



CITY OF PERRIS PLANNING COMMISSION

AGENDA

February 15, 2023

City Council Chambers
Meeting to convene at 6:00 P.M.
101 North "D" Street
Perris, CA 92570

1. **CALL TO ORDER:**

2. **ROLL CALL:**

Commissioners: Lopez, Jimenez, Gomez,
Chair Hammond, Vice-Chair Shively

3. **INVOCATION:**

4. **PLEDGE OF ALLEGIANCE:** Commissioner Lopez

5. **PRESENTATION:**

6. **CONSENT CALENDAR:**

A. Planning Commission Minutes for January 18, 2023

7. **PUBLIC HEARING:**

A. Modification of Conditions of Approval 22-05325 – A proposal to modify conditions of approval related to truck access along Redlands Avenue for a 324,147 square foot industrial building, previously approved under DPR 19-00016. The 16.25-acre project site is located on the southeast corner of Redlands Avenue and Rider Street, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCC-SP). APNs: 300-210-001,002,003, -004 and -005. Applicant: Oscar E. Valadez of Albert A. Webb Associates.

REQUESTED ACTION: Adopt Resolution No. 23-02 approving the revised Planning and Engineering Conditions of Approval.

B. Development Plan Review 22-00010 - A proposal to construct a 165,371 square-foot warehouse/distribution facility on 7.5 acres. The project site is located on the southwest corner of Ramona Expressway and Brennan Avenue, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCC-SP). APNs: 303-020-005, -022, -023, -024 and -025. Applicant: Dan Bick of Seefried Industrial Properties.

REQUESTED ACTION: Adopt Resolution No. 23-03 adopting the Mitigated Negative Declaration No. 2373 and the Mitigation Monitoring and Reporting

Program, and approve Development Plan Review 22-00010 to allow construction of a 165,371 square foot industrial, based on the findings and subject to the Conditions of Approval.

- C. Specific Plan Amendment (SPA) 21-05218, Tentative Parcel Map 21-05219 (TPM-38292), Development Plan Review (DPR) 21-00013, Conditional Use Permit (CUP) 21-05216, and Development Agreement (DA) 22-05297 – A proposal to consider the following entitlements to facilitate the construction of a 950,224 square-foot, warehouse distribution facility and a commercial development: 1) Specific Plan Amendment to rezone 42.22 acres of a larger 49.17 acre site from Business Park Office (BPO) Zone and Commercial (C) Zone to Light Industrial (LI) Zone, and to remove Dawes Avenue, a planned/unimproved street, from the Circulation Plan in the Perris Valley Commerce Center Specific Plan (PVCCSP); 2) Tentative Parcel Map to subdivide 49.17 acres into 8 parcels, ranging in size from 0.80 to approximately 42.22 acres; 3) Development Plan Review for the site plan and building elevations; 4) Conditional Use Permit to permit a vehicle fuel station with a convenience store, car wash, four drive-through establishments within the proposed commercial development; and 5) Development Agreement for specific project improvements and community benefits. (APNs: 317-120-021, 317-130-017, -021, -025 and -048. Applicant: Daniel Sachs of DECA Perris Land Co, LLC.

REQUESTED ACTION: Adopt Resolution 23-04 recommending that the City Council certify the Final Environmental Impact Report (SCH 2022040023), adopt the Mitigation and Monitoring and Reporting Program, and approve Specific Plan Amendment 21-05218, Tentative Parcel Map (TPM-38292), Development Plan Review 21-00013, and Development Agreement 22-05297 to facilitate the construction of a 950,224 square foot industrial distribution building, and a commercial development, based on the findings and the Conditions of Approval..

8. BUSINESS ITEM:

9. PUBLIC COMMENTS:

Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, and spell your last name and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.

LISTENING ASSISTIVE DEVICES are available for the hearing impaired or language translation – please see the Commission Secretary. The City of Perris wishes to make all its public meetings accessible to the public. Upon request, this agenda will be made available in appropriate alternative formats to persons in need of language translation or disabilities as required by 42 U.S.C. 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requests a modification or accommodation in order to participate in a meeting should direct such request to 951-943-2003 x256 at least 72 hours before the meeting, if possible.

In compliance with the Americans with Disabilities Act and Government Code Section 54953(g), the City Council has adopted a reasonable accommodations policy to swiftly resolve accommodation requests. The policy can also be found on the City's website. Please contact the City Clerk's Office at (951) 943-6100 to make an accommodation request, or to obtain an electronic or printed copy of the policy.

10. **COMMISSION MEMBERS ANNOUNCEMENTS OR REPORTS:**
11. **DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:**
12. **ADJOURNMENT**

COVID-19 REMOTE PUBLIC COMMENT/CITIZEN PARTICIPATION

With the intent of adhering to the new community guidelines from the Center for Disease Control, the City of Perris will allow for remote public comment and participation at the upcoming Planning Commission meeting via Zoom. Public Comment is limited to three (3) minutes.

ZOOM MEETING INFORMATION

When: February 15, 2023, 6:00 PM Pacific Time (US and Canada)
Topic: Planning Commission Meeting

In order to provide public comments via Zoom, participants will be required to register in advance at the following link:

Register in advance for this webinar:

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/84582281233?pwd=NG1EWW9Ud0RTVVh1M3R0emhLTlIWQT09>
Passcode: 958395

After registering, you will receive a confirmation email containing information about joining the meeting. During the Planning Commission meeting, if you wish to speak, via Zoom, for public comment on any item, please select the raise hand icon next to your name. The moderator will grant you access to speak. Public Comment is limited to (3) three minutes.

Planning Commission Agenda

CITY OF PERRIS

February 15, 2023

Item

6A

***Planning Commission Minutes for
January 18, 2023***

CITY OF PERRIS

Planning Commission

MINUTES:

Date of Meeting: January 18, 2023

06:05 PM

Place of Meeting: City Council Chambers

1. **CALL TO ORDER:**

2. **ROLL CALL:**

Commissioners Present: Chair Hammond, Vice-Chair Shively,
Commissioners: Jimenez, Lopez

Absent: Commissioner Gomez

City Staff Present: Director of Development Services Dept. Kenneth Phung, Planning Manager Patricia Brenes, Assistant City Attorney Yecenia Vargas, City Engineer John Pourkazemi, Associate Planner Lupita Garcia, and Contractor Planner Douglas Fenn

3. **INVOCATION:**

4. **PLEDGE OF ALLEGIANCE:**

The Pledge of Allegiance was led by Commissioner Jimenez

5. **PRESENTATION:** None

6. **CONSENT CALENDAR:**

A. Planning Commission Minutes for December 21, 2022

Chair Hammond open the Item for Public Comments - There were no public comments

The Chair called for a motion.

M/S/C: Moved by Vice Chair Shively, seconded by Commissioner Lopez to Approve Item 6A. Planning Commission Minutes for December 21, 2022

AYES: Commissioner Lopez, Commissioner Jimenez, Vice Chair Shively.

NOES:

ABSENT: Commissioner Gomez.

ABSTAIN: Chair Hammond.

7. PUBLIC HEARING:

- A. Development Plan Review (DPR) 21-00008 – A proposal to construct a 142,955 square foot industrial building on 6.93 acres located at the northwest corner of Harley Knox Boulevard and Las Palmas Avenue in the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (APN: 300-100-002). Applicant: Michael Johnson, Chartwell Development REQUESTED ACTION: Adopt Resolution No. 23-01, adopting the Mitigated Negative Declaration No. 2378 and the Mitigation Monitoring and Reporting Program, and approving Development Plan Review 21-00008 to facilitate construction of a 142,955 square foot industrial, based on the findings and subject to the Conditions of Approval.

Chair Hammond open the Item for Public Comments - there were no public comments.

Contract Planner Doug Fenn presented the Item.

The Following Commissioners Spoke:

Commissioner Lopez
Vice-Chair Shively
Commissioner Jimenez
Chair Hammond -

The Chair called for a motion.

M/S/C: Moved by Commissioner Jimenez, seconded by Commissioner Lopez to Approve Item 7A. with a recommendation to change: 1) Remove the check mark on the inconsistency box for MARB/IPA ALUCP section of the consistency table to the staff report. 2) Correct the typo in Condition #23 from HVAC, to HVAC, 3) Revise Condition #28 to change “a” to “at”. 4) The applicant works with staff on a color scheme and accent materials for the building. 5) Condition #36 a – replace the wording decorative screen wall with a concrete wall. 6) Condition #34 box trees to be 36-inch box trees instead of 34-inch box trees when feasible. 7) Conduct a traffic study to clarify a U-turn signal on Harley Knox and Las Palmas.

Development Plan Review (DPR) 21-00008 – A proposal to construct a 142,955 square-foot industrial building on 6.93 acres located at the northwest corner of Harley Knox Boulevard and Las Palmas Avenue in the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (APN: 300-100-002). Applicant: Michael Johnson, Chartwell Development REQUESTED ACTION: Adopt Resolution No. 23-01, adopting the Mitigated Negative Declaration No. 2378 and the Mitigation Monitoring and Reporting Program, and approving Development Plan Review 21-00008 to facilitate construction of a 142,955 square foot industrial, based on the findings and subject to the Conditions of Approval.

AYES: Commissioner Lopez, Commissioner Jimenez, Vice Chair Shively,
Chair Hammond.

NOES:

ABSENT: Commissioner Gomez.

ABSTAIN:

- B. Specific Plan Amendment 22-05052, Tentative Parcel Map 22-05029 (TPM 38386), and Development Plan Review 20-00020 – A proposal to consider the following entitlements to facilitate the construction of a 334,040 square foot industrial warehouse on a 20.14-acre site, located on the west side of Redlands Avenue between E. Rider Street and Placentia Avenue, in the Perris Valley Commerce Center Specific Plan (PVCCSP): 1) Specific Plan Amendment to remove Russell Way, a paper/unimproved cul-de-sac, from the Circulation Plan of the PVCCSP; 2) Tentative Parcel Map to merge eight (8) existing parcels into one (1) parcel; and 3) Development Plan Review for the site plan and building elevations. (APNs: 300-250-010, -011, -012, -013, -014, -015 and -016). Applicant: Michael Johnson of Lake Creek Industrial, LLC REQUESTED ACTION: Adopt Resolution 22-25 recommending that the City Council adopt a Mitigated Negative Declaration No. 2377 and the Mitigation and Monitoring and Reporting Program, and approve Specific Plan Amendment 22-05052, Tentative Parcel Map 22-05029 (TPM-38386), and Development Plan Review 20-00020 to facilitate the construction of a 334,040 square foot industrial warehouse distribution building, based on the findings and the Conditions of Approval.

Chair Hammond open the Item for Public Comments - there were no public comments.

Contract Planner Chantal Power Presented the Item

The Following Commissioners Spoke:

Commissioner Lopez
Commissioner Jimenez -
Vice Chair Shively
Chair Hammond

Chair Hammond opened the Item to Public Comments

Speaker - Susan Diaz - Resident - concerned about truck traffic in a residential area

Speaker - David Rabb – Resident - concern about setbacks, increasing boundaries, and more trees in the area

Chair Hammond – re-open the Item for comments/ and closed public comments

The Chair called for a motion.

M/S/C: Moved by Commissioner Jimenez, seconded by Chair Hammond to Approve Item 7B. 1) with a recommendation to change:1) Revise Conditions #42 to add the spacing information between the trees; 2) Revise Condition #3 to add the following Truck access to and from Ramona Expressway and Perris Boulevard is prohibited, and to and from I-215/Placentia Avenue Interchange, Placentia Avenue, Indian Avenue, Morgan Street, and Redlands Avenue; and 3) add trees inside the building wall and outside the wall of the SCE easement.

Specific Plan Amendment 22-05052, Tentative Parcel Map 22-05029 (TPM 38386), and Development Plan Review 20-00020 – A proposal to consider the following entitlements to facilitate the construction of a 334,040 square foot industrial warehouse on a 20.14-acre site, located on the west side of Redlands Avenue between E. Rider Street and Placentia Avenue, in the Perris Valley Commerce Center Specific Plan (PVCCSP): 1) Specific Plan Amendment to remove Russell Way, a paper/unimproved cul-de-sac, from the Circulation Plan of the PVCCSP; 2) Tentative Parcel Map to merge eight (8) existing parcels into one (1) parcel; and 3) Development Plan Review for the site plan and building elevations. (APNs: 300-250-010, -011, -012, -013, -014, -015 and -016). Applicant: Michael Johnson of Lake Creek Industrial, LLC

REQUESTED ACTION: Adopt Resolution 22-25 recommending that the City Council adopt a Mitigated Negative Declaration No. 2377 and the Mitigation and Monitoring and Reporting Program, and approve Specific Plan Amendment 22-05052, Tentative Parcel Map 22-05029 (TPM-38386), and Development Plan Review 20-00020 to facilitate the construction of a 334,040 square foot industrial warehouse distribution building, based on the findings and the Conditions of Approval.

AYES: Commissioner Jimenez, Vice Chair Shively, Chair Hammond.

NOES: Commissioner Lopez.

ABSENT: Commissioner Gomez.

ABSTAIN

:

8. **USINESS ITEM:** None

9. **PUBLIC COMMENTS:** Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, and spell your last name and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission. LISTENING ASSISTIVE DEVICES are available for the hearing impaired or language translation – please see the Commission Secretary. The City of Perris wishes to make all its public meetings accessible to the public. Upon request, this agenda will be made available in appropriate alternative formats to persons in need of language translation or disabilities as required by 42 U.S.C. 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requests a modification or accommodation in order to participate in a meeting should direct such request to 951-943-2003 x256 at least 72 hours before the meeting, if possible. In compliance with the Americans with Disabilities Act and Government Code Section 54953(g), the City Council has adopted a reasonable accommodations policy to swiftly resolve accommodation requests. The policy can also be found on the City’s website. Please contact the City Clerk’s Office at (951) 943-6100 to make an accommodation request, or to obtain an electronic or printed copy of the policy.

10. **COMMISSION MEMBER' ANNOUNCEMENTS OR REPORTS:**

The Following Commissioner Spoke:

Commissioner Lopez
Commissioner Jimenez
Vice Chair Shively
Chair Hammond

11. **DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:**

Development Services Director Phung spoke.

12. **ADJOURNMENT COVID-19 REMOTE PUBLIC COMMENT/CITIZEN PARTICIPATION**

With the intent of adhering to the new community guidelines from the Center for Disease Control, the City of Perris will allow for remote public comment and participation at the upcoming Planning Commission meeting via Zoom. Public Comment is limited to three (3) minutes.

Chair Hammond adjourned the regular Planning Commission Meeting

Planning Commission Agenda

CITY OF PERRIS

February 15, 2023

Item

7A

Modification of Conditions of Approval

22-05325



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

MEETING DATE: February 15, 2023

SUBJECT: Modification of Conditions of Approval 22-05325 – A proposal to modify conditions of approval related to truck access along Redlands Avenue for a 324,147 square foot industrial building, previously approved under DPR 19-00016. The 16.25-acre project site is located on the southeast corner of Redlands Avenue and Rider Street, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCC-SP). APNs: 300-210-001,002,003, -004 and -005. **Applicant:** Oscar E. Valadez of Albert A. Webb Associates.

REQUESTED ACTION: Adopt Resolution No. 23-02, approving the revised Planning and Engineering Conditions of Approval.

CONTACT: Kenneth Phung, Director of Development Services

PROJECT BACKGROUND

On July 7, 2021, the Planning Commission approved Development Plan Review 19-00016 for the construction of a 324,147 square-foot industrial building on 16.25 acres located at the southeast corner of Redlands Avenue and Rider Street. Access to the project site includes a driveway on Rider Street and two driveways on Redlands Avenue.

The driveway on Rider Street provides truck access for ingress only and is restricted to right-in turning movements. Trucks exit the project site from the southerly driveway on Redlands Avenue, which is restricted to right-out turning movements. Access to passenger vehicles is provided via the northerly driveway on Redlands Avenue.

PROJECT DESCRIPTION

The applicant is now requesting Modification of the Engineering Conditions of Approval 7, 8, and 12 to facilitate the construction of a dedicated southbound left-turn pocket with raised median on Redlands Avenue that aligns with the Project's southerly driveway to permit inbound left turning movements onto the site. Barriers are also proposed on the northerly and southerly ends of the parking lot for passenger vehicles to allow for safe on-site circulation. Thus, Engineering Conditions of Approval 7, 8, and 12 are proposed to be modified as follows:

Condition of Approval #7

Existing: Site circulation shall be such that auto and truck access and parking are distinct and separate.

Proposed: Site circulation shall be such that auto and truck access and parking are distinct and separate. **Barriers shall be installed at the terminus of the autos parking areas and drive aisles to restrict access to truck drive aisles.**

Condition of Approval #8

Existing: Trucks ingress and egress into and out of the site shall be a right-in only at the driveway on Rider Street and right-out only at the southerly driveway on Redlands Avenue.

Proposed: Trucks ingress and egress into and out of the site shall be a right-in only at the driveway on Rider Street and **left-in**/right-out only at the southerly driveway on Redlands Avenue.

Condition of Approval #12

Existing: The southerly driveway on Redlands Avenue may accommodate ingress and egress for autos, and right-out only egress for trucks; distinctive controls shall be provided to isolate trucks and autos maneuvers; the controls shall be designed by a Traffic Engineer and approved by the City Engineer.

Proposed: The southerly driveway on Redlands Avenue shall be designated for truck access only and shall be restricted to left-in/right-out only.

ANALYSIS

The proposal to construct a southbound left-turn pocket with raised median on Redlands Avenue to accommodate queuing of trucks making left turning movements onto the Project site was analyzed in the Traffic Study (TIA) prepared for the Project in 2020. The TIA concluded that the truck traffic volume and queuing could be accommodated with the dedicated left turn pocket and construction of a raised median. Additionally, the applicant proposes installing barriers at each end of the parking lot for passenger vehicles to restrict trucks from commingling with passenger vehicles. As proposed, the modifications to the conditions of approval can be supported as they will allow for safe turning movements onto the site via the Redlands Avenue southerly driveway, provide two points of ingress onto the site from Redlands Avenue and Rider Street, and separate the on-site truck circulation areas from passenger vehicles areas.

ENVIRONMENTAL DETERMINATION

The proposed revisions to the Engineering Conditions of Approval will not result in significant effects on the environment, and is, therefore, consistent with the originally adopted Mitigated Negative Declaration (MND No. 2358) and Mitigation Monitoring and Reporting Program prepared for Development Plan Review 19-00016.

RECOMMENDATION:

Staff recommends that the Planning Commission approve the proposed Modification of Conditions of Approval, as it is the final approving authority for the revision of these conditions.

BUDGET (or FISCAL) IMPACT: Costs for staff preparation of this item are borne by the Applicant.

Prepared by: Alfredo Garcia, Associate Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Resolution 23-02 Approving Updated Conditions of Approval (Engineering)
- B. Location/Aerial Photo
- C. Project Site Plan – Informational Purpose Only

Consent:

Public Hearing: X

Business Item:

Presentation:

Other:

EXHIBIT A

Resolution 23-02 Approving Updated
Conditions of Approval (Engineering)

RESOLUTION NO.23-02

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, CALIFORNIA, APPROVING A MODIFICATION OF CONDITIONS (MM 22-05325) TO MODIFY ENGINEERING CONDITIONS OF APPROVAL, THEREBY AMENDING PLANNING COMMISSION RESOLUTION NO. 21-12, RELATED TO DEVELOPMENT PLAN REVIEW 19-00016 FOR A 324,147 SQUARE FOOT INDUSTRIAL DEVELOPMENT ON 16.25 ACRES LOCATED ON THE EAST SIDE OF REDLANDS AVENUE AND SOUTH OF RIDER STREET, SUBJECT TO CONDITIONS OF APPROVAL AND THE FINDINGS NOTED HEREIN.

