

# CITY OF PERRIS PLANNING COMMISSION

## AGENDA

November 02, 2022

**City Council Chambers**  
Meeting to convene at 6:00 P.M.  
101 North "D" Street  
Perris, CA 92570

**1. CALL TO ORDER:**

**2. ROLL CALL:**

**Commissioners:** Gomez, Lopez, Jimenez,  
Chair Hammond, Vice-Chair Shively

**3. INVOCATION:**

**4. PLEDGE OF ALLEGIANCE:** Commissioner Gomez

**5. PRESENTATION:**

**6. CONSENT CALENDAR:**

A. Planning Commission Minutes for October 19, 2022

**7. PUBLIC HEARING:**

A. Specific Plan Amendment (SPA) 21-05125 – A proposed Specific Plan Amendment to update the Green Valley Specific Plan (GVSP) for consistency with the Perris Valley Airport Land Use Compatibility Plan (PV ALUCP) and compliance with Senate Bill 330. Applicant: Matthew Villalobos, Raintree Investment Corporation

**REQUESTED ACTION:** Continuance off calendar of this item.

B. Development Plan Review (DPR) 20-00007 – Proposal to construct a 9,300 square foot, two story truck repair shop on 0.64 acres, situated on the southeast corner of Western Way and West Jet Way, in the GI - General Industrial Zone of the Perris Valley Commerce Center Specific Plan. Applicant: Jonathan Zane

**REQUESTED ACTION:** Adopt Resolution No. 22-23 finding the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines, as the project will not have a significant effect on the environment; and approving DPR 20-00007 to construct and operate a 9,300 square foot two story truck repair shop, based on the

findings contained in the staff report and subject to the recommended Conditions of Approval.

**8. BUSINESS ITEM:**

**9. PUBLIC COMMENTS:**

*Anyone who wishes to **address the Planning Commission** regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, and spell your last name and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.*

***LISTENING ASSISTIVE DEVICES** are available for the hearing impaired or language translation – please see the Commission Secretary. The City of Perris wishes to make all its public meetings accessible to the public. Upon request, this agenda will be made available in appropriate alternative formats to persons in need of language translation or disabilities as required by 42 U.S.C. 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requests a modification or accommodation in order to participate in a meeting should direct such request to 951-943-2003 x256 at least 72 hours before the meeting, if possible.*

**10. COMMISSION MEMBERS' ANNOUNCEMENTS OR REPORTS:**

**11. DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:**

**12. ADJOURNMENT**

**COVID-19 REMOTE PUBLIC COMMENT/CITIZEN PARTICIPATION**

*With the intent of adhering to the new community guidelines from the Center for Disease Control, the City of Perris will allow for remote public comment and participation at the upcoming Planning Commission meeting via Zoom. Public Comment is limited to three (3) minutes.*

**ZOOM MEETING INFORMATION**

When: November 02, 2022, 6:00 PM Pacific Time (US and Canada)

Topic: Planning Commission Meeting

In order to provide public comments via Zoom, participants will be required to register in advance at the following link:

Register in advance for this webinar:

[https://us06web.zoom.us/webinar/register/WN\\_L\\_X97glzT8mABW16pzAV-g](https://us06web.zoom.us/webinar/register/WN_L_X97glzT8mABW16pzAV-g)

After registering, you will receive a confirmation email containing information about joining the meeting. During the Planning Commission meeting, if you wish to speak, via Zoom, for public comment on any item, please select the raise hand icon next to your name. The moderator will grant you access to speak. Public Comment is limited to (3) three minutes.

# Planning Commission Agenda

**CITY OF PERRIS**

**November 02, 2022**

Item

**6A**

*Planning Commission Minutes for  
October 19, 2022*

# ***CITY OF PERRIS***

## MINUTES:

Date of Meeting: October 19, 2022

06:30 PM

Place of Meeting: City Council Chambers

1. **CALL TO ORDER:**

2. **ROLL CALL: Commissioners Present:** Vice-Chair Shively, Gomez, Lopez, Jimenez.

**City Staff Present:** Development Services Department Director Phung, Planning Manager, Brenes, City Attorney Vargas, City Engineer Pourkazemi, Associate Planner A. Garcia, Associate Planner L. Garcia.

Commission Members Present: Commissioner Gomez, Commissioner Jimenez, Commissioner Lopez, and Vice Chair Shively.

3. **INVOCATION:**

4. **PLEDGE OF ALLEGIANCE:**

Pledge of Allegiance was led by Commissioner Gomez

5. **PRESENTATION:**

There was no presentation for this Item

6. **CONSENT CALENDAR:**

- A. Approve the Minutes for the regular meeting held on October 05, 2022 of the Planning Commission.

Planning Manager Brenes recommended a correction to Condition of Approval 8 to read as follows:

Live Music/Entertainment Hours of Operation. Hours of operation for live entertainment activities are limited to Saturday from 4:00 p.m. to 10:00 p.m. **and Sunday from 4:00 p.m. to 9:00 p.m.**

The Chair called for a motion.

M/S/C: Moved by Commissioner Lopez, seconded by Commissioner Gomez to Approve item 6.

A. Minutes for the regular meeting held on October 05, 2022 of the Planning Commission.

AYES: Commissioner Gomez, Commissioner Jimenez, Commissioner Lopez, Vice Chair Shively.

NOES:

ABSENT: Chair Hammond.

ABSTAIN:

7. **PUBLIC HEARING:**

- A. This Item was continued until November 02, 2022 - Specific Plan Amendment (SPA) 21-05125 – A proposed Specific Plan Amendment to update the Green Valley Specific Plan (GVSP) for consistency with the Perris Valley Airport Land Use Compatibility Plan (PV ALUCP) and compliance with Senate Bill 330. Applicant: Matthew Villalobos, Raintree Investment Corporation  
REQUESTED ACTION: Continuance of this item to the Planning Commission meeting on November 02, 2022.

Chair Shively open the Item for Public Comments.

Chair Shively closed the Item for Public Comments

The Chair called for a motion.

M/S/C: Moved by Commissioner Gomez, seconded by Commissioner Jimenez to Approve 7.A. Specific Plan Amendment (SPA) 21-05125 – A proposed Specific Plan Amendment to update the Green Valley Specific Plan (GVSP) for consistency with the Perris Valley Airport Land Use Compatibility Plan (PV ALUCP) and compliance with Senate Bill 330. Applicant: Matthew Villalobos, Raintree Investment Corporation.

REQUESTED ACTION: Continuance of this item to the Planning Commission meeting on November 02, 2022.

AYES: Commissioner Gomez, Commissioner Jimenez, Commissioner Lopez, Vice Chair Shively.

NOES:

ABSENT: Chair Hammond.

ABSTAIN:

- B. Development Plan Review (DPR) 21-00003 – A proposal to construct a 132,485 square foot industrial building on seven acres located at the southwest corner of Rider Street and Redlands Avenue within the Light Industrial zone of the Perris Valley Commerce Center Specific Plan. Applicant: Henry Pyle, Chartwell Development

Vice-Chair Shively Open the Item for Public Comments

Associate Planner Garcia Presented the Item

The Following Commissioners Spoke:

Commissioner Lopez  
Commissioner Jimenez  
Commissioner Gomez  
Vice-Chair Shively

Vice-Chair open the Item for public comment

Applicant Henry Pyle spoke

Speaker 1 was called to speak - Resident Omar Covian

Vice-Chair Shively closed Public comment

The Vice-Chair called for a motion.

M/S/C: Moved by Commissioner Gomez, seconded by Commissioner Lopez to Approve 7.B. with the following revisions to the conditions of approval:

Planning Conditions:

Revise Condition 26. Screening of Roof Mounted Equipment. Proper screening shall prevent public views of all **HVAC** equipment.

Revise Condition 29 to include:

- a. **A landscape corner statement shall be provided at the northeast corner of Rider Street and Redlands Avenue. Lighting shall be included as part of the corner statement.**
- b. **Remove the two parking spaces along each side of the planter at the northeast corner of Rider Street and Redlands Avenue to enlarge the area for a substantive corner statement.**
- c. **Trees along Rider Street shall be consistent with the existing tree species along Rider Street.**

Add new **Condition 32. Modify the east building elevation to incorporate decorative architectural enhancement on blank areas below the glass components.**

Revise Condition 35. Truck Routes. **The applicant shall inform future tenants about the City's approved truck routes.** Signs shall be provided on site and within the public rights-of-way to direct all trucks to use designated truck routes, only as approved by the Engineering and Planning Departments. Truck routes in the area include Rider Street to Redlands Avenue either west on Harley Knox Boulevard or west on Morgan Street, south on Indian Avenue, and west on Placencia Avenue.

Engineering Condition:

Revise Condition 7. The driveway on Rider Street may accommodate both egress for truck and ingress and egress for autos and shall be restricted for right-in/right-out only. The driveway shall incorporate a pork chop to restrict conflicting auto and truck turning movements and **prevent trucks from entering the site**. Furthermore, distinctive controls to include lighting signage shall be provided to isolate truck and auto maneuvers at the shared driveway and the shared onsite drive aisles; the controls shall be designed by the project's Traffic Engineer and approved by the City Engineer.

