.

The dedication shall be offered to the public in perpetuity and shall be free from all encumbrances as approved by the City Engineer.

16. Property line corner cutbacks shall be dedicated per County of Riverside Standard No. 805.

17. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

**Prior to Issuance of Certificate of Occupancy:**

18. Navajo Road (Collector – 66'/44') along the property frontage within the dedicated right-of-way shall be improved to provide for a 34 foot wide asphalt paving (using a TI of 7.0 and PG 64-10), street lights per City of Perris Street Lighting Standard subject to the result of a photometric study prepared by a registered Electrical Engineer and a Class II bicycle lane per Active Transportation Plan, City of Perris, County of Riverside and Caltrans standards.

If the existing pavement is in good condition, the developer/property owner may use grind and overlay technique as determined by the City Engineer.

19. Indian Hills Circle (Local – 60'/40') along the property frontage within the dedicated right-of-way shall be improved to provide for a 40 foot wide asphalt paving (full width curb to curb – using a TI of 7.0 and PG 64-10), 6 inch curb and gutter 20 feet east of the centerline, 6 foot wide sidewalk and street lights per City of Perris Safety Lighting standard subject to the photometric analysis prepared by a registered Electrical Engineer, City of Perris, County of Riverside and Caltrans standards.

Access from Indian Hills Circle onto Highway 74 / Fourth Street shall be restricted to right-in/right-out only.

If the existing pavement is in good condition, the development/property owner may use grind and overlay technique as determined by the City Engineer.

20. The entire intersection of Indian Hills Circle and Highway 74/Fourth Street shall be improved and constructed to ultimate design.

21. Highway 74/Fourth Street (Primary Arterial – 128'/94') along the property frontage within the dedicated right-of-way shall be improved to provide for a 14 foot wide raised landscaped median, a minimum 40 foot plus a 14 foot wide designated right turn lane on the west side of the raised landscaped median and a 14 foot wide pavement on the east side of the raised landscaped median (using a TI of 9.5 and PG 70-10), 8 inch curb and gutter located 40 feet and the transition 44 feet west of the centerline with 6 foot wide sidewalk and street lights per City of Perris Street Lighting Standard subject to the result of a photometric study prepared by a registered Electrical Engineer, a Class II bicycle lane per Active Transportation Plan, City of Perris, County of Riverside and Caltrans standards.

The 14-foot-wide raised landscaped median shall be extended westerly of Indian Hills Circle to restrict left-in from eastbound Highway 74/Fourth Street on to Indian Hills Circle and left-out from Indian Hills Circle onto Highway 74/Fourth Street.

If the existing pavement is in good condition, the development/property owner may use grind and overlay technique as determined by the City Engineer. The 14-foot wide raised landscaped median shall be extended westerly of Indian Hills Circle.

22.The existing traffic signal(s) shall be removed and replaced to accommodate ultimate design.

23.The existing power poles at the west corner of Navajo Road and highway 74/Fourth Street shall be removed and cables (under 66 kv) shall be undergrounded. All other utility poles, if any, shall be removed and cables undergrounded.

Provide an undergrounding of utilities study prepared by a utility consultant/electrical engineer analyzing and determining the extent of conformance.

24.The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.

25.Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified professional pursuant to the California Business and Professional Code 8771.



Stuart E. McKibbin  
Contract City Engineer

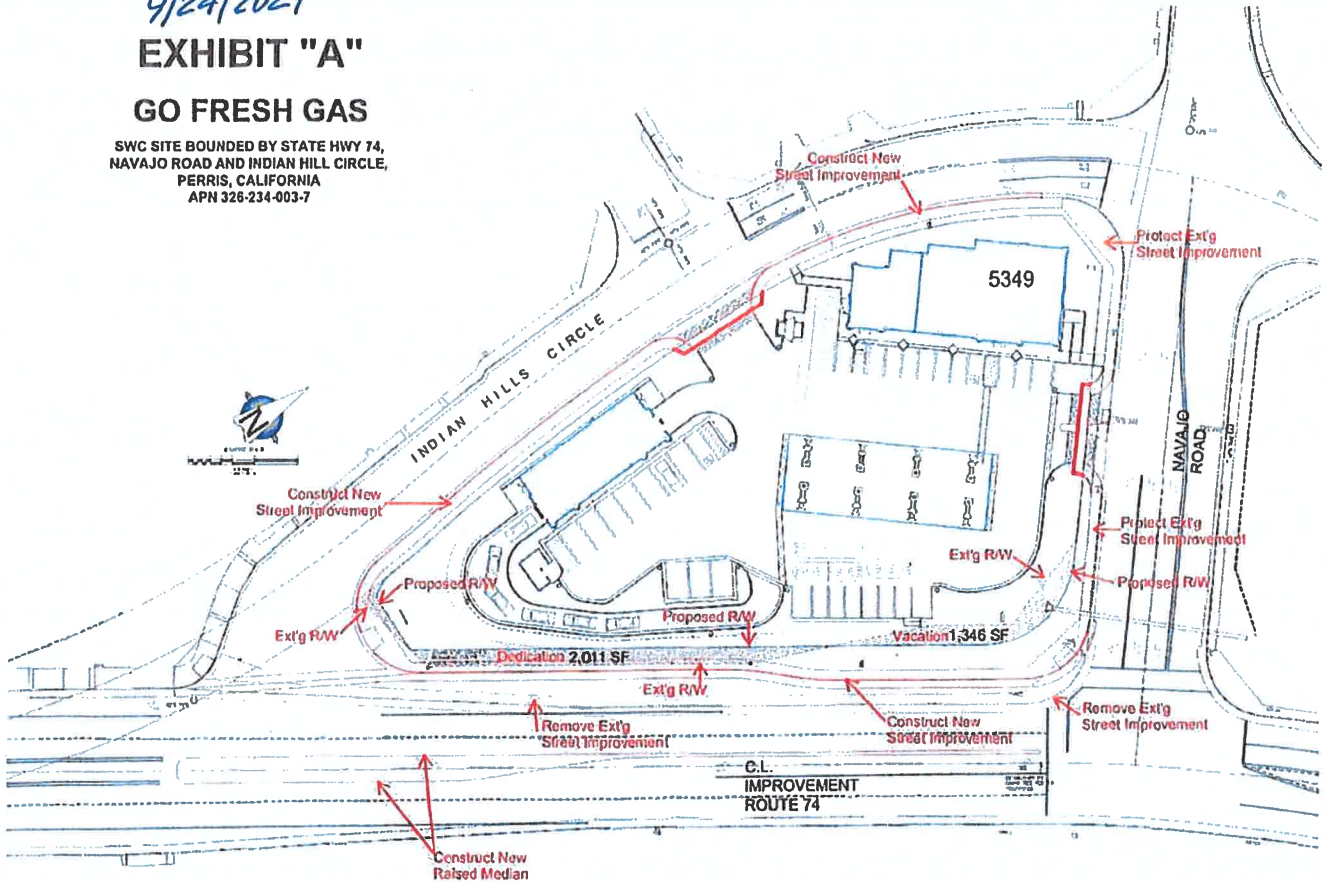
w/Attachment – Exhibit “A” (Dated 9/24/21)

9/24/2021

# EXHIBIT "A"

## GO FRESH GAS

SWC SITE BOUNDED BY STATE HWY 74,  
NAVAJO ROAD AND INDIAN HILL CIRCLE,  
PERRIS, CALIFORNIA  
APN 326-234-003-7





**CITY OF PERRIS**  
COMMUNITY SERVICES

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# MEMO

**Date:** May 4, 2021  
**To:** Alfredo Garcia, Project Planner  
**From:** Sabrina Chavez, Director of Community Services  
**Cc:** Arcenio Ramirez, Community Services Manager  
Jessica Galloway, Project Coordinator  
Joshua Estrada, Parks Coordinator  
**Subject:** Conditional Use Permit 19-05295 – Comments

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Community Services Staff reviewed CUP 19-05295 and offer the following comment(s):

**Special Districts**

1. The project shall annex into Community Facilities District No. 2018-02 (Public Services)





# CITY OF PERRIS

## PUBLIC WORKS DEPARTMENT

### LANDSCAPE DIVISION

Weed Abatement

NPDES Services

Flood Control and Landscape Districts

# MEMORANDUM

**Date:** July 28, 2020

**To:** Alfredo Garcia, Project Planner

**From:** Michael Morales, CIP Manager 

**Subject: CUP 19-05295– Conditions of Approval**

Proposal to construct a 2,505 s.f. express carwash, a 5,351 s.f. multi-tenant retail building and a 4,480 s.f. convenience store with fueling station. Project is located at the N/W corner of 4<sup>th</sup> Street and Navajo Road.