WHEREAS, the City of Perris Planning Commission on July 7, 2021, approved a Development Plan Review 324,147 sq. ft. industrial building on approximately 16.25 acres of land located on the east side of Redlands Avenue and South of Rider Street ("Project"), pursuant to Planning Commission Resolution 21-12 for Development Plan Review 19-00016; and

WHEREAS, the applicant has requested to amend Engineering Conditions of Approval to provide access along the southerly driveway along Redlands Avenue as reflected in the approved traffic study; and

WHEREAS, the applicant has requested to amend Engineering Conditions of Approval to allow left-in access along the southerly driveway along Redlands Avenue, which would include constructing a dedicated southbound left-turn pocket with a raised median; and

WHEREAS, a Mitigated Negative Declaration No. 2358 ("MND") for the Project (State Clearinghouse # 2021050408) was prepared, approved, and certified for the Project, all pursuant to the California Environmental Quality Act ("CEQA") and the State CEQA Guidelines, and the Mitigation and Monitoring Program were approved by the Planning Commission on July 7, 2021; and

WHEREAS, in connection with the Initial Approval, public hearings were held on July 7, 2021, which hearings included testimony on the IS/MND, and the adoption of Planning Commission Resolution 21-12 and following said hearings; and

WHEREAS, a public hearing was held on February 15, 2023, by the Planning Commission, at which time all interested persons were given full opportunity to be heard and to present evidence in regard to the amended Engineering Conditions of Approval for Development Plan Review (DPR) 19-00016; and

WHEREAS, this revised approval has been duly noticed; and

NOW THEREFORE, the Planning Commission of the City of Perris does resolve as follows:

Section 1. The above recitals are all true and correct and incorporated herein.

Section 2. The Planning Commission has reviewed and considered the environmental information discussed in the staff report and accompanying attachments prior to taking action on the application for the proposed revision and the MND presented at the Initial Approval, and finds that the revisions to the Conditions of Approval (attached hereto as Exhibit 1) could not have a significant impact on the environment as potential impacts were addressed in the MND, and the requested revisions do not affect the conclusions or financings set forth in the MND, the Initial Approvals or the Mitigation Monitoring and Reporting Program.

Section 3. The Planning Commission hereby adopts the Amended Conditions pursuant to this revised approval. Said amended Conditions do not affect any findings made in the Initial Approval, which Initial Approval is incorporated herein by reference, all of which findings remain in full force and effect.

Section 4. The Planning Commission hereby adjusts the Initial Approvals of the Planning Commission in accordance with the changes reflected in this Resolution.

Section 5. Except as amended hereby to substitute and refer to the Amended Engineering Conditions, Planning Resolution No. 21-12 remain in full force and effect.

Section 6. The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 7. The Chairperson shall sign, and the Secretary shall certify to the passage and adoption of this Resolution.

ADOPTED, SIGNED, and APPROVED this 15th day of February 2023.

CHAIRPERSON, PLANNING COMMISSION

ATTEST:

Secretary, Planning Commission

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Patricia Brenes, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 23-02 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 15th day of February 2023, and that it was so adopted by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Secretary, Planning Commission

Exhibit 1

1. Updated Engineering Conditions of Approval

EXHIBIT 1

Approving Updated Conditions of Approval (Engineering)



CITY OF PERRIS

STUART E. MCKIBBIN, CONTRACT CITY ENGINEER

CONDITIONS OF APPROVAL

P8-1412

May 24, 2021, Revised June 30, 2021,
Revised Planning Commission July 7, 2021
DPR 19-00016, First Industrial

MM 22-05325 – Revised January 4, 2023

SE Corner of Rider Street & Redlands Avenue

Par 1 thru 4 – PM 7470 (PM 037/054) & Par 1 – PM 10002 (PM 042/023)

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer/property owner provides the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and their omission may require the site plan to be resubmitted for further consideration. These ordinances and the following conditions are essential parts and requirement occurring in ONE is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditioned shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic Impact Analysis, the most stringent in the opinion of the City shall prevail.

General Conditions:

1. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.

2. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.
3. Truck access to the site shall be limited to and from I-215, Harley Knox Boulevard, Redlands Avenue and Rider Street. Truck access to and from Ramona Expressway is prohibited.

Prior to Issuance of Grading Permit:

4. The developer/property owner shall sign the consent and wavier form to join the City's Lighting and Landscape Districts and City's Flood Control District as appropriate. The proposed streetlights and traffic signals shall be maintained by the City and cost paid by the developer/property owner through the said annexations.
5. The treated onsite runoff shall be collected and conveyed via underground drainage facilities connecting to Perris Valley Master Drainage Plan (PVMDP) Line A-B in Rider Street discharging into Perris Valley Storm Drain Channel.
6. Any connection to Line A-B will require an encroachment permit from Riverside County Flood Control and Water Conservation District (RCFCD).
7. Site circulation shall be such that auto and truck access and parking are distinct and separate. **Barriers shall be installed at the terminus of the autos parking areas and drive aisles to restrict access to truck drive aisles.**
8. Trucks ingress and egress into and out of the site shall be a right-in only at the driveway on Rider Street and **left-in**/right-out only at the southerly driveway on Redlands Avenue.
9. The driveway on Rider Street shall be designated for truck access only and shall be restricted to right-in only.
10. A designated right-turn/deceleration lane shall be added on eastbound Rider Street along the property frontage; the length and width of the lane shall be designed by a Traffic Engineer, per Caltrans standards, and approved by the City Engineer.
11. The northerly driveway on Redlands Avenue shall be designated for auto access only and shall be restricted to right-in/right-out only.
12. The southerly driveway on Redlands Avenue **shall be designated for truck access only and shall be restricted to left-in/right-out only.**
13. The driveways shall be per County of Riverside Standard No. 207A.

14. The developer/property owner shall submit the following to the City Engineer, and RCFCD as applicable, for review and approval.
- a. Onsite Grading Plans and Erosion Control Plans – Plans shall show the approved WDID No.
 - b. Street Improvement Plans
 - c. Storm Drain Improvement Plans
 - d. Traffic Signal Plans
 - e. Signing and Striping Plans
 - f. Final Drainage Plans, Hydrology and Hydraulic Report
 - g. Final WQMP (for reference)
 - h. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards

The design shall be in compliance with EMWD, RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

Prior to Issuance of Building Permit:

15. The project site is located within the limits of Perris Valley Area Drainage Plan (ADP) for which drainage fees have been adopted by City. Drainage fees shall be set forth under the provisions of the “Rules and Regulations of Administration of Area Drainage Plan”. Acreage for the project site’s impervious area shall be provided.
16. A parcel merger consolidating the underlying lots/parcels along with a certificate of compliance shall be submitted to the City for review and approval and shall be recorded.
17. Water and Sewer Improvement Plans, per Fire Department and Eastern Municipal Water District (EMWD) standards, shall be submitted to the City Engineer for review and approval.
18. Fire Department and EMWD approvals of the Water Improvement Plans are required prior to City Engineer’s approval.
19. Rider Street is classified as a Secondary Arterial (94’/70’) per the General Plan. A 20-foot half width right-of-way is currently dedicated on Rider Street along the property frontage; the developer/property owner shall dedicate the required additional 27 feet of right-of-way to provide for a 47 foot half width dedicated right-of-way. The developer/property owner shall also dedicate adequate right-of-way for a designated right-turn/deceleration lane on westbound Rider Street along the property frontage; the length and width of the lane shall be designed by a Traffic Engineer, per Caltrans standards, and approved by the City Engineer.

20. Redlands Avenue is classified as a Secondary Arterial (94'/70') per the General Plan. A 44-foot half width right-of-way is currently dedicated on Redlands Avenue along the property frontage; the developer/property owner shall dedicate the required additional 3 feet of right-of-way to provide for a 47 foot half width dedicated right-of-way and shall also provide a 4 foot wide easement to accommodate the Class I Shared Use Path per Active Transportation Plan, as depicted in the attached exhibit.
21. Property line corner cutbacks shall be dedicated per County of Riverside Standard No. 805.
22. All easements and/or rights-of-way shall be offered for dedication to the public or other appropriate agencies in perpetuity and shall continue in force until the City or the appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer.
23. Paved access shall be provided to the proposed building per the Precise Grading Plan.
24. The developer/property owner shall submit a compaction certification from the Soils engineer in compliance with the approved geotechnical/soils report.

Prior to Issuance of Certificate of Occupancy:

25. Rider Street (Secondary Arterial – 94'/70') along the property frontage within the dedicated right-of-way shall be improved to provide for a 10 foot wide raised landscaped median, 35 foot wide pavement on the south side of the raised landscaped median and a 14-foot wide pavement on the north side of the raised landscaped median (using a TI of 10.0 and PG 70-10), 8-inch curb and gutter located 35 feet south of the centerline with 6-foot wide sidewalk and street lights subject to the result of a photometric study prepared by a registered Electrical Engineer, a Class II bicycle lane per Active Transportation Plan, City of Perris, County of Riverside and Caltrans standards.

A designated right-turn/deceleration lane shall be added on westbound Rider Street along the property frontage; the length and width of the lane shall be designed by a Traffic Engineer, per Caltrans standards; and approved by the City Engineer.

If the existing pavement is in good condition, the developer/property owner may use grind and overlay technique as determined by the City Engineer.

26. Redlands Avenue (Secondary Arterial – 94'/70') along the property frontage within the dedicated right-of-way and easement shall be improved to provide for a 12-foot wide raised landscaped median, 29-

foot wide pavement on the east side of the raised landscaped median and a 14-foot wide pavement on the west side of the raised landscaped median (using a TI of 10.0 and PG 70-10), 8-inch curb and gutter located 35 feet east of the centerline with street lights subject to the result of a photometric study prepared by a registered electrical Engineer, a Class I Shared Use Path per Active Transportation Plan, City of Perris, County of Riverside and Caltrans standards.

If the existing pavement is in good condition, the development/property owner may use grind and overlay technique as determined by the City Engineer.

27. In the event that the existing power poles on Rider Street and Redlands Avenue along the property frontage are in conflict with the required street improvements, they shall be removed, and cables (under 66 kv) shall be undergrounded.
28. The intersection of Rider Street and Redlands Avenue shall be signalized and improved to ultimate design and shall be concrete paved to withstand truck traffic as directed by the City Engineer.
29. Eastbound Rider Street at the driveway shall be concrete paved to mitigate truck impacts and excessive degradation, as directed by the City Engineer.
30. Northbound Redlands Avenue at the southerly driveway shall be concrete paved to mitigate truck impacts and excessive degradation, as directed by the City Engineer.
31. The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.
32. The developer/property owner shall pay the City \$160,000 for their contribution towards the implementation of interim and ultimate improvements to I-215/Ramona Expressway interchange. I-215/Harley Knox Boulevard interchange and other improvements. This one-time contribution is above and beyond TUMF, DIF, RBBB and other City fees and it is not reimbursable.
33. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified professional pursuant to the California Business and Professional Code 8771.

Stuart E. McKibbin
Contract City Engineer

EXHIBIT B

Location / Aerial Photo



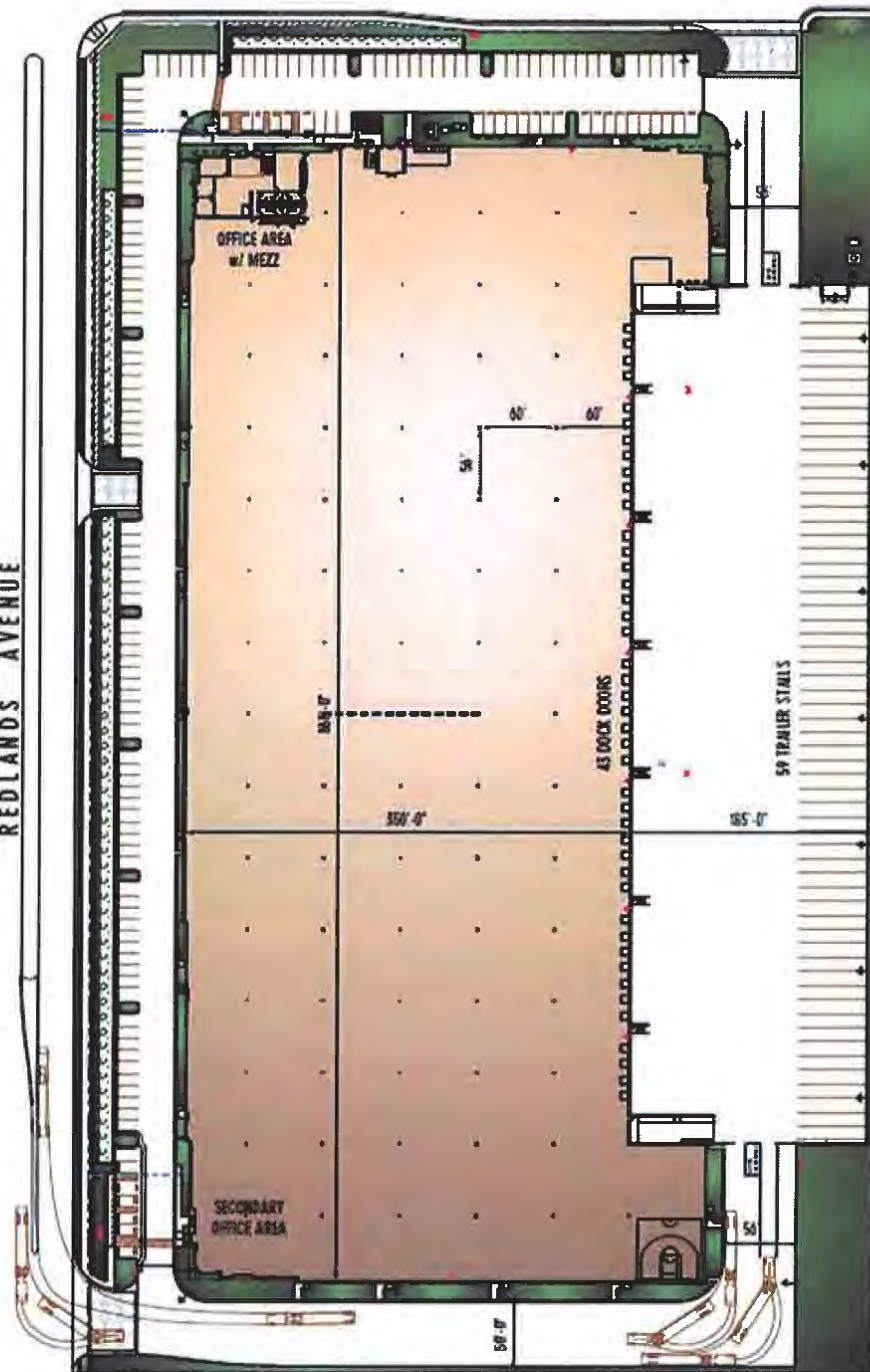
EXHIBIT C

Project Site Plan –

Informational Purposes Only

RIDER STREET

REDLANDS AVENUE



PROJECT SUMMARY

SITE AREA:	14.85 AC
FIRST FLOOR OFFICE:	4,199 SF
SECOND FLOOR OFFICE:	3,546 SF
WAREHOUSE AREA	316,637 SF
TOTAL:	324,382 SF
AUTO PARKING:	153 STALLS
TRAILER PARKING:	59 TRAILERS
DOCK DOORS:	43 DOORS

SITE PLAN



Planning Commission Agenda

CITY OF PERRIS

February 15, 2023

Item

7B

Development Plan Review

22-00010



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

- MEETING DATE:** February 15, 2023
- SUBJECT:** Development Plan Review 22-00010 - A proposal to construct a 165,371 square-foot industrial building on 7.5 acres. The project site is located on the southwest corner of Ramona Expressway and Brennan Avenue, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCC-SP). APN: 303-020-005, -022, -023, -024 and -025. Applicant: Dan Bick of Seefried Industrial Properties.
- REQUESTED ACTION:** Adopt Resolution No. 23-03, adopting the Mitigated Negative Declaration No. 2373 and the Mitigation Monitoring and Reporting Program, and approve Development Plan Review 22-00010 to allow construction of a 165,371 square foot industrial, based on the findings and subject to the Conditions of Approval.
- CONTACT:** Kenneth Phung, Director of Development Services

BACKGROUND

The subject site is currently vacant and has a relatively flat terrain totaling approximately 7.5 acres. It has historically been used for agricultural purposes. Since the 1990s, it has been used for light industrial and commercial uses, including Expressway Builder Supply & Landmark Masonry, Artistic Plastering, California Scaffold, Express Depot, GPC Pallets and U-Haul Company. A mobile home that appears to be occupied is on the southeast portion of the site. It will be removed to facilitate development of the site.

Surrounding uses include a commercial shopping center and vacant land to the north, across Ramona Expressway; Lowe's Distribution Center to the east across Brennan Avenue; and undeveloped land to the west and south.

PROJECT DESCRIPTION

The applicant is requesting approval of a Development Plan Review for the construction of a 165,371-square-foot industrial building on approximately 7.5 acres. The proposed industrial building consists of 2,500 square feet of office area, 2,500 square feet of mezzanine area, and 160,371 square feet of warehouse area. A total of 16 loading dock doors and two high-dock loading areas are located on the south side of the building, and a 63-space parking lot is proposed for employees and visitors along the north and west sides of the site. A 35-foot-wide driveway proposed along Ramona Expressway is restricted only to right-in and right-out for automobile access. The second 26-foot-wide driveway on Ramona Expressway will be used for emergency vehicles only. A 40-foot-wide driveway along Brennan Avenue is restricted access for trucks only. Trucks are anticipated to access the I-215 Freeway by exiting the project site via Brennan Avenue,

to Morgan Street, to Indian Avenue, to Harley Knox Boulevard, consistent with the City's adopted truck route.

PROJECT ANALYSIS

The table below summarizes the Project's consistency with the General Plan, PVCC Specific Plan, Zoning Code, Title 18 Subdivision Code, and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.

	Consistent	Inconsistent
<p>Consistency with the General Plan</p> <p>The project site has a General Plan land use designation of LI – Light Industrial, which is intended for manufacturing, research, warehouse, and distribution. The Project proposes to develop the subject site with an industrial warehouse building, which will be consistent with the LI General Plan land use designation.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the Perris Valley Commerce Center (PVCC) Specific Plan</p> <p>The project site is in the Light Industrial Zone of the PVCC Specific Plan, which is intended for industrial development that supports a wide range of manufacturing and nonmanufacturing uses, from warehousing and distribution facilities to industrial activities. (Exhibit C). As this Project includes a warehouse and ancillary office uses, it is consistent with the PVCC Specific Plan.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the March Air Reserve Base/Inland Port Airport</p> <p>The project site is in the C Zone of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. The Airport Land Use Compatibility Plan identifies the C Zone as a primary departure zone. It encompasses high noise and moderate accident potential risk within the periphery of flight corridors. The proposed Project was analyzed for consistency with the C Zone and was determined to be consistent with the Airport Plan.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

The table below summarizes compliance with the PVCCSP Development Standards for the Light Industrial Zone and Chapter 19.69 – Parking Development Standards of the Zoning Code.

Perris Valley Commerce Center Specific Plan Light Industrial Zone - Development Standards					
Standard		Proposed	Consistent	Inconsistent	
Lot Coverage	50 percent maximum		50 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building FAR	0.75		49.3 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building Height	50 feet		45 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Setbacks	Front Yard: Street	15 feet	77 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Side Yards: Brennan Avenue (East)	15 feet	34 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Interior Side Yard (west)	0 feet	56 feet-5 inches		
	Rear Yard (south)		104 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Parking Standards Chapter 19.69 – Parking Development Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Industrial	Warehouse: 20,000 s.f. (1space/1000 s.f.)				
	20,000 – 40,000 s.f. (1 space /2000 s.f.)	55 spaces	63 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Over 40,000 s.f. (1 space/5000 s.f.)				
Total Parking		51 spaces	63 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Parking			8 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS

- Building Elevations/Architecture**

The proposed building elevations reflect the current industry standard and style for concrete tilt-up construction. The design incorporates a combination of varying rooflines, cornice treatment, vertical and horizontal windows, horizontal faux wood tile, and intermittent recessed panels to create a contrasting aesthetic design for compliance with the Perris Valley Commerce Center Specific Plan design standards. The entry areas include recess paneling to provide additional articulation in the vertical plane. The

proposed color palette combines shades of grey and white to complement the entire building. The combination of varying colors, articulating footprint, variable roof height, enhanced cornice treatments, windows, etc., provides visual interest to the building.