AYES: Vice Chair Shively. Commissioner Gomez, Commissioner Jimenez,  
Commissioner Lopez

NOES:

ABSENT: Chair Hammond.

ABSTAIN:

8. **BUSINESS ITEM:**

There was no presentation for this Item

9. **PUBLIC COMMENTS:** Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, and spell your last name and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.  
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There was no Public Comments for this Item

10. **COMMISSION MEMBERS' ANNOUNCEMENTS OR REPORTS:**

Commissioner Lopez  
Commissioner Jimenez  
Commissioner Gomez  
Vice-Chair Shively

11. **DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:**

Director Phung

12. **ADJOURNMENT\_ COVID-19 REMOTE PUBLIC COMMENT/CITIZEN PARTICIPATION**

With the intent of adhering to the new community guidelines from the Center for Disease Control, the City of Perris will allow for remote public comment and participation at the upcoming Planning Commission meeting via Zoom. Public Comment is limited to three (3) minutes.

**Vice-Chair Shively adjourned the regular Planning Commission Meeting.**



# Planning Commission Agenda

**CITY OF PERRIS**

**November 19, 2022**

**Item**

**7A**

***Specific Plan Amendment  
(SPA) 21-05125***

***Continuance off the calendar of this Item***

# Planning Commission Agenda

**CITY OF PERRIS**

November 02, 2022

Item

**7A**

*Specific Plan Amendment  
(SPA) 21-05125*



# CITY OF PERRIS

## PLANNING COMMISSION

### AGENDA SUBMITTAL

**MEETING DATE:** November 2, 2022

**SUBJECT:** Specific Plan Amendment (SPA) 21-05125 – A proposed Specific Plan Amendment to update the Green Valley Specific Plan (GVSP) for consistency with the Perris Valley Airport Land Use Compatibility Plan (PV ALUCP) and compliance with Senate Bill 330. Applicant: Matthew Villalobos, Raintree Investment Corporation.

**REQUESTED ACTION:** Continuance of this item to off-calendar

**CONTACT:** Kenneth Phung, Director of Development Services

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#### **BACKGROUND/DISCUSSION:**

The applicant is requesting continuance off-calendar to allow additional time to work with City Staff on technical matters related to the Green Valley Specific Plan (GVSP) amendment.

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**BUDGET (or FISCAL) IMPACT:** The cost of processing this application is paid by the applicant.

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Prepared by: Nathan Perez, Senior Planner  
Reviewed by: Patricia Brenes, Planning Manager

Exhibit: A. Applicant's Continuance Off-Calendar Request

Consent:  
Public Hearing: X  
Business Item:  
Presentation:  
Other:

## Exhibit A

# Applicant's Continuance Off-Calendar Request

**From:** Nick Johnson <[nick@jacair.com](mailto:nick@jacair.com)>

**Sent:** Wednesday, October 26, 2022 5:22 PM

**To:** Kenneth Phung <[Kphung@cityofperris.org](mailto:Kphung@cityofperris.org)>

**Cc:** Patrick Parker <[pparker@raintree.us.com](mailto:pparker@raintree.us.com)>; Matthew Villalobos <[mvillalobos@raintree.us.com](mailto:mvillalobos@raintree.us.com)>; Nathan Perez <[NPerez@cityofperris.org](mailto:NPerez@cityofperris.org)>; Patricia Brenes <[pbrenes@CityofPerris.org](mailto:pbrenes@CityofPerris.org)>

**Subject:** RE: GV Off Calendar Processing

Kenneth,

Good afternoon. There are still issues to resolve on the Green Valley Specific Plan Amendment. To give time to resolve these matters with the City, we request that the item originally noticed for Planning Commission be taken as an off-calendar item to be processed at a later date to be determined. With this request we also request that City staff prioritize this matter as we work with you to resolve issues and bring it to Planning Commission for a hearing. We look forward to continuing our work with you and the City team to plan much needed housing and commercial development in South Perris.

Respectfully,

Nick

[Nick Johnson](#)  
Phone | 818.606.3560  
[nick@jacair.com](mailto:nick@jacair.com)  
[jacair.com](http://jacair.com)

# Planning Commission Agenda

**CITY OF PERRIS**

November 02, 2022

Item

**7B**

*Development Plan Review  
(DPR) 20-00007*



# CITY OF PERRIS

## PLANNING COMMISSION

### AGENDA SUBMITTAL

- MEETING DATE:** November 2, 2022
- SUBJECT:** Development Plan Review (DPR) 20-00007 – Proposal to construct a 9,300 square foot, two-story truck repair shop on 0.64 acres, situated on the southeast corner of Western Way and West Jet Way, in the General Industrial- (GI) Zone of the Perris Valley Commerce Center Specific Plan. Applicant: Jonathan Zane
- REQUESTED ACTION:** ADOPT Resolution No. 22-23 finding the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines, as the project will not have a significant effect on the environment; and approving DPR 20-00007 to construct and operate a 9,300 square foot two-story truck repair shop, based on the findings contained in the staff report and subject to the recommended Conditions of Approval.
- CONTACT:** Kenneth Phung, Development Services Director

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#### **BACKGROUND/ PROJECT DESCRIPTION**

The 0.64 acres project site is vacant and consists of flat terrain secured by a combination tubular steel fence and split face block wall, approximately 7 feet in height. The project site is currently being used as a truck storage yard. It is surrounded by industrial warehouse building to the west across Western Way, a metal manufacturing use to the south, industrial use to the east, and an asphalt company with outdoor storage to the north across West Jay Way.

On February 3, 2016, the Planning Commission approved Development Plan Review (DPR) 14-10-0008 for development of the project site with a 10,204 square foot truck repair shop. However, the project was never constructed and expired in 2018.

The applicant is now requesting approval of a DPR to construct and operate a 9,300 square foot, two-story truck repair shop. The ground floor consists of 4,818 square feet of shop area, a 1,595 square foot office area, and a 1,533 square foot outdoor truck washing bay, totaling is 7,946 square feet. The second-floor area consists of 923 square feet of office area and 431 square feet of storage area, totaling 1,354 square feet. Access to the site is proposed via two, two-way driveways, one fronts onto Western Avenue and the second one fronts Jet Way. A total of 24 parking spaces, located along the west and north sides of the property, are proposed to serve this site. The site will be gated for security purposes. The segment of the existing perimeter combination fence/wall fronting onto Western Way will be replaced and installed along the west property line.

Operation of the truck repair shop will be managed by three employees, consisting of one office manager and two mechanics. The truck repair shop will be open Monday through Saturday from 7 a.m. to 7 p.m. This facility will offer vehicle repair and improvement services, including general maintenance, oil change, brakes, engine and transmission overhauls, and other similar services.

**PROJECT ANALYSIS**

	Consistent	Inconsistent
<p><b>Consistency with the General Plan</b></p> <p>The project site has a General Plan land use designation of GI – General Industrial, which is intended for an industrial development that supports a wide range of manufacturing and non-manufacturing uses, from large-scale warehouses and warehouse/distribution facilities to mechanic shops such as the proposed operation. The proposed truck repair shop is consistent with the intent of the General Plan land use designation.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>Consistency with the Perris Valley Commerce Center (PVCC) Specific Plan</b></p> <p>The proposed project is consistent with the General Plan designation of the Perris Valley Commerce Center (PVCC) Specific Plan with the land use designation of General Industrial. This land use designation is intended for an industrial development that supports a wide range of manufacturing and non-manufacturing uses, from large-scale warehouses and warehouse/distribution facilities to mechanic shops such as the proposed operation.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>Consistency with the March Air Reserve Base/Inland Port Airport</b></p> <p>The project site is in the B2 Zone of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. The B2 Zone is identified in the Airport Land Use Compatibility Plan as a High Noise Zone. It encompasses areas of high noise and high accident potential risk within the inner portion of the runway approach and departure corridors. The proposed project was analyzed for consistency with B2 Zone and was determined to be consistent with the Airport Plan.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



**COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS**

Perris Valley Commerce Center Specific Plan General Industrial Zone - Development Standards					
Standard		Proposed		Consistent	Inconsistent
Maximum Lot Coverage	50 percent	30.77 percent		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Site FAR	0.75	0.36		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building Height	50 feet	28 feet		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Setbacks	Front Yard: Jet way	10 feet	66 feet-10 1/2 inches	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Side Yards: Western Way (west)	15 feet	70 feet-4 inches	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Interior Side Yard (east)	0 feet	6 inches		
	Rear Yard (south)	0 feet	6 inches	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Parking Standards Chapter 19.69 – Parking Development Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Automobile Repair	5 spaces per bay	3 bays/ 15 spaces	24 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Office	1 space per 300 square feet 1,820 square feet/ 300	6 spaces			
Carwash	1 space per 1,000 square feet 1,533 square feet/ 1,000	2 space			
<b>Total Parking</b>		<b>23 spaces</b>	<b>24 spaces</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Total Surplus Parking</b>			<b>1 spaces</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS**

- **Landscaping**

The applicant has submitted a conceptual landscape plan that conforms to the requirements of the Landscaping Ordinance. The proposed on-site landscaping area totals approximately 2,927 square feet equivalent to 11.3 percent of the site, which exceeds the minimum 10 percent landscape requirement of the Zoning Code. Landscaping has been provided throughout the parking areas, adjacent to the buildings and trash enclosure area. All parking rows are framed by end planters. To ensure adequate screening is provided, a

condition of approval is recommended requiring a combination of trees, shrubs, and accent plants be planted creating a tiered effect.

