



CITY OF PERRIS PLANNING COMMISSION

AGENDA

March 15, 2023

City Council Chambers
Meeting to convene at 6:00 P.M.
101 North "D" Street
Perris, CA 92570

1. **CALL TO ORDER:**

2. **ROLL CALL:**

Commissioners: Jimenez, Gomez, Lopez,
Chair Hammond, Vice-Chair Shively

3. **PLEDGE OF ALLEGIANCE:** Commissioner Jimenez

4. **PRESENTATION:**

5. **CONSENT CALENDAR:**

A. Planning Commission Minutes for February 15, 2023

6. **PUBLIC HEARING:**

A. Conditional Use Permit (CUP) 22-05100 – A proposal to construct a 3,831 square-foot drive-through restaurant (Raising Cane's) on 1.42 acres, located at the southeast corner of Nuevo Road and Old Nuevo Road within the Commercial Community Zone (APN:311-050-002). **Applicant:** John Pollock, Kimley-Horn Associates, Inc.

REQUESTED ACTION: Adopt Resolution No. 23-05 finding the Project Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-Fill Development Projects); and approving CUP 22-05100 based on the findings and subject to the Conditions of Approval.

(continued from March 01, 2023)

- B.** Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), and Development Plan Review 20-00021 – A proposal to consider the following entitlements to facilitate the construction of a 254,511-square-foot industrial warehouse building on a 12.60-acre site, located on the east side of Redlands Avenue between E. Rider Street and Placentia Avenue, in the Perris Valley Commerce Center Specific Plan (PVCCSP): 1) Specific Plan Amendment to remove a paper/unimproved street from the Circulation Plan of the PVCCSP; 2) Tentative Parcel Map to merge six (6) parcels into one (1) parcel; and 3) Development Plan Review for the site plan and building elevations. (APNs: 300-210-006, -007, -008, -026, -027 and -028). Applicant: Michael Johnson of Lake Creek Industrial, LLC.

REQUESTED ACTION: Adopt Resolution 23-07 recommending that the City Council adopt Mitigated Negative Declaration No. 2358 and the Mitigation Monitoring and Reporting Program, and approve Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), and Development Plan Review 20-00021 to facilitate the construction of a 254,511-square-foot industrial warehouse building, based on the findings and the Conditions of Approval.

(continued from March 01, 2023)

- C.** Tentative Parcel Map No. 38410 (PLN22-05124) – A proposal to subdivide 14.14 acres into three (3) lots for finance and conveyance purposes, located on the northeast corner of Goetz Road and Ethanac Road. Applicant: Matthew Villalobos, Green Valley Recovery Acquisition, LLC.

REQUESTED ACTION: Adopt Resolution No. 23-06, finding the project is consistent with the Second Addendum to the Final EIR of the Green Valley Specific Plan (GVSP), pursuant to Sections 15162 and 15315 (Minor Land Divisions) of the CEQA Guidelines; , and approving Tentative Parcel Map No. 38410 (PLN22-05124), based on the findings and subject to the Conditions of Approval.

- D.** Development Plan Review 21-00018 - A proposal to construct a 37-unit condominium community on 1.82 acres. The project site is located on the east side along G street at the terminus of E. 2nd Street, within the Urban Village (UV) Zone of the Perris Down Town Specific Plan (DTSP). APN: 310-070-001 and 002. Applicant: Winston Liu of W&W Land Design Consultants, Inc.

REQUESTED ACTION: Adopt Resolution No. 23-08, finding the project is Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-fill Development Projects); and approving DPR 21-00018, based on the findings and subject to the Conditions of Approval.

7. BUSINESS ITEM:

9. PUBLIC COMMENTS:

Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, and spell your last name and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.

LISTENING ASSISTIVE DEVICES are available for the hearing impaired or language translation – please see the Commission Secretary. The City of Perris wishes to make all its public meetings accessible to the public. Upon request, this agenda will be made available in appropriate alternative formats to persons in need of language translation or disabilities as required by 42 U.S.C. 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requests a modification or accommodation in order to participate in a meeting should direct such request to 951-943-2003 x256 at least 72 hours before the meeting, if possible.

In compliance with the Americans with Disabilities Act and Government Code Section 54953(g), the City Council has adopted a reasonable accommodations policy to swiftly resolve accommodation requests. The policy can also be found on the City's website. Please contact the City Clerk's Office at (951) 943-6100 to make an accommodation request, or to obtain an electronic or printed copy of the policy.

10. COMMISSION MEMBERS ANNOUNCEMENTS OR REPORTS:

11. DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:

12. ADJOURNMENT

Planning Commission Agenda

CITY OF PERRIS

March 15, 2023

Item

6A

***Planning Commission Minutes for
February 15, 2023***

CITY OF PERRIS

MINUTES:

Date of Meeting: February 15, 2023

06:03 PM

Place of Meeting: City Council Chambers

1. **CALL TO ORDER:**

2. **ROLL CALL:** Commissioners: Lopez, Jimenez, Gomez, Chair Hammond, and Vice-Chair Shively

Commissioners Present: Chair Hammond, Vice-Chair Shively, Commissioners: Jimenez and Lopez

Absent: Gomez

City Staff Present: Director of Development Services Kenneth Phung, Planning Manager Patricia Brenes, Assistant City Attorney Vargas, City Engineer Pourkazemi, Associate Planner L. Garcia, Associate Planner A. Garcia, and Contract Planner Douglas Fenn

3. **INVOCATION:**

4 **PLEDGE OF ALLEGIANCE:**

The Pledge of Allegiance was led by Commissioner Lopez

5. **PRESENTATION:** None

6. **CONSENT CALENDAR:**

A. Planning Commission Minutes for January 18, 2023

Chair Hammond opened the item for Public Comments - There were no Public Comments

The Chair called for a motion.

M/S/C: Moved by Commissioner Lopez, seconded by Commissioner Jimenez to Approve Item 6A. Planning Commission Minutes for January 18, 2023

AYES: Commissioner Lopez, Commissioner Jimenez, Vice Chair Shively, Chair Hammond.

NOES:

ABSENT: Commissioner Gomez.

ABSTAIN:

7. **PUBLIC HEARING:**

- A. Modification of Conditions of Approval 22-05325 – A proposal to modify conditions of approval related to truck access along Redlands Avenue for a 324,147 square foot industrial building, previously approved under DPR 19-00016. The 16.25-acre project site is located on the southeast corner of Redlands Avenue and Rider Street, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCC-SP). APNs: 300-210-001,002,003, -004 and -005. Applicant: Oscar E. Valadez of Albert A. Webb Associates.

REQUESTED ACTION: Adopt Resolution No. 23-02 approving the revised Planning and Engineering Conditions of Approval.

Associate Planner Garcia presented the item.

The Following Commissioners Spoke:

Commissioner Lopez
Commissioner Jimenez
Vice-Chair Shively
Chair Hammond

The Chair called for a motion.

M/S/C: Moved by Commissioner Jimenez, seconded by Commissioner Lopez to Approve Item 7A. with a change to the following City Engineering Conditions of Approval: 1) COA #11. The northerly driveway on Redlands Avenue shall be designated for auto access only and shall be restricted to right-in/right-out and **left-in only**; and 2) COA #13. **The widths and lengths of the left turn lane pockets in Redlands Avenue to the project site's auto access and truck access shall be designed by a Traffic Engineer, per Caltrans standards; and approved by the City Engineer** - Modification of Conditions of Approval 22-05325 – A proposal to modify conditions of approval related to truck access along Redlands Avenue for a 324,147 square foot industrial building, previously approved under DPR 19-00016. The 16.25-acre project site is located on the southeast corner of Redlands Avenue and Rider Street, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCC-SP).

APNs: 300-210-001,002,003, -004 and -005. Applicant: Oscar E. Valadez of Albert A. Webb Associates.

REQUESTED ACTION: Adopt Resolution No. 23-02 approving the revised Planning and Engineering Conditions of Approval.

AYES: Commissioner Lopez, Commissioner Jimenez, Chair Hammond.

NOES: Vice Chair Shively.

ABSENT: Commissioner Gomez

ABSTAIN:

- B.** Development Plan Review 22-00010 - A proposal to construct a 165,371-square-foot warehouse/distribution facility on 7.5 acres. The project site is located on the southwest corner of Ramona Expressway and Brennan Avenue, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCC-SP). APNs: 303-020-005, -022, -023, -024 and -025. Applicant: Dan Bick of Seefried Industrial Properties.

REQUESTED ACTION: Adopt Resolution No. 23-03, adopting the Mitigated Negative Declaration No. 2373 and the Mitigation Monitoring and Reporting Program, and approve Development Plan Review 22-00010 to allow construction of a 165,371 square foot industrial, based on the findings and subject to the Conditions of Approval.

Associate Planner Garcia presented the Item.

The Following Commissioners Spoke:

Commissioner Lopez

Commissioner Jimenez

Vice-Chair Shively

Vice Hammond

Chair opened the item for Public Comments: there were no public comments.

The Chair called for a motion.

M/S/C: Moved by Vice Chair Shively, seconded by Commissioner Lopez to Approve Item 7B. Development Plan Review 22-00010 - A proposal to construct a 165,371-square-foot warehouse/distribution facility on 7.5 acres. The project site is located on the southwest corner of Ramona Expressway and Brennan Avenue, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center

Specific Plan (PVCC-SP). APNs: 303-020-005, -022, -023, -024 and -025. Applicant: Dan Bick of Seefried Industrial Properties.

REQUESTED ACTION: Adopt Resolution No. 23-03, adopting the Mitigated Negative Declaration No. 2373 and the Mitigation Monitoring and Reporting Program, and approve Development Plan Review 22-00010 to allow construction of a 165,371 square foot industrial, based on the findings and subject to the Conditions of Approval.

AYES: Commissioner Lopez, Commissioner Jimenez, Vice Chair Shively, Chair Hammond.

NOES:

ABSENT: Commissioner Gomez

ABSTAIN:

- C. Specific Plan Amendment (SPA) 21-05218, Tentative Parcel Map 21-05219 (TPM-38292), Development Plan Review (DPR) 21-00013, Conditional Use Permit (CUP) 21-05216, and Development Agreement (DA) 22-05297 – A proposal to consider the following entitlements to facilitate the construction of a 950,224 square-foot, warehouse distribution facility and a commercial development: 1) Specific Plan Amendment to rezone 42.22 acres of a larger 49.17 acre site from Business Park Office (BPO) Zone and Commercial (C) Zone to Light Industrial (LI) Zone, and to remove Dawes Avenue, a planned/unimproved street, from the Circulation Plan in the Perris Valley Commerce Center Specific Plan (PVCCSP); 2) Tentative Parcel Map to subdivide 49.17 acres into 8 parcels, ranging in size from 0.80 to approximately 42.22 acres; 3) Development Plan Review for the site plan and building elevations; 4) Conditional Use Permit to permit a vehicle fuel station with a convenience store, car wash, four drive-throughs establishments within the proposed commercial development; and 5) Development Agreement for specific project improvements and community benefits. (APNs: 317-120-021, 317-130-017, -021, -025 and -048. Applicant: Daniel Sachs of DECA Perris Land Co, LLC.

REQUESTED ACTION: Adopt Resolution 23-04 recommending that the City Council certify the Final Environmental Impact Report (SCH 2022040023), adopt the Mitigation and Monitoring and Reporting Program, and approve Specific Plan Amendment 21-05218, Tentative Parcel Map (TPM-38292), Development Plan Review 21-00013, and Development Agreement 22-05297 to facilitate the construction of a 950,224 square foot industrial distribution building, and a commercial development, based on the findings and the Conditions of Approval.

Contract Planner Fenn Presented the Item

The Following Commissioner Spoke:

Commissioner Jimenez
Vice-Chair Shively
Chair Hammond

Public Speakers:

Rumzi Alabbasi
Omar Cobain Speaker
Stacy Dedeaux
Allen Lynch
Allen Robertson

The Chair called for a motion.

M/S/C: Moved by Chair Hammond, seconded by Vice Chair Shively to Approve Item 7C. Specific Plan Amendment (SPA) 21-05218, with the recommendation to change the following **1) Work with staff on replacing the proposed accent color 2) Replace the date-palm tree with a different accent tree; and 3) Provide lightning on accent trees along Ramona Expressway** - Tentative Parcel Map 21-05219 (TPM-38292), Development Plan Review (DPR) 21-00013, Conditional Use Permit (CUP) 21-05216, and Development Agreement (DA) 22-05297 – A proposal to consider the following entitlements to facilitate the construction of a 950,224 square-foot, warehouse distribution facility and a commercial development: 1) Specific Plan Amendment to rezone 42.22 acres of a larger 49.17 acre site from Business Park Office (BPO) Zone and Commercial (C) Zone to Light Industrial (LI) Zone, and to remove Dawes Avenue, a planned/unimproved street, from the Circulation Plan in the Perris Valley Commerce Center Specific Plan (PVCCSP); 2) Tentative Parcel Map to subdivide 49.17 acres into 8 parcels, ranging in size from 0.80 to approximately 42.22 acres; 3) Development Plan Review for the site plan and building elevations; 4) Conditional Use Permit to permit a vehicle fuel station with a convenience store, car wash, four drive-throughs establishments within the proposed commercial development; and 5) Development Agreement for specific project improvements and community benefits. (APNs: 317-120-021, 317-130-017, -021, -025 and -048. Applicant: Daniel Sachs of DECA Perris Land Co, LLC.

REQUESTED ACTION: Adopt Resolution 23-04 recommending that the City Council certify the Final Environmental Impact Report (SCH 2022040023), adopt the Mitigation and Monitoring and Reporting Program, and approve Specific Plan Amendment 21-05218, Tentative Parcel Map (TPM-38292), Development Plan Review 21-00013, and Development Agreement 22-05297 to facilitate the construction of a 950,224 square foot industrial distribution building, and a commercial development, based on the findings and the Conditions of Approval.

AYES: Commissioner Jimenez, Vice Chair Shively, Chair Hammond.

NOES: Commissioner Lopez.

ABSENT: Commissioner Gomez.

ABSTAIN:

8. BUSINESS ITEM:

9. **PUBLIC COMMENTS:** Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, and spell your last name and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission. LISTENING ASSISTIVE DEVICES are available for the hearing impaired or language translation – please see the Commission Secretary. The City of Perris wishes to make all its public meetings accessible to the public. Upon request, this agenda will be made available in appropriate alternative formats to persons in need of language translation or disabilities as required by 42 U.S.C. 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requests a modification or accommodation in order to participate in a meeting should direct such request to 951-943-2003 x256 at least 72 hours before the meeting, if possible. In compliance with the Americans with Disabilities Act and Government Code Section 54953(g), the City Council has adopted a reasonable accommodations policy to swiftly resolve accommodation requests. The policy can also be found on the City’s website. Please contact the City Clerk’s Office at (951) 943-6100 to make an accommodation request or to obtain an electronic or printed copy of the policy.

10. COMMISSION MEMBERS’ ANNOUNCEMENTS OR REPORTS:

The Following Commissioner Spoke:

Commissioner Lopez
Commissioner Jimenez
Vice Chair Shively
Chair Hammond

11. DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:

Planning Manager Brenes
Director Phung

12. **ADJOURNMENT COVID-19 REMOTE PUBLIC COMMENT/CITIZEN PARTICIPATION** With the intent of adhering to the new community guidelines from the Center for Disease Control, the City of Perris will allow for remote public comment and participation at the upcoming Planning Commission meeting via Zoom. Public Comment is limited to three (3) minutes.

Chair Hammond adjourned the regular planning commission meeting

Planning Commission Agenda

CITY OF PERRIS

March 15, 2023

Item

7A

***Conditional Use Permit
(CUP) 22-05100***



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

- MEETING DATE:** March 15, 2023
- SUBJECT:** Conditional Use Permit (CUP) 22-05100 – A proposal to construct a 3,831 square-foot drive-through restaurant (Raising Cane's) on 1.42 acres, located at the southeast corner of Nuevo Road and Old Nuevo Road within the Commercial Community Zone (APN:311-050-002).
Applicant: John Pollock, Kimley-Horn Associates, Inc.
- REQUESTED ACTION:** Adopt Resolution No. 23-05 finding the Project Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-fill Development Projects); and approving CUP 22-05100 based on the findings and subject to the Conditions of Approval.
- CONTACT:** Kenneth Phung, Director of Development Services

BACKGROUND

The 1.42-acre project site area is vacant and part of a larger 4.79-acre parcel located generally at the southeast corner of Nuevo Road and Old Nuevo Road. The site is also comprised of a 0.28-acre segment of Old Nuevo Road with a curb, gutter, sidewalk, and excess right of way immediately to the north of the site. Old Nuevo Road and the excess right of way are remnant areas from the construction of Nuevo Road expansion and are no longer needed for vehicular access. Any construction on Old Nuevo Road or the excess right of way would require the approval of a Street Vacation in compliance with the California Streets and Highway Code.