- **Landscaping and Lighting**

The applicant has submitted a conceptual landscape plan conforming to the Landscaping Ordinance's requirements. The proposed on-site landscaping area totals approximately 36,512 square feet or approximately 21.8% of the site, which exceeds the code's minimum 12% landscape requirement. Landscaping has been provided throughout the parking areas, adjacent to the buildings, and trash enclosure areas.

- **Fencing and Screening**

The project site proposes a 14-foot-high decorative block wall to screen the truck loading area at the rear of the building and the truck parking. The Project depicts an eight (8)-foot-high tubular steel fence with pilasters spaced every 50 feet along the west and south property lines. Staff recommends a condition requiring the proposed eight (8)-foot-high tubular steel fence that controls the emergency access gate along the north property line to be replaced with a 14-foot-high block wall to screen the truck loading area.

- **Employee Amenity and Recreation area**

Buildings over 100,000 square feet must have at least one (1) indoor employee amenity and two (2) outdoor employee amenities. The applicant proposes a furnished outdoor employee break area and an outdoor gym. An interior amenity is not shown on the plans. Thus, a condition of approval is recommended requiring an interior amenity subject to review and approval by Planning Staff.

ENVIRONMENTAL CONSIDERATIONS AND CEQA PROCESS

An Initial Study was prepared for the Project in accordance with the City's guidelines implementing the California Environmental Quality Act (CEQA). Based on this Initial Study, staff concluded that all potential significant effects on the environment could be reduced to less than substantial levels through mitigation measures. In accordance with the California Environmental Quality Act (CEQA), a Notice of Hearing/Notice of Intent to Adopt a Mitigated Negative Declaration (NOH/NOI) was published disclosing the Initial Study and Mitigated Negative Declaration were available for public comment from November 4, 2022, to December 5, 2022. The NOH/NOI was sent to public agencies and property owners within a 300-foot radius of the Project site. Staff received comment letters from the following:

- California Department of Transportation – Commented on the Project's Traffic Impact Analysis.
- Adam Salcido - Representing five members of the public requested to be notified of projects status and hearing date.
- Jonathan Montano from Mitchell M. Tsai law - Requested to be notified for hearing dates.
- Blum Collins & Ho, LLP – Commented on the Mitigated Negative Declaration and claimed that its conclusions are inadequate.
- South Coast Air Quality Management District (SCAQMD) - Commented on the cumulative impact and project trip generation.

None of the comment letters constitute "significant new information" or meet any of the conditions in Section 15088.5 of the State CEQA Guidelines that would require recirculation of the IS/MND. The applicant and the City's environmental consultant addressed the minor comments, and the revisions are attached in the Public Comments and Response. (Exhibit E)

RECOMMENDATION:

Adopt Resolution No. 23-03, adopting Mitigated Negative Declaration No. 2373 and approving Development Plan Review 22-00010 to allow construction of a 165,371 sq. ft. industrial warehouse building on approximately 7.5 acres of land located on the southwest corner of Ramona Expressway and of Brennan Avenue, based on the findings and subject to the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: Costs for staff preparation of this item are borne by the Applicant.

Prepared by: Alfredo Garcia, Associate Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Resolution 23-03 Approving Conditions of Approval (Planning, Engineering, Public Works, Fire, and Building & Safety) and Adopting the Mitigation Monitoring and Reporting Program (*Due to the size of the files, the documents are located at the following webpage link:*
<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-339>
- B. Location/Aerial Map
- C. PVCCSP Specific Plan Land Use Map
- D. Project Plans (Site, Floor, Elevations, wall and Conceptual Landscape Plans)
- E. Public Comments and Response to Comments
(*Due to the size of the files, the documents are located in Section 2 of the MND at the following webpage link:*
<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-339>
- F. Initial Study/MND and Associated Technical Studies (*Due to the size of the files, the documents are located at the following webpage link:*
<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-339>

Consent:
Public Hearing: X
Business Item:
Presentation:
Other:

EXHIBIT A

Reso 23-03 with Conditions of Approval
(Planning, Engineering, Public Works, Fire
and Building)

RESOLUTION NUMBER 23-03

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ADOPTING MITIGATED NEGATIVE DECLARATION 2373 AND APPROVING DEVELOPMENT PLAN REVIEW 22-00010 TO FACILITATE THE CONSTRUCTION OF A 165,371 SQUARE FOOT INDUSTRIAL BUILDING ON APPROXIMATELY 7.5 ACRES OF LAND LOCATED AT THE SOUTHWEST CORNER OF RAMONA EXPRESSWAY AND BRENNAN AVENUE. BASED UPON THE FINDINGS PROVIDED HEREIN AND SUBJECT TO CONDITIONS OF APPROVAL.

WHEREAS, the applicant Dan Bick of Seefried Industrial Properties, proposes to construct a 165,371 sq. ft. industrial building on approximately 7.5 acres of land located at the southwest corner of Ramona Expressway and Brennan Avenue and which is located in the Perris Valley Commerce Center Specific Plan ("PVCC-SP") Light Industrial (LI) zoning designation ("Project"); and

WHEREAS, the applicant submitted a Development Plan Review application (DPR 22-00010) for the Project for consideration of architectural design and site layout; and

WHEREAS, proposed Development Plan Review 22-00010 ("DPR 22-00010) is considered a "project" as defined by the California Environmental Quality Act ("CEQA"); and

WHEREAS, pursuant to CEQA and State CEQA Guidelines, an Initial Study (IS) was prepared for the proposed Project and, based upon thereof, Mitigated Negative Declaration 2373 was prepared for the Project; and

WHEREAS, the Planning Commission held a duly noticed public hearing on February 15, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS does resolve as follows:

Section 1. Recitals. The above recitals are all true and correct and are incorporated herein by this reference.

Section 2. Environmental Analysis. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on February 15, 2023, the Planning Commission hereby determines pursuant to Section 15070 of the CEQA Guidelines that, based upon on the Initial Study prepared for the Project in accordance with the City of Perris guidelines for implementing CEQA, all potential significant effects on the environment can be reduced to a less than significant level through mitigation measures, the design of the development, the Zoning Code, and standard requirements of the City; therefore Mitigated Negative Declaration No. 2373 has been prepared, with findings that:

- A. No significant environmental effects would occur, and there is no substantial evidence, in light of the whole record, that the Project may have a significant effect on the environment if mitigation measures are implemented pursuant to Mitigated Negative Declaration No. 2373, which has been prepared for this Project.
- B. The City has complied with CEQA.
- C. Determinations of the Planning Commission reflect the independent judgment of the City.

Section 3. Development Plan Review 22-00010. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on February 15, 2023, the Planning Commission finds, with respect to Development Plan Review 22-00010, that:

1) The location, size, design, density, and intensity of the proposed development and improvements are consistent with the City's General Plan, the Perris Valley Commerce Center Specific Plan, the purposes and provisions of the Perris Municipal Code ("PMC"), the purposes of the Zone in which the site is located, and the development policies and standards of the City.

The Light Industrial land use provides for the development of basic industrial use, which may support a wide range of manufacturing and non-manufacturing uses, from large-scale warehouses and warehouse/distribution facilities to outdoor industrial activities. The proposed Project is consistent with the General Plan and Perris Valley Commerce Center Specific Plan ("PVCC-SP"), the LI zoning designation on the site, and the existing land uses in the area. The Project, as conditioned, meets or exceeds all design and development criteria of the underlying LI zoning district, which implements the development standards and policies of the City and the PVCC-SP.

2) The proposed Project site is physically suitable, including but not limited to parcel size, shape, access, and availability of utilities and services, for the type of development proposed.

The proposed Project is physically suitable in terms of parcel size, shape, access, and availability to utilities and services, as the site is located at the southwest corner of Ramona Expressway and Brennan Avenue, which allows for adequate access and provides for the logical connection to infrastructure to service the site. Utility service connections are available to service the site.

3) The proposed Project and the conditions under which it would be operated or maintained are compatible with abutting properties and will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

As conditioned, the proposed Project will not be detrimental to the public health, safety, or welfare or injurious to property and improvements in the vicinity or to the City's general welfare in that the Project is designed in conformance with the City's Zoning Code. Further, the proposed Project meets or exceeds the design and development standards of the PVCCSP and, therefore, will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity. These standards include setbacks, building height, parking, and landscape and will integrate into the existing fabric of industrial development that is contemplated for the area.

4) The proposed project's architecture includes updated and enhanced architecture that is compatible with community standards and protects the character of adjacent development.

The proposed architecture meets PVCC-SP design standards for Light Industrial development, and thereby protecting the character of the overall development of the PVCC-SP industrial zones and, therefore, is compatible with community standards and protects the character of adjacent development. Enhanced architecture, site design, and landscaping have been provided for the Project. The building design features symmetry and balance with enhanced architectural treatments at the corners of the building. The proposed color palette and materials provide variety and interest through contrasting and complimentary color tones ranging from white to grey throughout the building wall surface and further accentuate the corner and pop-out façade elements. Glazing treatments have been applied on all facade windows, and the use of horizontal faux wood tile and aluminum cladding provides additional texture along with the building entrance corners.

5) The proposed Project's landscaping plan ensures visual relief and provides an attractive environment for the public's enjoyment.

The proposed Project meets and exceeds the on-site and off-site landscape standards for the Light Industrial (LI) zoning district as outlined in the PVCCSP. The requirements ask for 12% coverage, and the project proposes 21.8%. It provides a mix of native and drought-tolerant

trees, shrubs, ground cover, and annual color throughout the site to ensure visual relief and effectively frame, soften, and embellish access points, building entries, parking areas and trash enclosures.

6) The safeguards necessary to protect public health, safety, and general welfare have been required for the proposed Project.

The proposed Project provides the safeguards necessary to protect the public health, safety, and general welfare through the conditions of approval, which are attached hereto and incorporated herein by this reference as Attachment A, and mitigation measures found in Mitigated Negative Declaration No. 2373, which are incorporated herein by this reference, which will ensure that the Project is developed in compliance with City and affected service agency codes and policies and mitigates potential impacts to the environment.

Section 4. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on February 15, 2023, the Planning Commission adopts Mitigated Negative Declaration No. 2373 and Mitigation Monitoring Reporting Program.

Section 5. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on February 15, 2023, the Planning Commission hereby determines that the Project is covered under Mitigated Negative Declaration No. 2373, as adopted and hereby approves the Project (Development Plan Review 22-00010) to construct a 142,955 square foot industrial building on approximately 7.5 acres of land located at the southwest corner of Ramona expressway and Brennan Avenue, subject to the Planning Division, Building & Safety, Fire, Public Works and Engineering Departments' Conditions of Approval (COA) attached hereto as Attachment A, and incorporated herein by this reference.

Section 6. The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction or because of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 7. The Chairperson shall sign, and the Secretary shall certify the passage and adoption of this Resolution.

ADOPTED, SIGNED, and APPROVED this 15th day of February , 2023.

CHAIRPERSON, PLANNING COMMISSION

ATTEST:

Secretary, Planning Commission

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Patricia Brenes, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 23-03 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 15th day of February 2023, and that it was so adopted by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Secretary, Planning Commission

**CITY OF PERRIS
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

PLANNING COMMISSION CONDITIONS OF APPROVAL

Development Plan Review 22-00010

February 15, 2023

PROJECT: A proposal to construct a 165,371 square foot warehouse/distribution facility on 7.5-acre project site is located on the southwest corner Ramona Expressway and of Brennan Avenue, within the Light Industrial (LI) zone of the Perris Valley Commerce Center Specific Plan (PVCC-SP). (APNs: 303-020-005, -022, -023, -024 and -025). **Applicant:** Dan Bick of Seefried Industrial Properties.

General Requirements:

1. **Approval Period for Development Plan Review 22-00010.** This approval shall be used within three (3) years of the approval date; otherwise it shall become null and void. By use is meant the beginning of substantial construction contemplated by this approval within the three (3) year period, which is thereafter diligently pursued to completion, or the beginning of substantial utilization contemplated by this approval. A maximum of three (3) one-year time extensions shall be permitted.
2. **Mitigation Monitoring and Reporting Program.** The project shall comply with all provisions of the adopted Mitigation Monitoring and Reporting Program (MMRP). The Mitigation Monitoring and Reporting Program (MMRP) for the initial Study/Mitigated Negative Declaration (SCH: 2022110066). It shall be implemented in accordance with the timeline, reporting, and monitoring intervals listed.
3. **Municipal Code and Specific Plan Compliance.** The project shall conform to the Light Industrial (LI) zone standards of the *Perris Valley Commerce Center Specific Plan* (PVCCSP) and Chapter 19 of the Perris Municipal code.
4. **Future Obligation of Buyers and Lessees.** All future buyers and lessees shall be informed of their obligation to comply with these Conditions of Approval. The applicant shall provide a copy of these conditions and inform the buyer or lessee of their obligation to maintain compliance with all local and City ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
5. **Expansion of Use.** No expansion of the site or the use shall occur without subsequent reviews and approvals from the Planning Division.
6. **City Ordinances and Business License.** The subject business shall maintain compliance with all local and City Ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
7. **Notice of Determination.** Within five (5) days of Planning Commission approval, the applicant shall submit a check to the City Planning Division, payable to "Riverside County

Clerk-recorder,” in the amount of \$2,260.25 for staff to file the Notice of Determination in compliance with CEQA.

8. **Conformance to Approved Plans.** The proposed use will operate in accordance with the February 15, 2023, Planning Commission meeting approval or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.
9. **Graffiti** located on-site shall be removed within 48 hours. The site shall be maintained in a graffiti-free state at all times. Graffiti shall be painted over in panels and not patches. In addition, will match color of wall or material surface. Furthermore, the applicant shall apply an anti-graffiti coating on walls.
10. **ADA Compliance.** The project shall conform to all disabled access requirements in accordance with the State of California, Title 24, and the Federal Americans with Disabilities Act (ADA).
11. **Rooftop Solar.** The project does not propose rooftop solar panels at this time. However, suppose the project was to propose solar rooftop panels in the future. In that case, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and the Airport Land Use Commission shall review this study.
12. **Planning Division.** All Planning Division Conditions of Approval shall be reproduced in the construction and grading plans.
13. **Building & Safety Division.** The project shall comply with all Conditions of Approval by the Building and Safety Department dated March 30, 2022.
14. **Fire Department Conditions.** The project shall comply with all Conditions of Approval by the Fire Department dated April 28, 2022, consisting of the following requirements.
 - a. Evidence of sufficient fire flow of 4,000 GPM for 4-hours shall be provided to the City of Perris. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.
 - b. A stand alone fire department access plan is required. Provide a detailed fire department access plan that shows compliance with CFC 503 and City of Perris Access Guideline and all applicable subsections. At a minimum the access plan shall address the following items:
 - Width of the access road CFC 503.2.1
 - Identify the inside and the outside turning radius CFC 503.2.4
 - Identify the type of roadway (concrete, asphalt, pavers, etc.) and indicate the road capacity CFC 503.2.3
 - Indicate locations and details of “Fire Lane-No Parking” signs and/or red curbs. CFC 503.3

- Indicate locations of all existing and/or proposed fire hydrants for the project
 - CFC 507.5
 - Indicate if any gates will cross the fire department access road CFC 503.6
 - Provide City verbatim notes
15. **Public Works.** The project shall adhere to the requirements of the Public Works Department as indicated in the attached Conditions of Approval dated May 5, 2022.
16. **City Engineering.** The Project shall comply with all requirements of the City Engineer's Conditions of Approval dated October 24, 2022.
17. **Sign Application.** A separate sign application will be required for any signs.
18. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City concerning **Development Review (DPR) 22-00010**. The City shall promptly notify the applicant of any claim, action, or proceeding for which indemnification is sought, and shall further cooperate fully in the defense of the action.
19. **Southern California Edison (SCE).** The developer/owner shall contact Southern California Edison SCE area service planner (951 928-8323) to complete the required forms prior to commencement of construction. No grading permits shall be issued until a letter from SCE is received by the City Engineer indicating electrical service will be placed underground.
20. **Waste Hauling and Disposal.** The project shall use only the City-approved waste hauler for all construction and other waste disposal.
21. **On-site & Off-site Utilities.** All utilities attached to buildings, including meters and utility boxes, shall be painted to match the wall of the building to which they are affixed. These facilities shall also be screened from the public right-of-way by landscaping or physical barrier such as a wall.
22. **Mechanical Equipment.** All mechanical equipment, including air conditioning units, pool equipment, etc., shall be screened from the public right-of-way by a view obscuring fence, wall, or landscaping to the satisfaction of the Planning Division.
23. **Downspouts.** Exterior downspouts are not permitted on building elevations facing the public right of way. Interior downspouts are required for these elevations.

24. **Glazing.** Highly-reflective glass shall not be used for architectural elevations.
25. **Performance Standards.** The applicant shall comply with all Performance Standards listed in Chapter 19.44.070 of the Perri Municipal Code.
26. **Site Lighting Plan.** The site lighting plan shall conform to the requirements of the City's adopted Mount Palomar Ordinance and be submitted to the Planning Division for final review and approval. Full cutoff fixtures shall be used to prevent light and glare above the horizontal plane of the bottom of the lighting fixture. A minimum of one (1) foot-candle of light shall be provided in parking and pedestrian areas. All lighting shall be shielded downward to prevent light pollution from spilling over onto adjacent parcels.
27. **Trash Enclosure.** The trash enclosure shall be constructed as presented in the development plans approved by the Planning Commission.
28. **Roof Parapets.** The height of the roof parapet shall fully screen any roof-mounted equipment. All vent pipes and similar devices shall be painted to match the building.
29. **Screening of Roof-Mounted Equipment.** Proper screening shall prevent public views of all HVAC equipment.
30. **Outstanding Fees.** Any outstanding processing fees due to the Planning Division shall be paid.
31. **Preliminary Water Quality Management Plan (PWQMP) .** A Preliminary WQMP was prepared for the proposed project site. All PWQMPs were determined to be in substantial compliance, in concept, with the Riverside County WQMP Manual requirements. The following conditions apply:
 - a. The development shall be subject to all provisions of City of Perris Ordinance Number 1194, which establishes stormwater/urban runoff management and discharge controls to improve water quality and comply with federal regulations, and any subsequent amendments, revisions, or ordinances pertaining thereto.
 - b. The structural BMPs selected for this project have been approved in concept. The owner shall submit a final WQMP including plans and details providing the elevations, slopes, and other details for the proposed structural BMPs including Flexstorm Filer inserts (pre-treatment), ADS LandMax Underground Detention System and a BioClean Modular Wetlands Unit, self-retaining landscape and covered trash enclosures. The Public Works Department shall review and approve the final WQMP text, plans and details.
32. **Construction Practices.** To reduce potential noise and air quality nuisances, the following items shall be listed as "General Notes" on the construction drawings:
 - a. Construction activity and equipment maintenance is limited to the hours between

7:00 a.m. and 7:00 p.m., on weekdays. Construction may not occur on weekends or State holidays, without prior consent of the Building Official. Non-noise generating activities (e.g., interior painting) are not subject to these restrictions.