- **Fencing and Screening**

The applicant will upgrade the segment of the existing perimeter combination fence/wall fronting onto Western Way as it is in disrepair and located within public right of way. Thus, a condition of approval is recommended requiring the pilasters to be increased in height above the height of the tubular steel fence and to cap them with a decorative cap for consistency with the fencing of the property across the street to the north.

- **Lighting**

All exterior lighting will provide one (1) foot candle of illumination for pedestrian safety and security along all parking lots and pedestrian areas. All exterior lighting will be required to be shielded and facing downward away from the neighboring properties in accordance with City standards.

- **Building Elevations/Architecture**

The design elements of the building utilize a combination of varying roof lines, decorative cornice treatment, decorative metal canopy and a precision concrete cap. The design of the building provides symmetry and balance with enhanced treatments at the corners and intermittently along the façade to maintain visual interest. The ledge stone veneer is provided at the Western Way frontage. In addition, when not in operation the service bay doors will be conditioned to have windows to provide greater interest to the facade. The proposed color palette is a variation of shades of beige and brown to complement the ledger stone veneer.

## **ENVIRONMENTAL CONSIDERATIONS AND CEQA PROCESS**

The Project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines, as the project site is less than 5 acres in size; it is consistent with the General Plan, Zoning Code, Perry Valley Commerce Center Specific Plan, and will not have a significant effect on the environment.

## **RECOMMENDATION**

ADOPT Resolution No. 22-23 finding the project categorically exempt from CEQA pursuant to Section 15332 (In-Fill Development Projects) of the CEQA Guidelines, and approving DPR 20-00007 to construct and operate a 9,300 square foot two story truck repair shop, based on the findings contained in the staff report and subject to the Conditions of Approval.

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**BUDGET (or FISCAL) IMPACT:** Costs for staff preparation of this item are borne by the applicant.

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Prepared by: Alfredo Garcia, Associate Planner  
Reviewed by: Patricia Brenes, Planning Manager

**EXHIBITS:**

- A. Resolution 22-23 with Conditions of Approval (Planning, Engineering, Public Works, Fire, and Building & Safety)
- B. Aerial Map
- C. Specific Plan Map
- D. Project Plans (Site Plan, Floor Plan, Building Elevations, Conceptual Landscape Plans)
- E. Field Photos

## EXHIBIT A

Reso 22-23 with Conditions of Approval  
(Planning, Engineering, Public Works, Fire  
and Building)

**RESOLUTION NUMBER 22-23**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, APPROVING DEVELOPMENT PLAN REVIEW 20-00007 (14-10-0008) TO CONSTRUCT AN 9,300 SQUARE FOOT TWO-STORY TRUCK REPAIR SHOP ON .64 ACRES OF LAND LOCATED AT THE SOUTHEAST CORNER OF WESTERN WAY AND JET WAY, AND MAKING FINDINGS IN SUPPORT THEREOF.**

**WHEREAS**, on May 15, 2020, the applicant, Jonathan L. Zane, filed a Development Plan Review application; and

**WHEREAS**, the proposed location of the use is in accordance with the objectives of the Zoning Ordinance and the purpose of the General Industrial zoning district of the Perris Valley Commerce Center (PVCC) Specific Plan; and

**WHEREAS**, the proposed project is consistent with the City's General Plan and conforms to all zoning standards and other Ordinances and Resolutions of the City; and

**WHEREAS**, the proposed project has been duly noticed; and

**WHEREAS**, a public hearing was held on February 3, 2016, for original entitlement 14-10-0008 at which time all interested persons were given full opportunity to be heard and to present evidence; and

**WHEREAS**, the proposed project underwent substantial changes and was resubmitted on May 15, 2020; and

**WHEREAS**, a public hearing was held on November 2, 2022, at which time all interested persons were given full opportunity to be heard and to present evidence; and

**WHEREAS**, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Perris, as follows:

**Section 1.** The above recitals are all true and correct.

**Section 2.** The Planning Commission hereby determines that the project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant Article

15332 Class 32 for infill development within city limits on less than five acres of land in compliance with applicable general plan policies and zoning requirements, and with no habitat valuable for biological resources.

**Section 3. Development Plan Review 20-00007.** Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on November 2, 2022, the Planning Commission finds, with respect to Development Plan Review 20-00007, that:

*1) The location, size, design, density, and intensity of the proposed development and improvements are consistent with the City's General Plan, the Perris Valley Commerce Center Specific Plan, the purposes and provisions of the Perris Municipal Code ("PMC"), the purposes of the Zone in which the site is located, and the development policies and standards of the City.*

The General Industrial land use provides for the development of basic industrial use, which may support a wide range of manufacturing and non-manufacturing uses, from large-scale warehouses and warehouse/distribution facilities to outdoor industrial activities. The proposed Project is consistent with the General Plan and Perris Valley Commerce Center Specific Plan ("PVCCSP"), The GI zoning designation on the site, and the existing land uses in the area. The Project, as conditioned, meets or exceeds all design and development criteria of the underlying GI zoning district, which implements the development standards and policies of the City and the PVCCSP.

*2) The proposed Project site is physically suitable, including but not limited to parcel size, shape, access, and availability of utilities and services, for the type of development proposed.*

The proposed Project is physically suitable in terms of parcel size, shape, access, and availability to utilities and services, as the site is located at the northeast corner of Western Way and Jet Way, which allows for adequate access and provides for the logical connection to infrastructure to service the site. Utility service connections are available to service the site.

*3) The proposed Project and the conditions under which it would be operated or maintained are compatible with abutting properties and will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.*

As conditioned, the proposed Project will not be detrimental to the public health, safety or welfare, or injurious to property and improvements in the vicinity or to the City's general welfare, in that the Project is designed in conformance with the City's Zoning Code. Further, the proposed Project meets or exceeds the design and development standards of the PVCCSP and, therefore, will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity. These standards include setbacks, building height, parking, and landscape and will integrate into the existing fabric of industrial development that is contemplated for the area.

4) *The proposed project's architecture includes updated and enhanced architecture that is compatible with community standards and protects the character of adjacent development.*

The proposed architecture meets PVCCSP design standards for General Industrial development, and thereby protects the character of the overall development of the PVCCSP industrial zones and, therefore, is compatible with community standards and protects the character of adjacent development. Enhanced architecture, site design, and landscaping have been provided for the Project. The building design features symmetry and balance with enhanced architectural treatments at the corners of the building. The proposed color palette and materials provide a variety and interest through the use of color tones ranging from tan and brown throughout the building wall surface and to further accentuate the corner and pop-out façade elements. Glazing treatments have been applied on all facade's windows, and the use of stone veneer provides additional texture along with the building entrance corners.

5) *The proposed Project's landscaping plan ensures visual relief and provides an attractive environment for the public's enjoyment.*

The proposed Project meets and exceeds the on-site and off-site landscape standards for the General Industrial (GI) zoning district as outlined in the PVCCSP. The requirements ask for 10% coverage, and the Project is proposing 11.3%. It provides a mix of native and drought-tolerant trees, shrubs, ground cover, and annual color throughout the site to ensure visual relief and effectively frame, soften, and embellish access points, building entries, parking areas and trash enclosures.

**Section 4.** For the foregoing reasons the Commission hereby approves Development Plan Review 20-00007 to construct an 9,300 sq. ft. two-story truck repair shop on .64 acres of land located at the southeast corner of Western Way and Jet Way, based on the information and findings presented in the staff report and the attached Conditions of Approval.

**Section 5.** The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences and words of this Resolution shall remain in full force and effect.

**Section 6.** The Chairperson shall sign this Resolution and the Secretary shall certify to the adoption of this Resolution.

**ADOPTED, SIGNED, and APPROVED** this 2<sup>nd</sup> day of November 2022

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CHAIRPERSON, PLANNING COMMISSION

ATTEST:

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Secretary, Planning Commission

STATE OF CALIFORNIA )  
COUNTY OF RIVERSIDE ) §  
CITY OF PERRIS )

I, Kenneth Phung, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 22-23 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 2<sup>nd</sup> day of November 2022, and that it was so adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

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Secretary, Planning Commission



**CITY OF PERRIS  
DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

**CONDITIONS OF APPROVAL**

**Planning Commission**

**November 2, 2022**

**DEVELOPMENT PLAN REVIEW (20-00007)**

**PROJECT: Development Plan Review 20-00007** – Proposal to construct a 9,300 square foot, two story truck repair shop on 0.64 acres, situated on the southeast corner of Western Way and West Jet Way, in the General Industrial (GI) Zone of the Perris Valley Commerce Center Specific Plan. **Applicant:** Jonathan L. Zane, Architect.