The project is surrounded by the Perris de Plaza Shopping Center to the north, Perris Towne Square Shopping Center to the east, an Arco gas station to the west, and vacant property to the south.

PROJECT DESCRIPTION

The applicant is requesting approval of a Conditional Use Permit for the construction of a 3,831 square-foot drive-through restaurant (Raising Cane's) with an attached 836 square-foot covered patio on 1.42 acres. The drive-through restaurant includes a 522-square-foot drive-through canopy above the service window on the east side of the building and an outdoor enclosed covered dining patio northwest of the building. Dual drive-thru lanes, each 10 feet in width, are proposed to the east, north, and south of the building to accommodate stacking for 34 vehicles, which exceeds the eight-car stacking required by the Municipal Code. A 10-foot-wide bypass lane is also proposed east of the drive-through lanes. Access to the site is provided via a two-way driveway and 30-foot-wide drive aisle off Old Nuevo Road, designed to be shared with the adjacent commercial parcels to the south of the site.

The menu board and voice order box are shown southeast of the site. The applicant has indicated

that the dining room portion of the restaurant will operate from 9:30 a.m. to 3:30 a.m. seven days a week. The drive-through lane will operate 9:30 a.m. to 3:30 a.m. seven days a week. A total of 49 parking spaces are proposed to serve the drive-thru restaurant. Other site improvements include 12,176 square feet of landscape area, lighting, and landscaped basins.

To facilitate this project, a Street Vacation is needed as a condition of approval to abandon the 0.28-acre remnant segment of Old Nuevo Road and excess right of way that is no longer utilized and needed for vehicular access; the vacation will allow the building to be situated closer to Nuevo Road for more visibility. Since a portion of the Street Vacation is under the deed title of the city, it will need to be sold to the land developer prior to grading permit issuance. Additionally, a Lot Line Adjustment is needed as a condition of approval to adjust the property boundaries for the 1.14-acre project site. Currently, the project is designed to provide reciprocal access to the adjacent properties to the west and south.

PROJECT ANALYSIS

The table below summarizes the project's consistency with the General Plan, Zoning Code (Title 19), and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

	Consistent	Inconsistent
<p>Consistency with the General Plan</p> <p>The project site has a General Plan land use designation of Commercial Community (CC), which is intended for commercial retail, sit-down restaurants, fueling stations, and drive-thru restaurants. The project proposes to develop a drive-thru fast-food restaurant; therefore, it will be consistent with the CC General Plan land use designation. The project is also consistent with the following policy:</p> <p>Land Use Policy III. A - To "accommodate diversity in the local economy" by providing new commercial use and employment opportunities for all economic levels within the city.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Zoning Code Land Use Consistency (Title 19)</p> <p>The project site is zoned Commercial Community. The project is consistent with the intent of the underlying zone. As conditioned, the project meets or exceeds the development standards and design objectives of the Commercial Community Zone. As the site will share access with the parcels to the south, a condition of approval requires a shared access agreement to be recorded, subject to staff review and approval. Overall, the proposal is compatible and consistent with other commercial uses in the immediate area.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the March Air Reserve Base/Inland Port Airport</p> <p>The project site is the D Zone of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. The D</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Consistent	Inconsistent
Zone is identified in the Airport Land Use Compatibility Plan as a "Flight Corridor Buffer." Although no explicit upper limit on usage intensity is defined for Zone D, land uses that attract very high concentrations of people in confined areas are discouraged. Accident potential risk levels in this zone are low. The proposed project was analyzed for consistency with D Zone and was determined to be consistent with the Airport Plan.		

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

The table below summarizes compliance with Chapter 19.38 – Community Commercial Zone and Chapter 19.69 – Parking Development Standards of the Zoning Code.

Development Standards Chapter 19.38 – Commercial Community Zone					
	Standard	Proposed	Consistent	Inconsistent	
Lot Coverage	50 percent maximum	6.2 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Site FAR	0.75 percent maximum	0.06	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Height	45 feet	23 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Setbacks	Front Setback: Nuevo Road	15 feet	31.8 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Street Side Yard: Old Nuevo Road (west)	15 feet	65.9 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Interior Side (east)	0 feet	51.8 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rear Yard (south)	0 feet	500 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Parking Standards Chapter 19.69 – Parking Development Standards						
Use	Standard	Dining area	Required	Proposed	Consistent	Inconsistent
Drive-thru Fast-Food Restaurant	One space per 50 square feet of dining area plus ten spaces	1,915 sq. ft.	38 spaces 10 spaces/ 48 spaces	49 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS

- **Building Elevations/Architecture**

The project proposes Raising Cane's corporate architectural design, colors, and materials. The proposed architecture utilizes different colors and materials to distinguish the building's base, body, and cap. The building's design elements utilize a combination of varying roofline heights, vertical columns, windows, and brick veneers. The building includes parapets to conceal all rooftop mechanical equipment from public view. The proposed color palette is a variation of greys (Summit Gray and Mountain Fog) contrasted by off-white color (Oyster Shell). The building includes a brick veneer (Alamo Queen Brick) at the base of the building, a red reclaimed metal vertical panel (for the "1" architectural element), and a vertical brick veneer (Norman Brick Masonry) on the front elevation. Black metal canopies are provided at the main entrance and outdoor eating area. Also, the proposed decorative trash enclosure is consistent with the proposed building architecture with similar stucco materials, colors, and base brick veneer. Overall, the combination of varying colors, brick veneers, variable roof heights, and aluminum storefront windows are consistent with the architectural standards envisioned for commercial projects within the city.

- **Drive-through Stacking**

All drive-through restaurants require a minimum drive-thru lane to accommodate stacking of a minimum of eight (8) cars. The project proposes a dual drive-thru lane to accommodate the stacking of 34 vehicles; therefore, the project exceeds the zoning code requirement for drive-through stacking.

- **Landscaping**

The applicant has submitted a conceptual landscape plan that conforms to the requirements of the Landscaping Ordinance. The proposed on-site landscaping area totals approximately 12,176 square feet or approximately 19.7% of the site, which exceeds the code's minimum 10% landscape requirement. Landscaping has been provided throughout the parking areas, adjacent to the building, and along the dual drive-thru lane area. The easterly property line and planters on both sides of the dual drive-thru lane will provide a 15-gallon size shrub row.

- **Fencing and Screening**

The project proposes a 6-foot-high tubular steel fencing, painted black, with decorative pilasters conditioned every 100 feet along the easterly property line. Also, a 3-foot tall "pony" wall is proposed to the south, east, and north along the dual driveway to screen vehicles from the public right-of-way and future commercial to the south.

ENVIRONMENTAL DETERMINATION:

The Project is Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-fill Development Projects), as the project constitutes an infill development project within city limits on less than five acres of land in compliance with the applicable General Plan and Zoning Code and has no habitat value for biological resources.

RECOMMENDATION:

ADOPT Resolution No. 23-05 finding the Project is Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-fill Development Projects); and approving Conditional Use Permit (CUP) 22-05100 to construct a 3,831 square foot Raising Cane's drive-through restaurant on 1.42-acres located at the southeast corner of Old Nuevo Road and Nuevo Road, based on the findings and subject to the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: There is no fiscal impact associated with this project since all project costs are borne by the applicant.

Prepared by: Nathan Perez, Senior Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Resolution 23-05 with Conditions of Approval (Planning, Engineering, Public Works, Community Services, and Building & Safety)
- B. Location/Aerial Photo
- C. General Plan Map
- D. Zoning Map
- E. Project Plans (Site Plan, Floor Plan, Building Elevations, and Conceptual Landscape Plans)

Consent:
Public Hearing: X
Business Item:
Presentation:
Other:

EXHIBIT A

PC Resolution 23-05 with Conditions of
Approval (Planning, Engineering, Public Works,
Community Services, and Building & Safety)

RESOLUTION NUMBER 23-05

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, FINDING THE PROJECT CATEGORICALLY EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) REVIEW PURSUANT TO SECTION 15332 (IN-FILL DEVELOPMENT, AND APPROVING CONDITIONAL USE PERMIT (CUP) 22-05100 FOR A PROPOSAL TO CONSTRUCT A 3,831 SQUARE FOOT RAISING CANE'S DRIVE-THROUGH RESTAURANT ON 1.42-ACRES LOCATED AT SOUTHEAST CORNER OF NUEVO ROAD AND OLD NUEVO ROAD, SUBJECT TO CONDITIONS OF APPROVAL AND THE FINDINGS NOTED HEREIN.

WHEREAS, the applicant, John Pollock of Kimley-Horn Associates, Inc., filed a Conditional Use Permit (CUP) 22-05100 ("CUP 22-05100") for a proposal to construct a 3,831 square foot Raising Cane's drive-through restaurant on a 1.42-acre portion of a 5.15-acre parcel (APN: 311-050-002) located at the southeast corner of Old Nuevo Road and Nuevo Road within the Community Commercial Zone (the "Project"); and

WHEREAS, CUP) 22-05055 is considered a "Project" as defined by the California Environmental Quality Act ("CEQA"); and

WHEREAS, the Project is categorically exempt pursuant to CEQA Section 15332 Class 32 for in-fill development because it meets the following conditions: (a) the Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) the proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the Project site has no value, as habitat for endangered, rare or threatened species; (d) approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) the Project site can be adequately served by all required utilities and public service; and

WHEREAS, March 1, 2023 Planning Commission public hearing was continued to March 15, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, a Planning Commission held a duly noticed public hearing on March 15, 2023 at which time all interested persons were given full opportunity to be heard and to present evidence related to the Project; and

WHEREAS, Chapter 19.54 of the Perris Municipal Code ("PMC") (Zoning Code, Authority and Review Procedures) authorizes the City to approve, conditionally approve, or deny requests for conditional use permits; and

WHEREAS, prior to taking action, the Planning Commission has heard, been presented with, and reviewed all of the information and data which constitutes the administrative record for the

approval as mentioned above, including all oral and written evidence presented to the City during all meetings and hearings related to the Project; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Perris as follows:

Section 1. Recitals. The above recitals are all true and correct, and are incorporated herein by this reference.

Section 2. Environmental Analysis. Based upon the forgoing, the Initial Study prepared for the Project in accordance with the City of Perris (“City”) guidelines for implementing CEQA, and all oral and written testimony made at the public hearing on March 15, 2023, (including, but not limited to, the staff report and all attachments/exhibits), the Planning Commission has determined that the Project is exempt from review under CEQA pursuant to Section 15332 Class 32 for in-fill development because it meets the following conditions: (a) the Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) the proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the Project site has no value, as habitat for endangered, rare or threatened species; (d) approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) the Project site can be adequately served by all required utilities and public service.

Section 3. Conditional Use Permit 22-05100. Based upon the forgoing, and all oral and written testimony made at the public hearing on March 15, 2023, (including, but not limited to, the staff report and all attachments/exhibits), with respect to CUP 22-05100, the Planning Commission finds that:

1. *The proposed location of the conditional use is in accord with the objectives of Title 19 of the Perris Municipal Code and the purposes of the zone in which the site is located.*

The zoning and General Plan designation of the site are Community Commercial. This zone permits retail uses that are anticipated to include signs. As conditioned, the Project meets or exceeds the objectives of the Community Commercial land use designation. Overall, the proposal is in harmony with the allowed Commercial zone uses.

2. *The proposed Project is consistent with the City’s General Plan and conforms to all Specific Plans, zoning standards, applicable subdivision requirements, and other ordinances and resolutions of the City.*

The proposed Project conforms to the goals of the General Plan and Zoning Code by complying with the developments standards of the Community Commercial

Zone, providing superior sign design/architecture, and allowing for future landscaping.

3. *The proposed location of the CUP and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.*

As conditioned, the Project will not be detrimental to the public health, safety, or welfare or injurious to property and improvements in the vicinity or to the general welfare of the City. The Project is subject to the City's Zoning Code development standards for commercial uses and will also comply with fire accessibility requirements.

4. *The architecture proposed is compatible with community standards and protects the character of adjacent development.*

The architecture conforms to all City standards and has been reviewed by City staff for conformance to said standards and compatibility with the character of the community. The architecture is harmonious with the neighborhood's character and meets all pertinent community standards. The Project site is adjacent to commercial uses to the north and east. Immediately south of the site are residential uses. The Project is set back over 330 feet from the adjacent residential home, the homes facing away from the Project site. Overall, the elevations include the following architectural features, which define the building's base, body, and cap, which are consistent with the architectural standards of the City.

5. *The landscaping plan ensures visual relief and provides an attractive environment for the public's enjoyment.*

The City's landscape standards ensure the Project will visually buffer the surrounding land uses while providing an attractive environment for business patrons as well as those living in the community who would see this Project daily. The Project exceeds City landscape standards and provides landscape plantings covering 19.7% of the lot, and as a result, it provides sufficient landscape plantings and space to make an attractive environment the public will enjoy. Also, as conditioned, the site plan fully conforms to the requirements of the PMC regarding the required landscape area that must surround any freeway or freestanding sign (PMC Section 19.75.100).

Section 4. Based on the forgoing the Initial Study prepared for the Project in accordance with the City of Perris guidelines for implementing CEQA, all oral and written testimony presented by members of the public and City staff at the March 15, 2023, public hearing (including without limitation, the staff report and all attachments/exhibits), the Planning Commission finds and determines that the Project is exempt from CEQA.

Section 5. Based upon the forgoing, the determination that the Project is exempt in accordance with the City's guidelines for implementing CEQA, and all oral and written testimony presented by members of the public and City staff at the March 15, 2023, public hearing (including, without limitation, the staff report and all attachments/exhibits), the Planning Commission hereby approves CUP 22-05100, subject to the attached Conditions of Approval.

Section 6. The Planning Commission declares that should include any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 7. The Chairperson shall sign, and the Secretary shall certify to the passage and adoption of this Resolution.

ADOPTED, SIGNED, and APPROVED this 15th day of March 2023.

CHAIRPERSON, PLANNING COMMISSION

Attest:

Secretary, Planning Commission

THE STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Patricia Brenes, Designee Secretary of the Planning Commission of the City of Perris, do hereby certify that the foregoing Resolution Number 23-05 was duly adopted by the Planning Commission of the City of Perris at a regular meeting thereof held on the 15th day of March 2023, by the following vote:

- AYES:
- NOES:
- ABSTAIN:
- ABSENT:

Designee Secretary of the Planning Commission

**CITY OF PERRIS
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

CONDITIONS OF APPROVAL

Conditional Use Permit (CUP) 22-05100

March 15, 2023

Project: Conditional Use Permit (CUP) 22-05100 – A proposal to construct a 3,831 square-foot drive-through restaurant (Raising Cane’s) on 1.42 acres located at the southeast corner of Nuevo Road and Old Nuevo Road. **Applicant:** John Pollock, Kimley-Horn Associates, Inc.

GENERAL CONDITIONS:

1. **Municipal Code and Specific Plan Compliance.** The project shall conform to the Commercial Community (CC) Zone standards of Chapter 19 of the Perris Municipal Code.
2. **Future Obligation of Buyers and Lessees.** All future buyers and lessees shall be informed of their obligation to comply with these Conditions of Approval. The applicant shall provide a copy of these conditions and inform the buyer or lessee of their obligation to maintain compliance with all local and City ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
3. **City Ordinances and Business License.** The subject business shall maintain compliance with all local and City Ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
4. **Expansion of Use.** No expansion of the site or the use shall occur without subsequent reviews and approvals from the Planning Division.
5. **Conformance to Approved Plans.** Development of the project site, building elevations, and conceptual landscaping shall conform substantially to the set of plans approved by the Planning Commission on March 15, 2023, or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.
6. **Approval Period for Development Plan Review 22-05100.** In accordance with P.M.C. Section 19.50.080, Expiration and Extension of Time, this approval shall expire three (3) years from the date of Planning Commission approval. Within three (3) years, the applicant shall demonstrate the beginning of substantial construction as contemplated by this approval, which shall thereafter be diligently pursued to completion or substantial utilization. If this does not occur, a maximum of three (3) one-year extensions may be requested. A written request for extension shall be submitted to the Planning Division at least ten (10) days prior to the initial (and any subsequent extension) expiration of the Development Plan Review.
7. **ADA Compliance.** The project shall conform to all disabled access requirements in accordance with the State of California, Title 24, and the Federal Americans with

Disabilities Act (ADA).