- b. Stationary construction equipment that generates noise in excess of 65 dBA at the project boundaries must be shielded and located at least 100 feet from occupied residences. The equipment area with appropriate acoustic shielding shall be designated on building and grading plans. Equipment and shielding shall remain in the designated location throughout construction activities.
 - c. Construction routes are limited to City of Perris designated truck routes.
 - d. Water trucks or sprinkler systems shall be used during clearing, grading, earth moving, excavation, transportation of cut or fill materials and construction phases to prevent dust from leaving the site and to create a crust after each day's activities cease. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.
 - e. A person or persons shall be designated to monitor the dust control program and to order increased watering as necessary to prevent transport of dust off-site. The name and telephone number of such persons shall be provided to the City. Also, a board shall be placed at the subject site to include person and phone number for the public to call in case of dirt and dust issues.
 - f. Project applicants shall provide construction site electrical hook ups for electric hand tools such as saws, drills, and compressors, to eliminate the need for diesel powered electric generators or provide evidence that electrical hook ups at construction sites are not practical or prohibitively expensive.
27. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance and Chapter 7.42 regarding Property Maintenance. In addition, the project shall comply with the one-year landscape maintenance schedule identified in Public Works Department Condition of Approval No. 5, dated August 30, 2021.
28. **Off-Site Tree Planting or Funding.** To promote the City's tree planting initiative currently underway to make Perris GREEN providing positive benefits to the local environment from air quality to shading, the developer will plant one tree per 5,000 sq. ft. of building size to include irrigation lines and controllers at an off-site location to be determined by the City (i.e., City right-of-way, parks, etc.) to provide funding equivalent to such cost the discretion of the City prior to issuance of the building permit.

Prior to Building Permit Issuance:

29. **Fees.** The developer shall pay the following fees prior to the issuance of building permits:
- a. Stephen's Kangaroo Rat Mitigation Fees of \$500.00 per acre;
 - b. Multiple Species Habitat Conservation Plan fees currently in effect;
 - c. Current statutory school fees to all appropriate school districts;
 - d. Any outstanding liens and development processing fees owed to the City.
 - e. Appropriate Road and Bridge Benefit District fees;
 - f. Appropriate City Development Impact Fees in effect at the time of development.
30. **Landscaping Plans.** Prior issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Division for approval, accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a California registered landscape architect and conformed to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. The landscaping shall be consistent with the conceptual landscape plan, except as required below.
- a. **Landscape Sizing.** Applicant shall work with staff to modify the landscape plan to increase the size of all 15 gallon trees to 36 gallon trees.
 - b. **Passenger Vehicle Parking Areas.** A minimum of 30% of trees shall be a 36-inch box or larger in passenger vehicle parking areas. Also, a minimum of one 24-inch box tree per six (6) parking stalls shall be provided.
 - c. **Conceal parking lot area.** All parking areas along the street frontages shall be screened by a minimum 36-inch-high shrub border using a double-row of 5-gallon shrubs at 3.6 feet off center.
 - d. **Street Trees.** All street trees within the public right of way shall be 24-inch box size or larger and planted a maximum of 30 feet on center within the parkway.
 - e. **BMPs for Water Quality.** All BMPs (vegetated swales, detention basins, etc.) shall be indicated on the landscape plans with appropriate planting and irrigation.
 - f. **Employee Amenity Areas.** The outdoor employee break area shall be landscaped to include shade trees and shade structures architecturally similar in colors and materials to the warehouse building.
 - g. **Enhanced Pavement.** Decorative pavement treatments (accent colors, textures, and patterns) shall be used for all driveway entrances and pedestrian pathways.
 - h. **Shade Tree.** The project shall provide throughout the parking lot.
 - i. **Maintenance.** All landscaping shall be maintained in a viable growth condition.
31. **Wall and Fence Plan.** A 14-foot high decorative block wall shall be provided to screen the truck loading area facing Ramona Expressway and along the northely and easterly property lines along Brennan Avenue. The remainder of the property may be screened by a 10 foot high decorative iron fence with pilasters spaced every 100 feet.
32. **Construction Plans.** All Planning Division and Engineering Department Conditions of Approval, proposed employee amenities, and the Mitigation Monitoring Plan shall be

reproduced in full on construction drawings and grading plans, immediately following the cover sheet of such plans. Each Condition shall be annotated on the construction plans for ease of reference (i.e., sheet and detail numbers).

Prior to Grading Permit Issuance:

33. **Precise Grading Plans.** Precise grading plans shall be submitted to the City Engineer for review and approval. Grading plans shall be consistent with approved development plans.
34. **Final Water Quality Management Plan (FWQMP).** Prior to issuance of grading permits a FWQMP is required to be submitted. To mitigate impacts related to pollutant loading to receiving waters and/or increased erosion/siltation resulting from the long-term operation of the project, the applicant shall develop, receive approval from the City, and implement a FWQMP. The FWQMP shall contain measures that will effectively treat all pollutants of concern and hydrologic conditions of concern, consistent with the Preliminary WQMP and developed in compliance with the MS4 permit. The FWQMP shall specifically identify pollution prevention, source control, treatment control measures, and other Best Management Practices (BMPs) that shall be used on site to control predictable pollutant runoff to reduce impacts to water quality to the maximum extent practicable. The FWQMP shall substantially comply with site design, source control and treatment control BMPs proposed in the approved Preliminary Water Quality Management Plan (PWQMP).

Prior to Issuance of Occupancy Permits:

35. **Employee Amenities.** At least one (1) indoor employee amenity and two (2) outdoor employee amenities shall be provided.
36. **Truck Routes.** Signs shall be provided on-site and within public rights of way to direct all trucks to use designated truck routes, only as approved by the Engineering and Planning Departments. Truck routes in the area include Brennan Avenue to Morgan Street, Morgan street to Indian Avenue and Indian to Harley Knox. Blvd.
37. **Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to issuance of a Certificate of Occupancy. This condition shall apply only to districts existing at the time the project is approved (or all requirements have been met for a certificate of occupancy, as applicable). Such districts may include but are not limited to the following:
 - a. Landscape Maintenance District No. 1;
 - b. Maintenance District No. 84-1;

- c. Flood Control Maintenance District No. 1;
- d. North Perris Public Safety Community Facilities Assessment District;

38. **On-Site Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for final landscape inspection after all the landscaping and irrigation has been installed and is completely operational. Before calling for a final inspection, a "Certificate of Compliance" form shall be completed and signed by the designer/auditor responsible for the project, and submitted to the project planner for approval.
39. **Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-offs from the Building Division and Engineering Department. Planning Staff shall verify that all pertinent conditions of approval have been met. The applicant shall have all required paving, parking, walls, site lighting, landscaping and automatic irrigation installed and in good condition.

END OF CONDITIONS



CITY OF PERRIS

STUART E. MCKIBBIN, CONTRACT CITY ENGINEER

CONDITIONS OF APPROVAL

P8-1472

October 24, 2022

DPR 22-00010

Seefried Properties

SWC Ramona Expy. & Brennan Ave.

APN: 303-020-005, 303-020-022, 303-020-023, 303-020-024 & 303-020-025

MB 017/032

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer provide the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and that their omission may require resubmittal for further consideration. These Ordinances and the following conditions are essential parts and requirements occurring in one is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditions shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic Impact Analysis, the most stringent in the opinion of the City shall prevail.

General Conditions:

1. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.

2. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.

3. Site circulation shall be such that auto and truck access, circulation and parking are distinct and separate.

4. Truck access shall be from I-215/Placentia Avenue Interchange, Placentia Avenue, Indian Avenue, Morgan Street and Brennan Avenue. Alternatively, truck access may also be accommodated from I-215/Harley Knox Boulevard Interchange, Harley Knox Boulevard, Indian Avenue, Morgan Street and Brennan Avenue.

Truck access to and from Ramona Expressway and Perris Boulevard is prohibited.

Prior to Issuance of Grading Permit:

5. A parcel merger and a certificate of compliance shall be filed with the City for review and approval and subsequent recordation.

6. The developer/property owner shall submit the following to the City Engineer and Riverside County Flood Control and Water Conservation District (RCFCD) for review and approval:

- a. Onsite Precise Grading Plan and Erosion Control Plans; plans shall show the WDID No.
- b. Street and Storm Drain Improvement Plans
- c. Signing and Striping Plans
- d. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- e. Hydrology and Hydraulic Report
- f. Geotechnical Report
- g. Final WQMP (for reference)

The design shall be in conformance with Eastern Municipal Water District (EMWD), RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

7. Ramona Expressway is classified as an Expressway (184'/134') per the General Plan. Adequate right-of-way shall be dedicated on Ramona Expressway along the property frontage to accommodate a 92 foot half width dedicated right-of-way plus adequate right-of-way to accommodate the deceleration and acceleration lanes and the parkway/Class I Shared Use Path as approved by Planning Department and Public Works Department.

8. Brennan Avenue is classified as a Major Collector (78'/56'). Adequate right-of-way shall be dedicated on Brennan Avenue along the property frontage to accommodate a 39 foot half width dedicated right-of-way.

9. Property line corner cutbacks shall be dedicated per County of Riverside Standard No. 805.

10. All rights-of-way and easements shall be offered for dedication to the public or other appropriate agencies and shall continue in force until the City or the appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer.

11. In the event that offsite property is required to complete the improvements, the developer/property owner shall make a good faith effort to acquire required offsite property interests, and if he or she should fail to do so, the developer/property owner shall, prior to submittal of the Final Map for recordation, enter into an agreement to complete the improvements. The agreement shall provide for payment by the developer/property owner of all costs incurred by the City to acquire the offsite property interests required in connection with the subdivision. Security of a portion of these costs shall be in the form of a cash deposit in the amount given in an appraisal report obtained by the developer/property owner (at developer/property owner cost). The appraiser shall be approved by the City prior to commencement of the appraisal.

12. The developer/property owner shall underground existing open channel on Ramona Expressway along the northerly property frontage by tying into the existing storm drain Line D within the roadway. The proposed onsite drainage system will be required to tie into the storm drain in Brennan Avenue and the system in Brennan Avenue shall tie into the existing Line D system in Ramona Expressway. All alignments and connections may be adjusted to accommodate constructability constraints to the satisfaction of the City Engineer

The project may be eligible for credit for installation of Line D to offset the required drainage fees; respective storm drain easement shall be recorded.

Permits will be required from RCFCD for the connections.

13. The driveway on Ramona Expressway shall be designated to auto access only and shall be limited to right-in/right-out only. The driveway shall not exceed 26 feet in width.

14. Deceleration and an acceleration lanes shall be provided on Ramona Expressway at the driveway; the width and length of the lanes shall be

determined by the project's Traffic Engineer as approved by the City Engineer.

15. The driveway on Brennan Avenue shall be designated to truck access only and shall be limited to left-in/right-out only (the northerly return of the driveway shall be reversed.)

16. The driveways shall be per County of Riverside Standard No. 207A and shall include wet set concrete truncated domes in compliance to ADA standards and requirements.

17. The developer/property owner shall sign the consent and waiver form to join the City's Lighting and Landscape Districts and City's Flood Control District as appropriate. The proposed streetlights and traffic signals shall be maintained by the City and cost paid by the developer/property owner through the said annexation.

18. The developer/property owner shall pay the City the infrastructure fee in the amount of \$100,000 for their contribution to I-215/Ramona Expressway Interchange and I-215/Harley Knox Boulevard Interchange and other improvements. This one-time contribution is above and beyond DIF, TUMF, RBBD and other City fees, and is not reimbursable.

Prior to Issuance of Building Permit:

19. The project site is located within the limits of Perris Valley Area Drainage Plan (ADP) for which drainage fees have been adopted by City. Drainage fees shall be set forth under the provisions of the "Rules and Regulations of Administration of Area Drainage Plan". Acreage for the project site's impervious area shall be provided.

20. Water and Sewer Improvement Plans, per Fire Department and Eastern Municipal Water District (EMWD) standards, shall be submitted to the City Engineer for review and approval.

21. Fire Department and EMWD approvals of the Water Improvement Plans are required prior to City Engineer's approval.

22. Paved access shall be provided to the proposed building per the Precise Grading Plan.

23. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

Prior to Issuance of Certificate of Occupancy:

24. Ramona Expressway (Expressway - 184'/134') along the property frontage within the dedicated right-of-way shall be improved to provide for deceleration and acceleration Lanes, width and length as determined by the project Traffic Engineer as approved by the City Engineer, asphalt paving (using a TI of 11.0 and PG 70-10), 8 inch curb and gutter and Class I Shared Use Path per the Active Transportation Plan and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.

25. The 13 foot wide Class I Shared Use Path shall include an 8 foot wide PCC section with 2 foot wide DG strips on both sides of the PCC section enclosed by 6 inch mow curbs.

26. Brennan Avenue (Collector - 78'/56') along the property frontage within the dedicated right-of-way shall be improved to provide for a 6 foot wide sidewalk and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.

27. The conditions of the existing pavement on Ramona Expressway and Brennan Avenue along the property frontage shall be evaluated by the developer/property owner to determine the extent of pavement rehabilitation as approved by City Engineer. If the existing pavement is in good condition, the developer/property owner may use grind and overlay technique as determined by the City Engineer.

28. The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.

29. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified professional pursuant to the California Business and Professional Code 8771.

Stuart E. McKibbin
Contract City Engineer



CITY OF PERRIS

PUBLIC WORKS DEPARTMENT

Weed Abatement

NPDES Services

Flood Control and Landscape Districts

MEMORANDUM

Date: February 07, 2023

To: Alfredo Garcia, Planner

From: Michael Morales, CIP Manager

By: Chris Baldino, Landscape Inspector *CB*

Subject: **DPR 22-00010 – Conditions of Approval**

Proposal to build a new 165,371 square foot warehouse on the S/W Corner Ramona Expressway and Brennan Ave within General Industrial zone within the Perris Valley Commerce Center Specific Plan.

-
- Dedication and/or Landscape Maintenance Easement.** Offer of Dedication and Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:

 - **Ramona Expressway** - Provide offer of dedication as needed to provide for full half width Street, (184' ROW, 92' halfwidth), curb gutter, median, Class 1 shared use path, sidewalk, and off-site landscaping requirements, per City General Plan, including minimum 25' public parkway from face of curb.
 - **Brennan Ave.** - Provide offer of dedication as needed to provide for full half width Street, curb gutter, sidewalk, (66' ROW, 30' halfwidth), and off-site landscaping requirements, per City General Plan, including minimum 11' public parkway from face of curb.
 - Landscape Maintenance Easement and Landscape Easement Agreement.** The developer shall provide, for review and approval, an Offer of Dedication and certificate of acceptance, complete with legal plat map and legal description to the City of Perris. In addition, if required by the City of Perris, the Developer shall provide a landscape easement and Landscape easement agreement, acceptable to the City of Perris. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
 - Landscaping Plans.** Three (3) copies of a Site Responsibility Maintenance Exhibit shall be submitted prior to submitting the Landscape Plans for approval. This site plan shall be titled "Site Responsibility Maintenance Exhibit for DPR 22-00007" and identify, with different colors, each area and who will be responsible for the maintenance, such as LMD, HOA, or Privet, on the plans. Provide a legend with different colors for each area with square footage. Also show off-site trees, shrub, mow curb, irrigation controller with number of station and a quantity box for all. Three (3) copies of Construction Landscaping and Irrigation Plans for the off-site landscaping, including any medians or other landscape areas along the dedications shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of

Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. This landscape plan shall be titled "Off-site Landscape Plan for DPR22-00010" and shall be exclusive of any private property, on-site landscaping. Elements of the Landscape Plan shall include but not be limited to:

- a. **Landscape Limits** – Limits of right-of-way areas or easement areas, defined by concrete mow curb, fully dimensioned, that are to be annexed into the Landscape Maintenance District. A planting palette and hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; or if no such guidelines exist the design intent of neighboring development, as determined by the Engineering Administration and Special Districts Division, including:
- **Ramona Expressway** – Per 6.0-13 Streetscape Landscape design guidelines and planting pallet for Expressway and figure 6.0-3 of the PVCCSP for sizing and spacing requirements. Planting will complement the planting pallet east of this project along Ramona Expressway prior to Indian Ave. Primary trees: Platanus acerifolia London plane tree, secondary tree Lagerstroemia Indica Tonto Crape Myrtle, Olea Europaea Majestic Beauty Fruitless olive multi trunk in alternating Groups of three. Use of drought resistant shrubs and ground cover including but not limited to the following: Callistemon Viminalis Dwarf weeping bottle brush, Grevillea Noellii Noel Grevillea, Officinalis rosemarinus Hunting Carpet rosemary, Tulbaghia Violagea Tricolor Society Gralic.
 - **Existing Ramona Expressway median** - The proposed development will benefit from the existing landscape maintenance district facilities, including a raised landscape median on Ramona Expressway which will serve the existing development. Therefore, the project shall annex into a new Landscape District Benefit Zone and pay its fair share of the maintenance of the existing median facilities.
 - **Brennan Ave.** – Per 6.0.21 Streetscape Landscape design guidelines and planting pallet for Collector Road and Figure 6.0-9 of the PVCCSP for sizing and spacing requirements. The planting will consist of the following, Primary Trees: Platanus acerifolia London Plane. Use of drought resistant shrubs and groundcover including but not limited to the following: Yucca falaccida Gold Garland Yucca, Pennisetum alopecuroides Dwarf Fountain Grass, Lantana swllowiana Trailing Lantana, use of native boulders from Perris area.
 - **Ramona Expressway - To Include Class 1 Shared Use Bicycle Path.** Provide a shared use path, in accordance with the Design Guidelines provided in Section 4 "Mixed Use Tool Kit" of the City's Active Transportation Plan complete with mow curb, decomposed granite, and asphalt paving along roadway west/east of centerline. The configuration will approximate the following: 2' Decomposed Granite Pedestrian path (with 6" mow curb), 8' wide concrete path, 2' Decomposed Granite Pedestrian path (with 6" mow curb), and 6" mow curb. Total width of shared use path will be 12'. (Reference attached Ramona Expressway Typical Cross Section).
- b. **Irrigation** – A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas as determined by the Engineering Administration and Special Districts Division. Components shall include, but not be limited to Rainbird XBT-20PC w/ Diffuser, Salco or equal on flexible PVC risers, Sentry Guard Cable Guard and Union Guard, and backflow Wilkens Model 375 (or equal). Controller shall include an ET based controller with weather station that is centrally controlled capable and wi-fi ready (WeatherTrak ET Pro3 Smart Controller, or equal, with Rain Sensor). At the discretion of the Engineering Administration and Special Districts Division public landscape areas utilizing no more than 6 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and wi-fi ready, such as the Weathermatic System or

equal. Proposed system shall be complete with wireless weather station, aircard with flow, one year bundle service, blade antenna and flow sensor.

- c. **Benefit Zone Quantities** – Include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the district will be required to maintain.
- d. **Meters** – Each District is required to be metered separately. All electrical and water meters shall be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene and away from street intersections. Show location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for landscape district. Show location of water and electrical meter for flood control district. Show location of electrical meter for Traffic signal and street lighting district, on respective plans. Coordinate location of meters on landscape and civil engineering plan.
- e. **Controllers** - The off-site irrigation controllers are to be located within the right of way (preferably within the off-site landscape area). All point of connection equipment including irrigation controller pedestals, electrical meter pedestals, and backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Backflow preventers are to be screened on at least three sides with (5) gallon plant material. The fourth side shall be open to the back of the landscape area in order to allow the backflow cage to be opened without interference with plant materials. Backflow cages shall meet the required City of Perris Engineering Standards in effect at the time of approval.
- f. **Recycled Water** - If applicable. The project landscape architect shall coordinate with EMWD to verify if the site will be served with recycled water and design all irrigation and landscape plans to meet the requirements of EMWD and provide additional irrigation components as needed.
- g. **EMWD Landscape Plan Approval** – The project landscape architect shall submit a copy of all irrigation plans and specifications to EMWD for approval. The project landscape architect must confirm with EMWD that the plans have been approved by EMWD and submit written proof of approval by EMWD prior to the City approving the final Landscape Plans. Until the final landscape plan has been approved by the City of Perris, the maintenance areas depicted cannot be accepted by the City for maintenance. The developer shall coordinate both reviews to ensure acceptability of plans by both EMWD and the City of Perris, prior to approval by either agency.
- h. **Landscape Weed Barrier** - Weed cloth with a minimum expected life of 10-years shall be required under all gravel, rock, or cobble areas.
- i. **Wire Mesh and Gravel at Pull Boxes**- Provide wire mesh and gravel layer within valve boxes to prevent rodent intrusion.
- j. **Concrete Maintenance Band at Medians and Mortar Cobble turn Land** – Provide 12" wide concrete maintenance band (safety edge) around entire median. At turn pockets provide mortared cobble creek bed, round stone sized 6" to 12".