- 
- Dedication and/or Landscape Maintenance Easement.** Offer of Dedication and Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:
    - **Indian Hills Circle**—Provide offer of dedication as needed to provide for full half width Street (collector 66' ROW, 33' half width), curb gutter, sidewalk and off-site landscaping requirements, per City General Plan, including minimum 11' public parkway from face of curb.
    - **Navajo Road**- Provide offer of dedication as needed to provide for full half width Street (collector 66' ROW, 33' half width), curb gutter, sidewalk and off-site landscaping requirements, per City General Plan, including minimum 11' public parkway from face of curb.
    - **4<sup>th</sup> Street (Hwy 74)**- Provide offer of dedication as needed to provide for full half width Street (arterial 128' ROW, 64' half width), curb gutter, sidewalk and off-site landscaping requirements, per City General Plan, including minimum 17' public parkway from face of curb.
    - **4<sup>th</sup> Street Raised Concrete Median**-Per zoning code 19.70.060 B. a raised concrete median for this arterial shall be required. Per the City's General Plan Circulation element, median shall be 14' in width.
    - **N/E Corner of Intersection of Indian Hills Circle and 4<sup>th</sup> Street (Hwy 74)**- The developer shall be required to provide a offer of dedecation and landscape easement for a visually enhanced corner-cut-back, including but not be limited to a masonry monument sign with stucco fascia in crescent shape to scale of setback. This area is required to fall within a dedicated landscape right-of- provided to the City of Perris. The area will begin along Indian Hills Circle at the 11' parkway and continue south east from an acute angle to a point along 4<sup>th</sup> Street (Hwy 74) where it shall intersect with the required 17' public parkway. This set back will expand to a minimum set back area of 25' from the face of the ECR/BCR ADA ramp.
  - Dedication and/or Landscape Maintenance Easement.** Offer of Dedication and Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:
    - **N/E Corner of Intersection Indian Hills Circle and 4<sup>th</sup> Street (Hwy 74)**—Provide landscape easement as needed to provide for visually enhanced corner-cut-back, which shall expand to a minimum set back area of 25' from the face of the ECR/BCR ADA ramp. The preliminary grading plan map provided by the developer appears to provide for a +-20' corner cut back from the face of the ECR/BCR ADA ramp, only. It appears that an additional 5' landscape easement is required to full the requirement for the visually

enhanced corner cut back described in the preceding paragraph.

3. **Landscape Maintenance Easement and Landscape Easement Agreement.** The developer shall provide, for review and approval, a landscape easement, complete with legal plat map and legal description to the City of Perris. The Developer shall provide an additional 5' landscape easement and Landscape easement agreement, acceptable to the City of Perris Landscape Division of Public Works for frontage along the N/E corner of the intersection of Indian Hills Circle and 4<sup>th</sup> Street (Hwy 74). The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
4. **Landscaping Plans.** Three (3) copies of Construction Landscaping and Irrigation Plans for the off-site landscaping, including any medians or other landscape areas along the dedications shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. This landscape plan shall be titled "CUP Off-site Landscape Plan CUP 19-05295" and shall be exclusive of any private property, on-site landscaping. Elements of the Landscape Plan shall include but not be limited to:
  - a. **Landscape Limits** – Limits of right-of-way areas or easement areas, defined by concrete mow curb, fully dimensioned, that are to be annexed into the Landscape Maintenance District. A planting palette and hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; or if no such guidelines exist the design intent of neighboring development, as determined by the Engineering Administration and Special Districts Division, including:
    - **Indian Hills Circle**– Primary Street Tree: Lagestromia-Indian Tribe Varieties. Use drought resistant shrubs and ground cover intended to complement the existing parkways in the area or select from a palette of, Lilly of the Nile (Agapanthus Africanus), Red Yucca, Red Hot Poker, Rhapsiolepis Indica Indica, (Indian Hawthorn), Iceberg Rose, Rosa red Ribbons (Groundcover Rose)
    - **Navajo Road**- Primary Street Tree: Lagestromia-Indian Tribe Varieties. Use drought resistant shrubs and ground cover intended to complement the existing parkways in the area or select from a palette of, Lilly of the Nile (Agapanthus Africanus), Red Yucca, Red Hot Poker, Rhapsiolepis Indica Indica, (Indian Hawthorn), Iceberg Rose, Rosa red Ribbons (Groundcover Rose)
    - **4<sup>th</sup> Street (Hwy 74)- 4<sup>th</sup> Street: Trees:** primary street tree: Koelreuteria Bipinnata, "Chinese Flam Tree." Secondary tree: Lagestromia-Indian Tribe Varieties. **Shrubs:** Use drought resistant shrubs and ground cover intended to complement the "4<sup>th</sup> Street Gateway" planting palette for the nearby specific plan, and other enhanced entry corner cut backs including: Rhapsiolepis Indica Clara, (Indian Hawthorn); Ligustrum Japonicum (Japanese Privet); Bougainvillea Rosenka. **Ground Covers:** Myoporum parvifolium "Prostrate Myoporum"
    - **4<sup>th</sup> Street Raised Concrete Median**-Mortared-in-place cobble stone, ranging in size from 6" to 12" whole stones, free of cracks or chips. Provide sample colored and sized stones to Public Works for review and approval. Use "Summer Stream Stones" including red tones.
    - **N/E Corner of Intersection of Indian Hills Circle and 4<sup>th</sup> Street (Hwy 74)**- Visual enhancement may include, but shall not be limited to two tier masonry planter with stucco fascia in crescent shape to scale of

setback, including end Pilasters which utilize City of Perris Entry Monument Design, complete with cap and internal lighting (obtain concept design from City); or Standard City Entry Monument Design, shown in constructed to the Specifications and Construction Details found in the City of Perris Gateway Entry Construction Plans, to be provided by the City of Perris. Install trees, (in a semi-circle or crescent shape on the upper level), with two levels of drought tolerant shrubs in mid- and foreground planters. **Trees:** primary street tree: Koelreuteria Bipinnata, "Chinese Flam Tree." Secondary tree: Lagerstromia-Indian Tribe Varieties. **Shrubs:** Use drought resistant shrubs and ground cover intended to complement the "4<sup>th</sup> Street Gateway" planting palette for the nearby specific plan, and other enhanced entry corner cut backs including: Rhamphiolepis Indica Clara, (Indian Hawthorn); Ligustrum Japonicum (Japanese Privet); Bougainvillea Rosenka. **Ground Covers:** Myoporum parvifolium "Prostrate Myoporum"

- b. **Irrigation** – A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas as determined by the Engineering Administration and Special Districts Division. Components shall include, but not be limited to Salco or GPH flexible PVC risers, Sentry Guard Cable Guard and Union Guard, and backflow Wilkens Model 375 (or equal). Controller shall include an ET based controller with weather station that is centrally controlled capable and wi-fi ready (Calsense or equal). At the discretion of the Engineering Administration and Special Districts Division public landscape areas utilizing no more than 6 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and wi-fi ready, such as the Weathermatic System or equal. Proposed system shall be complete with wireless weather station, aircard with flow, one year bundle service, blade antenna and flow sensor.
- c. **Benefit Zone Quantities** – Include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the district will be required to maintain.
- d. **Meters** – Each District is required to be metered separately. All electrical and water meters shall be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene and away from street intersections. Show location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for landscape district. Show location of water and electrical meter for flood control district. Show location of electrical meter for Traffic signal and street lighting district, on respective plans. Coordinate location of meters on landscape and civil engineering plan.
- e. **Controllers** - The off-site irrigation controllers are to be located within the right of way (preferably within the off-site landscape area). All point of connection equipment including irrigation controller pedestals, electrical meter pedestals, and backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Backflow preventers are to be screened on at least three sides with (5) gallon plant material. The fourth side shall be open to the back of the landscape area in order to allow the backflow cage to be opened without interference with plant materials. Backflow cages shall meet the required City of Perris Engineering Standards in effect at the time of approval.