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**General Requirements:**

1. **City Ordinances and Business License.** The subject business shall maintain compliance with all local and City Ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
2. **Conformance to Approved Plans.** Development of the project site, building elevations, and conceptual landscaping shall conform substantially to the approved set of plans presented at the November 2, 2022, Planning Commission meeting, or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.
3. **Term of Approval.** This approval shall be used within three (3) years of approval date; otherwise, it shall become null and void. By use is meant the beginning of substantial construction contemplated by this approval within the three (3) year period which is thereafter diligently pursued to completion, or the beginning of substantial utilization contemplated by this approval. A maximum of three (3) one-year time extensions shall be permitted.
4. **Building Official/Fire Marshal.** The project shall comply with all requirements of the Building Official/Fire Marshall comments dated June 22, 2021.
5. **Engineering Conditions.** The project shall comply with all requirements of the City Engineer Conditions of Approval dated December 10, 2021.
6. **Public Works Administration/Special Districts.** The project shall comply with all requirements of the City of Perris Public Works Administration Conditions of Approval dated June 23, 2021.
7. **Fire Department.**
  - a. The project shall comply with all requirements set forth by the California Code of Regulations Title 24 Parts 1-12 respectively.
  - b. The adopted edition of the California Code of Regulations, Title 24, Parts 1 through 12, and the Perris Municipal Code shall apply at the time the architectural plans are submitted for construction permits.

- c. Prior to the to the issuance of a grading permits, evidence of sufficient fire flow of 1,500 GPM for 2-7 hours shall be provided to the City of Perris. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.
  - d. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
  - e. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
  - f. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
  - g. Provide evidence of sufficient fire flow of 1500 GPM for 2 hours. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.
  - h. The Fire Department Connection (FDC) shall be located within 150 feet of a public fire hydrant. The fire hydrant shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and fire hydrant.
  - i. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
  - j. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
  - k. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation.
  - l. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven-feet above the finished surfaced and near the main entrance door.
  - m. City of Perris approval shall be obtained prior to any high pile storage (HPS) as defined by the CFC.
  - n. Prior to the issuance of building permits a City of Perris Chemical Classification Disclosure shall be submitted for review and approval. All hazardous materials as defined by the fire code that will either be stored or used at the facility shall be disclosed. The disclosure package can be obtained at <https://www.cityofperris.org/home/showpublisheddocument?id=2401>
8. **Southern California Edison.** The applicant shall contact the Southern California Edison (SCE) area service planner (951) 928-8323 to complete the required forms prior to commencement of construction.

9. **Exterior Downspouts.** Exterior downspouts are not permitted on the west or the north elevations or where exposed to public view. Interior downspouts shall be incorporated.
10. **Screening of Roof-Mounted Equipment.** Parapet walls shall prevent public views of roof-mounted equipment on all elevations of the building.
11. **Notice of Exemption.** Within three (3) days of Planning Commission approval, the applicant shall submit a check to the City Planning Division, payable to “Riverside County Clerk-recorder,” for a \$50.00 check to file the notice exemption.
12. **Waste Hauling.** The developer shall use only the City-approved waste hauler for all construction and other waste disposal.
13. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City, concerning Development Plan Review 20-00007. The City shall promptly notify the developer/applicant of any claim, action, or proceeding for which indemnification is sought and shall further cooperate fully in the defense of the action.
14. **Prohibited Uses.** The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate excessive smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

- (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly, noise sensitive outdoor nonresidential uses and hazards to flight.
15. **Avigation Easement.** Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
16. **March Air Reserve Base.** Notice regarding proximity to the March Air Reserve Base (*i.e. to be provided by March Air Reserve Base*) shall be given to all prospective purchasers of the property and tenants of the building.
17. **Electromagnetic Radiation.** March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
18. **Detention Basin.** Any detention basin(s) on the site (including bioswales) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Any additional landscaping in and around the detention basin(s) shall not include trees that produce seeds, fruits, or berries.
19. **Noise Attenuation.** Office space must have sound attenuation features sufficient to reduce interior noise levels from exterior aviation-related sources to no more than CNEL 45 dB. The City of Perris shall require an acoustical study to ensure compliance with this requirement.

**Prior to Grading Permit Issuance:**

20. **Water Quality Management Plan.** The applicant shall submit a final WQMP including, but not limited to, plans and details providing the elevations, slopes, and other details for the proposed structural source control BMPs, vegetative swales and canopy cover for trash enclosure areas. The Public Works Department shall review and approve the final WQMP plans, and details.

**Prior to Building Permit Issuance:**

21. **Fire Access Plan.** A fire department access plan shall be submitted to the city for review and approval. The fire department access plan shall comply with the requirements specified in the City of Perris Guideline for Fire Department Access & Water Requirements for Commercial Development, and the California Fire Code, Chapter 5. The guideline can be

obtain from the Building Department or via the internet; <http://www.cityofperris.org/city-hall/forms/fire-forms/FireAccessGuideline.pdf>

22. **Site Lighting Plan.** The applicant shall submit a lighting plan to the Planning Division for review and approval. Full cutoff low sodium fixtures shall be used to prevent light and glare above the horizontal plan of the bottom of the lighting fixture. A minimum of one (1) foot-candle of light shall be provided in parking and pedestrian areas.
23. **Landscaping Plans and Pavement Enhancements.** Prior to issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. The landscaping shall be consistent with the conceptual landscape plan and include upgrading the landscaping area for the existing developed site. The following shall apply:
  - a. **Parking Area.** A minimum of 30 percent of trees shall be 36-inch box or larger. Also, a minimum of one 24-inch box tree per 6 parking stalls shall be provided.
  - b. **BMPs for Water Quality.** All BMPs (vegetated swales, detention basins, etc.) shall be indicated on the landscape plans with appropriate planting and irrigation (except of detention basins).
  - c. **Water Conservation.** Landscaping must comply with AB 325 for water conservation. See Chapter 19.70 (cityofperris.org) for water conservation calculations (MAWA).
  - d. **Maintenance.** All required landscaping shall be maintained in a viable growth condition.
  - e. **Irrigation Rain Sensors.** Rain sensing override devices shall be required on all irrigation systems (PMC 19.70.040.D.16.b) for water conservation. Soil moisture sensors are required.
  - f. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for final landscape inspection after all the landscaping and irrigation have been installed and is completely operational. Before calling for final inspections a "Certificate of Compliance" form shall be completed and signed by the designer/auditor responsible for the project, and this form must be submitted to the project planner. The project planner will need to sign off on the "Certificate of Compliance" to signify code compliance.
  - g. Landscape plans shall require a combination of trees, shrubs and accent plants planted creating a tiered effect.
24. **Architectural Enhancements:** The site plan/building elevations shall be revised as follows, subject to Planning staff approval:
  - a. The trash enclosures shall include a decorative wooden trellis cover top.
  - b. The truck bay doors shall be sectional metal roll up doors painted to match the color scheme of building with windows.

- c. The metal wall trellis shall consist of a steel/metal frame with minimum 2” dimension for frame and 1” interior.
25. **Building Plans.** All Conditions of Approval shall be copied onto the approved building plans. Such conditions shall be annotated, directing the receiver to the sheet (or sheets) and detail(s) indicating satisfaction of the conditions.
26. **Rooftop Solar.** The project does not propose rooftop solar panels at this time. However, suppose the owner was to propose solar rooftop panels in the future. In that case, the owner shall prepare a solar glare study that analyzes glare impacts, and the Airport Land Use Commission shall review this study.
27. **Wall and Fence Plan.** The enhancements to existing fencing shall reviewed and approved by the Planning Division prior to issuance of building permit. The following is required on plans:
- a. The pilaster columns shall be increased in height above the height of the wrought iron fence and include a decorative cap consistent with the fencing of the property across the street to the north.
  - b. The walls will need to be painted to match the color of the building.
  - c. The sliding metal gate is required to have a metal mesh to screen on the on-site activity when the operation is closed.
28. **Planning Clearance.** The applicant shall first obtain clearance from the Planning Division verifying that all pertinent conditions of approval have been met.
29. **Fees.** The developer shall pay all applicable fees prior to building permit, including but not limited to the following listed below:
- a. Stephen's Kangaroo Rat Mitigation Fees of \$500.00 per acre;
  - b. City Development Impact Fees;
  - c. Multi-Species Habitat Conservation Plan fees;
  - d. Statutory school fees in effect at issuance of building permits to all appropriate school districts;
  - f. Road Bridge Benefit District (RBBD) fees; and
  - g. Perris Valley Master Drainage Plan fees.
30. **Signage.** The proposed project does not include signage. All proposed signs shall be reviewed and approved by the Planning Division prior to the issuance of building permits.