8. **City Engineer.** The project shall adhere to the requirements of the City Engineer as indicated in the attached Engineering Conditions of Approval dated **February 28, 2023**. On and off-site improvement plans shall be submitted for review and approval by the City Engineer.
9. **Building Official/Fire Marshal.** The proposed project shall adhere to all requirements of the Building Official/Fire Marshal. Fire hydrants shall be located on the project site pursuant to the Building Official. The applicant shall submit a fire access and fire underground plan prior to construction drawings. Water, gas, sewer, electrical transformers, power vaults, and separate fire/water supply lines (if applicable) must be shown on the final set of construction plans pursuant to the requirements of the Building Official. All Conditions of Approval shall be included on building plans. See City of Perris website, Office of the Fire Marshal, for examples and relevant information for access and underground plan available at: <http://www.cityofperris.org>.
10. **Fire Marshall Conditions.** The project shall comply with all requirements of the Fire Marshall in the memo dated November 7, 2022, and as identified below:
 - a. The project shall comply with all requirements set forth by the California Code of Regulations Title 24 Parts 1-12 respectively.
 - b. The adopted edition of the California Code of Regulations, Title 24, Parts 1 through 12, and the Perris Municipal Code shall apply at the time the architectural plans are submitted for construction permits.
 - c. Prior to the to the issuance of a grading permits a fire department access plan shall be submitted to the City of Perris for review and approval. The fire department access plan shall comply with the requirements specified by the City of Perris Guideline for Fire Department Access & Water Requirements for Commercial & Residential Development, and the California Fire Code, Chapter 5.
 - d. Prior to the to the issuance of a grading permits, evidence of sufficient fire flow of 1500 GPM for 2- hours shall be provided to the City of Perris. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.
 - e. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
 - f. A fire hydrant shall be provided near the southwest corner of Old Nuevo Road and W. Nuevo Rd., adjacent to the north side of the north entry to Raising Cane's property. The fire hydrant shall meet EMWD Standard B-516 for size/type.
 - g. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
 - h. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3 feet shall be maintained at all times. B-356.
 - i. The Fire Department Connection (FDC) shall be located within 150 feet of a public fire hydrant. The fire hydrant shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and the fire hydrant.
 - j. Prior to construction, a temporary address sign shall be posted and clearly visible from the street.

- k. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
 - l. City of Perris approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.
 - m. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation.
 - n. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven feet above the finished surface and near the main entrance door.
 - o. Carbon dioxide leak detection system shall be provided where carbon dioxide is used.
11. **Building.** The project shall adhere to the requirements of the Building Department as indicated in the attached Conditions of Approval dated **April 6, 2022**.
 12. **Public Works.** The project shall adhere to the requirements of the Public Works Administration Department as indicated in the attached Conditions of Approval dated **February 22, 2023**.
 13. **Community Services.** The project shall adhere to the requirements of the Community Services Department as indicated in the attached Conditions of Approval dated **February 3, 2023**.
 14. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless the City and any agency or instrumentality thereof, and/or any of its officers, employees, and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees, and agents, to attack, set aside, void, annul, or seek monetary damages resulting from approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City concerning **Development Review (DPR) 22-05100**. The City shall promptly notify the applicant of any claim, action, or proceeding for which indemnification is sought and shall further cooperate fully in the defense of the action.
 15. **Southern California Edison (SCE).** The developer/owner shall contact the Southern California Edison SCE area service planner to complete the required forms prior to the commencement of construction.
 16. **Signage.** The project approval does not include signage. Any proposed wall or monument sign will require a sign application and be reviewed and approved by the Planning Division before building permit issuance.
 17. **Waste Hauling and Disposal.** The project shall use only the City-approved waste hauler for all construction and other waste disposal.
 18. **Property Maintenance.** The project shall comply with provisions of Perris Municipal

- Code 7.06 regarding Landscape Maintenance, and Chapter 7.42 regarding Property Maintenance.
19. **Graffiti.** The site shall be maintained in a graffiti-free state at all times. Graffiti located on-site shall be removed within 48 hours. Graffiti shall be painted over in panels and not patches. In addition, it shall match the color of the wall or material surface. Furthermore, the applicant shall apply an anti-graffiti coating on the walls.
 20. **On-site & Off-site Utilities.** All utilities attached to buildings, including meters and utility boxes, shall be painted to match the wall of the building to which they are affixed. If possible, these facilities shall also be screened from the public right-of-way by landscaping.
 21. **Performance Standards.** The applicant shall comply with all Performance Standards listed in Chapter 19.44.070.
 22. **Screening of Roof-Mounted Equipment.** Proper screening shall prevent public views of all HVAC equipment and roof-mounted equipment. Also, all vent pipes and similar devices shall be painted to match the building.
 23. **Payment of Notice of Exemption (NOE).** Within five (5) days of Planning Commission approval, the applicant shall file electronically a Notice of Exemption (NOE) and administrative \$50.00 fee to the "Riverside County Clerk's Office". A copy of the recorded NOE shall be provided to the Planning Division for record keeping purposes.
 24. **Preliminary Water Quality Management Plan (PWQMP) 22-05100.** A Preliminary WQMP was prepared for the proposed project site. All PWQMPs were determined to be in substantial compliance, in concept, with the 2012 Riverside County WQMP Manual requirements. The following conditions apply:
 - a. The development shall be subject to all provisions of City of Perris Ordinance Number 1194, which establishes stormwater/urban runoff management and discharge controls to improve water quality and comply with federal regulations and any subsequent amendments, revisions, or ordinances pertaining thereto.
 - b. The structural BMPs selected for this project have been approved in concept. The owner shall submit a final WQMP including plans and details providing the elevations, slopes, and other details for the proposed structural BMPs, including one bioretention basin, self-retaining landscape, and a covered trash enclosure. The Public Works Department shall review and approve the final addendum WQMP text, plans, and details.
 25. **Trash Enclosures.** Trash enclosures are required to be screened with landscaping (vines and shrubs) and provide decorative solid trellis cover as per the development plans presented to the Planning Commission. Also, a metal mesh shall be provided between the trellis cover and the trash enclosure stucco wall.
 26. **Property Maintenance.** The project shall comply with provisions of the Perris

Municipal code 7.06 regarding Landscape Maintenance and Chapter 7.42 regarding Property Maintenance. In addition, the project shall comply with the one-year landscape maintenance schedule identified in the Public Works Department Conditions of Approval No. 5, dated October 28, 2022.

PRIOR TO THE ISSUANCE OF GRADING PERMITS

27. **Old Nuevo Road Vacation.** Prior to grading permit issuance, the developer shall acquire the real property necessary to construct the Project including without limitation the .28-acre segment Old Nuevo Road (as depicted in the Preliminary Site Plan attached hereto as Attachment A).
28. **Precise Grading Plans.** Precise grading plans shall be submitted to the City Engineer for review and approval. Grading plans shall be consistent with approved development plans.
29. **Final Water Quality Management Plan (FWQMP).** Prior to the issuance of grading permits, an FWQMP is required to be submitted. To mitigate impacts related to pollutant loading to receiving waters and/or increased erosion/siltation resulting from the long-term operation of the project, the applicant shall develop, receive approval from the City, and implement an FWQMP. The FWQMP shall contain measures that will effectively treat all pollutants of concern and hydrologic conditions of concern, consistent with the Preliminary WQMP and developed in compliance with the MS4 permit. The FWQMP shall specifically identify pollution prevention, source control, treatment control measures, and other Best Management Practices (BMPs) that shall be used on-site to control predictable pollutant runoff to reduce impacts to water quality to the maximum extent practicable. The FWQMP shall substantially comply with site design, source control, and treatment control BMPs proposed in the approved Preliminary Water Quality Management Plan (PWQMP).

DURING CONSTRUCTION

30. **Dust Monitor.** A person or persons shall be designated to monitor the dust control program and to order increased watering as necessary to prevent the transport of dust off-site. The name and telephone number of such persons shall be provided to the City. Also, a dust control sign shall be placed adjacent to each phase to allow the public to call for any dust issues.
31. **Temporary Construction Fencing.** A six-foot high temporary chain link fence (with view obscuring mesh) is required along the perimeter of each phase during construction. The fence shall limit public access to each construction site.
32. **Construction Practices.** To reduce potential noise and air quality nuisances, the following items shall be listed as "General Notes" on the construction drawings:
 - a. Construction activity and equipment maintenance is limited to the hours between 7:00 a.m. and 7:00 p.m. on weekdays. Construction may not occur on weekends or State holidays without the prior consent of the Building Official. Non-noise generating activities (e.g., interior painting) are not subject to these restrictions.

- b. Stationary construction equipment that generates noise in excess of 65 dBA at the project boundaries must be shielded and located at least 100 feet from occupied residences. The equipment area with appropriate acoustic shielding shall be designated on building and grading plans. Equipment and shielding shall remain in the designated location throughout construction activities.
- c. Construction routes are limited to City of Perris designated truck routes.
- d. Water trucks or sprinkler systems shall be used during clearing, grading, earthmoving, excavation, transportation of cut or fill materials, and construction phases to prevent dust from leaving the site and to create a crust after each day's activities cease. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.
- e. A person or persons shall be designated to monitor the dust control program and to order increased watering as necessary to prevent the transport of dust off-site. The name and telephone number of such persons shall be provided to the City. Also, a board shall be placed at the subject site to include a person and phone number for the public to call in case of dirt and dust issues.
- f. Project applicants shall provide construction site electrical hookups for electric hand tools such as saws, drills, and compressors, to eliminate the need for diesel-powered electric generators or provide evidence that electrical hookups at construction sites are not practical or prohibitively expensive.

PRIOR TO THE ISSUANCE OF BUILDING PERMITS

33. **Lot Line Adjustment.** The applicant shall submit a Lot Line Adjustment (LLA) application and applicable fees to the Planning Division.
34. **Street Vacation.** A Street Vacation application and applicable fees for the vacation of the excess right-of-way and segment of Old Nuevo Road shall be submitted to the Planning Division and approved by the City Council.
35. **Landscaping Plans.** Prior to the issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Division for approval, accompanied by the appropriate filing fee. The plans shall be prepared by a California-registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. The following treatments, consistent with the conceptual landscape plan or as conditioned herein, are required:
 - a. **All Drive-through Lanes.** Landscape areas along all drive-thru lanes shall be screened with a combination of a 3-foot high pony wall and a 36-inch high shrub hedge consisting of double-row of 5-gallon shrubs at 3.5 feet on center.
 - b. **Accent Landscaping.** Large trees (36-inch box) shall be included in the

- landscape design at all driveway entrances to the project site.
- c. **Passenger Vehicle Parking Areas.** A minimum of 30% of trees shall be a 36-inch box or larger in passenger vehicle parking areas. Also, a minimum of one 24-inch box tree per 6 parking stalls shall be provided.
 - d. **Conceal parking lot areas.** All parking areas along old Nuevo Road and Nuevo Road shall be screened by a minimum 36-inch-high shrub hedge consisting of a double-row of 5-gallon shrubs at 3 feet on center.
 - e. **Enhanced Pavement.** Decorative pavement treatments (accent colors, textures, and patterns) shall be used for all driveway entrances and pedestrian pathways.
 - f. **BMPs for Water Quality.** All BMPs (vegetated swales, detention basins, etc.) shall be indicated on the landscape plans with appropriate planting and irrigation.
 - g. **Shade Tree.** The project shall provide three (3) shade tree species, including a Chinese Elm Tree.
 - h. **Water Conservation.** All irrigation systems shall require rain-sensing override devices and soil moisture sensors. Landscaping shall comply with Zoning Code Chapter 19.70 (www.cityofperris.org) for mandated water conservation.
 - i. **Maintenance.** All landscaping shall be maintained in a viable growth condition.
36. **Building Plan Requirements.** The following shall be shown on the building plan check set for Planning staff review and approval:
- a. **Parking Stalls.** Parking stalls for passenger vehicles shall be striped in accordance with Chapter 19.69.030C.5b of the Zoning Code (double striping).
 - b. **Conditions on Plans.** All Conditions of Approval shall be copied onto the approved building plans. Such conditions shall be annotated, directing the receiver of the sheet (or sheets) and detail(s) indicating satisfaction with the conditions.
37. **Site Lighting Plan.** The applicant shall submit a lighting plan to the Planning Division for review and approval. Full cutoff low sodium fixtures shall be used to prevent light and glare above the horizontal plan of the bottom of the lighting fixture. A minimum of one (1) foot-candle of light shall be provided in parking and pedestrian areas.
38. **Fees.** The developer shall pay the following fees prior to the issuance of building permits:
- a. Stephen's Kangaroo Rat Mitigation Fees of \$500.00 per acre;
 - b. Multiple Species Habitat Conservation Plan fees currently in effect;
 - c. Current statutory school fees to all appropriate school districts;
 - d. Any outstanding liens and development processing fees owed to the City.
 - e. Appropriate Road and Bridge Benefit District fees;

- f. Appropriate City Development Impact Fees in effect at the time of development.

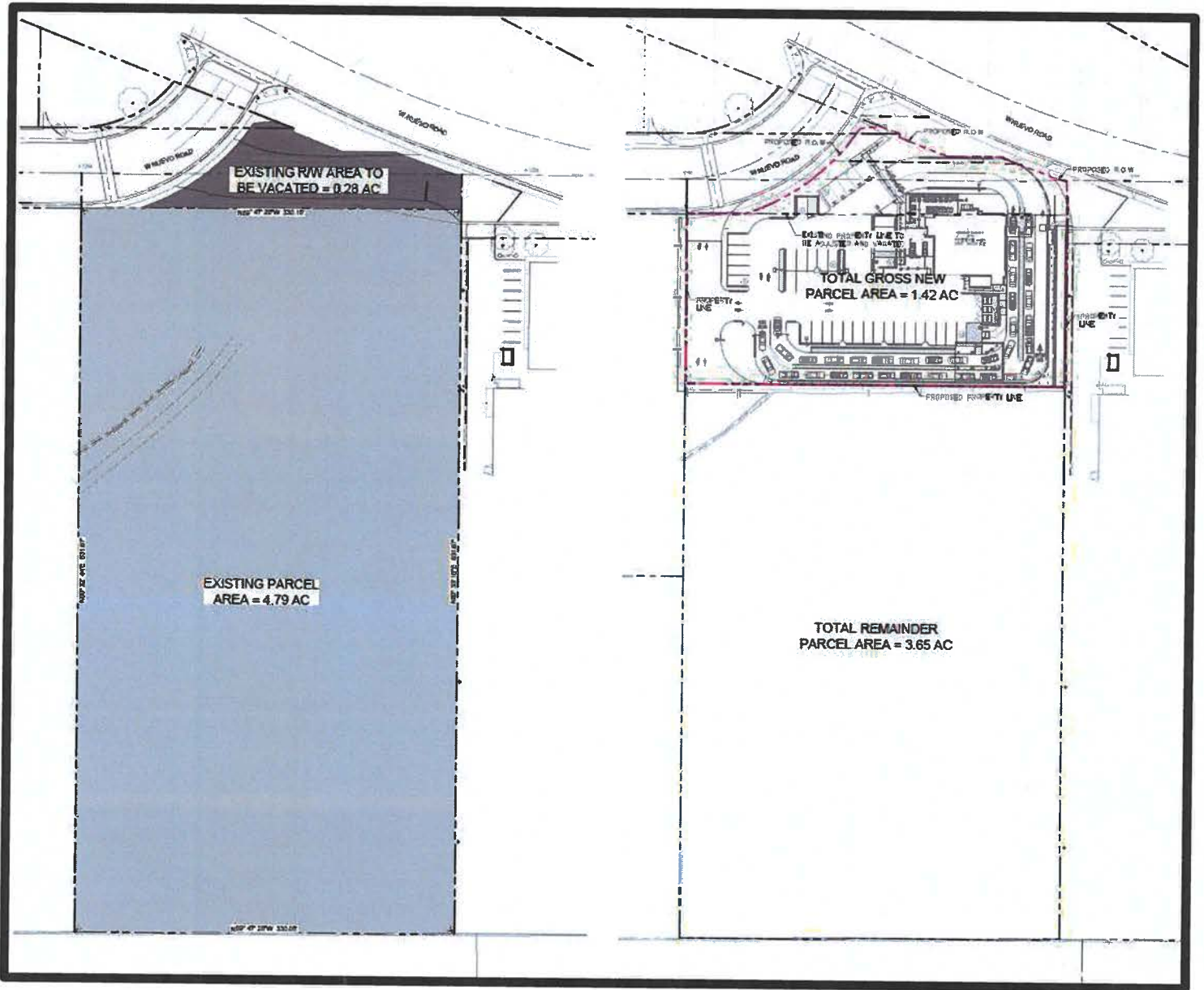
PRIOR TO THE RELEASE OF OCCUPANCY:

39. **Reciprocal Access.** The Project shall record a reciprocal access agreement to allow access from Old Nuevo Road to the properties to the south and west.
40. **Street Vacation.** The Street Vacation shall be finalized and recorded prior to releasing occupancy of the restaurant building. Without approval of the Street Vacation, the Conditional Use Permit approval shall be voided.
41. **Lot Line Adjustment.** The Lot Line Adjustment (LLA) shall be finalized and recorded prior to the issuance of the final certificate of occupancy.
42. **City Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to issuance of a Certificate of Occupancy. This condition shall apply only to districts existing at the time the project is approved (or all requirements have been met for a certificate of occupancy, as applicable). Such districts may include but are not limited to the following:
- a. Landscape Maintenance District No. 1;
 - b. Maintenance District No. 84-1;
 - c. Flood Control Maintenance District No. 1;
 - d. South Perris Public Safety Community Facilities Assessment District;
43. **Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-off from the Building Division and Engineering Department. Planning Staff shall verify that all pertinent conditions of approval have been met. The applicant shall have all required paving, parking, walls, site lighting, landscaping, and automatic irrigation installed and in good condition.
44. **Outstanding Fees.** Any outstanding processing fees due to the Planning Division shall be paid prior to building occupancy.
45. **On-Site Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for a final landscape inspection after the installation of all landscaping and irrigation system is completely operational. Before calling for a final inspection, the City's "Certificate of Compliance" form shall be completed and signed by the designer/auditor responsible for the project and submitted to the project planner. The project planner shall sign off the "Certificate of Compliance" to signify code compliance and acceptance.
46. **Occupancy Clearance.** The applicant shall have all required paving, parking, screen

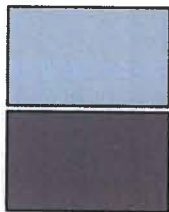
walls, colors and materials (per approved elevation plans), site lighting, landscaping, and automatic irrigation installed and in good condition prior to the Planning sign off.

END OF CONDITIONS

Planning Conditions – Attachment A



SITE DATA/LEGEND



EXISTING PARCEL AREA:	208,539 S.F.	(4.79 AC)
EXISTING R/W AREA TO BE VACATED TO PRIVATE OWNER:	12,384 S.F.	(0.28 AC)



CITY OF PERRIS

STUART E. MCKIBBIN, CONTRACT CITY ENGINEER

Conditions of Approval

P8-1487

February 13, 2023 – Revised February 28, 2023

CUP 22-05100 – Raising Cane's

Old Nuevo Rd.

Lot 2 – MB 014/691

APN 311-050-002

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer/property owner provides the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and their omission may require the site plan to be resubmitted for further consideration. These ordinances and the following conditions are essential parts and requirement occurring in one is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditioned shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic impact Analysis, the most stringent in the opinion of the City shall prevail.

General Conditions:

1. The developer/property owner shall secure City Departments and appropriate agencies clearances and approvals of the improvement plans.
2. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.
3. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.

DEPARTMENT OF ENGINEERING
24 SOUTH "D" STREET, SUITE 100, PERRIS, CA 92570
TEL.: (951) 943-6504 - FAX: (951) 943-8416

Prior to issuance of Grading Permit:

4. To accommodate the development of the project, the developer/property owner is requesting vacation of a segment of Nuevo Road dedicated right-of-way along the project's frontage. The developer/property owner shall complete the execution of the vacation in compliance to the City's procedure for the vacation.

5. The developer/property owner shall submit the following to the City Engineer, and Riverside County Flood Control and Water Conservation District (RCFCD) as applicable, for review and approval:

- a. Onsite Grading Plans and Erosion Control Plans – Plans shall show the approved WDID No.
- b. Street Improvement Plans
- c. Storm Drain Improvement Plans
- d. Water and Sewer Improvement Plans
- e. Signing and Striping Plans
- f. Traffic Signal Modification Plan
- g. Hydrology and Hydraulic Report
- h. Geotechnical Report
- i. Final WQMP (for reference)
- j. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards.

The design shall be in compliance with Eastern Municipal Water District (EMWD), RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

6. The developer/property owner shall provide improvement plans for removal of the existing driveway and driveisle to the adjacent site to the east on Nuevo Road and replace it with new driveway and driveisle, sidewalk and street lights per Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction. The new driveway shall accommodate truck ingress and egress turning radii as approved by the City Engineer. The extent of the improvements shall be as approved by the City Engineer. The developer/property owner shall coordinate the construction of the said improvements with the property owner of the adjacent property to the east.

7. There are existing utilities within the requested vacation segment of Nuevo Road. As applicable, the developer/property owner shall coordinate relocating the facilities with the corresponding agencies and the City Engineer and provide the respective improvement plans for review and approval by the corresponding agencies and the City Engineer.

8. Water Improvement Plans shall be submitted to the Fire Department for review and approval.

9. Fire Department and EMWD approval of the Water Improvement Plans, as required, shall be provided prior to City Engineer's approval.

10. Tributary and onsite runoff shall be conveyed to an adequate outlet as approved by the City Engineer.

11. The floor elevation shall be one (1) foot above the calculated 100-year water surface elevation or the existing adjacent flowline grade.

12. Access is not permitted on Nuevo Road.

13. One 30 foot wide reciprocal access/driveway is permitted on Old Nuevo Road to the project site.

14. The developer/property owner shall **include the design for, and prior to issuance of the Occupancy Permit** construct the entire 30 foot wide driveway including both easterly and westerly returns and necessary pavement transitions along the driveisle. The driveway shall be per County of Riverside Standard No. 207A and shall include wet set concrete truncated domes per ADA requirements.

15. A reciprocal access, parking and drainage agreement/easement with the adjacent property owner(s) to the ~~west and~~ south shall be processed and shall be recorded.

16. The developer/property owner shall sign the consent and waiver form to join the City's Lighting and Landscape Districts and City's Flood Control District as appropriate. The proposed and existing streetlights and traffic signals shall be maintained by the City and cost paid by the developer/property owner through the said annexations.

Prior to issuance of Building Permit:

17. The project site is located within the limits of Perris Valley Area Drainage Plan (ADP) for which drainage fees have been adopted by City. Drainage fees shall be paid as set forth under the provisions of the "Rules and Regulations of Administration of Area Drainage Plan". Acreage for the project site's impervious area shall be provided.

18. Lot/parcel mergers and lot/parcel line adjustments along with certificates of compliance shall be submitted to the City for review and approval and shall be recorded.

19. The full width right-of-way on Old Nuevo Road along Raising Cane's Restaurant is 78 feet with a 28 foot wide half width AC pavement section and 11 foot wide parkway. Adequate right-of-way shall be dedicated on Old Nuevo Road along the project boundary to accommodate a 39 foot half width dedicated right-of-way as approved by the City Engineer.

20. All easements and and/or rights-of-way shall be offered for dedication to the public or other appropriate agencies in perpetuity and shall continue in force until the City or the appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer. **Installation of any signage within the rights-of-way shall be subject to processing an Encroachment Permit with the City Engineer; the location of any signage shall be approved by the City Engineer.**

21. Paved access shall be provided to the proposed building per the Precise Grading Plan.

22. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

Prior to issuance of Certificate of Occupancy:

23. Old Nuevo Road (78'/56') along the property frontage within the dedicated right-of-way shall be improved to provide for a 6 foot wide sidewalk and street lights subject to the result of a photometric study prepared by a registered Electrical Engineer, per City of Perris, County of Riverside and Caltrans standards.

The existing pavement on Old Nuevo Road along the property frontage shall be analyzed and shall be removed and replaced if not in a good condition. If the existing pavement is in good condition the developer/property owner may use grind and overlay technique as determined by the City Engineer.

24. Nuevo Road along the property frontage within the dedicated right-of-way shall be improved to provide for a 6 foot wide sidewalk and street lights subject to the result of a photometric study prepared by a registered Electrical Engineer, per City of Perris, County of Riverside and Caltrans standards.

The existing pavement on Nuevo Road along the property frontage shall be analyzed and shall be removed and replaced if not in a good condition. If the existing pavement is in good condition the developer/property owner may use grind and overlay technique as determined by the City Engineer.

25. Relocation of the existing facilities within the vacated segment of Nuevo Road shall be completed by the developer/property owner and accepted by the respective agencies and the City Engineer.

26. Construction of the new driveway and driveisle to the adjacent site to the east on Nuevo Road shall be completed by the developer/property owner and accepted by the City Engineer.

27. The signal timing of the existing traffic signals at the intersections of Nuevo Road and Old Nuevo Road and Nuevo Road and Town Center/Perris Plaza prepared by the project's Traffic Engineer shall be submitted for review and approval and the timings shall be adjusted accordingly.

28. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified professional pursuant to the California Business and Professional Code 8771.

Stuart McKibbin
Contract City Engineer

DEPARTMENT OF ENGINEERING
24 SOUTH "D" STREET, SUITE 100, PERRIS, CA 92570
TEL.: (951) 943-6504 - FAX: (951) 943-8416



CITY OF PERRIS

PUBLIC WORKS DEPARTMENT

Weed Abatement

NPDES Services

Flood Control and Landscape Districts

MEMORANDUM

Date: February 22, 2023

To: Nathan Perez, Senior Planner

From: Michael Morales, CIP Manager

By: Chris Baldino, Landscape Inspector CB

Subject: CUP22-05100 – Conditions of Approval
Proposal to construct a 3,831 square foot drive-thru restaurant (Raising Cane's)
on southeast corner of Nuevo Road and Old Nuevo Road.

-
1. **Dedication and/or Landscape Maintenance Easement.** Offer of Dedication and Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:
 - **Old Nuevo Road** - Provide offer of dedication as needed to provide for full half width Street (80' ROW, 40 halfwidth) curb gutter, sidewalk, and off-site landscaping requirements, per City Engineering Conditions, including minimum 12' public parkway from face of curb.
 - **Nuevo Road** - Provide offer of dedication as needed to provide for full half width Street (128 ROW, 64' Halfwidth), curb gutter, raised landscape median, sidewalk, and off-site landscaping requirements, per City General Plan, including minimum 17' public parkway from face of curb.
 2. **Landscape Maintenance Easement and Landscape Easement Agreement.** The developer shall provide, for review and approval, an Offer of Dedication and certificate of acceptance, complete with legal plat map and legal description to the City of Perris. In addition, if required by the City of Perris, the Developer shall provide a landscape easement and Landscape easement agreement, acceptable to the City of Perris. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
 3. **Landscaping Plans.** Three (3) copies of Construction Landscaping and Irrigation Plans for the off-site landscaping, including any medians or other landscape areas along the dedications shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. This landscape plan shall be titled "Off-site Landscape Plan for CUP22-05100" and shall be exclusive of any private property, on-site landscaping. Elements of the Landscape Plan shall include but not be limited to:
 - a. **Landscape Limits** – Limits of right-of-way areas or easement areas, defined by concrete mow curb, fully dimensioned, that are to be annexed into the Landscape Maintenance District. A planting palette and

hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; or if no such guidelines exist the design intent of neighboring development, as determined by the Engineering Administration and Special Districts Division, including:

- **Old Nuevo Rd. - Streetscape Landscape design planting pallet, sizing, and spacing requirements per the City landscape zoning code will consist of the following:** Primary Street Trees at 30' on center minimum – Podocarpus macophyllus “Yew Pine” Secondary Tree Lagerstromia Indica Muskogee. Use of drought resistant shrubs and ground cover including but not limited to the following: Photinia fraseri, Muhlenbergia lindheimeri, Lantana sellowiana trailing lantana, Yucca flaccida gold garland.
 - **Nuevo Rd. - Streetscape Landscape design guidelines and planting pallet, sizing, and spacing requirements per the City landscape zoning code will consist of the following:** Primary Tree: Magnolia Grandiflora Southern Magnolia, and Podocarpus macophyllus “Yew Pine”, Secondary Tree: Lagerstromia Indica Muskogee. Use of drought resistant shrubs and ground cover including but not limited to the following: Photinia fraseri, Muhlenbergia lindheimeri, Lantana sellowiana trailing lantana, Haemodoraceae Kangaroo paw, Yucca flaccida gold garland.
 - **Existing Nuevo Rd. Medians –** The proposed development will benefit from the existing, landscape maintenance district facilities, including a raised landscape median on Nuevo Rd. which will serve the existing development. Therefore, the project shall annex into a new Landscape District Benefit Zone and pay its fair share of the maintenance of the future median facilities.
 - **Nuevo Rd. Median Replacement/Enhancement -** Photinia fraseri, Muhlenbergia lindheimeri, Lantana sellowiana trailing lantana, Haemodoraceae Kangaroo paw, Yucca flaccida gold garland, and 8” to 12” cobble.
- b. **Irrigation –** A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas as determined by the Engineering Administration and Special Districts Division. Components shall include, but not be limited to Rainbird XBT-20PC w/ Diffuser, Salco or equal on flexible PVC risers, Sentry Guard Cable Guard and Union Guard, and backflow Wilkens Model 375 (or equal). Controller shall include an ET based controller with weather station that is centrally controlled capable and wi-fi ready (WeatherTrak ET Pro3 Smart Controller, or equal, with Rain Sensor). At the discretion of the Engineering Administration and Special Districts Division public landscape areas utilizing no more than 6 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and wi-fi ready, such as the Weathermatic System or equal. Proposed system shall be complete with wireless weather station, aircard with flow, one year bundle service, blade antenna and flow sensor.
- c. **Benefit Zone Quantities –** Include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the district will be required to maintain.
- d. **Meters –** Each District is required to be metered separately. All electrical and water meters shall be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene and away from street intersections. Show location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for landscape district. Show location of water and electrical meter for flood control district. Show location of electrical meter for Traffic signal and street lighting district, on respective plans. Coordinate location of meters on

landscape and civil engineering plan.

- e. **Controllers** - The off-site irrigation controllers are to be located within the right of way (preferably within the off-site landscape area). All point of connection equipment including irrigation controller pedestals, electrical meter pedestals, and backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Backflow preventers are to be screened on at least three sides with (5) gallon plant material. The fourth side shall be open to the back of the landscape area in order to allow the backflow cage to be opened without interference with plant materials. Backflow cages shall meet the required City of Perris Engineering Standards in effect at the time of approval.
 - f. **Recycled Water** - If applicable. The project landscape architect shall coordinate with EMWD to verify if the site will be served with recycled water and design all irrigation and landscape plans to meet the requirements of EMWD and provide additional irrigation components as needed.
 - g. **EMWD Landscape Plan Approval** – The project landscape architect shall submit a copy of all irrigation plans and specifications to EMWD for approval. The project landscape architect must confirm with EMWD that the plans have been approved by EMWD and submit written proof of approval by EMWD prior to the City approving the final Landscape Plans. Until the final landscape plan has been approved by the City of Perris, the maintenance areas depicted cannot be accepted by the City for maintenance. The developer shall coordinate both reviews to ensure acceptability of plans by both EMWD and the City of Perris, prior to approval by either agency.
 - h. **Landscape Weed Barrier** - Weed cloth with a minimum expected life of 10-years shall be required under all gravel, rock, or cobble areas.
 - i. **Wire Mesh and Gravel at Pull Boxes**- Provide wire mesh and gravel layer within valve boxes to prevent rodent intrusion.
 - j. **Concrete Maintenance Band at Medians and Mortar Cobble turn Land** – Provide 12" wide concrete maintenance band (safety edge) around entire median. At turn pockets provide mortared cobble creek bed, round stone sized 6" to 12".
 - k. **Perimeter Walls Graffiti Coating** – Provide anti-graffiti coating at all perimeter walls. Acceptable products shall include Vitrocem Anti-Graffiti Coating or equal.
4. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only "OFF-SITE" landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled at least two-working days (Monday through Friday) prior to actual inspection. Contact Public Works-Engineering Administration/Special Districts at (951) 657-3280 to schedule inspections.
- **Inspection #1** - Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
 - **Inspection #2** - Soil prepared, and plant materials positioned and ready to plant.
 - **Inspection #3** - Landscaping installed, irrigation system fully operational, and request for "Start of 1 year Maintenance Period" submitted, with all required turn-over submittal items provided to Public-

Works Engineering Administration/Special Districts.