- k. **Perimeter Walls Graffiti Coating** – Provide anti-graffiti coating at all perimeter walls. Acceptable products shall include Vitrocem Anti-Graffiti Coating or equal.
4. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only “OFF-SITE” landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled at least two-working days (Monday through Friday) prior to actual inspection. Contact Public Works-Engineering Administration/Special Districts at (951) 657-3280 to schedule inspections.
- **Inspection #1** - Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
 - **Inspection #2** - Soil prepared, and plant materials positioned and ready to plant.
 - **Inspection #3** - Landscaping installed, irrigation system fully operational, and request for “Start of 1 year Maintenance Period” submitted, with all required turn-over submittal items provided to Public-Works Engineering Administration/Special Districts.
 - **Turn-Over Inspection**– On or about the one-year anniversary of Inspection #3, Developer shall call for an inspection to allow the City to review and identify any potential irrigation system defects, dead plants, weed, debris or graffiti; stressed, diseased, or dead trees; mulch condition, hardscape or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At his sole expense, the Developer shall be responsible for rectifying system and installation deficiencies, and the one-year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City’s Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the Inspector shall recommend to the City’s Special District Coordinator to accept turn-over of water and electrical accounts, wi-fi communication contracts and the entire landscape installation.
5. **One Year Maintenance and Plant Establishment Period**-The applicant will be required to provide a minimum of a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one-year maintenance period commences upon the successful completion of Inspection #3 discussed above, and final approval by the City. During this one-year period the applicant shall be required to maintain all landscape areas free of weeds, debris, trash, and graffiti; and keep all plants, trees, and shrubs in a viable growth condition. Prior to the start of the one-year maintenance period, the Developer shall submit a weekly Landscape Maintenance Schedule for the review and approval by the City’s Special Districts Division. City shall perform periodic site inspections during the one-year maintenance period. The purpose of these periodic inspections is to identify any and all items needing correction prior to acceptance by the City at the conclusion of the one-year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials, weeding, replenishment of mulches, repair of damaged or non-functioning irrigation components, test of irrigation controller communications, etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turn-over to City maintenance staff.
6. **Street/Off-Site Improvements.** The applicant shall submit street improvement plans, accompanied by the appropriate filing fee to the City Engineering Department. Details of treatments off-site improvements, including lighting shall meet both the City Engineer’s Design Guidelines, and the additional requirements of the Engineering and Special Districts Division. Components shall include, but not be limited to:
- a. **Street Lighting**-If Street lighting is required, lighting shall meet the type, style, color and durability

requirements, necessary for energy efficiency goals, maintenance and longevity of improvements of the City Engineer's Office. As determined by the City, new streetlights may be required to be deeded to City of Perris, and not SCE. Streetlights deeded to City of Perris shall be constructed per LS-3 account billing standard, which shall include an individually metered pedestal for streetlights.

- b. Acceptance By Public Works/Special Districts-** Lighting District facilities required by the City Engineer's Office shall be installed and fully operational and approved by final inspection by the City Engineer's Office, and the City's Consulting Traffic Signal Inspection Team (Riverside County TLMA) at (951) 955-6815. Prior to acceptance for maintenance of "Off-site" traffic signal and lighting facilities by the Public Works-Engineering and Administration Division/Special Districts, the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items. Prior to acceptance into Lighting District 84-1, coordinate turn-over information pertaining to Street Lights, and Traffic Signal Electrical/SCE Service Meters with Wildan Financial Services, the City's Special Districts Consulting Firm at (951) 587-3564. (i.e. Provide electrical meter number, photo of pedestal, and coordinate "request for transfer of billing information" with SCE and City for all new service meters). Developer shall pay 18-month energy charges to the City of Perris for all off-site street lighting. Call Wildan Financial Services, Inc. for amount due, and to obtain receipt for payment. Obtain and provide a clearance form from Riverside County TLMA indicating completion of all punch list items from traffic signal construction. Submit one large format photo-copy of Traffic Signal as-built plans and timing sheets.

- 7. Water Quality Management Plans.** The applicant shall submit a Preliminary and Final WQMP, accompanied by the appropriate filing fee to the Planning Department and City Engineering Department, respectively. Details for treatment control facilities shall meet both the Riverside County WQMP Design Guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce long term maintenance costs and longevity of improvements. Components shall include, but not be limited to:

 - **Storm Drain Screens-** If off-site catch basins are required by the City Engineer's Office, connector pipe screens shall be included in new catch basins to reduce sediment and trash loading within storm pipe. Connector pipe screens shall meet the type, style, and durability requirements of the Public Works Engineering Administration and Special Districts Division.
 - **WQMP Inspections-** The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both "ON-SITE" and OFF-SITE" WQMP Inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.
 - **Acceptance By Public Works/Special Districts-** Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the Final WQMP, shall be installed and fully operational, and approved by final inspection by the City's WQMP Consultant, CGRM. The Developer shall obtain a final Clearance Letter from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The developer shall deliver the same to the Public Works-Engineering and Administration Division/Special Districts. In addition, prior to acceptance by the City, the developer shall submit a Covenant and Agreement describing on-going maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works Engineering Administration and Special Districts Division. The Public Works Engineering Administration and Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.

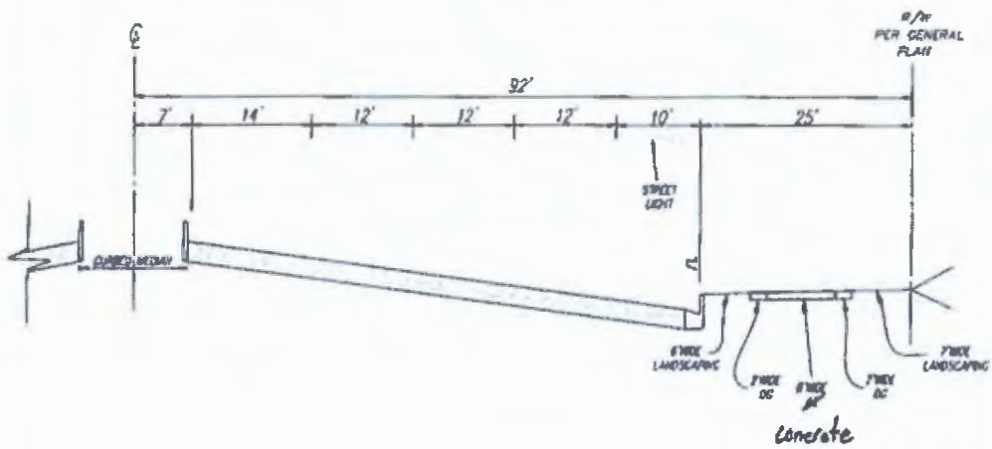
8. **Flood Control District #1 Maintenance Acceptance.** Flood Control District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office. Prior to acceptance for maintenance of "Off-site" flood control facilities by the Public Works-Engineering and Administration Division/Special Districts the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items including as-built storm drain plans in electronic PDF format, one large format photo-copy of as-built plans, storm drain video report in electronic format, and hardcopy of video report with industry standard notations and still photos made during video runs (i.e. facilities sizes, off-sets or damage, facility type, dirt and debris, etc.). The flood control facilities shall be turned over in a condition acceptable to the City, and the developer shall make all necessary repairs and perform initial maintenance to the satisfaction of the City.

The proposed development will benefit from existing "downstream" flood control facilities, including pipe, earthen or concrete channels, catch basins, etc. which serve the existing development. Therefore, the project shall annex into a new Flood Control District Benefit zone and pay its fair share for the maintenance of these downstream facilities.

9. **Assessment Districts.** Prior to permit issuance, developer shall deposit \$5,250 per district, \$15,750 total due. Payment is to be made to the City of Perris, and the check delivered to the City Engineer's Office. Payment shall be accompanied by the appropriate document for each district indicating intent and understanding of annexation, to be notarized by property owner(s):
- **Consent and Waiver for Maintenance District No. 84-1-New Street** lighting proposed by the project, as determined by the City Engineer
 - **Consent and Waiver for Landscape Maintenance District No. 1** – New off-site parkway landscape proposed by the project and pay fair share of median on Ramona Expressway and Brennan Ave.
 - **Petition for Flood Control Maintenance District No. 1** -For Off-site Flood Control Facilities proposed by the project, as determined by the City Engineer.
- Original notarized document(s) to be sent to:
Daniel Louie
Wildan Financial Services
27368 Via Industria, #200
Temecula, CA 92590
- a. Prior to final map recordation or final certificate of occupancy the developer shall annex into the aforementioned districts, posting an adequate maintenance performance bond to be retained by the City as required by the City Engineer. Upon receipt of deposit and Consent and Waiver Forms, the developer shall work with City to meet all required milestones for annexations.
 - i. City prepares the Engineer's Reports which includes a description of the improvements to be maintained, an annual cost estimate and annual assessment amounts.
 - ii. Reports are reviewed and approved by the property owner. The assessment ballots will be based on these Reports.

- iii. The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no sooner than 45 days. Property owner attendance at this City Council Meeting is not required.
- iv. The assessment ballots are sent to the property owner and are opened by the City Clerk at the close of the Public Hearing. With a "YES" vote by the property owner the City Council can move forward with the Resolution that Confirms the Annexation. Property owner attendance at this Public Hearing is not required.
- v. Confirmation by the City Council completes the annexation process, and the condition of approval has been met.

RAMONA EXPRESSWAY CROSS SECTION (EXPRESSWAY 184'/134')





Dennis Grubb and Associates, LLC

Assisting Cities Build Safe Communities

Fire Department Development Review Comments

April 28, 2022

City of Perris
Attn: Alfredo Garcia, Associate Planner
135 N. D Street
Perris, CA 92570-2200

Subject: Development Plan Review for DPR 22-00010

As requested, a review of the subject property was completed. The following conditions shall apply:

1. Evidence of sufficient fire flow of 4,000 GPM for 4-hours shall be provided to the City of Perris. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.
2. A stand alone fire department access plan is required. Provide a detailed fire department access plan that shows compliance with CFC 503 and City of Perris Access Guideline and all applicable subsections. At a minimum the access plan shall address the following items:
 - Width of the access road CFC 503.2.1
 - Identify the inside and the outside turning radius CFC 503.2.4
 - Identify the type of roadway (concrete, asphalt, pavers, etc.) and indicate the road capacity CFC 503.2.3
 - Indicate locations and details of "Fire Lane-No Parking" signs and/or red curbs. CFC 503.3
 - Indicate locations of all existing and/or proposed fire hydrants for the project CFC 507.5
 - Indicate if any gates will cross the fire department access road CFC 503.6
 - Provide City verbatim notes

Respectfully,

Lynne Pivaroff

SRC COMMENTS
***** BUILDING & SAFETY *****

Planning Case File No(s): DEVELOPMENT PLAN REVIEW #22-00010

Case Planner: Alfredo Garcia 951-943-5003 ext.

Applicant: Irwin Scott

Location: Southwest Corner of Brennan Ave. Ramona Expressway

Project: Proposal to consolidate two parcels to construct a 165,371 SF warehouse

APN(s): 303-020-0005, 303-020-022, 303-020-023, 303-020-024, & 303-020-025

Reviewed By: David J. Martinez, CBO

Date: 03-30-2022

BUILDING AND SAFETY CONDITIONS

1. Shall comply with the latest adopted State of California 2019 editions of the following codes as applicable:
 - A. 2019 California Building Code
 - B. 2019 California Electrical Code
 - C. 2019 California Mechanical Code
 - D. 2019 California Plumbing Code
 - E. 2019 California Energy Code.
 - F. 2019 California Fire Code
 - G. 2019 California Green Building Standards Code.
2. You will be required to provide proper fire access to the entire site.
3. The proposed development will have to comply with the new EV charging station regulations.
4. You will have to comply with the Title 24 and ADA Access regulations for the complex, and the entire site.
5. The proposed development structure can NOT be built across any property lines. The lots will have to be consolidated prior to any building permits being issued.
6. The proposed structure will have to have fire sprinklers

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

1. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off

FIRE CONDITIONS: To Be provided by Dennis Grubb

EXHIBIT B

Location / Aerial Map



EXHIBIT C

PVCCSP Specific Plan Land Use Map

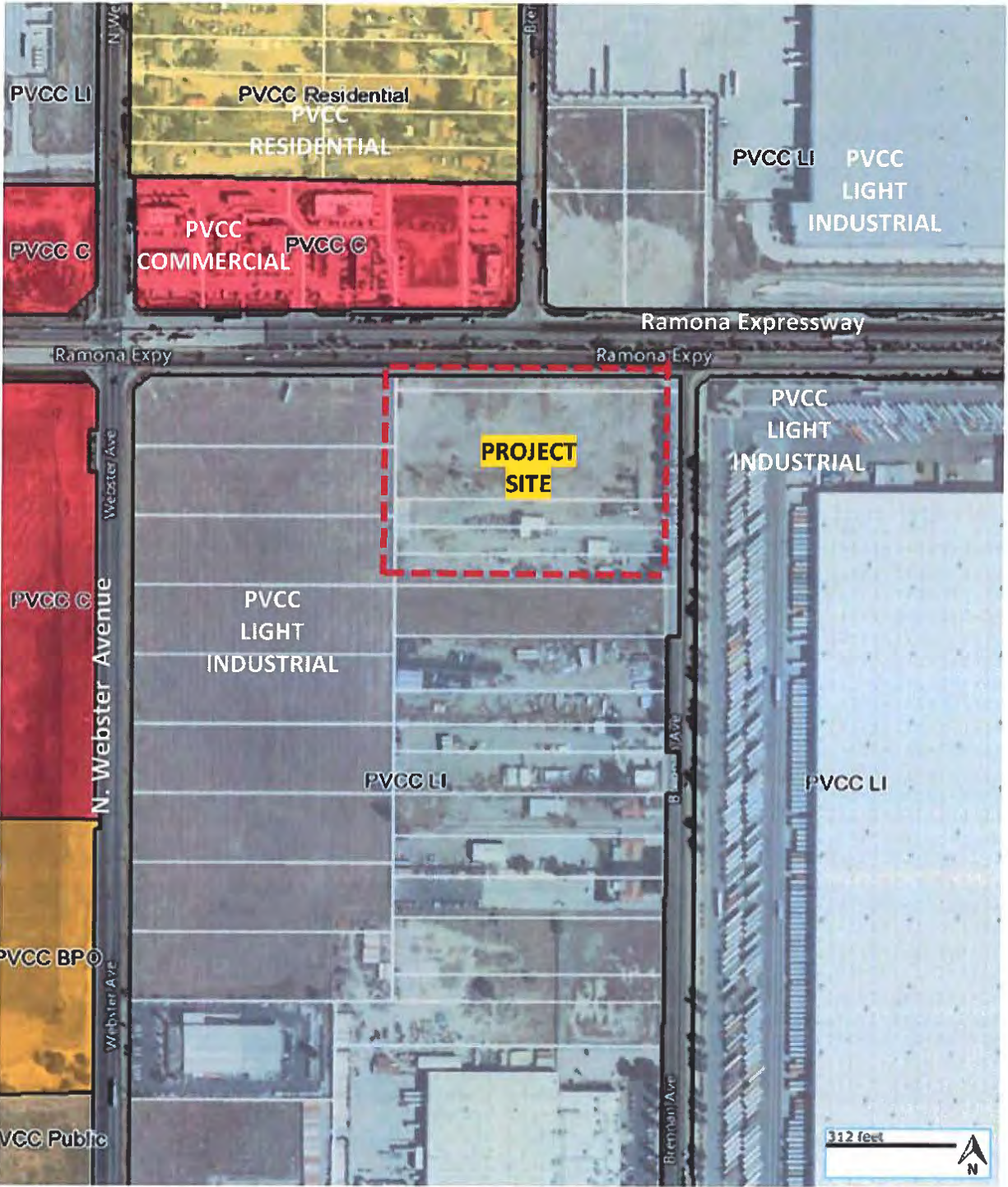


EXHIBIT D
Project Plans



LAND USE PLAN A



Owner:

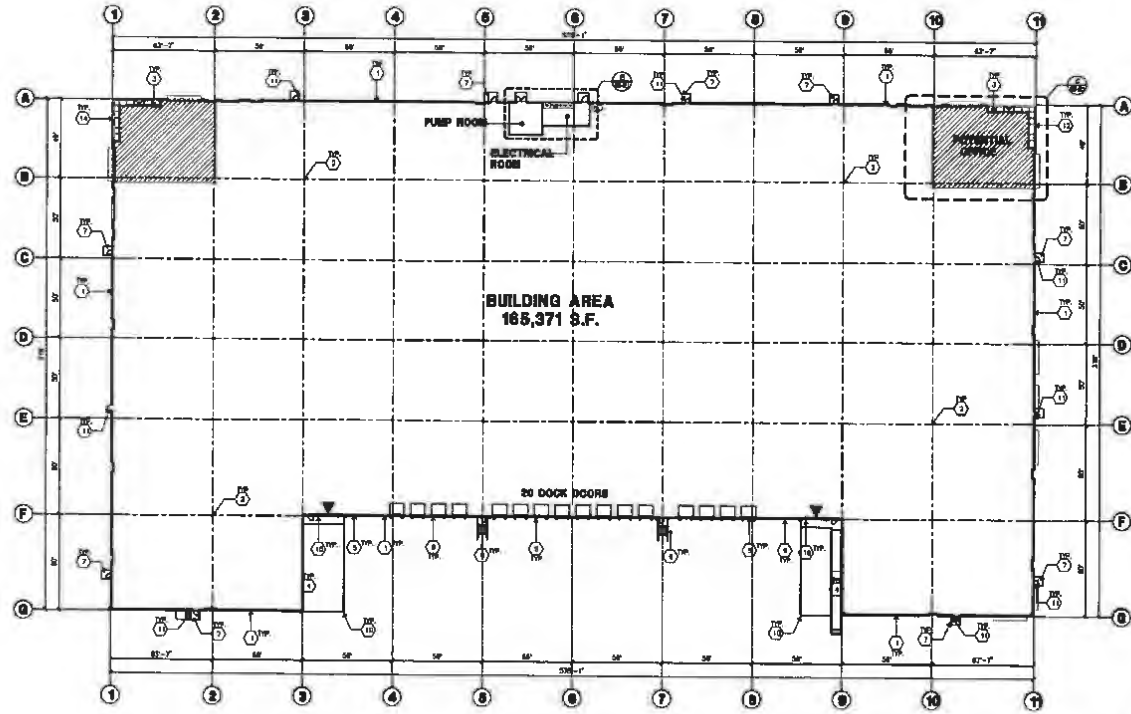


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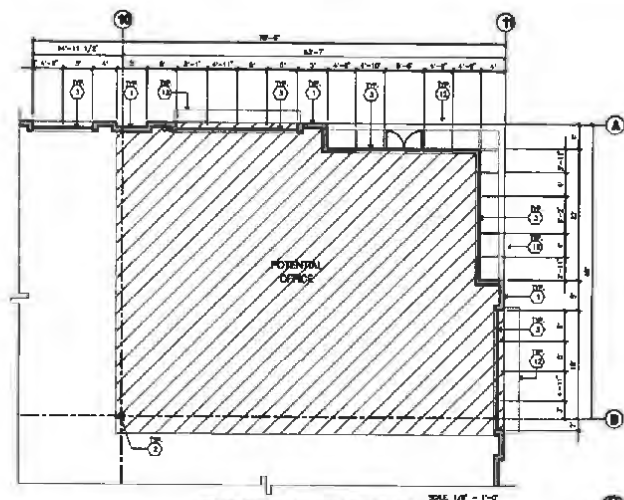
SEEFRIED PERRIS