**Prior to Issuance of Occupancy Permits:**

31. **Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to

issuance of a Certificate of Occupancy. This condition shall apply only to districts existing at the time the project is approved (or all requirements have been met for a certificate of occupancy, as applicable). Such districts may include but are not limited to the following:

- a. Landscape Maintenance District No. 1;
  - b. Flood Control Maintenance District No. 84-1;
  - c. North Perris Community Facilities Assessment District;
- 32. State License and Permit.** All necessary permits with the State shall be obtained including any necessary permits from the EPA (Environmental Protection Agency) for disposal of engine oil, used filters, coolant and related hazardous materials associated with a repair shop.
- 33. Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-offs from the Building Division and Engineering Department. Planning staff shall verify that all pertinent conditions of approval have been met.
- 34. Occupancy Clearance.** The applicant shall have all required paving, parking, walls, site lighting, signage, landscaping and automatic irrigation installed and in good condition.

**Construction and Operational Requirements:**

- 35. Construction Practices.** To reduce potential noise and air quality nuisances, the following items shall be listed as "General Notes" on the construction drawings:
- a. Construction activity and equipment maintenance is limited to the hours between 7:00 a.m. and 7:00 p.m. Per Zoning Ordinance, Noise Control, Section 7.34.060, it is unlawful for any persons between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on a legal holiday, or on Sundays to erect, construct, demolish, excavate, alter or repair any building or structure in a manner as to create disturbing excessive or offensive noise. Construction activity shall not exceed 80 dBA in residential zones in the City.
  - b. Stationary construction equipment that generates noise in excess of 65 dBA at the project boundaries must be shielded and located at least 100 feet from occupied residences. The equipment area with appropriate acoustic shielding shall be designated on building and grading plans. Equipment and shielding shall remain in the designated location throughout construction activities.
  - c. Construction routes are limited to City of Perris designated truck routes.
  - d. Water trucks or sprinkler systems shall be used during clearing, grading, earth moving, excavation, transportation of cut or fill materials and construction phases to prevent dust from leaving the site and to create a crust after each day's activities cease. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.
  - e. A person or persons shall be designated to monitor the dust control program and

to order increased watering as necessary to prevent transport of dust off-site. The name and telephone number of such persons shall be provided to the City.

- f. Project applicants shall provide construction site electrical hook-ups for electric hand tools such as saws, drills, and compressors, to eliminate the need for diesel powered electric generators or provide evidence that electrical hook ups at construction sites are not practical or prohibitively expensive.
36. **Graffiti.** Graffiti located on-site shall be removed within 48 hours. The site shall be maintained in a graffiti-free state at all times. Graffiti shall be painted over in panels and not patches. In addition, will match color of wall or material surface. Furthermore, the applicant shall apply an anti-graffiti coating on walls.
  37. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance and Chapter 7.42 regarding Property Maintenance. In addition, the project shall comply with the one-year landscape maintenance schedule identified in Public Works Department Condition of Approval No. 5, dated June 23, 2021.
  38. **ADA Compliance.** The project shall conform to all disabled access requirements in accordance with the State of California, Title 24, and Federal Americans with Disabilities Act (ADA).





# CITY OF PERRIS

STUART E. MCKIBBIN, CONTRACT CITY ENGINEER

## CONDITIONS OF APPROVAL

P8-625 (90)

October 22, 2021, **Revised December 10, 2021**

DPR 20-00007, Truck Repair Shop

SE Corner of Jet Way & Western Way

APN 294-190-064, Par 14-PM 23821 (MB 168/94)

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer/property owner provide the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and their omission may require the site plan to be resubmitted for further consideration. These ordinances and the following conditions are essential parts and requirement occurring in ONE is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditioned shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic Impact Analysis, the most stringent in the opinion of the City shall prevail.

### **General Conditions:**

1. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.
2. Prior to commencement of any construction of installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.

**Prior to Issuance of Grading Permit:**

3. The developer/property owner shall sign the consent and waiver form to join the City's Lighting and Landscape Districts and City's Flood Control District as appropriate. The proposed streetlights and traffic signals shall be maintained by the City and cost paid by the developer/property owner through the said annexations.
4. The driveway on Western Way shall be designated for auto access only and shall not exceed 26 feet in width.
5. Truck access shall be from Jet Way.
6. The driveway shall be per County of Riverside Standard No. 207A.
7. The developer/property owner shall submit the following to the City Engineer for review and approval:
  - a. Onsite Grading Plan and Erosion Control Plan – Plans shall show the approved WDID No.
  - b. Final Drainage Plan, Hydrology and Hydraulic Report
  - c. Final WQMP (for reference)

The design shall be in compliance with EMWD, RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

**Prior to Issuance of Building Permit:**

8. The project site is located within the limits of Perris Valley Area Drainage Plan (ADP) for which drainage fees have been adopted by City. Drainage fees shall be paid as set forth under the provisions or the "Rules and Regulations of Administration of Area Drainage Plan". Acreage for the project site's impervious area shall be provided.
9. Submit Water and Sewer Plans to the City Engineer for review and approval – Fire Department and EMWD approvals of onsite and offsite water and sewer plans are required prior to the City Engineer's approval of the plans.
10. Western Way is classified as a Secondary Arterial (94'/64') per the General Plan. A ~~30~~ 33-foot half width right-of-way is currently dedicated on Western way along the property frontage; the applicant/property owner shall dedicate the required additional ~~17~~ 14 feet of right-of-way.

The dedication shall be offered to the public in perpetuity and shall be free from all encumbrances as approved by the City Engineer.

11. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

**Prior to Issuance of Certificate of Occupancy:**

12. Jet Way (Collector – 66'/44') along the property's frontage within the dedicated right-of-way shall be improved to provide for a 6-foot-wide sidewalk per City of Perris, County of Riverside and Caltrans standards.

The condition of the existing street pavement along the property frontage shall be analyzed and if it is inadequate, pavement rehabilitation shall be provided as determined by the City Engineer.

13. Western Way (Secondary Arterial – 94'/64') along the property's frontage within the dedicated right-of-way shall be improved to provide for a 6-foot-wide sidewalk per City of Perris, County of Riverside and Caltrans standards.

The condition of the existing street pavement along the property frontage shall be analyzed and if it is inadequate, pavement rehabilitation shall be provided as determined by the City Engineer.

14. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified professional pursuant to the California Business and Professional Code 8771.

Stuart E. McKibbin  
Contract City Engineer



# CITY OF PERRIS

## PUBLIC WORKS DEPARTMENT

Weed Abatement

NPDES Services

Flood Control and Landscape Districts

# MEMORANDUM

**Date:** June 23, 2021

**To:** Ryan Griffiths, Project Planner

**From:** Michael Morales, CIP Manager

**By:** Chris Baldino, Landscape Inspector **CB**

**Subject:** **DPR – 20-00007 – Conditions of Approval** – Proposal to construct a two story 9,350 Square foot truck service building located at 1379 Jet Way, Located within the PVCCSP.

- 
- Dedication and/or Landscape Maintenance Easement.** Offer of Dedication and Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:

    - **Western Way** - Provide offer of dedication as needed to provide for full half width Street (94' ROW (47' Half Width), curb gutter, sidewalk and off-site landscaping requirements, per City General Plan, including minimum 17' public parkway from back of curb.
    - **Jet Way** - Provide offer of dedication as needed to provide for full half width Street (66' ROW (33' Half Width), curb gutter, sidewalk and off-site landscaping requirements, per City General Plan, including minimum 11' public parkway from back of curb.
  - Landscape Maintenance Easement and Landscape Easement Agreement.** The developer shall provide, for review and approval, an Offer of Dedication and certificate of acceptance, complete with legal plat map and legal description to the City of Perris. In addition, if required by the City of Perris, the Developer shall provide a landscape easement and Landscape easement agreement, acceptable to the City of Perris. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
  - Landscaping Plans.** Three (3) copies of Construction Landscaping and Irrigation Plans for the off-site landscaping, including any medians or other landscape areas along the dedications shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. This landscape plan shall be titled "Off-site Landscape Plan for DPR 20-00007" and shall be exclusive of any private property, on-site landscaping. Elements of the Landscape Plan shall include but not be limited to:

- a. **Landscape Limits** – Limits of right-of-way areas or easement areas, defined by concrete mow curb, fully dimensioned, that are to be annexed into the Landscape Maintenance District. A planting palette and hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; or if no such guidelines exist the design intent of neighboring development, as determined by the Engineering Administration and Special Districts Division, including:
- **Western Way** - Per Section 6.0.18 Streetscape Landscape Design guidelines and planting pallet for Secondary Arterial, and figure 6.0-7, of the PVCCSP for sizing and spacing requirements. Planting will be the same planting pallet as the new project at Nandina and Western to the north of this project. Primary Street Trees: Platanus acerfolia London Plane Tree, Secondary Street tree Lagerstroemia Tuscarora Crape Myrtle. Use of drought resistant shrubs and ground cover intended to complement the existing parkways, including but not limited to the following: Nandina Domestrica Dwarf Heavly Bamboo, Yucca flaccida Gold Garland Yucca, Muhlenbergia Capillaris Pink Muhly Grass, Lantana sellowiana Trailing Lantana, Tri Color Society Garlic, Westringia Fruticesa Costal Rosemary, Tachelospermum Star Jasmine.
  - **Jet Way** - Per Section 6.0.21 Streetscape Landscape Design guidelines and planting pallet for Collector Roads, and figure 6.0-9, of the PVCCSP for sizing and spacing requirements. Planting will be the same planting pallet as the new project at Nandina and Western to the north of this project. Street Trees: Geigera Parviflora Australian Willow. Use of drought resistant shrubs and ground cover intended to complement the existing parkways, including but not limited to the following: Hesperaloe Parviflora Red Yucca, Muhlenbergia Capillaris Pink Muhly Grass, Kniphofla Vuaria Red Hot Poker, Westringia Fruticesa Costal Rosemary.
- b. **Irrigation** – A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas as determined by the Engineering Administration and Special Districts Division. Components shall include, but not be limited to Salco or equal on flexible PVC risers, Sentry Guard Cable Guard and Union Guard, and backflow Wilkens Model 375 (or equal). Controller shall include an ET based controller with weather station that is centrally controlled capable and wi-fi ready (WeatherTrak ET Pro3 Smart Controller, or equal, with Rain Sensor). At the discretion of the Engineering Administration and Special Districts Division public landscape areas utilizing no more than 6 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and wi-fi ready, such as the Weathermatic System or equal. Proposed system shall be complete with wireless weather station, aircard with flow, one year bundle service, blade antenna and flow sensor.
- c. **Benefit Zone Quantities** – Include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the district will be required to maintain.
- d. **Meters** – Each District is required to be metered separately. All electrical and water meters shall be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene and away from street intersections. Show location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for landscape district. Show location of water and electrical meter for flood control district. Show location of electrical

meter for Traffic signal and street lighting district, on respective plans. Coordinate location of meters on landscape and civil engineering plan.

- e. **Controllers** - The off-site irrigation controllers are to be located within the right of way (preferably within the off-site landscape area). All point of connection equipment including irrigation controller pedestals, electrical meter pedestals, and backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Backflow preventers are to be screened on at least three sides with (5) gallon plant material. The fourth side shall be open to the back of the landscape area in order to allow the backflow cage to be opened without interference with plant materials. Backflow cages shall meet the required City of Perris Engineering Standards in effect at the time of approval.
  - f. **Recycled Water** - If applicable. The project landscape architect shall coordinate with EMWD to verify if the site will be served with recycled water and design all irrigation and landscape plans to meet the requirements of EMWD and provide additional irrigation components as needed.
  - g. **EMWD Landscape Plan Approval** – The project landscape architect shall submit a copy of all irrigation plans and specifications to EMWD for approval. The project landscape architect must confirm with EMWD that the plans have been approved by EMWD and submit written proof of approval by EMWD prior to the City approving the final Landscape Plans. Until the final landscape plan has been approved by the City of Perris, the maintenance areas depicted cannot be accepted by the City for maintenance. The developer shall coordinate both reviews to ensure acceptability of plans by both EMWD and the City of Perris, prior to approval by either agency.
  - h. **Landscape Weed Barrier** - Weed cloth with a minimum expected life of 10-years shall be required under all Decomposed Granit, gravel, rock, and cobble.
  - i. **Wire Mesh and Gravel at Pull Boxes**- Provide wire mesh and gravel layer within valve boxes to prevent rodent intrusion.
  - j. **Perimeter Wall Graffiti Coating** – Provide anti-graffiti coating at all perimeter walls. Acceptable products shall include Vitrocem Anti-Graffiti Coating or equal.
4. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only “OFF-SITE” landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled at least two-working days (Monday through Friday) prior to actual inspection. Contact Public Works-Engineering Administration/Special Districts at (951) 657-3280 to schedule inspections.
- **Inspection #1** - Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
  - **Inspection #2** - Soil prepared, and plant materials positioned and ready to plant.
  - **Inspection #3** - Landscaping installed, irrigation system fully operational, and request for “Start of 1 year Maintenance Period” submitted, with all required turn-over submittal items provided to Public-Works Engineering Administration/Special Districts.
  - **Turn-Over Inspection**– On or about the one-year anniversary of Inspection #3, Developer shall call for an inspection to allow the City to review and identify any potential irrigation system defects, dead

plants, weed, debris or graffiti; stressed, diseased, or dead trees; mulch condition, hardscape, or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At his sole expense, the Developer shall be responsible for rectifying system and installation deficiencies, and the one-year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City's Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the Inspector shall recommend to the City's Special District Coordinator to accept turn-over of water and electrical accounts, wi-fi communication contracts and the entire landscape installation.

5. **One Year Maintenance and Plant Establishment Period**-The applicant will be required to provide a minimum of a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one-year maintenance period commences upon the successful completion of Inspection #3 discussed above, and final approval by the City. During this one-year period the applicant shall be required to maintain all landscape areas free of weeds, debris, trash, and graffiti; and keep all plants, trees and shrubs in a viable growth condition. Prior to the start of the one-year maintenance period, the Developer shall submit a weekly Landscape Maintenance Schedule for the review and approval by the City's Special Districts Division. City shall perform periodic site inspections during the one-year maintenance period. The purpose of these periodic inspections is to identify any and all items needing correction prior to acceptance by the City at the conclusion of the one-year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials, weeding, replenishment of mulches, repair of damaged or non-functioning irrigation components, test of irrigation controller communications, etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turn-over to City maintenance staff.
  
6. **Street/Off-Site Improvements.** The applicant shall submit street improvement plans, accompanied by the appropriate filing fee to the City Engineering Department. Details of treatments off-site improvements, including lighting shall meet both the City Engineer's Design Guidelines, and the additional requirements of the Engineering and Special Districts Division. Components shall include, but not be limited to:
  - a. **Street Lighting**-If Street lighting is required, lighting shall meet the type, style, color and durability requirements, necessary for energy efficiency goals, maintenance and longevity of improvements of the City Engineer's Office. As determined by the City, new streetlights may be required to be deeded to City of Perris, and not SCE. Streetlights deeded to City of Perris shall be constructed per LS-3 account billing standard, which shall include an individually metered pedestal for streetlights.
  - b. **Acceptance By Public Works/Special Districts**- Lighting District facilities required by the City Engineer's Office shall be installed and fully operational and approved by final inspection by the City Engineer's Office, and the City's Consulting Traffic Signal Inspection Team (Riverside County TLMA) at (951) 955-6815. Prior to acceptance for maintenance of "Off-site" traffic signal and lighting facilities by the Public Works-Engineering and Administration Division/Special Districts, the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items. Prior to acceptance into Lighting District 84-1, coordinate turn-over information pertaining to Street Lights, and Traffic Signal Electrical/SCE Service Meters with Wildan Financial Services, the City's Special Districts Consulting Firm at (951) 587-3564. (i.e. Provide electrical meter number, photo of pedestal, and coordinate "request for transfer of billing information" with SCE and City for all new service meters). Developer shall pay 18-month energy charges to the City of Perris for all off-site street lighting. Call Wildan Financial Services, Inc. for amount due, and to

obtain receipt for payment. Obtain and provide a clearance form from Riverside County TLMA indicating completion of all punch list items from traffic signal construction. Submit one large format photo-copy of Traffic Signal as-built plans and timing sheets.

7. **Water Quality Management Plans.** The applicant shall submit a Preliminary and Final WQMP, accompanied by the appropriate filing fee to the Planning Department and City Engineering Department, respectively. Details for treatment control facilities shall meet both the Riverside County WQMP Design Guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce long term maintenance costs and longevity of improvements. Components shall include, but not be limited to:
  - **Storm Drain Screens-**If off-site catch basins are required by the City Engineer's Office, connector pipe screens shall be included in new catch basins to reduce sediment and trash loading within storm pipe. Connector pipe screens shall the type, style, and durability requirements of the Public Work's Engineering Administration and Special Districts Division.
  - **WQMP Inspections-** The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both "ON-SITE" and OFF-SITE" WQMP Inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.
  - **Acceptance By Public Works/Special Districts-**Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the Final WQMP, shall be installed and fully operational, and approved by final inspection by the City's WQMP Consultant, CGRM. The Developer shall obtain a final Clearance Letter from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The developer shall deliver the same to the Public Works-Engineering and Administration Division/Special Districts. In addition, prior to acceptance by the City, the developer shall submit a Covenant and Agreement describing on-going maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works Engineering Administration and Special Districts Division. The Public Works Engineering Administration and Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
8. **Flood Control District #1 Maintenance Acceptance.** Flood Control District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office. Prior to acceptance for maintenance of "Off-site" flood control facilities by the Public Works-Engineering and Administration Division/Special Districts the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items including as-built storm drain plans in electronic PDF format, one large format photo-copy of as-built plans, storm drain video report in electronic format, and hardcopy of video report with industry standard notations and still photos made during video runs (i.e. facilities sizes, off-sets or damage, facility type, dirt and debris, etc.). The flood control facilities shall be turned over in a condition acceptable to the City, and the developer shall make all necessary repairs and perform initial maintenance to the satisfaction of the City.
9. **Assessment Districts.** Prior to permit issuance, developer shall deposit \$5,250 per district, \$15,750 total due. Payment is to be made to the City of Perris, and the check delivered to the City Engineer's Office. Payment shall be accompanied by the appropriate document for each district indicating intent and understanding of annexation, to be notarized by property owner(s):