- f. **Recycled Water** - If applicable. The project landscape architect shall coordinate with EMWD to verify if the site will be served with recycled water and design all irrigation and landscape plans to meet the requirements of EMWD and provide additional irrigation components as needed.
  - g. **EMWD Landscape Plan Approval** – The project landscape architect shall submit a copy of all irrigation plans and specifications to EMWD for approval. The project landscape architect must confirm with EMWD that the plans have been approved by EMWD and submit written proof of approval by EMWD prior to the City approving the final Landscape Plans. Until the final landscape plan has been approved by the City of Perris, the maintenance areas depicted cannot be accepted by the City for maintenance. The developer shall coordinate the both reviews to ensure acceptability of plans by both EMWD and the City of Perris, prior to approval by either agency.
  - h. **Landscape Weed Barrier** - Weed cloth with a minimum expected life of 10-years shall be required under all mulched areas.
  - i. **Wire Mesh and Gravel At Pull Boxes**- Provide wire mesh and gravel layer within valve boxes to prevent rodent intrusion
5. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only “OFF-SITE” landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled at least two-working days (Monday through Friday) prior to actual inspection. Contact Public Works-Engineering Administration/Special Districts at (951) 657-3280 to schedule inspections.
- **Inspection #1** - Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
  - **Inspection #2** - Soil prepared, and plant materials positioned and ready to plant.
  - **Inspection #3** - Landscaping installed, irrigation system fully operational, and request for “Start of 1 year Maintenance Period” submitted, with all required turn-over submittal items provided to Public-Works Engineering Administration/Special Districts.
  - **Turn-Over Inspection**– On or about the one year anniversary of Inspection #3, Developer shall call for an inspection to allow the City to review and identify any potential irrigation system defects, dead plants, weed, debris or graffiti; stressed, diseased, or dead trees; mulch condition, hardscape or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At his sole expense, the Developer shall be responsible for rectifying system and installation deficiencies, and the one year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City’s Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the Inspector shall recommend to the City’s Special District Coordinator to accept turn-over of water and electrical accounts, wi-fi communication contracts and the entire landscape installation.
5. **One Year Maintenance and Plant Establishment Period**-The applicant will be required to provide a minimum of a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one-year maintenance period commences upon the successful completion of Inspection #3 discussed above, and final approval by the City. During this one year period the applicant shall be required to maintain all landscape

areas free of weeds, debris, trash, and graffiti; and keep all plants, trees and shrubs in a viable growth condition. Prior to the start of the one year maintenance period, the Developer shall submit a weekly Landscape Maintenance Schedule for the review and approval by the City's Special Districts Division. City shall perform periodic site inspections during the one-year maintenance period. The purpose of these periodic inspections is to identify any and all items needing correction prior to acceptance by the City at the conclusion of the one-year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials, weeding, replenishment of mulches, repair of damaged or non-functioning irrigation components, test of irrigation controller communications, etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turn-over to City maintenance staff.

6. **Street/Off-Site Improvements.** The applicant shall submit street improvement plans, accompanied by the appropriate filing fee to the City Engineering Department. Details of treatments off-site improvements, including lighting shall meet both the City Engineer's Design Guidelines, and the additional requirements of the Engineering and Special Districts Division. Components shall include, but not be limited to:
  - a. **Street Lighting-**If street lighting is required, lighting shall meet the type, style, color and durability requirements, necessary for energy efficiency goals, maintenance and longevity of improvements of the City Engineer's Office. As determined by the City, new streetlights may be required to be deeded to City of Perris, and not SCE. Street lights deeded to City of Perris shall be constructed per LS-3 account billing standard, which shall include an individually metered pedestal for streetlights.
  - b. **Acceptance By Public Works/Special Districts-** Lighting District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office, and the City's Consulting Traffic Signal Inspection Team (Riverside County TLMA) at (951) 955-6815. Prior to acceptance for maintenance of "Off-site" traffic signal and lighting facilities by the Public Works-Engineering and Administration Division/Special Districts, the developer shall contact the Public Works Special Districts Division at (951) 956-2120 to schedule the delivery of all required turn-over submittal items. Prior to acceptance into Lighting District 84-1, coordinate turn-over information pertaining to Street Lights, and Traffic Signal Electrical/SCE Service Meters with Wildan Financial Services, the City's Special Districts Consulting Firm at (951) 587-3564. (i.e. Provide electrical meter number, photo of pedestal, and coordinate "request for transfer of billing information" with SCE and City for all new service meters). Developer shall pay 18-month energy charges to the City of Perris for all off-site street lighting. Call Wildan Financial Services, Inc. for amount due, and to obtain receipt for payment. Obtain and provide a clearance form from Riverside County TLMA indicating completion of all punch list items from traffic signal construction. Submit one large format photo-copy of Traffic Signal as-built plans and timing sheets.
  
7. **Water Quality Management Plans.** The applicant shall submit a Preliminary and Final WQMP, accompanied by the appropriate filing fee to the Planning Department and City Engineering Department, respectively. Details for treatment control facilities shall meet both the Riverside County WQMP Design Guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce long term maintenance costs and longevity of improvements. Components shall include, but not be limited to:
  - **Storm Drain Screens-**If off-site catch basins are required by the City Engineer's Office, connector pipe screens shall be included in new catch basins to reduce sediment and trash loading within storm pipe. Connector pipe screens shall the type, style, and durability requirements of the Public Work's Engineering Administration and Special Districts Division.

- **WQMP Inspections-** The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both "ON-SITE" and OFF-SITE" WQMP Inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.
  - **Acceptance By Public Works/Special Districts-**Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the Final WQMP, shall be installed and fully operational, and approved by final inspection by the City's WQMP Consultant, CGRM. The Developer shall obtain a final Clearance Letter from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The developer shall deliver the same to the Public Works-Engineering and Administration Division/Special Districts. In addition, prior to acceptance by the City, the developer shall submit a Covenant and Agreement describing on-going maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works Engineering Administration and Special Districts Division. The Public Works Engineering Administration and Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
8. **Flood Control District #1 Maintenance Acceptance.** The proposed development will benefit from existing "downstream" flood control facilities, including pipe and catch basins, which serve the existing development. Therefore, the project shall annex into a new Flood Control District Benefit zone and pay its fair share for the maintenance of these downstream facilities. However, any "new" Flood Control District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office. Prior to acceptance for maintenance of "Off-site" flood control facilities by the Public Works-Engineering and Administration Division/Special Districts the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items including as-built storm drain plans in electronic PDF format, one large format photo-copy of as-built plans, storm drain video report in electronic format, and hardcopy of video report with industry standard notations and still photos made during video runs (i.e. facilities sizes, off-sets or damage, facility type, dirt and debris, etc.). The flood control facilities shall be turned over in a condition acceptable to the City, and the developer shall make all necessary repairs and perform initial maintenance to the satisfaction of the City.
9. **Assessment Districts.** Prior to permit issuance, developer shall deposit \$5,250 per district, \$15,750 total due. Payment is to be made to the City of Perris, and the check delivered to the City Engineer's Office. Payment shall be accompanied by the appropriate document for each district indicating intent and understanding of annexation, to be notarized by property owner(s):
- **Consent and Waiver for Maintenance District No. 84-1** - New street lighting proposed by the project, as determined by the City Engineer
  - **Consent and Waiver for Landscape Maintenance District No. 1** -New off-site parkway landscape within the new rights of way proposed by project on Indian Hills Circle, Navajo Road, 4<sup>th</sup> Street (Hwy 74), and new enhanced corner cutback area including City Entry Monument at Intersection of 4<sup>th</sup> Street and Indian Hills Circle.
  - **Petition for Flood Control Maintenance District No. 1** -For Off-site Flood Control Facilities proposed by the project

Original notarized document(s) to be sent to:

Daniel Louie  
Wildan Financial Services  
27368 Via Industrial, #200  
Temecula, CA 92590

- a. Prior to final map recordation or final certificate of occupancy the developer shall annex into the aforementioned districts, posting an adequate maintenance performance bond to be retained by the City as required by the City Engineer. Upon receipt of deposit and Consent and Waiver Forms, the developer shall work with City to meet all required milestones for annexations.
- i. City prepares the Engineer's Reports which includes a description of the improvements to be maintained, an annual cost estimate and annual assessment amounts.
- ii. Reports are reviewed and approved by the property owner. The assessment ballots will be based on these Reports.
- iii. The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no sooner than 45 days. Property owner attendance at this City Council Meeting is not required.
- iv. The assessment ballots are sent to the property owner and are opened by the City Clerk at the close of the Public Hearing. With a "YES" vote by the property owner the City Council can move forward with the Resolution that Confirms the Annexation. Property owner attendance at this Public Hearing is not required.
- v. Confirmation by the City Council completes the annexation process and the condition of approval has been met.