Consultants:

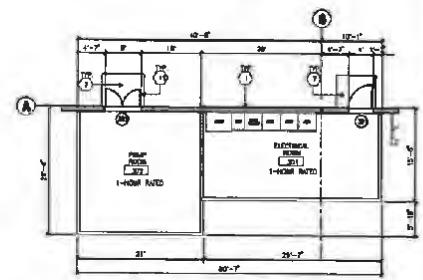
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FLOOR PLAN (A)
SCALE: 1/8" = 1'-0"



ENLARGED FLOOR PLAN - POTENTIAL OFFICE (C)
SCALE: 1/8" = 1'-0"



ENLARGED PLAN - PUMP ROOM & ELECTRICAL ROOM (B)
SCALE: 1/8" = 1'-0"

- 1. 12" x 12" CONCRETE COLUMN
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- 100. 12" x 12" CONCRETE COLUMN

HPA

SEEFRIED INDUSTRIAL PROPERTIES

Owner:

Project:

SEEFRIED PERRIS

Consultants:

DAB-A2.1



Owner:



Project:

SEERFED PERRIS

Consultants:

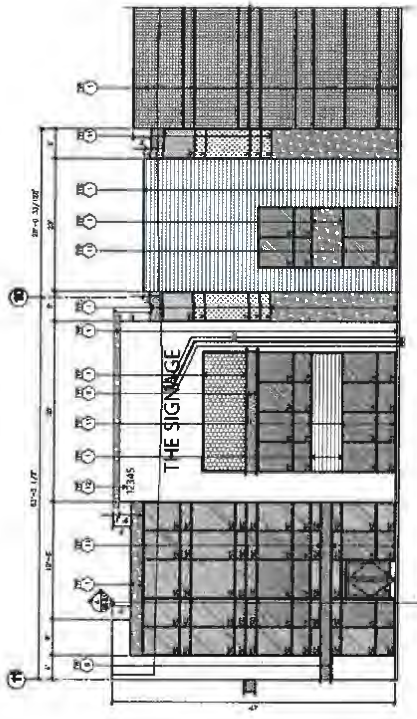
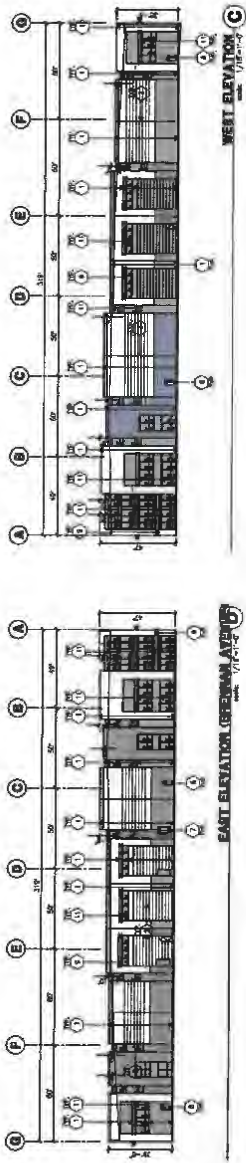
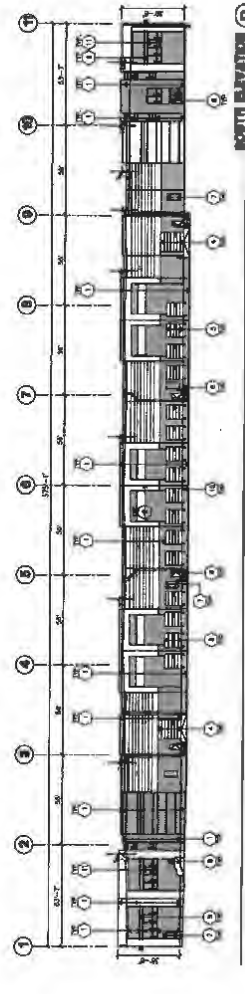
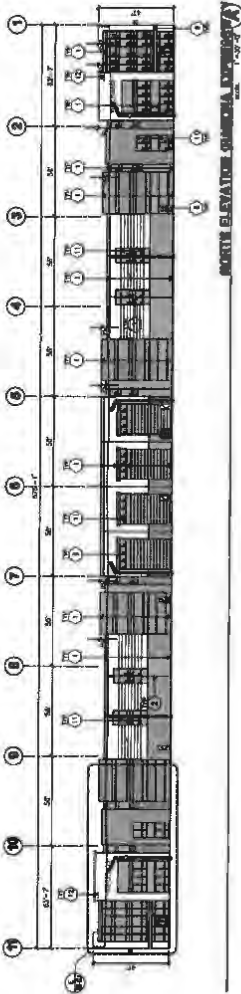
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- 1. GENERAL NOTES
- 2. FINISH SCHEDULE
- 3. WALLS
- 4. CEILING
- 5. FLOORING
- 6. DOORS
- 7. WINDOWS
- 8. SIGNAGE
- 9. PAINT
- 10. GLASS
- 11. METALS
- 12. LIGHTING
- 13. MECHANICAL
- 14. ELECTRICAL
- 15. PLUMBING
- 16. HVAC
- 17. SAFETY
- 18. ACCESSIBILITY
- 19. SCHEDULING
- 20. MATERIALS
- 21. FINISHES
- 22. COORDINATION
- 23. CONSTRUCTION
- 24. MAINTENANCE
- 25. OPERATIONAL
- 26. FINISHES
- 27. MATERIALS
- 28. FINISHES
- 29. MATERIALS
- 30. FINISHES

NO.	DESCRIPTION	FINISH
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2	CONCRETE PAINT	CONCRETE PAINT
3	CONCRETE POLISH	CONCRETE POLISH
4	CONCRETE STAIN	CONCRETE STAIN
5	CONCRETE SEALER	CONCRETE SEALER
6	CONCRETE COAT	CONCRETE COAT
7	CONCRETE GROUT	CONCRETE GROUT
8	CONCRETE ADHESIVE	CONCRETE ADHESIVE
9	CONCRETE REPAIR	CONCRETE REPAIR
10	CONCRETE PATCH	CONCRETE PATCH
11	CONCRETE FILLER	CONCRETE FILLER
12	CONCRETE SAND	CONCRETE SAND
13	CONCRETE GRAVEL	CONCRETE GRAVEL
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SEE ALL NOTES ON OTHER SHEETS OF THIS SET.

FOR MORE INFORMATION, CONTACT THE ARCHITECT.





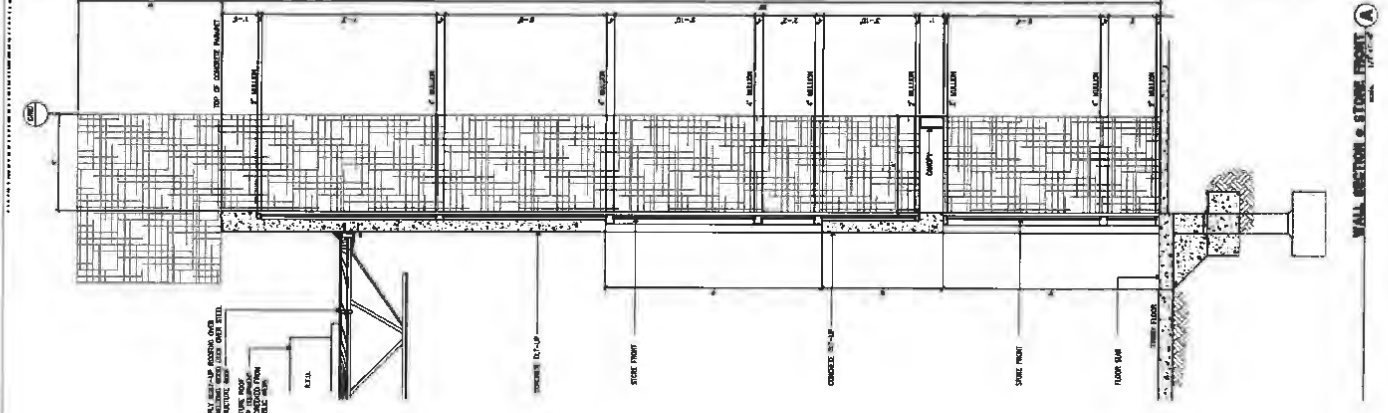
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SEEFRID PERUS
SUBSTRUCTURE

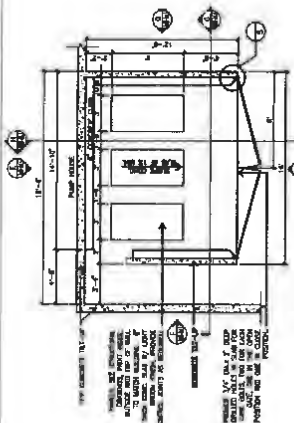
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Consultants:

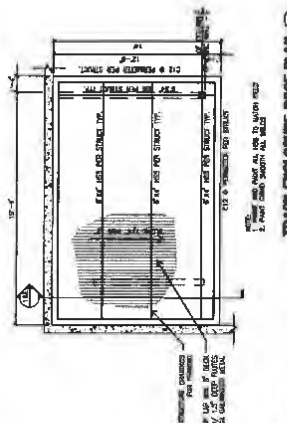
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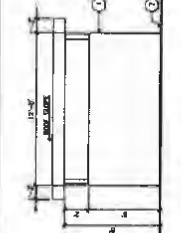
WALL SECTION & STAIR FRONT



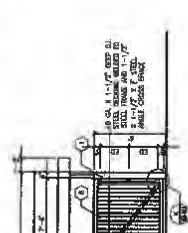
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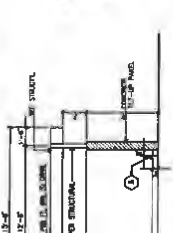
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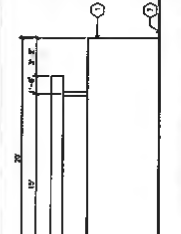
TRAIN ENCLOSURE ELEVATION



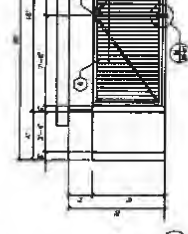
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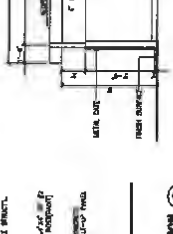
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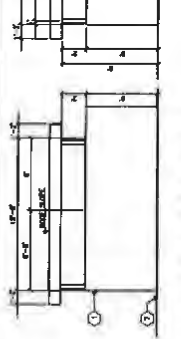
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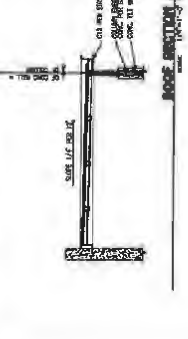
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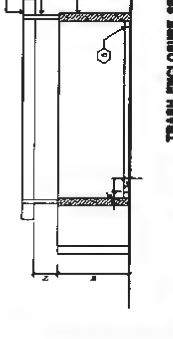
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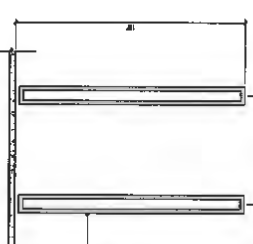
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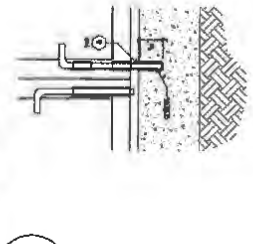
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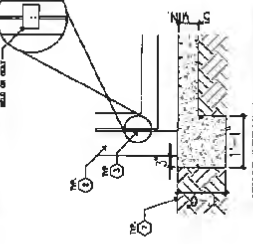
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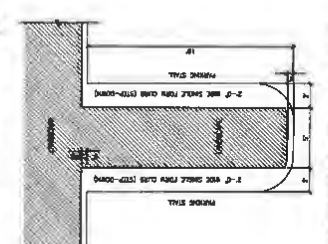
DOUBLE-TIERED AUTO PARKING STALLS



SLEEVE DETAIL



HINGE DETAIL/WALL FOOTING



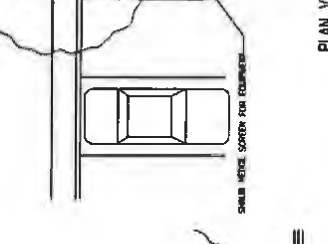
STEP-DOWN AT END PARKING STALL



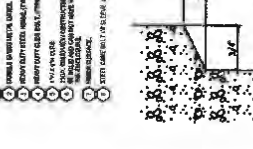
SINGLE WHEEL COVER FOR COMPACTOR



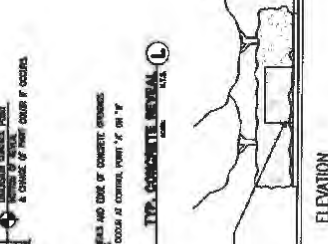
TYP. CONCRETE BEVEAL



ELEVATION



GROUND MOUNTED EQUIPMENT

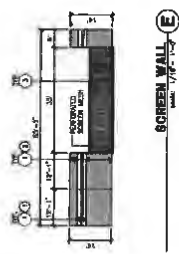
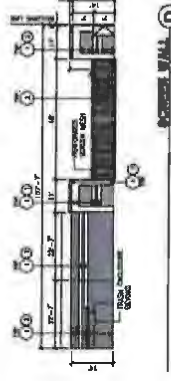
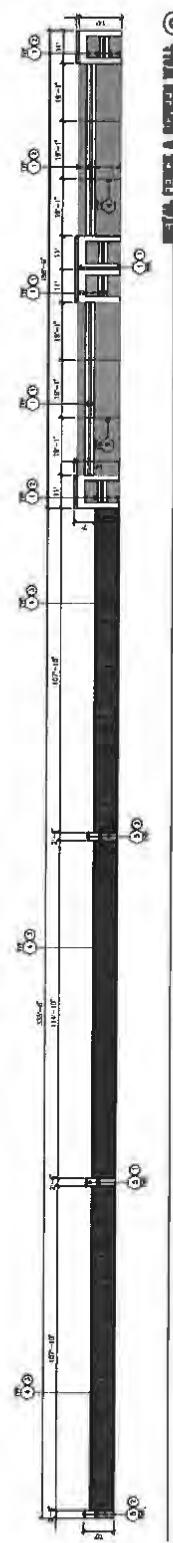
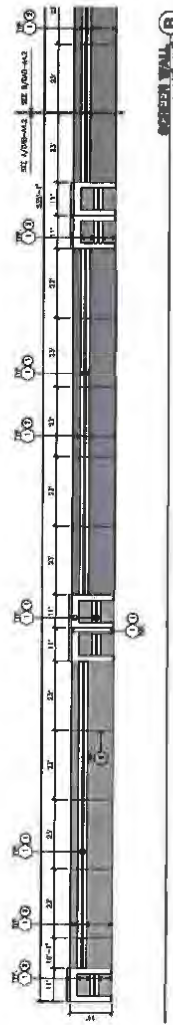
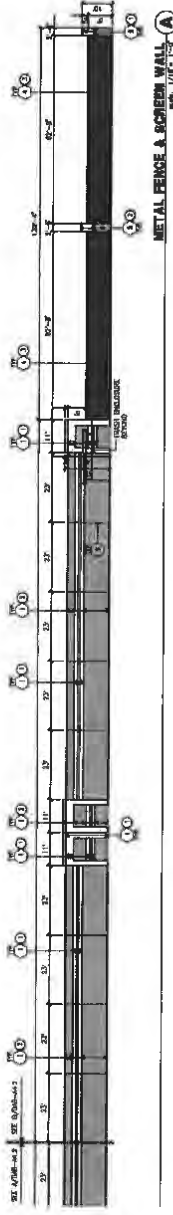


ELEVATION

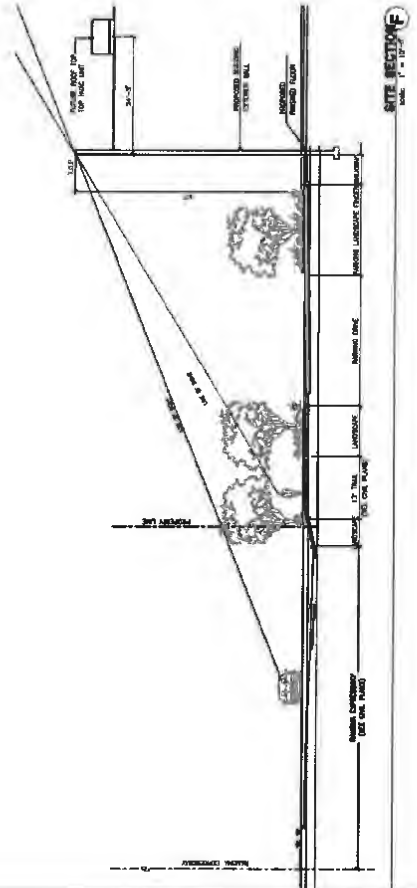
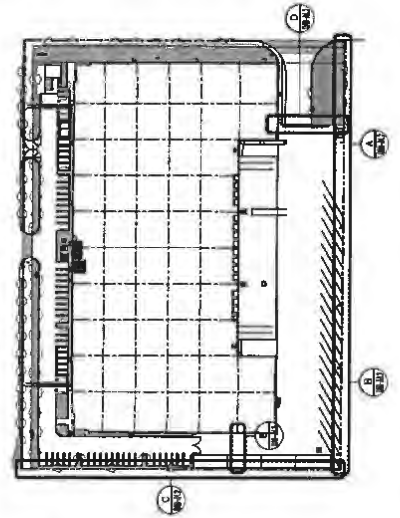
- NOTES:
1. FINISH CONCRETE SHALL BE 3000 PSI AND CURB OF CONCRETE FINISHES
 2. FINISH CONCRETE SHALL BE 3000 PSI AND CURB OF CONCRETE FINISHES
 3. FINISH CONCRETE SHALL BE 3000 PSI AND CURB OF CONCRETE FINISHES

PLAN VIEW

GROUND MOUNTED EQUIPMENT ELEVATION, TYP. (S)



- KEYMAP**
- 1. CONSIDER 2" TOP OVERLAP ON ALL JOINTS.
 - 2. USE 1/2" DIA. GALV. CAPS.
 - 3. USE 1/2" DIA. GALV. CAPS.
 - 4. USE 1/2" DIA. GALV. CAPS.
 - 5. USE 1/2" DIA. GALV. CAPS.
 - 6. USE 1/2" DIA. GALV. CAPS.
 - 7. USE 1/2" DIA. GALV. CAPS.
- SCREEN WALL**
- 1. CONSIDER 2" TOP OVERLAP ON ALL JOINTS.
 - 2. USE 1/2" DIA. GALV. CAPS.
 - 3. USE 1/2" DIA. GALV. CAPS.
 - 4. USE 1/2" DIA. GALV. CAPS.
 - 5. USE 1/2" DIA. GALV. CAPS.
 - 6. USE 1/2" DIA. GALV. CAPS.
 - 7. USE 1/2" DIA. GALV. CAPS.