- **Consent and Waiver for Maintenance District No. 84-1** - New street lighting proposed by the project, as determined by the City Engineer.
  - **Consent and Waiver for Landscape Maintenance District No. 1** – New off-site parkway landscape by the project on Jet Way and Western Way.
  - **Petition for Flood Control Maintenance District No. 1** - For Off-site Flood Control Facilities proposed by the project, as determined by the City Engineer.
- Original notarized document(s) to be sent to:  
Daniel Louie  
Wildan Financial Services  
27368 Via Industria, #200  
Temecula, CA 92590
- a. Prior to final map recordation or final certificate of occupancy the developer shall annex into the aforementioned districts, posting an adequate maintenance performance bond to be retained by the City as required by the City Engineer. Upon receipt of deposit and Consent and Waiver Forms, the developer shall work with City to meet all required milestones for annexations.
    - i. City prepares the Engineer's Reports which includes a description of the improvements to be maintained, an annual cost estimate and annual assessment amounts.
    - ii. Reports are reviewed and approved by the property owner. The assessment ballots will be based on these Reports.
    - iii. The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no sooner than 45 days. Property owner attendance at this City Council Meeting is not required.
    - iv. The assessment ballots are sent to the property owner and are opened by the City Clerk at the close of the Public Hearing. With a "YES" vote by the property owner the City Council can move forward with the Resolution that Confirms the Annexation. Property owner attendance at this Public Hearing is not required.
    - v. Confirmation by the City Council completes the annexation process and the condition of approval has been met.





## **Dennis Grubb and Associates, LLC**

*Assisting Cities Build Safe Communities*

### *Fire Department Development Review Comments*

August 2, 2022

City of Perris  
Attn: Alfredo Garcia  
135 N. D Street  
Perris, CA 92570-2200

**Subject: Development Plan Review for Garcia Truck Service, DPR20-00007**

As requested, a review of the subject property was completed. The following conditions shall apply:

1. The project shall comply with all requirements set forth by the California Code of Regulations Title 24 Parts 1-12 respectively.
2. The adopted edition of the California Code of Regulations, Title 24, Parts 1 through 12, and the Perris Municipal Code shall apply at the time the architectural plans are submitted for construction permits.
3. Prior to the to the issuance of a grading permits, evidence of sufficient fire flow of 1,500 GPM for 2-7 hours shall be provided to the City of Perris. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.
4. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
5. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
6. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
7. Provide evidence of sufficient fire flow of 1500 GPM for 2 hours. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.

8. The Fire Department Connection (FDC) shall be located within 150 feet of a public fire hydrant. The fire hydrant shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and fire hydrant.
9. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
10. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
11. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation.
12. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven-feet above the finished surfaced and near the main entrance door.
13. City of Perris approval shall be obtained prior to any high pile storage (HPS) as defined by the CFC.
14. Prior to the issuance of building permits a City of Perris Chemical Classification Disclosure shall be submitted for review and approval. All hazardous materials as defined by the fire code that will either be stored or used at the facility shall be disclosed. The disclosure package can be obtained at <https://www.cityofperris.org/home/showpublisheddocument?id=2401>

Respectfully,



Dennis Grubb, CFPE

**SRC COMMENTS**  
**\*\*\* BUILDING & SAFETY \*\*\***

Planning Case File No(s): DEVELOPMENT PLAN REVIEW #20-00007

Case Planner: Ryan Griffiths (951) 943-5003,

Applicant: Jonathan Architects

Location: 1379 Jet Way

Project: Proposal to construct a 2 story 9,350 SF Truck Service building

APN(s): 294-190-064

Reviewed By: David J. Martinez, CBO

Date: ~~5-21-2020~~ 6-22-21

**BUILDING AND SAFETY CONDITIONS**

1. Shall comply with the latest adopted State of California 2019 editions of the following codes as applicable:
  - A. 2019 California Building Code
  - B. 2019 California Electrical Code
  - C. 2019 California Mechanical Code
  - D. 2019 California Plumbing Code
  - E. 2019 California Energy Code.
  - F. 2019 California Fire Code
  - G. 2019 California Green Building Standards Code.
2. Automatic fire suppression systems shall be installed in all new construction when the gross area of the building exceeds 3,500 sf.
3. You will be required to provide proper fire access to the entire site.
- ~~4.~~ You will have to comply with the [EV Charging station requirements](#)
- ~~5.~~ You will have to comply with the [Title 24 and ADA access regulations](#)

**PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS**

1. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this project:
  - A. Precise grading plans shall be approved
  - B. Rough grading completed

- C. Compaction certification
- D. Pad elevation certification
- E. Rough grade inspection signed off

**FIRE CONDITIONS: To Be provided by Dennis Grubb**

**EXHIBIT B**  
**Aerial Map**





# EXHIBIT C

## PVCC Specific Plan Landuse



**EXHIBIT D**  
**Development Plans**



**PLAN KEY NOTES - this sheet only**

- 6" BLOCK/WOODRIGT BROW WALL, 6'-0" HIGH
- EXISTING DRIVEWAY SHALL BE REMOVED AND REPLACED W/6 INCH CURB AND GUTTER PER CITY OF RIVERSIDE STANDARD NO. 206 AND 207A.
- NEW APPROACH PER CITY OF RIVERSIDE STANDARD NO. 206.
- RE SLABING METAL GATE.
- STREET LIGHT FINISH/SHAPE.
- STREET LIGHT MOUNTING.
- TRASH ENCLOSURE, SEE SHEET A-11 FOR DETAILS.
- 6" BLOCK WALL, 6'-0" HIGH.
- PAVING OF TRAVEL.
- EXISTING FIRE HYDRANT.
- GRAVEL.
- PROPOSED UTILITY TRANSDUCER LOCATION.
- PROTECTIVE BALLAST, TYP. 8" R.
- DI SLABING METAL GATE.
- DI EDGEM WALK.
- DI SITE WALK.
- PROPOSED POLE LIGHTING, SEE ELECTRICAL SITE PLAN.
- PROPOSED MANHOLE TYP. 24".
- FIRE LANE/ENTRANCE COR PER CITY OF RIVERSIDE STANDARDS, SEE SHEET A-13.
- 6" HIGH CURB.