**SRC COMMENTS**  
**\*\*\* BUILDING & SAFETY \*\*\***

Planning Case File No(s): **CONDITIONAL USE PERMIT #19-05295**

Case Planner: **Alfredo Garcia (951) 943-5003, EXT 287**

Applicant: **Alex Irshaid**

Location: **Corner of Indian Hills Circle and Navajo Road**

**A Conditional Use Permit to construct a 2,505 SF express car wash and a 1,406 SF retail building and a 3,960 SF convenience store with a fueling station**

Project:

Associated Cases: **PR 19-05062**

Reviewed By: **David J. Martinez, CBO**

Date: **11-19-19**

## **SPECIFIC COMMENTS**

1. None

## **GENERAL CONDITIONS**

1. Shall comply with the latest adopted State of California 2019 editions of the following codes as applicable:
  - A. 2019 California Building Code
  - B. 2019 California Electrical Code
  - C. 2019 California Mechanical Code
  - D. 2019 California Energy Code
  - E. 2019 California Fire Code
  - F. 2019 California Green Building Standards Code
  - G. Proposed Project will have to comply with the Title 24 Access Regulations
2. All signs if any shall be Underwriters Laboratories, or equal, approved.
3. The County Health Departments Approval will be required prior to the issuance of a building permit
4. AQMD's review and approval will be required prior to the issuance of any building permits.



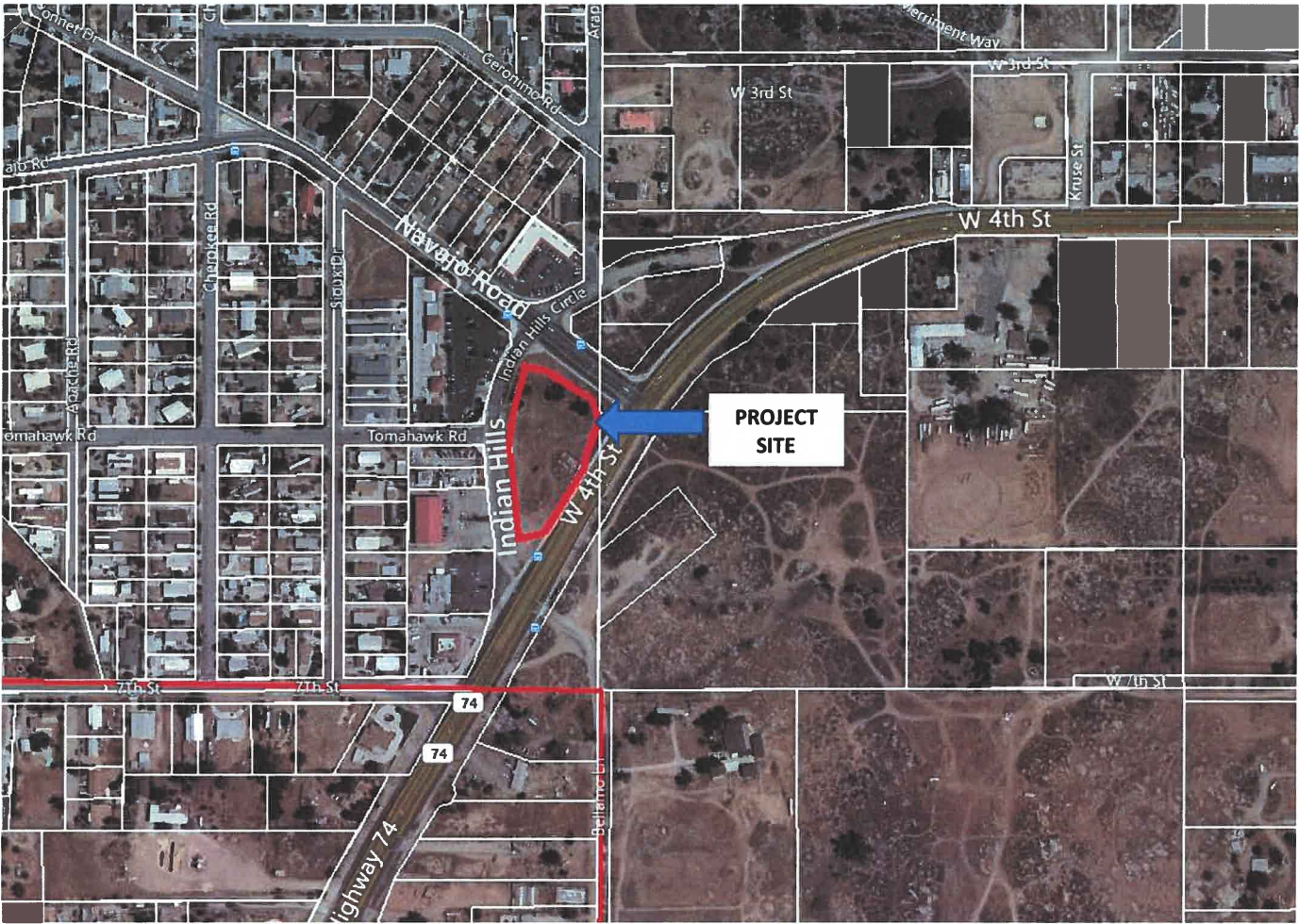
## **PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT**

1. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this proposed project.
  - A. Precise grading plans shall be submitted and approved
  - B. Rough grading shall be completed
  - C. Compaction must be certified
  - D. The Pad elevations must be certified
  - E. The rough and finish grade must be inspected and signed off

## **FIRE CONDITIONS**

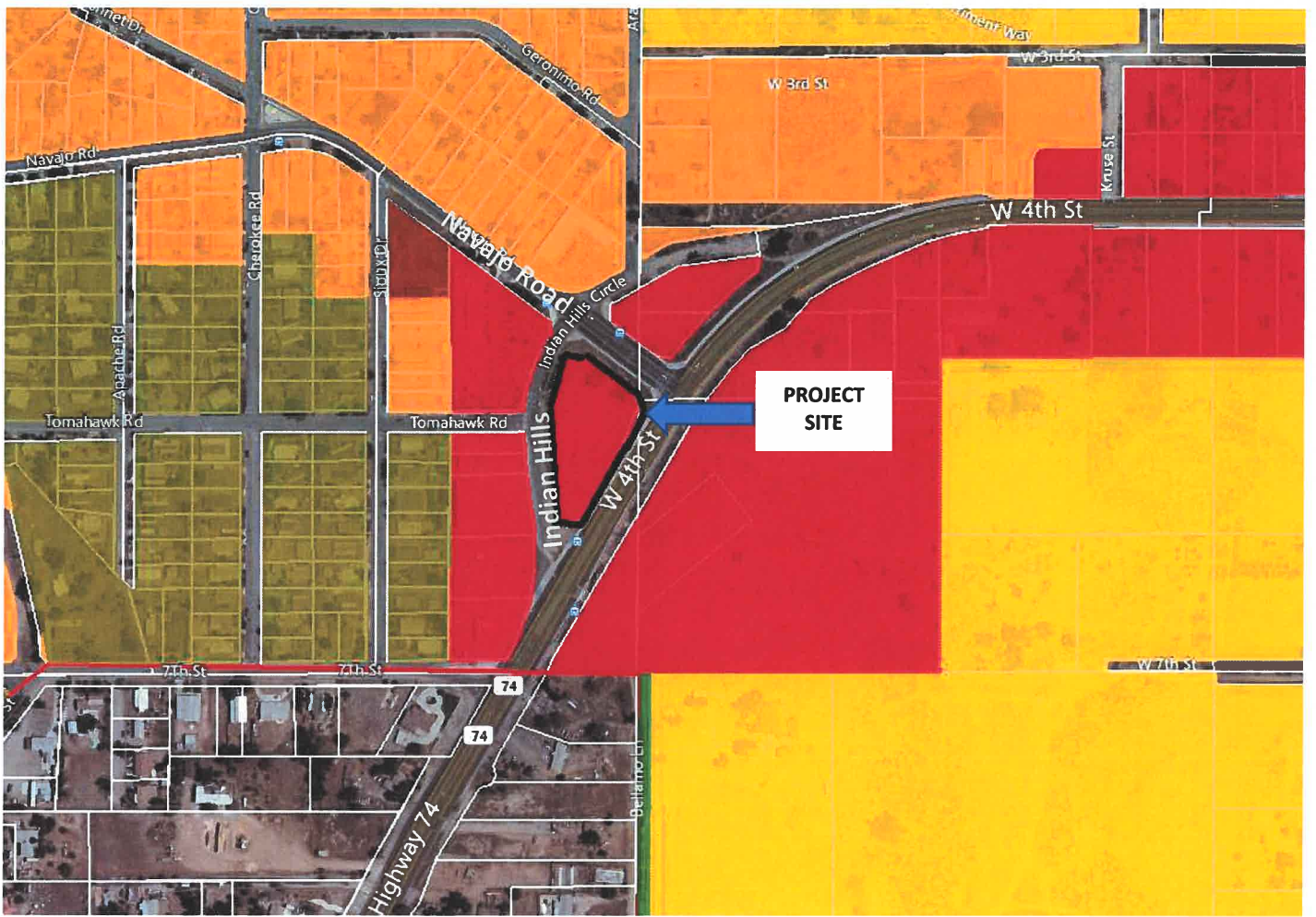
1. Fire Conditions will be provided by Dennis Grubb and Associates