Ramona EXPY. Elevation - North Elevation



West Elevation



South Elevation



BRENNAN AVE. Elevation - East Elevation

JOB# 21714



FREWAY COMMERCE CENTER

PERRIS, CALIFORNIA

Conceptual Color Elevations - 36' Clear

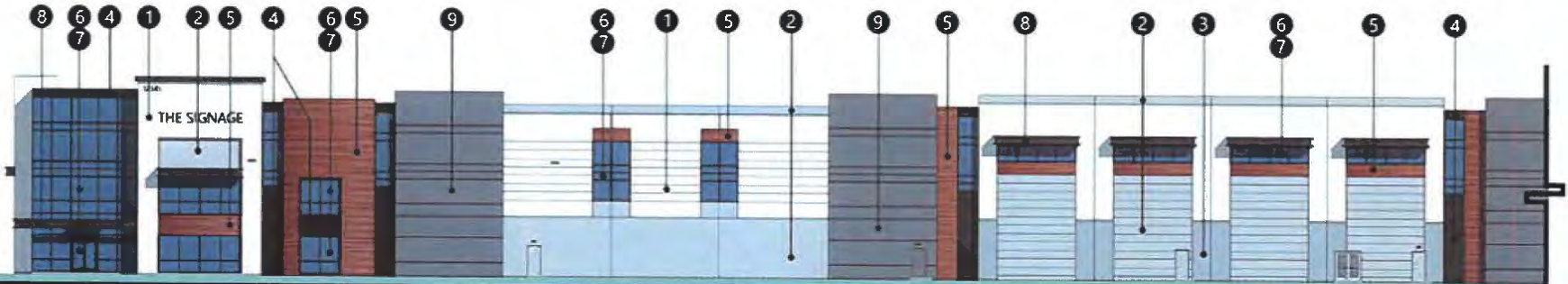




Ramona EXPY. Elevation - North Elevation



West Elevation



Enlarged View of Ramona EXPY. Elevation - North Elevation

EXHIBIT E

Public comments and Response to Comments

(due to the size of the files, responses to public comments can be found in section 2 of the Mitigated Negative Declaration 2373 located at the following webpage link):

<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-339>

EXHIBIT F

Initial Study / Mitigated Negative Declaration 2373

*(due to the size of the files, the documents are
located at the following webpage link):*

<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-339>

Planning Commission Agenda

CITY OF PERRIS

February 15, 2023

Item

7C

*Specific Plan Amendment (SPA) 21-05218,
Tentative Parcel Map 21-05219 (TPM-38292),
Development Plan Review (DPR) 21-00013,
Conditional Use Permit (CUP) 21-05216,
and Development Agreement (DA) 22-05297*



CITY OF PERRIS

PLANNING COMMISSION AGENDA SUBMITTAL

MEETING DATE:

February 15, 2023

SUBJECT:

Specific Plan Amendment (SPA) 21-05218, Tentative Parcel Map 21-05219 (TPM-38292), Development Plan Review (DPR) 21-00013, Conditional Use Permit (CUP) 21-05216, and Development Agreement (DA) 22-05297 – A proposal to consider the following entitlements to facilitate the construction of a 950,224 square-foot industrial facility and a commercial development consisting of the following: 1) Specific Plan Amendment to rezone 42.22 acres of a larger 49.17 acre site from Business Park Office (BPO) Zone and Commercial (C) Zone to Light Industrial (LI) Zone, and to remove a paper street from the Circulation Plan in the Perris Valley Commerce Center Specific Plan (PVCCSP); 2) Tentative Parcel Map to subdivide 49.17 acres into 8 parcels, ranging in size from 0.80 to approximately 42.22 acres; 3) Development Plan Review for the site plan and building elevations; 4) Conditional Use Permit to permit a vehicle fuel station with a convenience store, car wash, four drive-through establishments within the proposed commercial development; and 5) Development Agreement for specific project improvements and community benefits. (APNs: 317-120-021, 317-130-017, -021, -025 and -048. Applicant: Daniel Sachs of DECA Perris Land Co, LLC.

REQUEST:

Adopt Resolution 23-04 recommending that the City Council certify the Final Environmental Impact Report (SCH 2022040023), adopt the Mitigation and Monitoring and Reporting Program, and approve Specific Plan Amendment 21-05218, Tentative Parcel Map (TPM-38292), Development Plan Review 21-00013, and Development Agreement 22-05297 to facilitate the construction of a 950,224 square foot industrial distribution building, and a commercial development, based on the findings and the Conditions of Approval.

CONTACT:

Kenneth Phung, Director of Development Services

BACKGROUND

On April 20, 2022, the Planning Commission conducted a public Scoping meeting to review and discuss the preparation of an Environmental Impact Report for the subject site. The concerns brought up by the Planning Commissioners included reaching out to the public regarding the

Project, communicating with the Val Verde schools (Val Verde High School, Val Verde Academy, and Val Verde Regional Learning Center) adjacent to the project site, and preventing truck access on Ramona Expressway. In addition, two public members commented that they were concerned with truck traffic, greenhouse gas emissions, noise, and impact on the schools to the south of the site. Also, two members of the Labor International Union of North America (LIUNA) spoke in support of the Project as the developer has agreed to hire unionized workers that allow their workforce to remain in the area.

In response to the concerns, the applicant reached out to the schools adjacent to the site, and they now support the Project, as the developer worked with them to revise the site circulation to place truck traffic on Nevada Avenue, away from the drop-off and pick-up areas for the students on Morgan Street and Webster Avenue. They also agree to install a ten (10) foot-high wall along the property line between the school where auto parking is proposed and correct a drainage issue on the school site. In addition, the developer will make a \$200,000 contribution to the Val Verde High School's Career and Technical Education (CTE) Program and a contribution of \$27,000 to the Val Verde Academy to fund the garden modernization project as part of a Development Agreement (DA) for the Project. The DA also includes designing and constructing a "Welcome to Perris" sign to be located on the Ramona Expressway median and a contribution of \$776,634 to the City for purposes to be determined by the City, including but not limited to the Perris Downtown Skill Training & Job Placement Center. Additionally, the developer will also complete all the off-site improvements and backbone infrastructure for the commercial component and have at least one retail business in operation and open to the public prior to the occupancy permit of the industrial building.

In regards to the Planning Commissioners' concerns with preventing truck access on Ramona Expressway, the truck driveway configuration along Nevada precludes truck access on Ramona Expressway through the use of controls at the driveway that limits left in on Nevada Avenue, so access to the site would need to take place from the Freeway on Placentia Avenue, and then north along Frontage Road/Nevada Avenue to reach the truck loading area.

The applicant also reached out to the community via a flyer advertising that they plan to bring commercials along Ramona Expressway. They obtained 112 Perris residents in support of the Project's commercial component that currently has a Starbucks in the process for review.

In regards to the public comments regarding the environmental review, the Environmental Impact Report (EIR) concludes that all impacts have generally been reduced to less than significant or have been reduced to below the level of significance with the implementation of mitigation measures, except for impacts related to air quality, cumulative GHG emissions, and transportation, which have been identified as significant and unavoidable. As a result, adopting a Statement of Overriding Consideration would be required to approve the Project.

The project site consists of five (5) parcels totaling 49.17 acres. The site is presently vacant and undeveloped, and chain link fencing is located near the southwest corner of the site. The ground surface comprises exposed soil with moderate to dense non-native grass and weeds.

Surrounding uses include vacant property, entitled for commercial development across Ramona Expressway to the north, Val Verde Academy and Val Verde High School to the south, and vacant property to the west across Nevada Road and to the east across Webster Avenue.

PROJECT DESCRIPTION

The applicant is proposing an amendment to the Perris Valley Commerce Center Specific Plan (PVCCSP) to rezone 42.22 acres of a larger 49.17-acre site from Business Park Office (BPO) Zone and Commercial (C) Zone to Light Industrial (LI) Zone and to remove Dawes Street, a paper/unimproved street; a Tentative Parcel Map (TPM-38292) to subdivide the project site into eight (8) parcels; Development Plan Review for the site design and building elevations of a proposed warehouse distribution building; Conditional Use Permit to permit a vehicle fuel station with a convenience store, car wash, four drive-throughs establishments within a proposed commercial development; and 5) Development Agreement for specific project improvements and community benefits.

Following is a summary of the proposed development (Exhibit G):

1. *Commercial Development (Parcels 1 – 7):*

Parcels 1 through 7 comprise 6.95 acres, ranging in size from 0.80 to 1.67. It is on the northerly side of the site and has frontages on Ramona Expressway, Nevada Road, and Webster Avenue. It is proposed to remain commercially zoned for future commercial development. A conceptual site plan shows a total of four (4) drive-thru eating establishments, a multi-tenant retail building, a multi-tenant commercial building with a drive-thru, a vehicle fuel station with a convenience store, and a self-automated car wash, totaling 37,215 square feet. A total of 220 parking spaces are proposed to serve the commercial development.

Access is provided via a proposed primary signalized driveway along Ramona Expressway on the north side of the Project site, between Nevada Road and Webster Avenue. Driveway access is also provided on Nevada Road and Webster Avenue. Any future commercial development on proposed Parcels 1 through 7 would require the approval of a separate Administrative Development Plan Review. Future commercial uses would also need to be consistent with the Project specific environmental assessment. As a matter of information, a Preliminary Review Application for Starbucks is being processed by Planning Staff for Parcel 6.

2. *Industrial Development (Parcel 8):*

Parcel 8 consists of 42.22 acres and is in the rear of the site behind Parcels 1 – 7 with frontages on Webster Avenue and Nevada Road. It is proposed to be developed with a 950,224-square-foot refrigerated warehouse distribution facility consisting of a 90,000-square-foot storage mezzanine, a 10,000-square-foot office mezzanine, and an 850,000-square-foot warehouse area. A total of 124 loading dock doors and four (4) grade doors are proposed on the west and east sides of the building. A 14-foot-high decorative masonry screen walls will screen the loading area from Webster Avenue and Nevada Road. The project site will be served by 308 trailer parking spaces and 348 parking spaces, of which 68 spaces are located on the northerly side of the building and are identified as "service maintenance vehicle parking only."

Truck access to the loading area is proposed via the two most northerly driveways along Nevada Road. They are restricted to right-in/left-out turning movements. The two most southerly driveways on Webster Avenue and Nevada Road are only provided for passenger vehicle access.

3. *Development Agreement:*

The applicant has agreed to enter into a Development Agreement (DA) with the City to memorialize project negotiations and community benefits, including off-site public improvements; design and construction of a "Welcome to Perris" sign to be located on the Ramona Expressway median; contribution of \$776,634 to the City for purposes to be determined by the City, including but not limited to the Perris Downtown Skill Training & Job Placement Center; contribution of \$200,000 to the Val Verde High School's Career and Technical Education (CTE) Program; and contribution of \$27,000 to the Val Verde Academy to fund the garden modernization project. The developer will also complete all the off-site improvements and backbone infrastructure for the commercial component and have at least one retail business in operation and open to the public prior to the occupancy permit of the industrial building.

The term of the DA is for ten (10) years. The DA will be reviewed annually, on or before the anniversary date, to ascertain the developer's good faith and compliance with the provisions of the Agreement.

PROJECT ANALYSIS

The table below summarizes the Project's consistency with the General Plan, PVCC Specific Plan, Zoning Code, Title 18 Subdivision Code, and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.

	Consistent	Inconsistent
<p>Consistency with the General Plan</p> <p>The Project is in Planning Area 3 (Agricultural Conversion Area) of the General Plan, which allows for Agricultural Conversion Area for expansion of industrial and commercial opportunities due to the area's proximity to the I-215 freeway, other industrial and commercial land uses. As proposed, the Project will be consistent with the General Plan and will further the following General Plan Circulation Element goals:</p> <ul style="list-style-type: none"> ○ Goal II – A well-planned, designed, constructed, and maintained street and highway system that facilitates the movement of vehicles and provides safe and convenient access to surrounding developments. ○ Goal V - Efficient goods movement. <ul style="list-style-type: none"> - V.A.8: Require streets abutting properties in Light Industrial and General Industrial Zones to conform to standard specifications for industrial collector streets to accommodate the movement of heavy trucks. - V.A.8: Provide adequate off-street loading areas for all 	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Consistent	Inconsistent
commercial and manufacturing land uses.		
<p>Consistency with the Perris Valley Commerce Center (PVCC) Specific Plan and Zoning Code</p> <p>The project site is in the Commercial (C) Zone within the PVCC-SP, which is intended for intended for retail, professional office, and service-oriented business activities. The proposed amendment to the PVCC-SP to rezone 42.22 acres of a larger 49.17-acre site from Business Park Office (BPO) Zone and Commercial (C) Zone to Light Industrial (LI) Zone to facilitate a 950,224-square-foot, refrigerated warehouse distribution facility. The Commercial Zone of the remaining 6.95 acres is not proposed to change to be consistent with the zoning along the Ramona Expressway corridor. The proposed amendment will ensure the project site is developed in compliance with the LI and Commercial Zones as envisioned in the PVCCSP. With the requested zone change, the Project will be consistent with the General Plan, PVCC Specific Plan, and Zoning Code (Exhibit C).</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with Title 18 - Subdivisions</p> <p>The Project proposes to subdivide the 49.17-acre Project site into eight (8) parcels, totaling 6.95 acres. As Parcels 1 through 8 are proposed to be developed with a commercial complex and will be tied together by a Development Agreement and shared access and parking agreement to achieve superior site planning, the minimum lot standards requirements will be based on the lot area, lot width, and lot depth of the entire commercial complex. Thus, the lot area of 6.95 acres, lot and lot dimension are in compliance with the minimum lot standards of the requested LI Zone and the underlying C Zone of the PVCC Specific Plan. Therefore, the commercial complex will be consistent with the PVCC Specific Plan and Title 18 - Subdivisions.</p> <p>The map will also summarily vacate Dawes Street, a paper/unimproved street to facilitate the development of the proposed 950,224-square-foot warehouse building. Thus, the Project will be consistent with the PVCC Specific Plan and Title 18 – Subdivision Code (Exhibit F).</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB/IPA ALUCP)</p> <p>The Project site is located within Zone C1 (Primary Approach/Departure Zone) of the MARB/IPA ALUCP. Compatibility Zone C-1, which is considered to have a moderate to high noise impact and is mostly within the 60 dBA CNEL contour boundary (Exhibit D). The proposed Project was analyzed by the Airport Land Use Commission (ALUC) on December 15, 2022 for</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Consistent	Inconsistent
consistency with the C-1 Zone, and was determined to be conditionally consistent with the MARB/IPA ALUCP.		

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

The table below summarizes compliance with the PVCCSP Development Standards for the Light Industrial Zone and Chapter 19.69 – Parking Development Standards of the Zoning Code.

Perris Valley Commerce Center Specific Plan Light Industrial Zone - Development Standards					
	Standard		Proposed	Consistent	Inconsistent
Lot Coverage	50 percent maximum		46.2 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>
FAR (Floor Area Ratio)	0.75		0.51	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Lot Size	15,000 square feet		49.17 acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building Height	50 feet		48 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Setbacks	Front Yard: East – Nevada Rd West – Webster Ave	20 feet 25 feet	261 feet 300 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Interior Side Yards: North South	0 feet	111.8 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Landscape Coverage	12 percent		12.83 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Parking Standards Chapter 19.69 – Parking Development Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Industrial Building	Warehouse: 950,224 s.f. 20,000 s.f. (1space/1000 s.f.)	20 spaces	348 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	20,000 – 40,000 s.f. (1 space /2000 s.f.)	10 spaces			
	Over 40,000 s.f. (1 space/5000 s.f.)	182 spaces			
Total Parking		212 spaces	348 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Parking			136 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The table below summarizes compliance with the PVCCSP Development Standards for the Commercial Zone and Chapter 19.69 – Parking Development Standards of the Zoning Code

Perris Valley Commerce Center Specific Plan Commercial Zone - Development Standards					
	Standard		Proposed	Consistent	Inconsistent
Lot Coverage	50 percent maximum		12.29 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>
FAR	0.75		0.12	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building Height	45 feet		26 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Setbacks	Front Yard: Ramona Expressway	15 feet	15 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Street Side Yards East – West –	5 feet 10 feet	28 feet 45 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rear Yard (South)	0 feet	70 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Landscape Coverage	10 percent		18 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Parking Standards Chapter 19.69 – Parking Development Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Commercial Buildings	Community Shopping Center 1 space/200 floor area	186 spaces	220 spaces *including 24 EV spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Parking		186 spaces	220 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Parking			34 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS

- Building Elevations**

Industrial Development

The proposed building elevations reflect the current contemporary industry standard and style for concrete tilt-up construction. The design incorporates a combination of varying rooflines, cornice treatment, vertical and horizontal windows, decorative stone, and intermittent recessed panels, along with vertical elements to create a contrasting aesthetic design, which is also in compliance with the Perris Valley Commerce Center Specific Plan design standards. The entry areas include recess paneling to provide additional articulation in the vertical plane. The proposed color palette combines grey shades, white, and a greenish hue, "Cityscape" to create contrast and complement the entire building. The combination of various colors, articulating footprint, variable roof height, enhanced cornice treatments,

windows, etc., provides visual interest to the building. Rooftop equipment will be screened and not visible from adjacent streets (Exhibit G).

Commercial Development

The proposed conceptual building elevations reflect modern commercial architecture. The general concept for the center offers a linear design that emphasizes building fenestration with a strong presence along the street frontage. There are limited prominent features, such as a tower accent entry element. Several different materials are proposed, such as Belcrest blended brick, stucco, polished concrete accents, metal trellis work over secondary and primary entries, and cementitious wood siding. The colors for the building range from Natural Tan Functional Gray and Perfect Griege light gray. Each building is conditioned to go through the Administrative Development Plan Review process to ensure each commercial building complies with the provisions of the PVCC-SP (Exhibit G)

- **Employee Amenity and Recreation area**

Buildings over 100,000 square feet must have at least one (1) indoor employee amenity and two (2) outdoor employee amenities. The proposed Project includes two outdoor amenity areas: a landscaped concrete lunch patio, a seating area covered with a trellis structure, and horseshoe/bocce ball sand courts. These outdoor amenities are located south of the site for employee convenience and privacy. An indoor amenity area, including a ping pong table or bean bag toss, is proposed on the northwest corner of the building. As proposed, the project amenities comply with the requirements of the Code (Exhibit G).

- **Landscaping**

The proposed conceptual landscape plan conforms to the Landscaping Ordinance's requirements. The proposed on-site landscaping area totals approximately 54,291 square feet, or 18 percent of the commercial site. The industrial component of the Project consists of 236,011 square feet or 12.83 percent of landscape coverage. The entire site has a rich palette of ground cover, shrubs, trees, and accent trees at the entry points throughout the project site. Plans show a harmonious blend of plant materials to soften the hard corners of Nevada and Webster Avenues, where they intersect at Ramona Expressway. Landscaping has been provided throughout the parking areas, adjacent to the buildings, and trash enclosure areas. (Exhibit G).

- **Fencing/Walls**

A 10-foot high split face block wall with a CMU cap in natural color is proposed along the southern property line shared with the adjacent Val Verde High School and the Val Verde Regional Learning Center. This wall has no end caps, and pilasters are not depicted on the wall detail. A condition of approval is recommended requiring the wall to include decorative endcaps and that every 100 feet, a pilaster must be erected as part of the wall. The wall must also be stepped to 3 or feet along the street frontages to allow for visibility of oncoming vehicles.

A 14-foot-high decorative block wall is proposed along Nevada Road (west side) and Webster Avenue (east side) to screen the truck parking and loading area from the adjacent public right-of-way. The return walls along each side of the access gates must also be 14 feet, and a condition of approval is included requiring the return walls to be 14 feet in height.

Additionally, staff is conditioning the gates to include a perforated metal mesh to be installed behind the gates to obscure visibility into the loading areas.

- **Circulation**

Truck traffic will be restricted to the truck routes adopted by the City Council in August 2022. As such, truck access shall be limited to I-215/Placentia Avenue Interchange, Frontage Road and Nevada Avenue only. Truck access to and from Webster Avenue, Ramona Expressway and Perris Boulevard is prohibited.