- **Turn-Over Inspection**– On or about the one-year anniversary of Inspection #3, Developer shall call for an inspection to allow the City to review and identify any potential irrigation system defects, dead plants, weed, debris or graffiti; stressed, diseased, or dead trees; mulch condition, hardscape or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At his sole expense, the Developer shall be responsible for rectifying system and installation deficiencies, and the one-year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City's Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the Inspector shall recommend to the City's Special District Coordinator to accept turn-over of water and electrical accounts, wi-fi communication contracts and the entire landscape installation.

5. **One Year Maintenance and Plant Establishment Period**-The applicant will be required to provide a minimum of a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one-year maintenance period commences upon the successful completion of Inspection #3 discussed above, and final approval by the City. During this one-year period the applicant shall be required to maintain all landscape areas free of weeds, debris, trash, and graffiti; and keep all plants, trees, and shrubs in a viable growth condition. Prior to the start of the one-year maintenance period, the Developer shall submit a weekly Landscape Maintenance Schedule for the review and approval by the City's Special Districts Division. City shall perform periodic site inspections during the one-year maintenance period. The purpose of these periodic inspections is to identify any and all items needing correction prior to acceptance by the City at the conclusion of the one-year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials, weeding, replenishment of mulches, repair of damaged or non-functioning irrigation components, test of irrigation controller communications, etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turn-over to City maintenance staff.
6. **Street/Off-Site Improvements.** The applicant shall submit street improvement plans, accompanied by the appropriate filing fee to the City Engineering Department. Details of treatments off-site improvements, including lighting shall meet both the City Engineer's Design Guidelines, and the additional requirements of the Engineering and Special Districts Division. Components shall include, but not be limited to:
 - a. **Street Lighting**-If Street lighting is required, lighting shall meet the type, style, color and durability requirements, necessary for energy efficiency goals, maintenance and longevity of improvements of the City Engineer's Office. As determined by the City, new streetlights may be required to be deeded to City of Perris, and not SCE. Streetlights deeded to City of Perris shall be constructed per LS-3 account billing standard, which shall include an individually metered pedestal for streetlights.
 - b. **Acceptance By Public Works/Special Districts**- Lighting District facilities required by the City Engineer's Office shall be installed and fully operational and approved by final inspection by the City Engineer's Office, and the City's Consulting Traffic Signal Inspection Team (Riverside County TLMA) at (951) 955-6815. Prior to acceptance for maintenance of "Off-site" traffic signal and lighting facilities by the Public Works-Engineering and Administration Division/Special Districts, the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items. Prior to acceptance into Lighting District 84-1, coordinate turn-over information pertaining to Street Lights, and Traffic Signal Electrical/SCE Service Meters with Wildan Financial Services, the City's Special Districts Consulting Firm at (951) 587-3564. (i.e. Provide

electrical meter number, photo of pedestal, and coordinate "request for transfer of billing information" with SCE and City for all new service meters). Developer shall pay 18-month energy charges to the City of Perris for all off-site street lighting. Call Wildan Financial Services, Inc. for amount due, and to obtain receipt for payment. Obtain and provide a clearance form from Riverside County TLMA indicating completion of all punch list items from traffic signal construction. Submit one large format photo-copy of Traffic Signal as-built plans and timing sheets.

7. **Water Quality Management Plans.** The applicant shall submit a Preliminary and Final WQMP, accompanied by the appropriate filing fee to the Planning Department and City Engineering Department, respectively. Details for treatment control facilities shall meet both the Riverside County WQMP Design Guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce long term maintenance costs and longevity of improvements. Components shall include, but not be limited to:
 - **Storm Drain Screens-** If off-site catch basins are required by the City Engineer's Office, connector pipe screens shall be included in new catch basins to reduce sediment and trash loading within storm pipe. Connector pipe screens shall meet the type, style, and durability requirements of the Public Works Engineering Administration and Special Districts Division.
 - **WQMP Inspections-** The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both "ON-SITE" and OFF-SITE" WQMP Inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.
 - **Acceptance By Public Works/Special Districts-** Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the Final WQMP, shall be installed and fully operational, and approved by final inspection by the City's WQMP Consultant, CGRM. The Developer shall obtain a final Clearance Letter from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The developer shall deliver the same to the Public Works-Engineering and Administration Division/Special Districts. In addition, prior to acceptance by the City, the developer shall submit a Covenant and Agreement describing on-going maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works Engineering Administration and Special Districts Division. The Public Works Engineering Administration and Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
8. **Flood Control District #1 Maintenance Acceptance.** Flood Control District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office. Prior to acceptance for maintenance of "Off-site" flood control facilities by the Public Works-Engineering and Administration Division/Special Districts the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items including as-built storm drain plans in electronic PDF format, one large format photo-copy of as-built plans, storm drain video report in electronic format, and hardcopy of video report with industry standard notations and still photos made during video runs (i.e. facilities sizes, off-sets or damage, facility type, dirt and debris, etc.). The flood control facilities shall be turned over in a condition acceptable to the City, and the developer shall make all necessary repairs and perform initial maintenance to the satisfaction of the City.
9. **Assessment Districts.** Prior to permit issuance, developer shall deposit \$5,250 per district, \$15,750 total due.

Payment is to be made to the City of Perris, and the check delivered to the City Engineer's Office. Payment shall be accompanied by the appropriate document for each district indicating intent and understanding of annexation, to be notarized by property owner(s):

- **Consent and Waiver for Maintenance District No. 84-1-New Street** lighting proposed by the project, as determined by the City Engineer
 - **Consent and Waiver for Landscape Maintenance District No. 1** –New off-site parkway landscape proposed by the project on Nuevo Road and Old Nuevo Road and pay it fair share of the median on Nuevo Road.
 - **Petition for Flood Control Maintenance District No. 1** -For Off-site Flood Control Facilities proposed by the project, as determined by the City Engineer and fair share contribution to existing storm drain facilities on Old Nuevo and Nuevo Roads.
-
- Original notarized document(s) to be sent to:
Daniel Louie
Wildan Financial Services
27368 Via Industria, #200
Temecula, CA 92590
-
- a. Prior to final map recordation or final certificate of occupancy the developer shall annex into the aforementioned districts, posting an adequate maintenance performance bond to be retained by the City as required by the City Engineer. Upon receipt of deposit and Consent and Waiver Forms, the developer shall work with City to meet all required milestones for annexations.
 - i. City prepares the Engineer's Reports which includes a description of the improvements to be maintained, an annual cost estimate and annual assessment amounts.
 - ii. Reports are reviewed and approved by the property owner. The assessment ballots will be based on these Reports.
 - iii. The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no sooner than 45 days. Property owner attendance at this City Council Meeting is not required.
 - iv. The assessment ballots are sent to the property owner and are opened by the City Clerk at the close of the Public Hearing. With a "YES" vote by the property owner the City Council can move forward with the Resolution that Confirms the Annexation. Property owner attendance at this Public Hearing is not required.
 - v. Confirmation by the City Council completes the annexation process, and the condition of approval has been met.



CITY OF PERRIS
COMMUNITY SERVICES

MEMO

Date: February 3, 2023

To: Nathan Perez, Project Planner

From: Sabrina Chavez, Director of Community Services

Cc: Arcenio Ramirez, Community Services Manager
Arturo Garcia, Parks Supervisor
Joshua Estrada, Parks Coordinator

Subject: Conditional Use Permit (CUP) 22-05100 – A proposal to construct a 3,831 SF drive-thru restaurant (Raising Cane's) on 1.59 acres located at the southeast corner of Nuevo Road and Old Nuevo Road within the Commercial Zone. – Community Services Conditions

Community Services Staff reviewed CUP 22-05100 and offer the following condition:

Development Impact Fees

- The Project is subject to payment of Industrial Park Development Impact Fees.
- The Project is subject to payment of Residential Park Development Impact Fees.
- This Project is subject to payment of Public Art Development Impact Fees.

Special Districts

- The project shall annex into the Community Facilities District No. 2018-02 (Public Services)

SRC COMMENTS
***** BUILDING & SAFETY *****

Planning Case File No(s): **CONDITIONAL USE PERMIT #22-05100**

Case Planner: **Nathan Perez (951) 943-5003,**

Applicant: **Jay Higgins**

Location: **Southwest corner of Nuevo Road and Old Nuevo Road**

Proposal to construct a 3,831 SF drive through restaurant

Project:

Associated Cases: **APN: 311-050-002**

Reviewed By: **David J. Martinez, CBO**

Date: **04-06-2022**

SPECIFIC COMMENTS

1. None

GENERAL CONDITIONS

1. Shall comply with the latest adopted State of California 2019 editions of the following codes as applicable:
 - A. 2019 California Building Code
 - B. 2019 California Electrical Code
 - C. 2019 California Mechanical Code
 - D. 2019 California Energy Code
 - E. 2019 California Fire Code
 - F. 2019 California Green Building Standards Code
 - G. 2019 California Plumbing Code
 - H. Proposed Project will have to comply with the Title 24 Access Regulations and ADA Access regulations
2. All signs if any shall be Underwriters Laboratories, or equal, approved.
3. You will have to comply with the new EV charging station requirements.
4. The entire site will have to have proper fire access.

5. County Health Department approval will be required.
6. Fire Sprinklers will be required

PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT

1. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this proposed project.
 - A. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this proposed project.
 - B. Precise grading plans shall be submitted and approved
 - C. Rough grading shall be completed
 - D. Compaction must be certified
 - E. The Pad elevations must be certified
 - F. The rough and finish grade must be inspected and signed off

FIRE CONDITIONS

1. Fire Conditions will be provided by Dennis Grubb and Associates

EXHIBIT B
Location/Aerial



EXHIBIT C
General Plan Map



EXHIBIT D
Zoning Map



EXHIBIT E

Project Plans (Site Plan, Floor Plan, Building Elevations, and Conceptual Landscape Plans)



KIESEL DESIGN
Kiesel Landscape
Architecture Inc.

422 E Main Street
Ventura, CA 93001
(805) 417-7300
jordan@kieseldesign.com
CL# 82006

RC #874
Raising Canes's
Perris

110 West Nueve Road,
Perris CA 92570
Submitter:
#1 12.29.21 CUP Submittal
#2 08.09.22 CUP Resubmittal
#3 09.28.22 CUP Resubmittal
#4 11.18.22 CUP Resubmittal



Type: Conceptual

Initial/Scale Date:
December 21, 2021

Drawn By: Y. Zhang
DATE: 11/2022

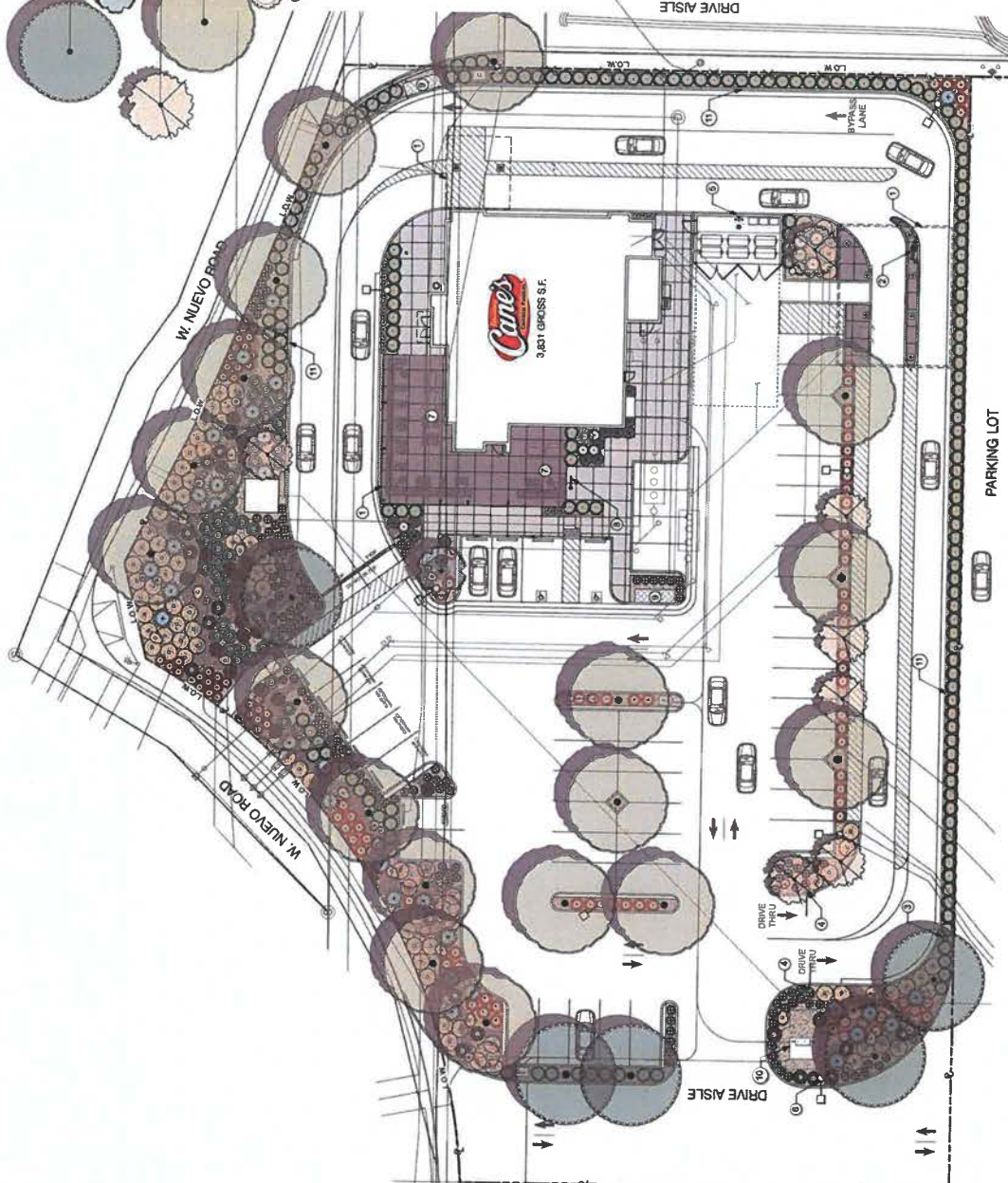
PROJECT INFORMATION
PROJECT NO. 21-51
PROJECT NAME: RAISING CANES'S PERRIS
PROJECT ADDRESS: 110 WEST NUEVE ROAD, PERRIS, CA 92570

Title:
Conceptual
Landscape Plan

Sheet Number:
LO.1

Plant List
Symbol Botanical Name

- Trees**
- Alnus x 'Nimbus' (Std)
 - Bursera arborea
 - Chilipea Pink Dawn' (Std)
 - Rhus Lancea' (Std)
 - Bursera
 - Chorizanthe pulcherrima
 - Lantana x 'New Gold'
 - Raphanopis umbellata 'Major'
- Perennials**
- Chorizanthe 'Pompano'
 - Chorizanthe trichocoma
 - Oenothera revoluta 'Little Red'
- Biocacti**
- Agave 'Black Flame'
 - Agave 'Blue Glow'
 - Agave ovatifolia
 - Agave striata
 - Day-lily wheel'
 - Mesaspiza purpurifera
- Grasses**
- Limonata longifolia 'Bacon'
 - Muhlenbergia dubia



Materials Legend

- Material: 'Horse Creek' Crushed Stone
- Material: 'Horse Creek' Crushed Stone
- Material: Direct Colours' Smokeyback Grey 102. 5lb Integral Pigment. TOPCAST # 205
- Material: Natural colored concrete w/ 3/8" wide saw cut joints. Finish: 'DIPLOMAT' @ #05
- Material: 'Apache Gold' Boulders



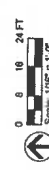
*Crushed Stone & Boulder Supplier: Southwest Boulder & Stone (714) 882-1010
*Integral Colored Concrete Supplier: Direct Colours <https://www.directcolours.com/>