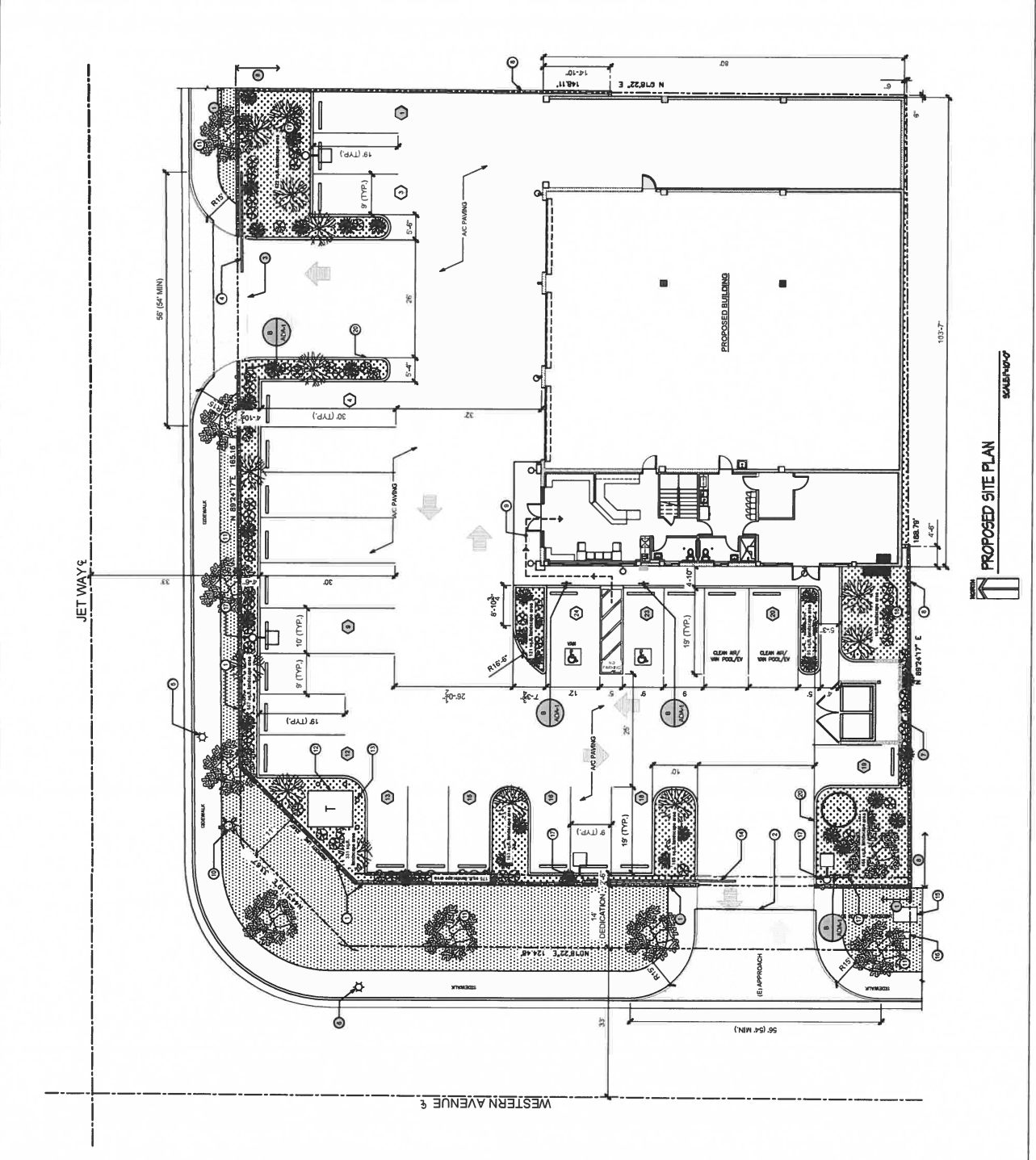
**SITE HATCH LEGEND**

- PROPOSED LANDSCAPE AREA 1/8" X 1/8" HATCH
- EXISTING GRAVEL
- EXISTING ADA PATH OF TRAVEL

**PARKING ANALYSIS**

REQUIRED: 16 SPACES PER 100 S.F. = 1,800 S.F. = 18 SPACES  
 WH/STORAGE: 10 SPACES PER 100 S.F. = 1,400 S.F. = 14 SPACES  
 SERVICE BAY: 10 SPACES PER 100 S.F. = 1,400 S.F. = 14 SPACES  
 TOTAL PARKING REQUIRED: 46 SPACES

TOTAL P. PARKING PROVIDED: 32 SPACES  
 TOTAL N.C. PROVIDED: 2  
 INCLUDING 10 VEH. ACCESSIBLE  
 MINIMUM PARKING SPACE DIMENSIONS TO BE 9 FT. X 19 FT.



PROPOSED SITE PLAN











REVISIONS  
DATE: BT:  
BY:

NO.	DATE	BY

NOTICE: The design and ideas indicated by these drawings were created for the use of this project only and are the sole property of Jonathan L. Zane, Architect. These designs may not be used for any other purpose without the written consent of Jonathan L. Zane, Architect.

**JONATHAN L. ZANE ARCHITECTURE**  
 JONATHAN L. ZANE ARCHITECT - C.A. L.C. #C-1046  
 13390 BELTWAY  
 PERKS, CA 92371  
 A PROJECT FOR  
**GARCIA'S TRUCK SERVICE**  
 10814 BELTWAY  
 PERKS, CA 92371  
 A.P. N. 204190046.1  
 RIVERSIDE, CA 92504 (951) 376-1073

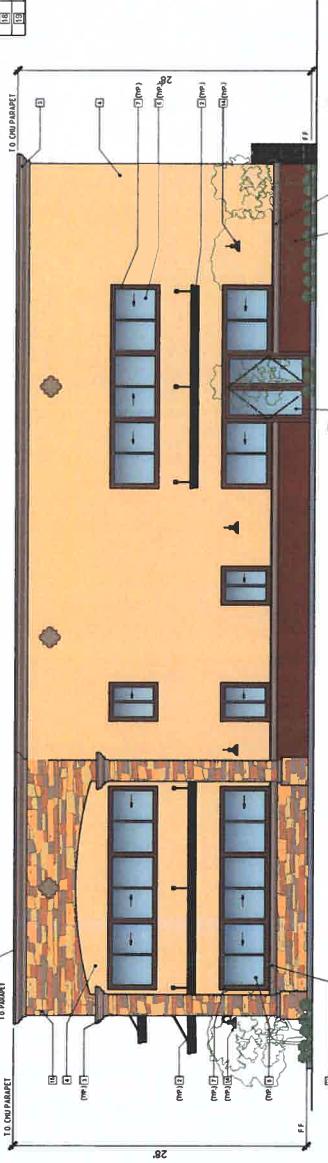


DATE: 09/01/2022

SCALE: as noted  
 DRAWN: S. Quinn  
 JOB: 200701  
 SHEET: A-4.1  
 of 8 sheets

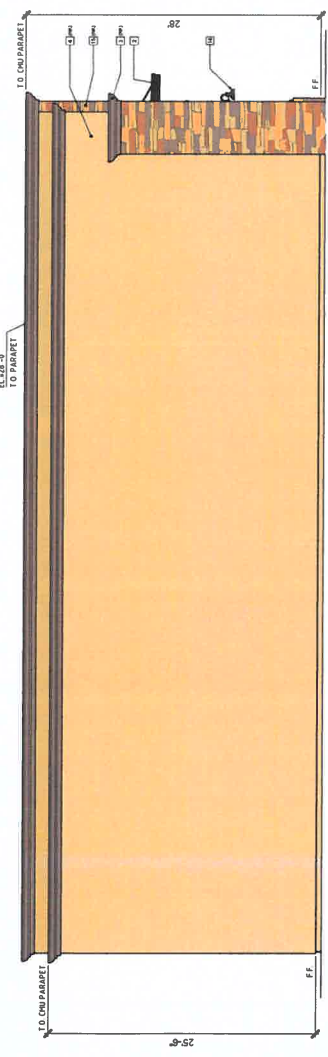
**MATERIALS AND COLORS LEGEND FOR BUILDING AND HARDSCAPE**

NO.	ITEM	PAV. FINISH	FIN.	FIN. NAME	FIN. COLOR	FIN. NUMBER	FIN. NAME	FIN. NUMBER
1	NEW FLAT ROOF	ASPHALT	"CAR" ROOF'G	NATURAL	DEFN40	DANN EDWARDS		
2	NEW RETAIL LANDSCAPE	RETAL/IRON	"LA HABRA"	ESPRESSO MACHATO	DEFN40	DANN EDWARDS		
3	CORNER	FORM W/STUCCO	"LA HABRA"	GRANITE HALL	DEFN40	DANN EDWARDS		
4	EXTERIOR WALLS	STUCCO	"LA HABRA"	REGENT CREAM	DEFN35	DANN EDWARDS		
5	WINDOWS	GLASS	"CLEAR BLUE"	CLEAR BLUE W/ BRONZE ANODIZED FRAME	DEFN35	DANN EDWARDS		
6	ENTRY DOOR	STOREFRONT	"STONEFRONT"	CLEAR BLUE W/ BRONZE ANODIZED FRAME	DEFN35	DANN EDWARDS		
7	DOOR AND WINDOW TRIM	FORM W/STUCCO	"LA HABRA"	MOSENE CLASS	DEFN40	DANN EDWARDS		
8	OUTLETS	RETAL	"LA HABRA"	GRANITE HALL	DEFN40	DANN EDWARDS		
9	NEW SIGNAGE	CONC.	"CON COMP"	ESPRESSO MACHATO	DEFN40	DANN EDWARDS		
10	NEW SIGNAGE	CONC.	"CON COMP"	ESPRESSO MACHATO	DEFN40	DANN EDWARDS		
11	TRASH GATES	WOODGRIT BORN	"WOODGRIT BORN"	ESPRESSO MACHATO	DEFN40	DANN EDWARDS		
12	DRIVEWAY	CONC.	"CON COMP"	NATURAL CONC.	DEFN40	DANN EDWARDS		
13	GEN. DRIVEWAY	ASPHALT CONC.	"CON ASPHALT"	NATURAL ASPHALT	DEFN40	DANN EDWARDS		
14	EXTERIOR LIGHT FIXTURE	ALUMINUM	SEA OLL	BLACK, DARK LIGHT COLLECTION	DEFN40	DANN EDWARDS		
15	STONE	STONE VENEER	"CORNMED"	ITALIAN VILLA - VOLUBERA	DEFN35	DANN EDWARDS		
16	DECORATIVE PEDALUON	FORM W/STUCCO	"LA HABRA"	REGENT CREAM	DEFN35	DANN EDWARDS		
17	EXTERIOR WALLS (BOLL TOP)	STUCCO	"LA HABRA"	GRANITE HALL	DEFN40	DANN EDWARDS		
18	BRONZED BOLL NOSE COAT TRIM	FORM W/STUCCO	"LA HABRA"	GRANITE HALL	DEFN40	DANN EDWARDS		



**EAST ELEVATION (RIGHT)**

SCALE: 3/8"=1'-0"



**WEST ELEVATION (LEFT)**

SCALE: 3/8"=1'-0"

REVISIONS

NO.	DATE	BY

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**EXHIBIT E**  
**Field Images**



Street image south along Jet Way



Street image west along Western Way