**EXHIBIT B**  
**Aerial Map**



# EXHIBIT C

## Land Use



**EXHIBIT D**  
**Development Plans**

# RETAIL BUILDING



# CARWASH



# GO FRESH GAS STATION CAR WASH & 2 RETAIL AREAS

PERISS, CA  
ASSESSORS PARCEL NO.  
305-234-007

## VICINITY MAP



PROJECT TEAM	PROJECT SUMMARY
<b>OWNER</b> GO FRESH, LLC 1825 MOUNT LANGLEY STREET FOUNTAIN VALLEY, CA 92708	<b>CALCULATED AREA</b> TOTAL AREA: 166,500 SQ. FT. NET AREA: 166,500 SQ. FT.
<b>PROJECT DESIGNER AND MANAGER</b> RAMCAM ENGINEERING GROUP, INC. 870 E PARKRIDGE AVE., SUITE 101 PERISS, CA 92570 PH: (951) 744-6330 EXT 202 ALEX@RCGROUP.US	<b>USE</b> M: 100% R: 0% S: 0% T: 0%
	<b>DRIVE THRU CAR STACKING</b> 9 CAR STACKING MIN.
	<b>FLOOR AREA RATIO (F.A.R.)</b> PROPOSED BUILDINGS & R.V. CANYON: 0.7 F.A.R. TOTAL: 0.7 F.A.R.

UTILITY PROVIDERS
<b>PHONE</b> 800.310.2355
<b>ELECTRICITY</b> SOUTHERN CALIFORNIA EDISON 800.884.8123
<b>WATER &amp; SEWER</b> EASTERN MUNICIPAL 2270 TRUMBULL RD. PERISS, CA 92570 800.476.3893
<b>TRASH SERVICE</b> CITY OF PERISS PERISS, CA 92570 951.943.1881

**APPLICABLE CODES**  
ALL NEW CONSTRUCTION SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE PERISS MUNICIPAL CODE (M.C.C.) AND THE CALIFORNIA BUILDING CODE (CBC). THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.

**SCOPE OF WORK**  
1. CONSTRUCTION OF A 2,500 SQ. FT. CARWASH, A 1,400 SQ. FT. RETAIL SPACE #1, A 3,960 SQ. FT. RETAIL SPACE #2, (SHELL ONLY) AND A 4,510 SQ. FT. FUEL CANYON, A 1,660 SQ. FT. RETAIL SPACE #3 (SHELL ONLY) AND A 4,510 SQ. FT. FUEL CANYON.  
2. NEW LANDSCAPE, PAINTING AND STRIPPING.

**SCHOOL DISTRICT**  
PERISS SPERRIS UNION HIGH SCHOOL DISTRICT  
PERISS, CA 92570  
951.943.6369

**ROOFING SPECIFICATIONS**  
CLASS "A", 34" V. REINFORCED ACRYLIC EMBEDDED SYSTEM MEMBRANE BY WESTERN COLLOID (E8R-3871) OR SIMILAR.

**ADDITIONAL INFORMATION**  
1. DISTANCE TO THE NEAREST PARK: 5,280 FT. (WREN'S RANCH SPORTSMEN'S PARK)  
2. DISTANCE TO THE NEAREST SCHOOL: 1,200 FT. (PERISS ELEMENTARY SCHOOL)  
3. DISTANCE TO THE NEAREST CHURCH: 2,840 FT. (IMACIENDA CHRISTIAN LIFE CAMPUS)

NOTE: SEE A-1.401 FOR INDIAN HILLS AND NAVAJO ROAD LINE OF SIGHT

**DEFERRED SUBMITTALS**  
SIGNAGE - SPRINKLER SYSTEM  
ZONING CODE - CC-COMMERCIAL COMMUNITY

**TYPE OF CONSTRUCTION**  
CONCRETE FOUNDATION, WOOD FRAMING, STUCCO WALLS, AND CONCRETE SLAB ON GRADE

**LEGEND**  
CONCRETE: CONCRETE  
LANDSCAPE: LANDSCAPE  
PAVEMENT: PAVEMENT  
WALL: WALL

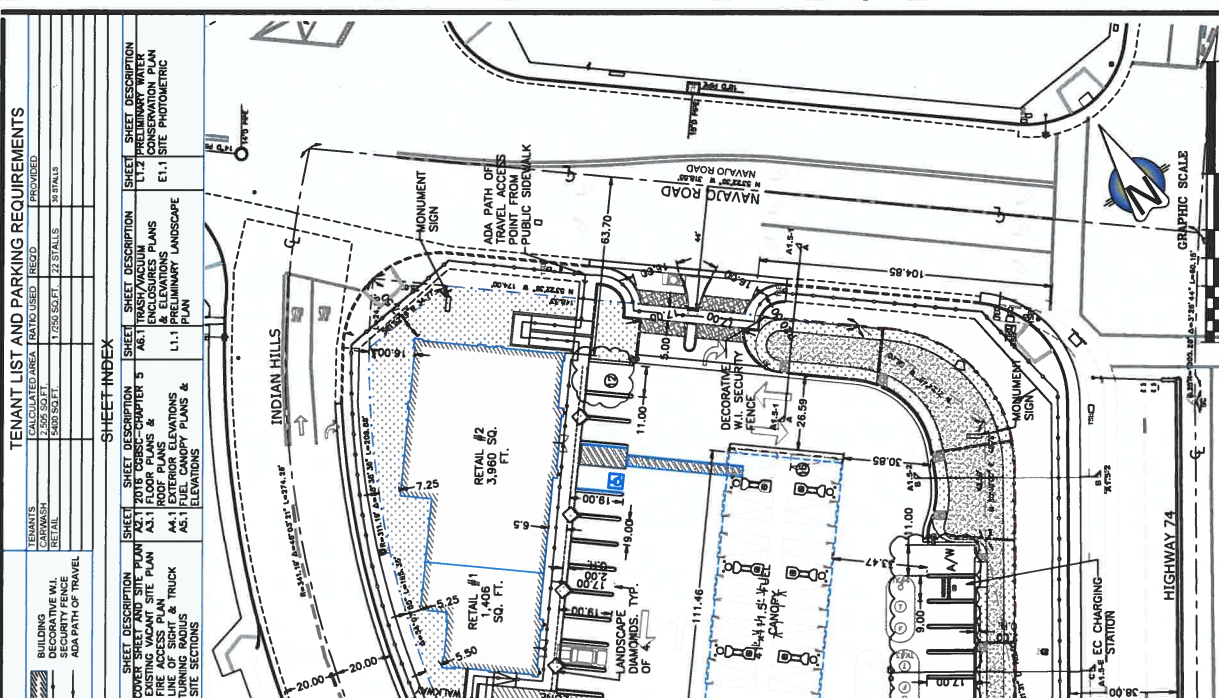
**TENANT LIST AND PARKING REQUIREMENTS**

TENANT	REQUIRED	PROVIDED
GO FRESH	2,500 SQ. FT.	2,500 SQ. FT.
PERISS	1,400 SQ. FT.	1,400 SQ. FT.
PERISS	3,960 SQ. FT.	3,960 SQ. FT.
PERISS	4,510 SQ. FT.	4,510 SQ. FT.

**SHEET INDEX**

SHEET NO.	SHEET DESCRIPTION	SHEET DESCRIPTION	SHEET DESCRIPTION
1	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
2	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
3	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
4	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
5	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
6	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
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14	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
15	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
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17	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
18	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
19	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS
20	EXISTING VACANT SITE PLAN	TRASH/VACUUM	PRELIMINARY WATER MAIN & ELEVATIONS

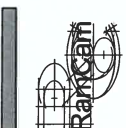
**PROJECT NOTES**  
1. ALL NEW CONSTRUCTION SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE PERISS MUNICIPAL CODE (M.C.C.) AND THE CALIFORNIA BUILDING CODE (CBC). THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.  
2. THE DISTANCE TO THE NEAREST PARK, SCHOOL, AND CHURCH IS SHOWN FOR INFORMATION ONLY.  
3. THE DISTANCE TO THE NEAREST CHURCH IS 2,840 FT. (IMACIENDA CHRISTIAN LIFE CAMPUS).  
4. NOTE: SEE A-1.401 FOR INDIAN HILLS AND NAVAJO ROAD LINE OF SIGHT.