Proposed Notes

- (1) Overhead structure per Architect
- (2) (P) per under menu board per Architect
- (3) (P) per under menu board per Architect
- (4) (P) trash enclosure per Architect
- (5) (P) trash enclosure per Architect
- (6) (P) light post per Architect, TYP.
- (7) (P) patio furniture per Architect
- (8) (P) table rack per Architect
- (9) (P) biopod planters per CHL, planting TBD
- (10) (P) transformer per CHL
- (11) (P) 4.5' screen wall per CHL

Tree Requirement Calculations per Predevelopment Findings

1. A MIN. of (1) tree for every (30) linear feet of street frontage.
of trees required = 203 (F approx.)
of trees provided = 11
2. In parking areas a minimum of (1) 24 inch dbh tree for every (6) parking spaces.
of trees required = 8
of trees provided = 8
3. Tree size: Minimum of 15 gal. 30% of trees shall be 36" box or larger



LEGEND

- CENTER LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE / LEASE LINE
- EASEMENT LINE / SETBACK LINE
- APPROXIMATE LIMITS OF DISTURBANCE
- PROPOSED ROOZE LINE
- PROPOSED GRADE BREAK LINE
- PROPOSED SPOT ELEVATION
(1344.50 TO 1344.00 FS)
- EXISTING SPOT ELEVATION
(1344.50 TO 1344.00 FS)
- PROPOSED FLOW LINE
- EXISTING FLOW LINE
- PROPOSED STORM DRAIN LINE
- EXISTING STORM DRAIN LINE
- PROPOSED FLOW DIRECTION

ESTIMATED EARTHWORK QUANTITIES

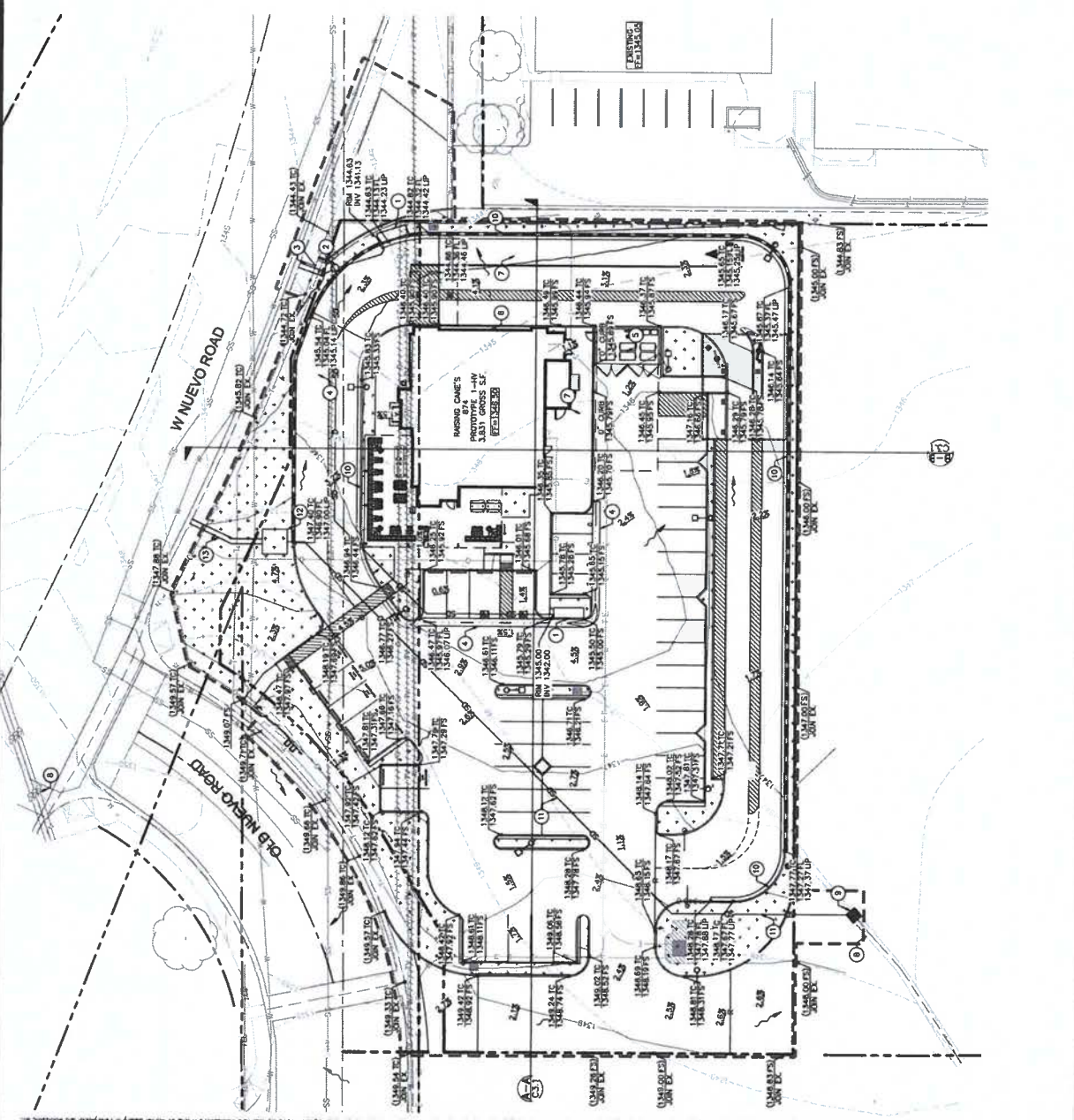
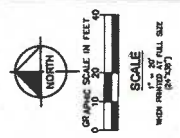
CUT: 11,304 CY
 FILL: 840 CY
 NET: 10,755 CY (EXPORT)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE CONTIGUOUS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

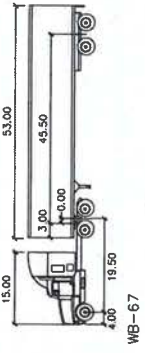
THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN VERIFIED BY A REGISTERED PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL VERIFY THE QUANTITIES AND MATERIALS THAT WILL BE USED IN NEW FOUNDATIONS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.

GRADING AND DRAINAGE NOTES

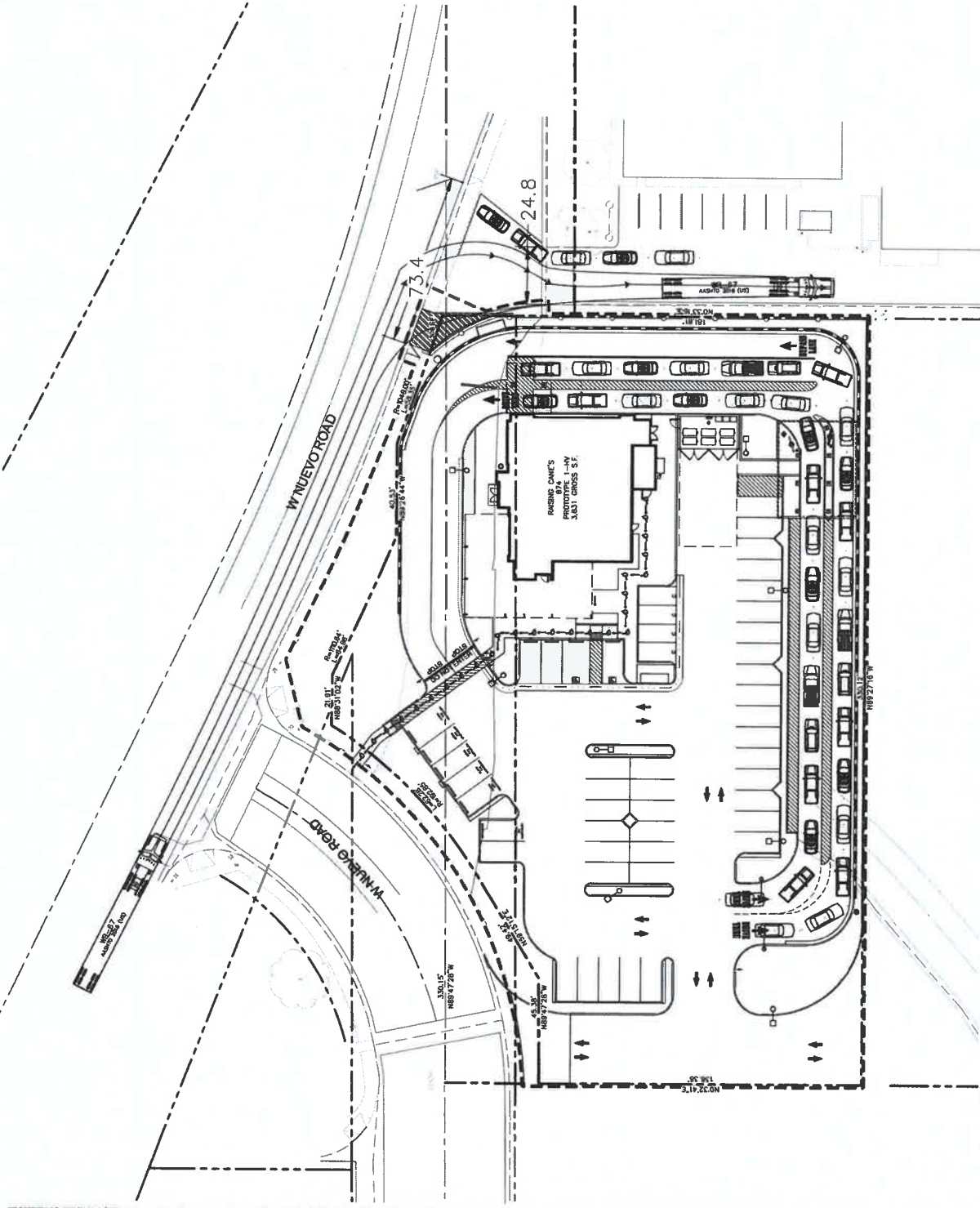
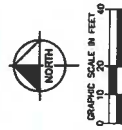
- 1 PROPOSED 2'x20' BUFOY PLANTER
- 2 PROPOSED STORMWATER PUMP FOR WATER QUALITY FLOWS
- 3 PARKWAY DRAIN
- 4 CONCRETE VALLEY GUTTER
- 5 WASH ENCLOSURE DRAIN WITH ACCESSIBLE GRADE DRAIN TO SEWER
- 6 8" PVC STORM DRAIN AT 0.3% MINIMUM SLOPE
- 7 EXISTING VALLEY GUTTER TO REMAIN TO PREVENT OFF-SITE RUNOFF AND PROPOSED CURB AND GUTTER TO CAPTURE EXISTING RUNOFF
- 8 CONCRETE CURB AND GUTTER
- 9 MULTI STRUCTURE TO CAPTURE OFFSITE FLOWS
- 10 CONCRETE CURB AND GUTTER
- 11 INSTALL DIVERSION PIPE TO CONVEY OFFSITE FLOWS
- 12 INSTALL SUMP PUMP SYSTEM FOR OFFSITE FLOWS
- 13 PARKWAY DRAIN TO CONVEY OFFSITE FLOWS



 Know what's below. Call before you dig.	DIVS DRAWN BY: AB CHECKED BY: AB RECOMMENDED:	Kimley Horn 300 LAMAR STREET, SUITE 400 PERRIS, CA 92571 PREPARED UNDER THE DIRECT SUPERVISION OF JOHN W. HORN, P.E., REG. NO. 17727	APPROVED BY: _____ DATE: _____ CITY ENGINEER CITY OF PERRIS	CITY OF PERRIS PRELIMINARY GRADING PLAN C3.0 NUEVO AND I-216 STREET PERRIS, CA 92571 
--	--	--	---	--



WB-67
 feet
 Tractor Width : 15.00
 Tractor Track : 4.00
 Tractor Wheelbase : 18.50
 Lock to Lock Time : 6.00
 Lock to Lock Angle : 25.0
 Articulating Angle : 25.0
 Trailer Track : 8.50



City of Ferris
 NUEVO AND I-215 STREET
 PERRIS, CA 92571

CITY OF PERRIS
 APPROVED BY: _____ DATE: _____
 CITY NUMBER: _____ EXP: _____

Kimley-Horn
 REGISTERED PROFESSIONAL ENGINEERS
 4001 WINDY ROAD, SUITE 400
 PERRIS, CA 92571
 PHONE: 951.222.7332
 FAX: 951.222.7333

DIVS	SCALE BY	CHECKED BY	RECOMMENDED
AB	AB	AB	AB
AB	AB	AB	AB

811
 Know what's below.
 Call before you dig.

Small horizontal text at the bottom of the page containing project details and dates.



Restaurant Support Office
6000 Bishop Road, Pflug, TX 77224
Tel: 772-793-3100 Fax: 772-793-3101

Rolling Camp's
Restaurant #874
Nueces & I-415
Pears, CA 92571
P-HV(A)

CSRS
5150 PACIFIC COAST HIGHWAY
LONG BEACH, CA 90804
Telephone: 833-523-2528
WWW.CSRS.COM

Project Name: 2RD-UD
Project Issue Date: 08/09/22
CSRS Project Manager: BPH
2ND ROUND ENTITLEMENTS
08/10/22

Sheet Number	Title	Description
1	2ND ROUND ENTITLEMENTS	
2	ADA CLEARANCES FOR ACCESSIBLE TABLES	
3	ADA CLEARANCES FOR ACCESSIBLE TABLES	
4	ADA CLEARANCES FOR ACCESSIBLE TABLES	
5	ADA CLEARANCES FOR ACCESSIBLE TABLES	
6	ADA CLEARANCES FOR ACCESSIBLE TABLES	
7	ADA CLEARANCES FOR ACCESSIBLE TABLES	
8	ADA CLEARANCES FOR ACCESSIBLE TABLES	
9	ADA CLEARANCES FOR ACCESSIBLE TABLES	
10	ADA CLEARANCES FOR ACCESSIBLE TABLES	

CODE REFERENCE ANALYSIS
(PARKING)

01 CRA

GENERAL NOTES

1. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.
2. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.
3. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.

KEYNOTES

1. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.
2. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.
3. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.

LEGEND

1	ACCESSIBLE TABLE
2	ACCESSIBLE TABLE
3	ACCESSIBLE TABLE
4	ACCESSIBLE TABLE
5	ACCESSIBLE TABLE
6	ACCESSIBLE TABLE
7	ACCESSIBLE TABLE
8	ACCESSIBLE TABLE
9	ACCESSIBLE TABLE
10	ACCESSIBLE TABLE

EGRESS NOTES

1. THE NAME OF EACH TRAIL INCLUDING THE EAST SIDE TRAIL SHALL BE ILLUSTRATED AT ALL TIMES.
2. THE NAME OF EACH TRAIL INCLUDING THE EAST SIDE TRAIL SHALL BE ILLUSTRATED AT ALL TIMES.
3. THE NAME OF EACH TRAIL INCLUDING THE EAST SIDE TRAIL SHALL BE ILLUSTRATED AT ALL TIMES.