ENVIRONMENTAL CONSIDERATIONS AND CEQA PROCESS

An Environmental Impact Report (EIR-SCH 2022040023) has been completed in compliance with the California Environmental Quality Act (CEQA) Guidelines (Exhibit J). The EIR concludes that all impacts have generally been reduced to less than significant or have been reduced to below the level of significance with the implementation of mitigation measures, except for impacts related to air quality, cumulative GHG emissions, and transportation, which have been identified as significant and unavoidable. Adoption of a Statement of Overriding Consideration would be required in order to approve the Project.

A Notice of Availability for the DRAFT EIR was sent to property owners within 300 feet of the Project site, tribes, agencies, and interested parties. The notice 45-day public comment review period started on October 28, 2022, and ended on December 12, 2022. Staff received one comment letter from the South Coast Air Quality Management District (SCAQMD) on the Draft EIR regarding the analysis approach and modeling assumptions used in the air quality analysis. A written response to AQMD comments was provided ten days prior to the Planning Commission meeting, explaining that comments related to the PVCC-SP Final EIR would not be appropriate as it was adopted in January 2012. Additionally, because the PVCC-SP Final EIR was prepared at a programmatic level, a mitigation measure requires individual projects to prepare a Health Risk Assessment (HRA) to identify project-specific impacts resulting from the use of diesel trucks. The HRA was prepared for this Project and is included in Appendix C2 of the Draft EIR. It concluded that the Project will not cause a significant human health or cancer risk to adjacent workers or sensitive receptors. Therefore, the comment letter does not identify any significant new environmental issues or impacts that have not already been addressed in DEIR (Exhibit H).

PUBLIC HEARING NOTICE:

A Notice of Public Hearing for the Planning Commission meeting was published in the local newspaper and sent to agencies and property owners within 300 feet of the project site. As of the writing of the staff report, staff received letters from businesses, entities, schools, and the general public in support of the Project. (Exhibit I)

- Val Verde High School and Academy Principal
- Val Verde School District Director, Facilities, Contracts & Purchasing
- 112 Perris residents in support of the commercial component of the Project
- Perris Valley Chamber of Commerce, Chairman of the Board
- Lynch Group, Allen Lynch, owner of the retail site with Starbucks tenant
- Alabassi Construction & Engineering, owner of the retail site with Shell gas & convenience store.

RECOMMENDATION:

Recommend to the City Council adoption of Resolution 23-04 recommending certification of the Draft Environmental Impact Report (SCH 2022040023), adoption of the Mitigation and Monitoring and Reporting Program, and approval of the Specific Plan Amendment (SPA) 21-05218, Tentative Parcel Map 21-05219 (TPM-38292), Development Plan Review (DPR) 21-00013, Conditional Use Permit (CUP) 21-05216, and Development Agreement (DA) 22-05297 to facilitate the construction of a 950,224 square foot industrial warehouse distribution building, and the 37,215 square foot commercial development, based on the findings and the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: There is no fiscal impact associated with this Project since all project costs are borne by the applicant.

Prepared by: Douglas Fenn, Contract Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Resolution 23-04 Approving Conditions of Approval (Planning, Engineering, Public Works, Fire, Community Services, and Building & Safety) and Development Agreement
- B. Location/Aerial Map
- C. PVCC-SP Land Use Map
- D. MARB/IPA ALUCP Map
- E. Existing and Proposed Modifications to Applicable PVCCSP Figures Dawes Street (Figure 2.0-1 Specific Plan Land Use Designation Map, Figure 3.0-1 Circulation Plan Map, Figure 3.0-4)
- F. Tentative Parcel Map
- G. Project Plans (Site Plan, Fire Access Site Plan, Floor Plan, Building Elevations, Site Cross Sections, Conceptual Landscape/ Fence and Wall Plans, and Colors and Materials Sample Sheet)
- H. Public Comments and Response to Comments
Due to the size of the file, the documents are available online at:
<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-330>
- I. Public Comment Letters – Support of the Project
- J. Draft Environmental Impact Report (SCH:2022040023), along with "Statement of Overriding Consideration," Mitigation Monitoring and Reporting Program, Associated Technical Studies.
Due to the size of the files, the documents are available online at:
<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-330>

Consent:
Public Hearing: X
Business Item:

Presentation:
Other:

EXHIBIT A

Reso 23-04 with Conditions of Approval
(Planning, Engineering, Public Works, Fire,
Community Services, and Building & Safety)
and Development Agreement

RESOLUTION NUMBER NO. 23-04

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE SPECIFIC PLAN AMENDMENT 22-05218, TENTATIVE PARCEL MAP 38292, DEVELOPMENT PLAN REVIEW 21-00013, CONDITIONAL USE PERMIT 21-05216, AND DEVELOPMENT AGREEMENT 22-05297 - PROPOSAL TO CONSIDER THE FOLLOWING ENTITLEMENTS TO FACILITATE THE CONSTRUCTION OF A 950,224-SQUARE FOOT-WAREHOUSE FACILITY AND A 37,215 SQUARE FOOT COMMERCIAL CENTER. 1) SPECIFIC PLAN AMENDMENT TO REZONE 42.22 ACRES OF A LARGER 49.17 ACRE SITE FROM BUSINESS PARK OFFICE (BPO) ZONE AND COMMERCIAL (C) ZONE TO LIGHT INDUSTRIAL (LI) ZONE, AND TO REMOVE A PLANNED/UNIMPROVED STREET, DAWES AVENUE, FROM THE CIRCULATION PLAN IN THE PERRIS VALLEY COMMERCE CENTER SPECIFIC PLAN (PVCCSP); 2) TENTATIVE PARCEL MAP TO SUBDIVIDE 49.17 ACRES INTO 8 PARCELS, RANGING IN SIZE FROM 0.80 TO APPROXIMATELY 42.22 ACRES; 3) DEVELOPMENT PLAN REVIEW FOR THE SITE PLAN AND BUILDING ELEVATIONS; 4) CONDITIONAL USE PERMIT TO PERMIT A VEHICLE FUEL STATION WITH A CONVENIENCE STORE, CAR WASH, FOUR DRIVE-THROUGHS ESTABLISHMENTS WITHIN THE PROPOSED COMMERCIAL DEVELOPMENT; AND 5) DEVELOPMENT AGREEMENT FOR SPECIFIC PROJECT IMPROVEMENTS AND COMMUNITY BENEFITS. BASED UPON THE FINDINGS HEREIN AND SUBJECT TO CONDITIONS OF APPROVAL.

WHEREAS, the project applicant, Daniel Sachs, of Deca, Perris Land Co, LLC., proposes to construct a 950,224 square-foot, refrigerated warehouse distribution facility and commercial development: 1) Specific Plan Amendment to rezone 42.22 acres of a larger 49.17-acre site from Business Park Office (BPO) Zone and Commercial (C) Zone to Light Industrial (LI) Zone, and to remove a planned/unimproved street, Dawes Avenue, from the Circulation Plan in the Perris Valley Commerce Center Specific Plan (PVCCSP); 2) Tentative Parcel Map to subdivide 49.17 acres into eight (8) parcels, ranging in size from 0.80 to approximately 42.22 acres; 3) Development Plan Review for the site plan and building elevations; 4) Conditional Use Permit to permit a vehicle fuel station with a convenience store, car wash, four drive-throughs establishments within the proposed commercial development; and 5) Development Agreement for specific project improvements and community benefits; and

WHEREAS, Specific Plan Amendment (SPA) 22-05218, Tentative Parcel Map (TPM) 38292, Development Plan Review (DPR) 20-00013, Conditional Use Permit (CUP) 21-05216, and Development Agreement (DA) applications were submitted for consideration to amend

the PVCCSP Circulation Plan to remove Dawes Avenue and for the Project consideration regarding architectural design, site layout, and

WHEREAS, the proposed SPA 22-05218, TPM-38292, DPR 20-00013, CUP 21-05216 and Development Agreement 22-05297 (“Project”) are considered a “project” as defined by the California Environmental Quality Act (“CEQA”); and

WHEREAS, an Environmental Impact Report (State Clearing House No. 202105) was prepared for the Project and was publicly reviewed for a forty-five (45) day period in accordance with CEQA, from December 22, 2021, to February 7, 2022; and

WHEREAS, the Airport Land Use Commission (“ALUC”) conducted a hearing on December 15, 2022, to consider the Project’s consistency with the C1 Zone and determined that the Project is conditionally consistent with the MARB/IPA ALUCP; and

WHEREAS, a duly noticed public hearing was scheduled for February 15, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, before acting, the Planning Commission has heard, been presented with, and reviewed all of the information and data which constitutes the administrative record for the entitlement approvals, including all oral and written evidence presented to the City by members of the public and City staff during all Project meetings and hearings; and

WHEREAS, all other legal prerequisites to adopting this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS does resolve as follows:

Section 1. The above recitals are all true and correct and incorporated herein by reference.

Section 2.

- A. An Environmental Impact Report (SCH 2022040023) has been completed in compliance with the California Environmental Quality Act (CEQA) Guidelines. The EIR concludes that all impacts have generally been reduced to less than significant or have been reduced to below the level of significance with the implementation of mitigation measures, except for impacts related to air quality, cumulative GHG emissions, and transportation, which have been identified as significant and unavoidable. Adoption of a Statement of Overriding Consideration would be required in order to approve the Project.

Staff received one comment letter from the South Coast Air Quality Management District (SCAQMD) on the Draft EIR regarding the analysis approach and modeling assumptions used in the air quality analysis. A written response to AQMD comments was provided ten days before the Planning Commission meeting explaining that comments related to the PVCC-SP Final

EIR would not be appropriate as it was adopted in January 2012. Additionally, because the PVCC-SP Final EIR was prepared at a programmatic level, a mitigation measure requires individual projects to prepare a Health Risk Assessment (HRA) to identify project-specific impacts resulting from the use of diesel trucks. The HRA was prepared for this project and is included in Appendix C2 of the Draft EIR. It concluded that the Project will not cause a significant human health or cancer risk to adjacent workers or sensitive receptors. Therefore, the comment letter does not identify any significant new environmental issues or impacts that have not already been addressed in DEIR;

- B. The City has complied with CEQA.
- C. Determinations of the Planning Commission reflect the independent judgment of the City.

Section 3. Based upon the preceding, the Environmental Impact Report (SCH 2022040023), and all oral and written communication submitted by members of the public and City staff to the Planning Commission on February 15, 2023, public hearing (including, but not limited to, all staff reports and supporting exhibits), the Planning Commission further finds the following:

Specific Plan Amendment 22-05218

- A. *The Specific Plan Amendment is consistent with the General Plan Land Use Map and applicable General Plan objectives, policies, and programs.*

The proposed amendment to the Circulation Plan of the Perris Valley Commerce Center Specific Plan (“PVCCSP”) is consistent with the General Plan in that the General Plan Land Use will remain within the PVCCSP and is located within the General Plan area designated as planning Area 3: Agricultural Conversion Area which is generally made up of commercial and industrial land uses.

In addition, the proposed Specific Plan Amendment promotes Goal III of the General Plan Land Use Element, Goals II and V, and Policies V.A and VIII.B of the General Plan Circulation Element:

Goal III (Land Use Element): Commerce and industry to provide jobs for residents at all economic levels of both industrial and commercial retail sectors.

Goal II (Circulation Element): A well-planned, designed, constructed, and maintained street and highway system that facilitates the movement of vehicles and provides safe and convenient access to surrounding developments.

Goal V (Circulation Element): Efficient goods movement.

Policy V.A (Circulation Element): Provide for the safe movement of goods along the street and highway.

Policy VIII.B (Circulation Element): Identify Transportation System Management (TSM) strategies to mitigate traffic impacts and maintain the desired level of service along the street and highway system.

B. The Specific Plan provides adequate text and diagrams to address the following issues in detail adequately:

- 1. The distribution, location, and extent of the land use of land, including open space, within the area covered by the Plan.*
- 2. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the Plan and needed to support the land use described in the Plan.*
- 3. Standards and criteria by which development will proceed and standards for the conservation, development, and utilization of natural resources, where applicable.*
- 4. A program of implementation measures, including regulation, programs, public works projects, and financing measures necessary to carry out the provisions contained in paragraphs 1, 2, and 3 above.*

The Specific Plan Amendment proposes to 1) Amend the Circulation Plan of the PVCCSP to remove an existing paper street to facilitate the proposed industrial warehouse project and commercial center and will not impact existing land uses, including living open space within the PVCCSP. The following maps have been revised to reflect the removal of the street and land use change from the PVCCSP:

- Specific Plan Land Use Designation Map
- Circulation Plan Map

Chapters 4.0 – On-Site Design Standards and Guidelines, 5.0 – Off-Site Design Standards and Guidelines, 6.0 – Landscape Standards and Guidelines, 8.0 – Industrial Design Standards and Guidelines, provide adequate text and diagrams, and standards and criteria by which the proposed development will proceed, including standards for conservation, development, and utilization of natural resources, where applicable. The Specific Plan Amendment does not propose to change or revise any text or diagrams in these Chapters. As noted above, the Specific Plan Amendment proposes to modify Chapter 3 – Infrastructure Plan, to remove Dawes Avenue, the paper street on the Project site, from those maps where it is shown. The road will be vacated to facilitate the proposed industrial warehouse project.

Chapter 13 – Implementation and Administrative Process of the PVCCSP establishes a program of implementation measures, including regulation, programs, and financing measures necessary to carry out the provisions contained in paragraphs 1, 2, and 3 above. Chapter 3 – Infrastructure Plan of the PVCCSP outlines public works projects within the PVCCSP with text and diagrams intended to guide and support development in the PVCCSP. As noted above, the project requires the removal of a paper street detailed in

several of the Figures contained within Chapter 3 to facilitate the proposed vacation of the street that will occur in connection with the proposed industrial warehouse project.

Tentative Parcel Map (TPM 38292)

A. The proposed map is consistent with the applicable General Plan and Specific Plans.

The Project proposes a Tentative Map to subdivide the 6.95 commercial into seven (7) parcels ranging in approximate size from .80 to 1.67 acres. The remaining 43+/- acre parcel is for the industrial warehouse and commercial site. The map is consistent with the minimum lot size requirement of 15,000 square feet in the Light Industrial (LI) and minimum one-acre lot size for Commercial (C) Zones to facilitate the construction and operation of construction of a 950,224-square foot-warehouse facility and a 37,215 square-foot commercial center. . The Project site is also located in the area designated as Planning Area 3: Agricultural Conversion Area, of the City of Perris General Plan, which notes that the largest land use category within this Planning Area is Commercial, and Light Industrial, and that due to the area's proximity to Interstate I-215, the cargo airport, other industrial and commercial land uses, and an existing rail line along the western edge, future development should be planned to expand industrial and commercial opportunities.

B. The site is physically suitable for the type and density of the proposed development.

As noted above, the Project proposes a vested tentative parcel map to subdivide the 6.95 commercial into seven (7) parcels ranging in approximate size from .80 to 1.67 acres, and the remaining 43+/- acre parcel is for the industrial warehouse and commercial site. The Project has been designed to be consistent with all applicable Code requirements for industrial projects located in the LI and C Zone of the PVCCSP, including lot coverage, floor area ratio, height, setbacks, landscaping, and parking, as noted in the staff report.

C. That the map's design or the type of improvements will not cause substantial environmental damage or unavoidably injure fish or wildlife or their habitat.

The potential environmental impacts associated with the Project were evaluated in Environmental Impact Report (SCH 2022040023). It has been determined that all possible effects of the Project on biological resources will be reduced to less than significant levels.

D. The map's design or the type of improvements will not cause serious public health problems.

An Environmental Impact Report (EIR-SCH 2022040023) has been completed in compliance with the California Environmental Quality Act (CEQA) Guidelines. The EIR concludes that all impacts have generally been reduced to less than significant or have been reduced to below the level of significance with the implementation of mitigation measures, except for impacts related to air quality, cumulative GHG emissions, and transportation, which have been identified as significant and

unavoidable. A written response to AQMD comments was provided ten days prior to the Planning Commission meeting, explaining that comments related to the PVCC-SP Final EIR would not be appropriate as it was adopted in January 2012. Additionally, because the PVCC-SP Final EIR was prepared at a programmatic level, a mitigation measure requires individual projects to prepare a Health Risk Assessment (HRA) to identify project-specific impacts resulting from the use of diesel trucks. The HRA was prepared for this project and is included in Appendix C2 of the Draft EIR. It concluded that the Project will not cause a significant human health or cancer risk to adjacent workers or sensitive receptors. Therefore, including the Statement of Overriding Considerations in the FIER that all impacts have been reduced to below the level of significance with the implementation of the mitigation measure, and adoption

Development Plan Review 21-00013 and Conditional Use Permit (21-05216)

- A. *The location, size, design, density, and intensity of the proposed development and improvements are consistent with the City's General Plan, any applicable Specific Plans, the purposes and provisions of this Title, the purposes of the zone in which the site is located, and the development policies and standards of the City.*
 - B. *The subject site is physically suitable, including but not limited to parcel size, shape, access, and availability of utilities and services, for the type of development proposed.*
 - C. *The proposed development and the conditions under which it would be operated or maintained are compatible with abutting properties. They will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.*
1. The location, size, design, density, and intensity of the proposed development and improvements are consistent with the City's General Plan, the Perris Valley Commerce Center Specific Plan, PVCCSP, the purposes and provisions of the P.M.C., the purposes of the Zones in which the site is located, and the development policies and standards of the City.

The proposed location of the Development Plan Review (DPR) and Conditional Use Permit (CUP) projects is in accordance with the objectives of the DPR and CUP provisions of the City's Zoning Code in that the proposed commercial buildings are desirable for the community and appropriate use that provides a new area for the public to shop and work and ensure compatibility with surrounding uses and protect the aesthetics and public, health and welfare of the community.

2. The proposed plan is consistent with the City's General Plan and conforms to all Specific Plans, zoning standards, applicable subdivision requirements, and other ordinances and resolutions of the city.

The proposed DPR and CUP are consistent with the City's General Plan, meet the intent of the PVCCPSP, and conform to applicable provisions of the City's Zoning regulations in that appropriate conditions of approval have been developed to ensure that the user operates according to City policies and regulations to protect the public health and welfare.

3. The proposed location of the DPR and CUP and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.
4. A traffic signal will be constructed at the mid-point of the project site where it fronts Ramona Expressway, which will help provide safe access /exit to the site. The traffic study for the project concluded that all the study area intersections are anticipated to operate at acceptable levels of service after the Project is operating.
5. The project's future gasoline station (under separate ADPR) will dispense, store, and handle gasoline, diesel, diesel exhaust fluids, biodiesel fuels, and oil during the course of daily operations. These types of hazardous materials are subject to regulation by the Department of Environmental Health of the Riverside County Community Health Agency and to other local, state, and federal laws and guidelines that ensure proper/safe transport, storage, and use of hazardous materials, generation of hazardous waste, and treatment of any potentially hazardous materials and waste incidents. With mandatory regulatory compliance with federal, State, and local laws, potentially hazardous materials impacts associated with the long-term operation of the Project would be less than significant, and mitigation is optional.
6. The architecture proposed is compatible with community standards and protects the character of adjacent development across the street at the northeast corner of Ramona Expressway and Webster Avenue.

The project proposes an architecturally enhanced building commercial center concept with varying roofline angles and heights, steel canopy awnings, frosted glass building elements, and glass storefront components. Colors on the façades range from brown and grey and white hues, which creates a modern yet warm palette and meets the development standards of the PVCCSP Commercial Zone.

7. The landscaping plan ensures visual relief and an attractive environment for the public's enjoyment.

Section 4. Based upon the preceding, the Draft Environmental Impact Report follows the CEQA Guidelines. The 45-day public comment review period started on October 28, 2022, and ended on December 12, 2022. The potential impacts associated with the project were evaluated in the Draft Environmental Impact Report (SCH: 2022040023) and have generally been reduced to less than significant levels., except for impacts related to air quality, cumulative GHG emissions,