**GRAPHIC SCALE**  
1" = 100'

**DATE**  
11/11/2020

**PROJECT NO.**  
305-234-007



**RAMCAM ENGINEERING GROUP, INC.**  
870 E PARKRIDGE AVE., SUITE 101  
PERISS, CA 92570  
PH: (951) 744-6330  
ALEX@RCGROUP.US

**GO FRESH, LLC**  
1825 MOUNT LANGLEY STREET  
FOUNTAIN VALLEY, CA 92708

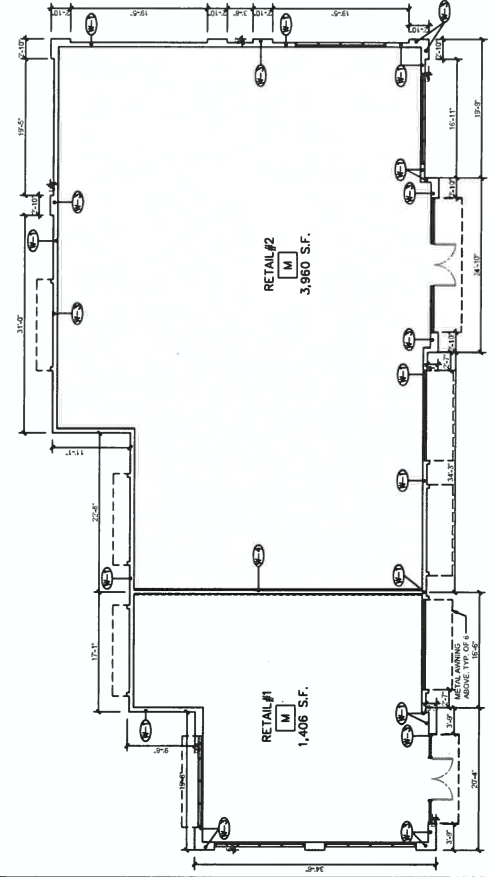
**GO FRESH GAS**  
1825 MOUNT LANGLEY STREET  
FOUNTAIN VALLEY, CA 92708  
PH: (951) 744-6330

**COVER SHEET AND SITE PLAN**

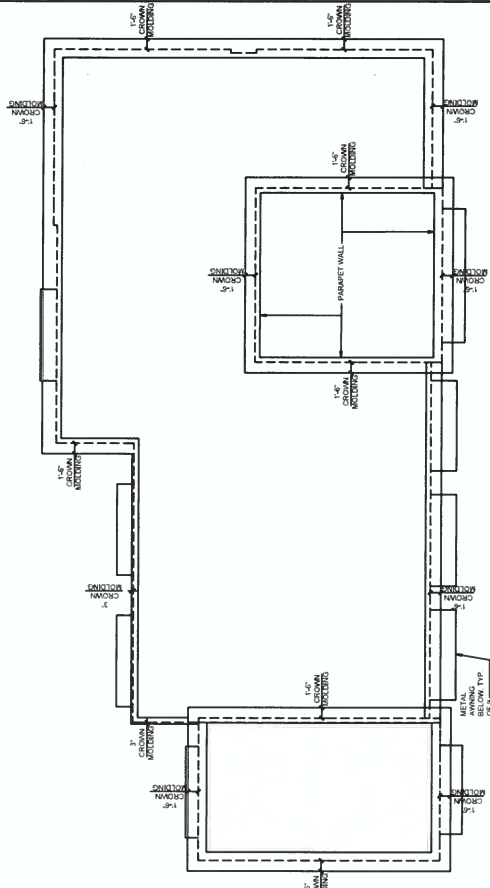
**A1.1**



RETAIL BUILDING

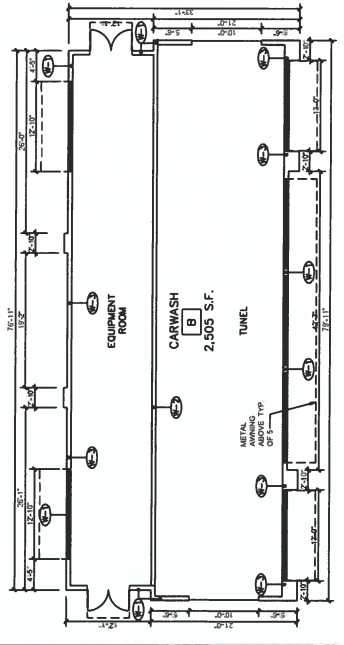


**A3.1 - 01** RETAIL SPACE & C-STORE FLOOR PLAN  
SCALE: 1/8"=1'-0"

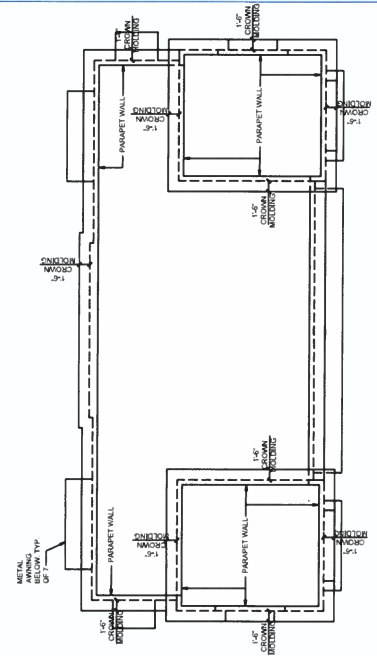


**A3.1 - 02** RETAIL SPACE & C-STORE FLOOR PLAN  
SCALE: 1/8"=1'-0"

CARWASH



**A3.1 - 03** CARWASH FLOOR PLAN  
SCALE: 1/8"=1'-0"



**A3.1 - 04** CARWASH ROOF PLAN  
SCALE: 1/8"=1'-0"

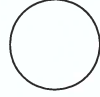
WALL LEGEND

- 1. EXTERIOR WALL 2x6 WOOD STUDS @ 16" O.C WITH STUCCO FINISH ON EXTERIOR SIDE AND 5/8" TYPE "X" GYP. BOARD ON INTERIOR SIDE. STONE VENEER WHERE APPLIES. SEE ELEVATIONS.
- 2. INTERIOR WALL 2x8 WOOD STUD WITH 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE
- 3. EXTERIOR DOUBLE WALL 2x6 WOOD STUDS @ 16" O.C AND 2x WOOD STUD @ 16" O.C WITH STUCCO FINISH ON EXTERIOR SIDE AND STUCCO FINISH ON INTERIOR SIDE. STONE VENEER WHERE APPLIES. SEE ELEVATIONS. WALL THICKNESS VARIES
- 4. TYPE "X" GYP BOARD ON THE STORE SIDE AND 2-LAYER 5/8" TYPE "X" GYPSUM BOARD ON THE DELTA SIDE UNDER SEPARATE SUBMITTAL



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CHINA, CA 92518  
951-724-2320

PROJECT NO. 12-04-0118  
DATE: 01/11/18



**GO FRESH, LLC**  
1933 MOUNT LAMBLEY STREET  
FOUNTAIN VALLEY, CA 92708

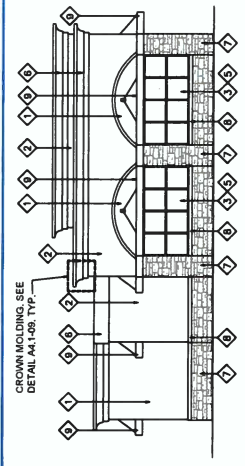
**GO FRESH GAS**  
1600 ROAD AND RAIL MALL SUITE 100  
FONTSVILLE, NC 27034

FLOOR PLANS & ROOF PLANS

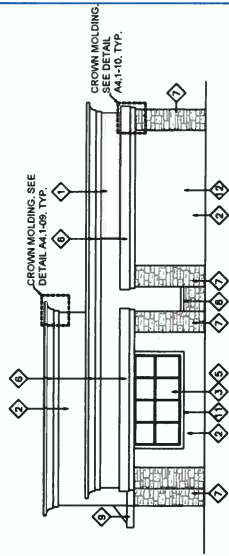
**A3.1**



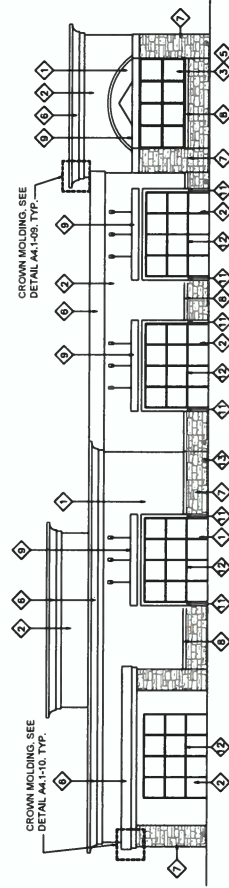
**RETAIL BUILDING**



**A4.1 - 01 SOUTHWEST ELEVATION**  
SCALE: 1/8"=1'-0"



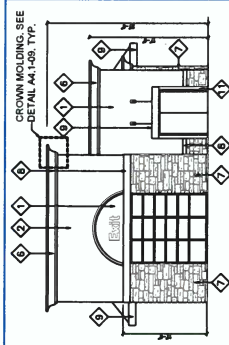
**A4.1 - 02 SOUTHEAST ELEVATION (MAIN ENTRANCE)**  
SCALE: 1/8"=1'-0"