CODE REQUIREMENT

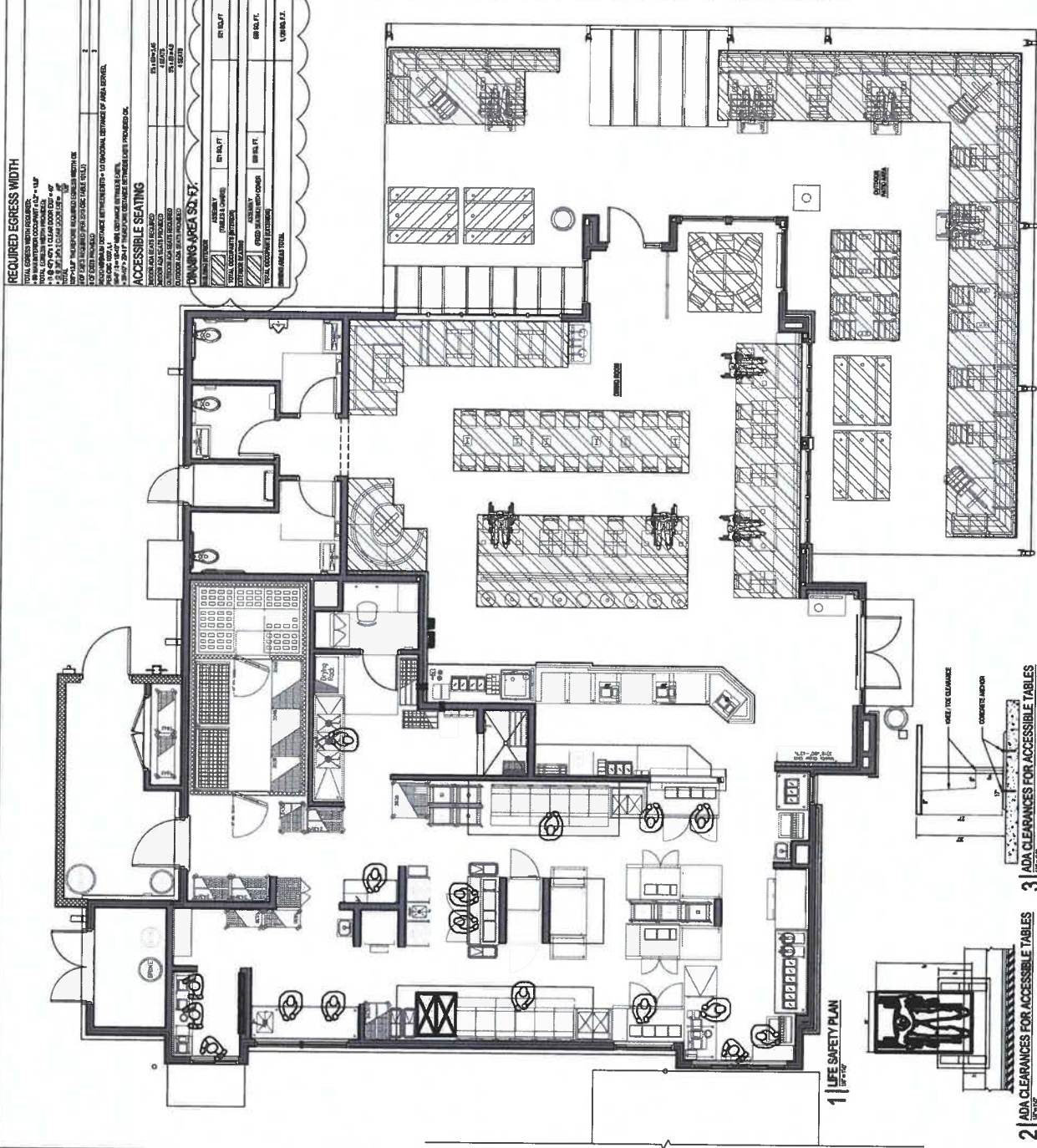
2018 CALIFORNIA BUILDING CODE

SECTION 109.02

109.02.1 ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.

109.02.2 ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.

109.02.3 ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE TABLES SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.



REQUIRED EGRESS WIDTH

TOTAL EGRESS WIDTH REQUIRED:

1. 4'-0" FOR 1 CLEAR DOOR 24" x 48"

2. 4'-0" FOR 1 CLEAR DOOR 24" x 48"

3. 4'-0" FOR 1 CLEAR DOOR 24" x 48"

4. 4'-0" FOR 1 CLEAR DOOR 24" x 48"

5. 4'-0" FOR 1 CLEAR DOOR 24" x 48"

6. 4'-0" FOR 1 CLEAR DOOR 24" x 48"

7. 4'-0" FOR 1 CLEAR DOOR 24" x 48"

8. 4'-0" FOR 1 CLEAR DOOR 24" x 48"

9. 4'-0" FOR 1 CLEAR DOOR 24" x 48"

10. 4'-0" FOR 1 CLEAR DOOR 24" x 48"

ACCESSIBLE SEATING

SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.

SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.

SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.

DINING AREA SEAT

SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.

SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.

SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING. ACCESSIBLE SEATING SHALL BE PROVIDED FOR EACH TYPE OF SEATING AREA BY THE OWNER OF THE BUILDING.

LEGEND

1	ACCESSIBLE TABLE
2	ACCESSIBLE TABLE
3	ACCESSIBLE TABLE
4	ACCESSIBLE TABLE
5	ACCESSIBLE TABLE
6	ACCESSIBLE TABLE
7	ACCESSIBLE TABLE
8	ACCESSIBLE TABLE
9	ACCESSIBLE TABLE
10	ACCESSIBLE TABLE

1 LIFE SAFETY PLAN

UP TO 100

2 ADA CLEARANCES FOR ACCESSIBLE TABLES

UP TO 100

3 ADA CLEARANCES FOR ACCESSIBLE TABLES

UP TO 100

4 ADA CLEARANCES FOR ACCESSIBLE TABLES

UP TO 100

5 ADA CLEARANCES FOR ACCESSIBLE TABLES

UP TO 100

6 ADA CLEARANCES FOR ACCESSIBLE TABLES

UP TO 100

7 ADA CLEARANCES FOR ACCESSIBLE TABLES

UP TO 100

8 ADA CLEARANCES FOR ACCESSIBLE TABLES

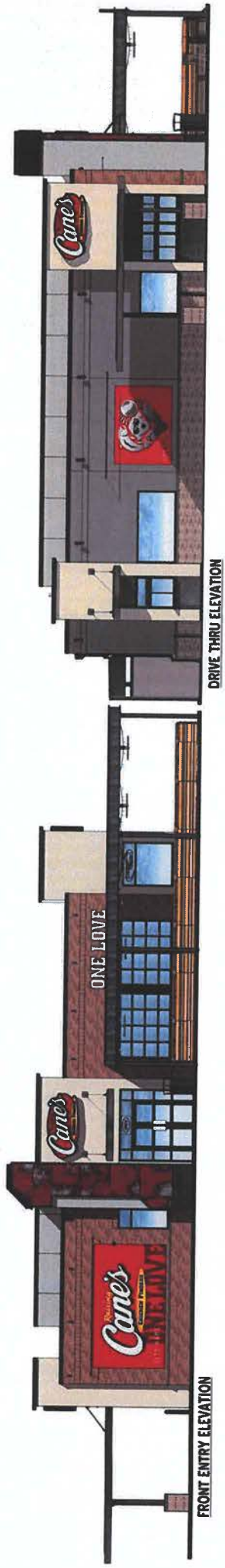
UP TO 100

9 ADA CLEARANCES FOR ACCESSIBLE TABLES

UP TO 100

10 ADA CLEARANCES FOR ACCESSIBLE TABLES

UP TO 100



FRONT ENTRY ELEVATION

DRIVE THRU ELEVATION


SIDE ENTRY ELEVATION





REAR ELEVATION


MATERIAL FINISHES


- EM-3** POWDER COATED STEEL-MATTE BLACK FINISH



- EM-4** RECLAIMED METAL PANEL: VINTAGE CAR HOOD OCCURS AT FACE OF THE T ELEMENT ONLY

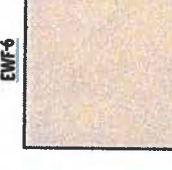

- EMF-1** BELDEN NORMAN BRICK MASONRY MEDIUM RANGE, SMOOTH, IRON SPOT. MORTAR TO MATCH SOLLOMON PRODUCTS ID H. WEATHERED HORIZONTAL STRIKE. VERTICAL JOINTS ARE FLUSH



- EMF-2** "SW 7649 SUMMIT GRAY" PORTLAND CEMENT STUCCO


- EMF-4** BORSAL "ALAMY" QUEEN BRICK MORTAR TO MATCH SOLLOMON PRODUCTS ID H. LIGHT BUFF SACK RUB FINISH


- EMF-5** "122 MOUNTAIN FOG" PORTLAND CEMENT STUCCO


- EMF-6** "456 OYSTER SHELL" CEMENT STUCCO

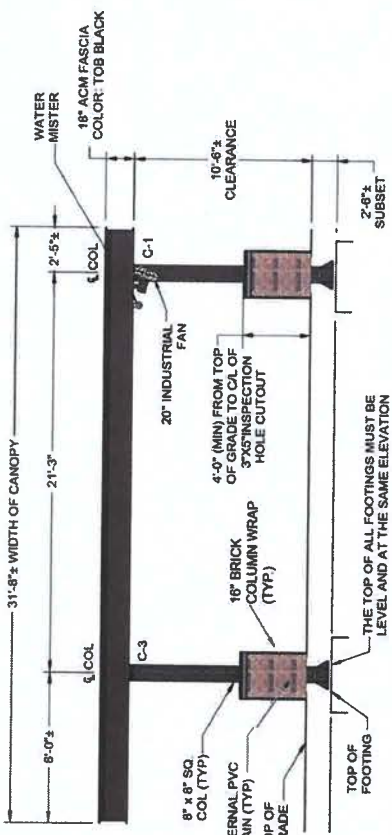

- EMS-2** ALUMINUM STOREFRONT SYSTEM FINISH: ANODIZED BLACK



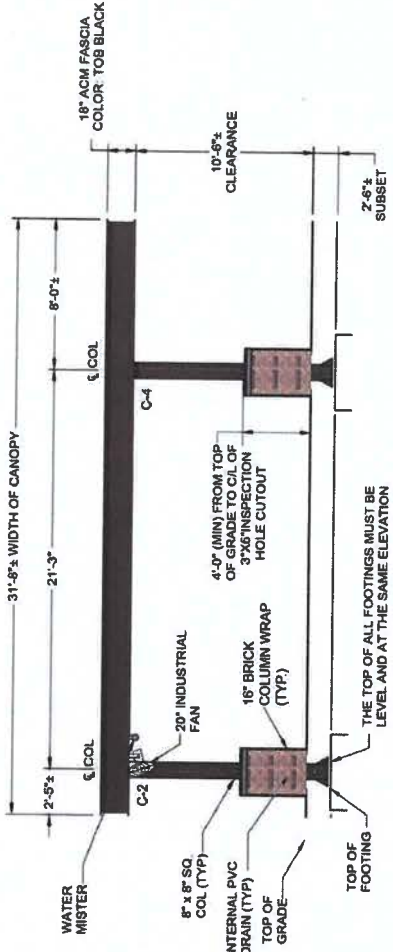


STANDARD ELEVATIONS
 C874 - Nuevo & I-25 - Perris, CA | August 05, 2022

DRIVE-THRU CANOPY ELEVATIONS



1 NORTH ELEVATION



2 SOUTH ELEVATION

MATERIAL FINISHES

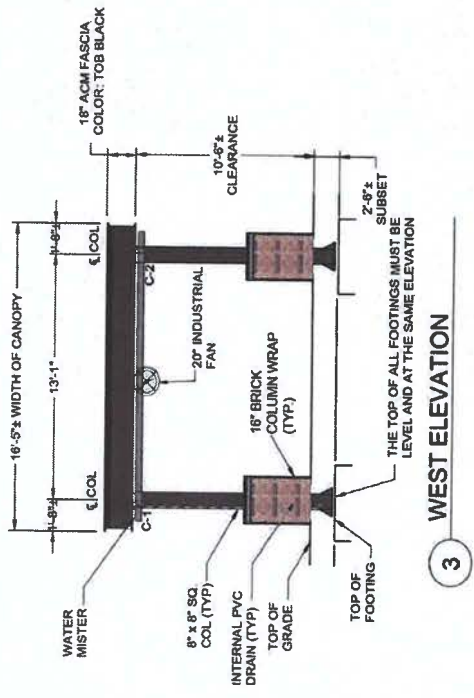


STEEL METAL PAINTED BLACK

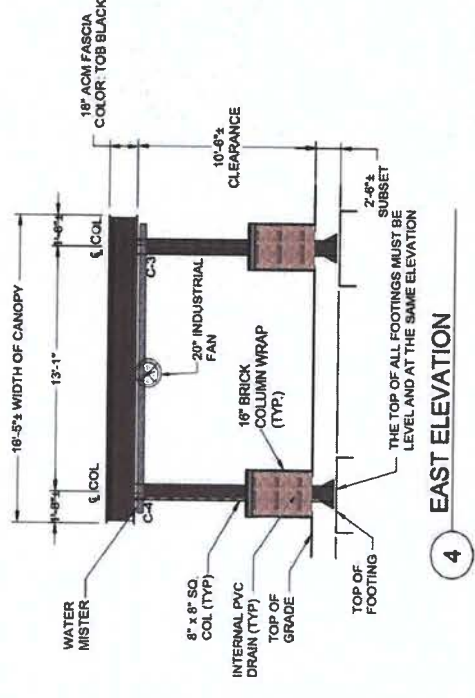


ENF-4

BORAL "ALAMO" QUEEN BRICK, MORTAR TO MATCH SOLOMON PRODUCTS 10 H. LIGHT BUFF SACK RUB FINISH



3 WEST ELEVATION



4 EAST ELEVATION





6800 Bridgeway Plaza, Ft. Worth, TX 76124
 Phone: 817-792-5500 Fax: 817-792-5501
 Restaurant Support Office

Raising Cane's
 Restaurant 8874
 Nuevo 4 1215
 Perris, CA 92571
 PHW/BI

CSRS
 Design's International
 5150 PACIFIC COAST HIGHWAY
 LONG BEACH, CA 90804
 Telephone: 833-923-2626
 www.csrsinc.com

Project Name: 2015-LU
 Project Date: 03/01/2016
 CSRS Project Manager: EPK
 2ND ROUND ENTITLEMENTS
 08/10/22

Sheet/Version	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		

EXTERIOR KEYNOTE
 ELEVATIONS

A4.10

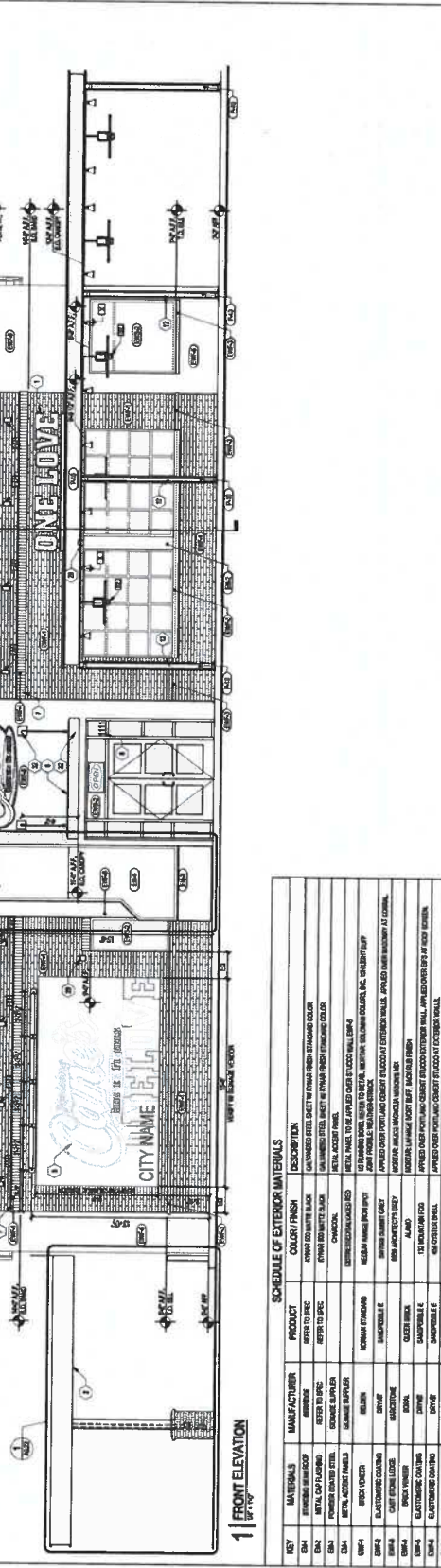
SYMBOL LEGEND

◻	INDOOR FLOOR FINISH
○	KEY MARK
◇	DOOR SWING
□	DOOR SCHEDULE
○	DOOR HANDLE & NUMBER
○	TRAP
○	SEAL OF SECTION INDICATION
○	INTERIOR ELEVATION MARK
○	EXTERIOR ELEVATION MARK
○	FINISH

- ### GENERAL NOTES
- CONTRACTOR TO VERIFY ALL MATERIALS AND FINISHES AT ALL TIMES. VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT AND MANUFACTURER OF ALL MATERIALS.
 - VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT AND MANUFACTURER OF ALL MATERIALS.
 - VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT AND MANUFACTURER OF ALL MATERIALS.
 - VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT AND MANUFACTURER OF ALL MATERIALS.
 - VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT AND MANUFACTURER OF ALL MATERIALS.
 - VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT AND MANUFACTURER OF ALL MATERIALS.
 - VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT AND MANUFACTURER OF ALL MATERIALS.
 - VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT AND MANUFACTURER OF ALL MATERIALS.
 - VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT AND MANUFACTURER OF ALL MATERIALS.
 - VERIFY ALL MATERIALS AND FINISHES WITH ARCHITECT AND MANUFACTURER OF ALL MATERIALS.