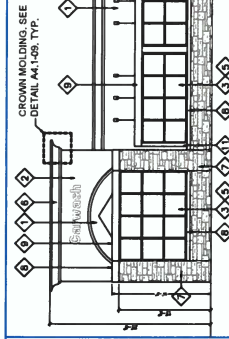
**A4.1 - 03 NORTHEAST ELEVATION**  
SCALE: 1/8"=1'-0"

**A4.1 - 04 NORTHWEST ELEVATION**  
SCALE: 1/8"=1'-0"

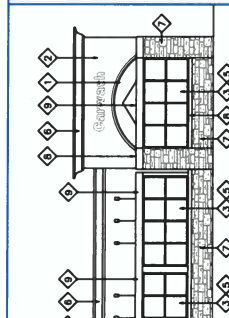
**CARWASH**



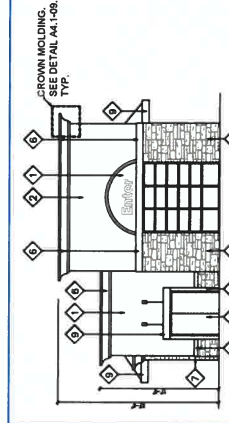
**A4.1 - 05 NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**A4.1 - 06 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

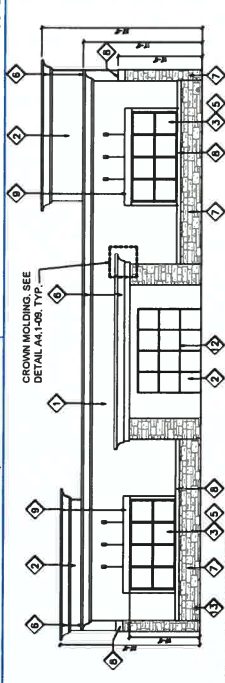


**A4.1 - 07 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**A4.1 - 08 WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**A4.1 - 09 ROOF PLAN**  
SCALE: 1/8"=1'-0"



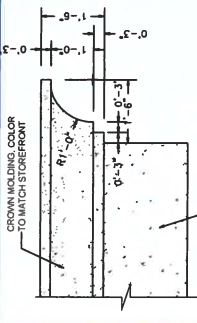
**A4.1 - 10 REAR ELEV.**  
SCALE: 1/8"=1'-0"

**A4.1 - 11 FRONT ELEV.**  
SCALE: 1/8"=1'-0"

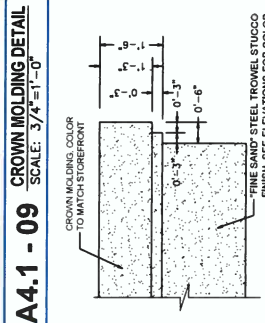
**A4.1 - 12 REAR ELEV.**  
SCALE: 1/8"=1'-0"

**KEYNOTES**

- 1 FINE SAND STEEL TROWEL STUCCO FINISH. COLOR: BERR # EC2-541 NEW HAN FLAT EXTERIOR PAINT
- 2 FINE SAND STEEL TROWEL STUCCO FINISH. COLOR: BERR # N19-6 NUT BROWN MATTE EXTERIOR PAINT
- 3 DARK BRONZE ANODIZED ALUMINUM STOREFRONT/WINDOW SYSTEM
- 4 TRANSPARENT, NON-REFLECTIVE, TEMPERED GLASS DOOR TO MATCH STOREFRONT.
- 5 1/2" TRANSPARENT, NON-REFLECTIVE, TEMPERED GLASS
- 6 CROWN MOLDING. COLOR TO MATCH STOREFRONT
- 7 THOMPSON CHEEF CLIFF BLENDS STONE COLOR. TAN
- 8 STUCCO WAINSCOT CAP. COLOR: TO MATCH STOREFRONT
- 9 METAL AWNING AND HANGERS. COLOR: TO MATCH STOREFRONT
- 10 DOUBLE SERVICE DOORS. PAINT WITH BERR # H180-6 INUT BROWN MATTE EXTERIOR PAINT
- 11 6" WIDE TRIM. COLOR: TO MATCH STOREFRONT
- 12 LANDSCAPE TRELLIS. COLOR: TO MATCH STOREFRONT.
- 13 ROOF DRAIN OVERFLOW, JAY R SMITH DOWNSPOUT NOZZLE # 1770. TYP. OF 5.



**A4.1 - 09 CROWN MOLDING DETAIL**  
SCALE: 3/4"=1'-0"



**A4.1 - 10 CROWN MOLDING DETAIL**  
SCALE: 3/4"=1'-0"



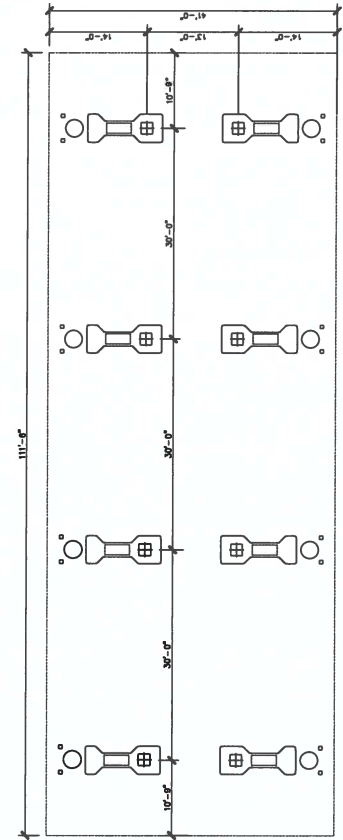
RAMCAM ENGINEERING  
GROUP, INC.  
670 E. HARBOR DRIVE, SUITE 101  
SAN ANTONIO, TEXAS 78217  
PHONE: (214) 343-3300  
FAX: (214) 343-3300

GO FRESH, LLC  
1833 MOUNT LANGLEY STREET  
FOURFARM VALLEY, CA 92708

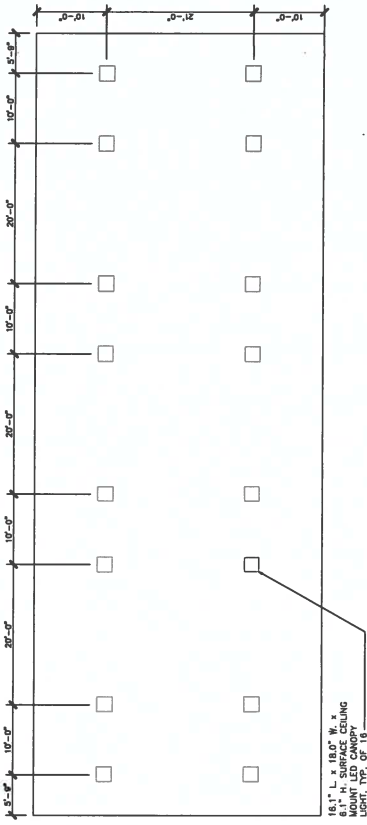
GO FRESH GAS  
MAYFIELD ROAD AND DEAN HALL CIRCLE  
SANTA ANA, CA 92705  
PHONE: (714) 324-4000



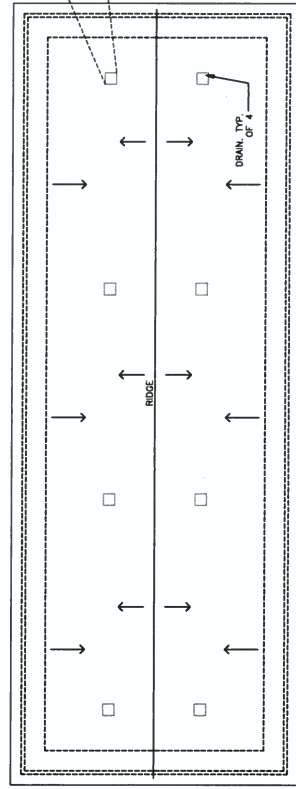
611  
DIGITAL 360  
PHOTOGRAPHY



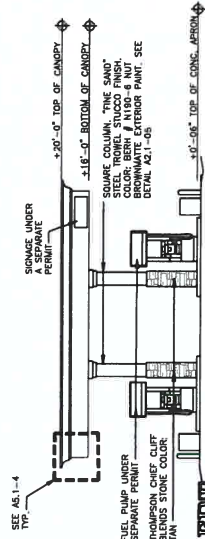
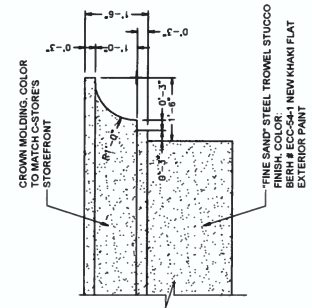
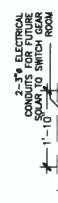
**A5.1-01 FUEL CANOPY ROOF PLAN**  
SCALE: 1/8"=1'-0"



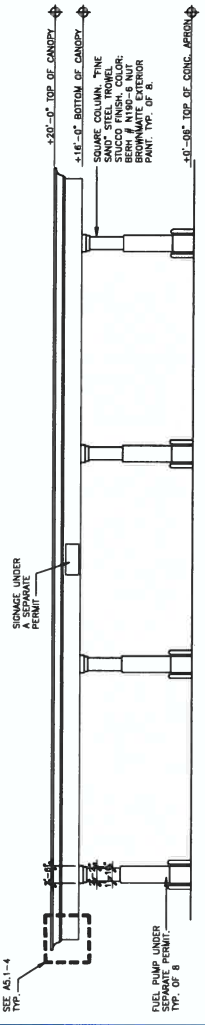
**A5.1-02 FUEL CANOPY REFLECTED CEILING PLAN**  
SCALE: 1/8"=1'-0"



**A5.1-03 FUEL CANOPY ROOF PLAN**  
SCALE: 1/8"=1'-0"



**A5.1-05 FUEL CANOPY SIDE ELEVATION**  
SCALE: 1/8"=1'-0"

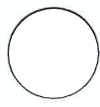


**A5.1-06 FUEL CANOPY FRONT ELEVATION**  
SCALE: 1/8"=1'-0"



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370 E. HANCOCK AVENUE, SUITE 101  
DANA POINT, CA 92629  
949.734.8320

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**GO FRESH, LLC**  
1833 MOUNT LANSLEY STREET  
FOUNTAIN VALLEY, CA 92708

**GO FRESH GAS**  
1833 MOUNT LANSLEY STREET  
FOUNTAIN VALLEY, CA 92708  
PH: 949.734.8320

DATE: 08/20/2020



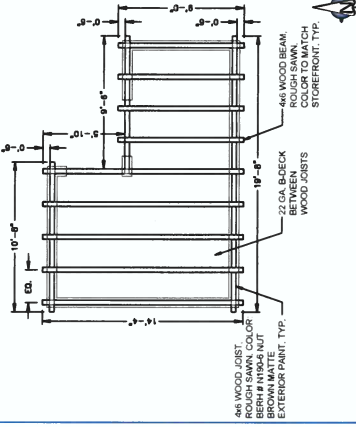
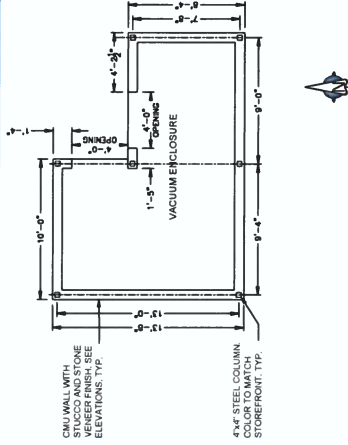
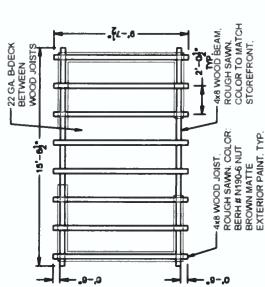
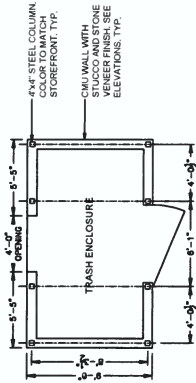
**FUEL CANOPY PLANS & ELEVATIONS**

**A5.1**



**TRASH ENCLOSURE**

**VACUUM ENCLOSURE**

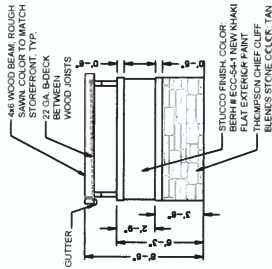


**A6.1-01 TRASH ENCLOSURE FLOOR PLAN**  
SCALE: 1/4"=1'-0"

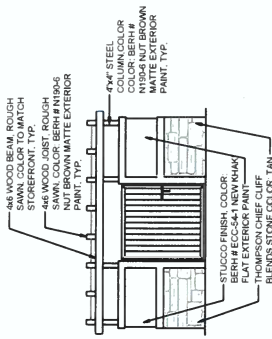
**A6.1-02 TRASH ENCLOSURE ROOF PLAN**  
SCALE: 1/4"=1'-0"

**A6.1-03 VACUUM ENCLOSURE FLOOR PLAN**  
SCALE: 1/4"=1'-0"

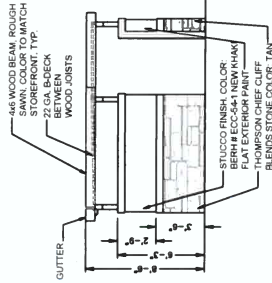
**A6.1-04 VACUUM ENCLOSURE ROOF PLAN**  
SCALE: 1/4"=1'-0"



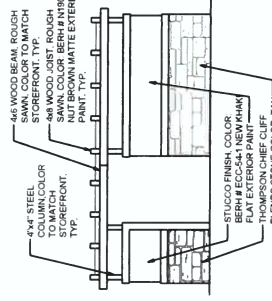
**A6.1-05 NW ELEVATION**  
SCALE: 1/4"=1'-0"



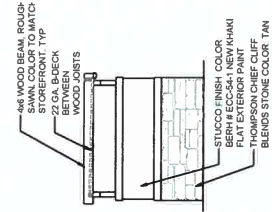
**A6.1-06 SE ELEVATION**  
SCALE: 1/4"=1'-0"



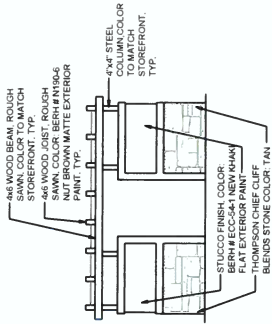
**A6.1-07 EAST ELEVATION**  
SCALE: NONE



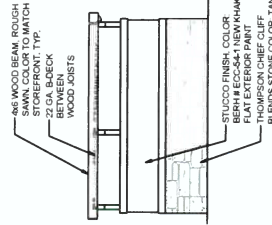
**A6.1-08 NORTH ELEVATION**  
SCALE: NONE



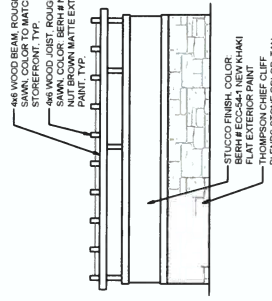
**NE ELEVATION**  
**A6.1-09**



**A6.1-10 NW ELEVATION**  
SCALE: 1/4"=1'-0"



**A6.1-11 WEST ELEVATION**  
SCALE: NONE



**A6.1-12 SOUTH ELEVATION**  
SCALE: NONE



**RAMCAM ENGINEERING GROUP, INC.**  
570 E. HARRISON AVENUE, SUITE 101  
DENVER, CO 80202  
303.733.4300



**GO FRESH, LLC**  
185 MOUNT LANGLEY STREET  
FOUNTAIN VALLEY, CA 92708

**GO FRESH GAS**  
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FOUNTAIN VALLEY, CA 92708  
951.733.4307

01.11.2020

**TRASH/VACUUM ENCLOSURES**  
**PLANS&DETAILS**





# EXHIBIT E

## Initial Study / Mitigated Negative Declaration 2363

*(due to the size of the files, the documents are located at the following webpage link):*

<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-290>

# **Planning Commission Agenda**

**CITY OF PERRIS  
November 03, 2021**

# Item

# 8A

**Code Enforcement Informational Item**