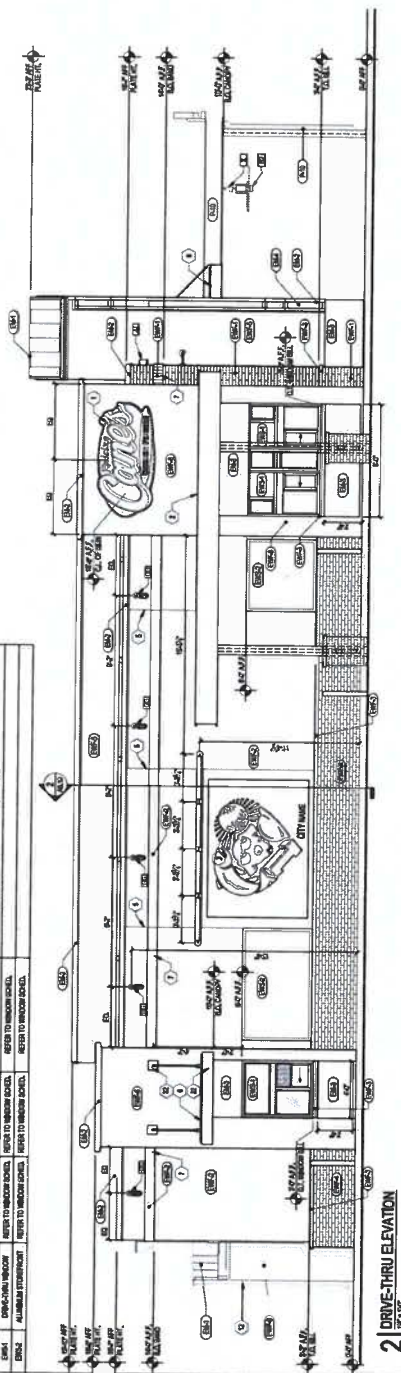
SEALANT NOTES

- SEALANT TO BE APPLIED TO ALL JOINTS AS NOTED.
- SEALANT TO BE APPLIED TO ALL JOINTS AS NOTED.
- SEALANT TO BE APPLIED TO ALL JOINTS AS NOTED.
- SEALANT TO BE APPLIED TO ALL JOINTS AS NOTED.
- SEALANT TO BE APPLIED TO ALL JOINTS AS NOTED.
- SEALANT TO BE APPLIED TO ALL JOINTS AS NOTED.
- SEALANT TO BE APPLIED TO ALL JOINTS AS NOTED.
- SEALANT TO BE APPLIED TO ALL JOINTS AS NOTED.
- SEALANT TO BE APPLIED TO ALL JOINTS AS NOTED.
- SEALANT TO BE APPLIED TO ALL JOINTS AS NOTED.



SCHEDULE OF EXTERIOR MATERIALS

KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
001	PRECAST CONCRETE	PRECAST	CONCRETE PANELS	AS NOTED	CONCRETE PANELS AT EXTERIOR WALLS.
002	GLASS	LOWE'S	GLASS	AS NOTED	GLASS AT EXTERIOR WALLS.
003	PAINT	PPG	PAINT	AS NOTED	PAINT AT EXTERIOR WALLS.
004	BRICK	WATKINS	BRICK	AS NOTED	BRICK AT EXTERIOR WALLS.
005	STAINLESS STEEL	3M	STAINLESS STEEL	AS NOTED	STAINLESS STEEL AT EXTERIOR WALLS.
006	ALUMINUM	ALUMINUM	ALUMINUM	AS NOTED	ALUMINUM AT EXTERIOR WALLS.
007	BRICK	WATKINS	BRICK	AS NOTED	BRICK AT EXTERIOR WALLS.
008	PAINT	PPG	PAINT	AS NOTED	PAINT AT EXTERIOR WALLS.
009	GLASS	LOWE'S	GLASS	AS NOTED	GLASS AT EXTERIOR WALLS.
010	CONCRETE	CONCRETE	CONCRETE	AS NOTED	CONCRETE AT EXTERIOR WALLS.



1 FRONT ELEVATION

2 DRIVE-THRU ELEVATION



Raising Cane's
Restaurant 1874
Nuevo 8 1215
Parris, CA 92571
P-HW/IN

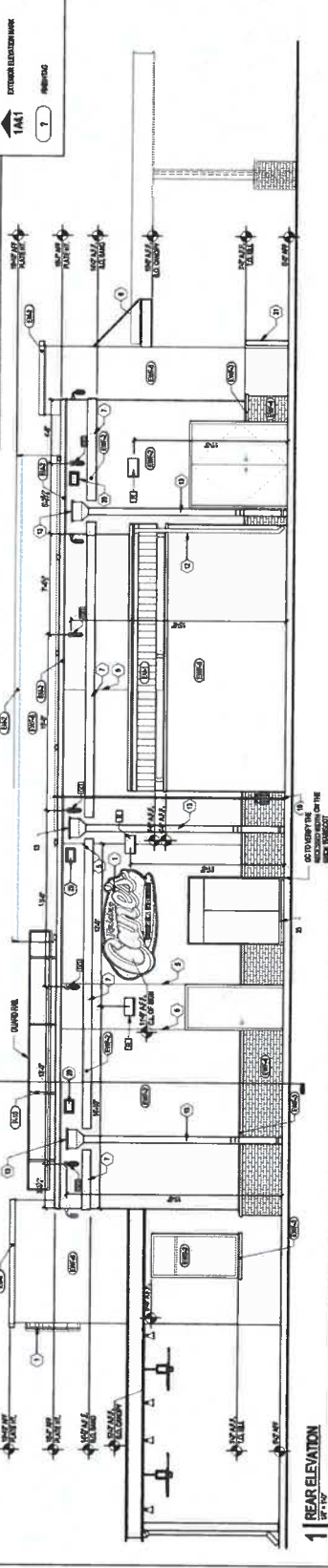
Designer's Information:
CSRS
5150 PACIFIC COAST HIGHWAY
LONG BEACH, CA 90804
Telephone: 833-923-2526
www.csrsinc.com

Project Phase: 2013-10
Project Issue Date: 04/04/2010
CSRS Project Manager:
2ND ROUND ENTITLEMENTS
08/10/22

SYMBOL LEGEND

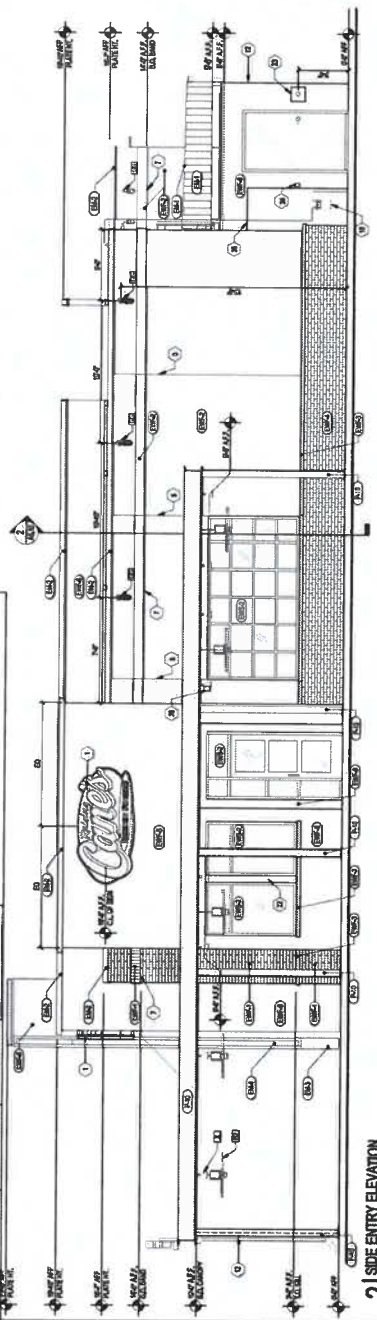
1	WINDSTOPPER
2	KEY MARK
3	DOOR SWING INDICATOR
4	DOOR SWING
5	DOOR SWING & HANDLE
6	DOOR SWING & HANDLE
7	DETAIL OR SECTION REFERENCE
8	INTERIOR ELEVATION MARK
9	EXTERIOR ELEVATION MARK
10	1/4" = 1'-0"

- GENERAL NOTES**
1. VERIFY THE APPROVED ARCHITECTURAL DRAWINGS BEFORE PROCEEDING.
 2. VERIFY ALL DIMENSIONS AND MATERIALS WITH THE ARCHITECT.
 3. VERIFY ALL DIMENSIONS AND MATERIALS WITH THE ARCHITECT.
 4. VERIFY ALL DIMENSIONS AND MATERIALS WITH THE ARCHITECT.
- SEALANT NOTES**
1. VERIFY THE APPROVED ARCHITECTURAL DRAWINGS BEFORE PROCEEDING.
 2. VERIFY ALL DIMENSIONS AND MATERIALS WITH THE ARCHITECT.
 3. VERIFY ALL DIMENSIONS AND MATERIALS WITH THE ARCHITECT.
 4. VERIFY ALL DIMENSIONS AND MATERIALS WITH THE ARCHITECT.



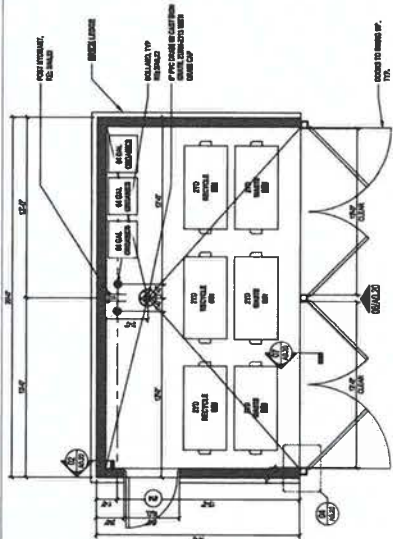
1 REAR ELEVATION
1/4" = 1'-0"

KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
001	EXTERIOR ROOF	EMERALD	EMERALD ROOF	EMERALD	EMERALD ROOF
002	EXTERIOR WALL	EMERALD	EMERALD WALL	EMERALD	EMERALD WALL
003	EXTERIOR FLOOR	EMERALD	EMERALD FLOOR	EMERALD	EMERALD FLOOR
004	EXTERIOR CEILING	EMERALD	EMERALD CEILING	EMERALD	EMERALD CEILING
005	EXTERIOR DOOR	EMERALD	EMERALD DOOR	EMERALD	EMERALD DOOR
006	EXTERIOR WINDOW	EMERALD	EMERALD WINDOW	EMERALD	EMERALD WINDOW
007	EXTERIOR SIGNAGE	EMERALD	EMERALD SIGNAGE	EMERALD	EMERALD SIGNAGE
008	EXTERIOR LIGHTING	EMERALD	EMERALD LIGHTING	EMERALD	EMERALD LIGHTING
009	EXTERIOR PAINT	EMERALD	EMERALD PAINT	EMERALD	EMERALD PAINT
010	EXTERIOR GLASS	EMERALD	EMERALD GLASS	EMERALD	EMERALD GLASS
011	EXTERIOR METAL	EMERALD	EMERALD METAL	EMERALD	EMERALD METAL
012	EXTERIOR FINISH	EMERALD	EMERALD FINISH	EMERALD	EMERALD FINISH
013	EXTERIOR TILE	EMERALD	EMERALD TILE	EMERALD	EMERALD TILE
014	EXTERIOR STONE	EMERALD	EMERALD STONE	EMERALD	EMERALD STONE
015	EXTERIOR BRICK	EMERALD	EMERALD BRICK	EMERALD	EMERALD BRICK
016	EXTERIOR PLASTER	EMERALD	EMERALD PLASTER	EMERALD	EMERALD PLASTER
017	EXTERIOR CONCRETE	EMERALD	EMERALD CONCRETE	EMERALD	EMERALD CONCRETE
018	EXTERIOR INSULATION	EMERALD	EMERALD INSULATION	EMERALD	EMERALD INSULATION
019	EXTERIOR VENTILATION	EMERALD	EMERALD VENTILATION	EMERALD	EMERALD VENTILATION
020	EXTERIOR SECURITY	EMERALD	EMERALD SECURITY	EMERALD	EMERALD SECURITY
021	EXTERIOR ACCESSIBILITY	EMERALD	EMERALD ACCESSIBILITY	EMERALD	EMERALD ACCESSIBILITY
022	EXTERIOR SUSTAINABILITY	EMERALD	EMERALD SUSTAINABILITY	EMERALD	EMERALD SUSTAINABILITY
023	EXTERIOR AESTHETICS	EMERALD	EMERALD AESTHETICS	EMERALD	EMERALD AESTHETICS
024	EXTERIOR FUNCTIONALITY	EMERALD	EMERALD FUNCTIONALITY	EMERALD	EMERALD FUNCTIONALITY
025	EXTERIOR DURABILITY	EMERALD	EMERALD DURABILITY	EMERALD	EMERALD DURABILITY
026	EXTERIOR SAFETY	EMERALD	EMERALD SAFETY	EMERALD	EMERALD SAFETY
027	EXTERIOR COMFORT	EMERALD	EMERALD COMFORT	EMERALD	EMERALD COMFORT
028	EXTERIOR ENERGY EFFICIENCY	EMERALD	EMERALD ENERGY EFFICIENCY	EMERALD	EMERALD ENERGY EFFICIENCY
029	EXTERIOR SOUND ABSORPTION	EMERALD	EMERALD SOUND ABSORPTION	EMERALD	EMERALD SOUND ABSORPTION
030	EXTERIOR AIR QUALITY	EMERALD	EMERALD AIR QUALITY	EMERALD	EMERALD AIR QUALITY
031	EXTERIOR WATER RESISTANCE	EMERALD	EMERALD WATER RESISTANCE	EMERALD	EMERALD WATER RESISTANCE
032	EXTERIOR FIRE RESISTANCE	EMERALD	EMERALD FIRE RESISTANCE	EMERALD	EMERALD FIRE RESISTANCE
033	EXTERIOR VIBRATION RESISTANCE	EMERALD	EMERALD VIBRATION RESISTANCE	EMERALD	EMERALD VIBRATION RESISTANCE
034	EXTERIOR CORROSION RESISTANCE	EMERALD	EMERALD CORROSION RESISTANCE	EMERALD	EMERALD CORROSION RESISTANCE
035	EXTERIOR UV PROTECTION	EMERALD	EMERALD UV PROTECTION	EMERALD	EMERALD UV PROTECTION
036	EXTERIOR MOLD RESISTANCE	EMERALD	EMERALD MOLD RESISTANCE	EMERALD	EMERALD MOLD RESISTANCE
037	EXTERIOR BACTERIA RESISTANCE	EMERALD	EMERALD BACTERIA RESISTANCE	EMERALD	EMERALD BACTERIA RESISTANCE
038	EXTERIOR ALLERGY RESISTANCE	EMERALD	EMERALD ALLERGY RESISTANCE	EMERALD	EMERALD ALLERGY RESISTANCE
039	EXTERIOR OZONE RESISTANCE	EMERALD	EMERALD OZONE RESISTANCE	EMERALD	EMERALD OZONE RESISTANCE
040	EXTERIOR ACID RESISTANCE	EMERALD	EMERALD ACID RESISTANCE	EMERALD	EMERALD ACID RESISTANCE
041	EXTERIOR ALKALI RESISTANCE	EMERALD	EMERALD ALKALI RESISTANCE	EMERALD	EMERALD ALKALI RESISTANCE
042	EXTERIOR SALT RESISTANCE	EMERALD	EMERALD SALT RESISTANCE	EMERALD	EMERALD SALT RESISTANCE
043	EXTERIOR OIL RESISTANCE	EMERALD	EMERALD OIL RESISTANCE	EMERALD	EMERALD OIL RESISTANCE
044	EXTERIOR GREASE RESISTANCE	EMERALD	EMERALD GREASE RESISTANCE	EMERALD	EMERALD GREASE RESISTANCE
045	EXTERIOR STAIN RESISTANCE	EMERALD	EMERALD STAIN RESISTANCE	EMERALD	EMERALD STAIN RESISTANCE
046	EXTERIOR SCRATCH RESISTANCE	EMERALD	EMERALD SCRATCH RESISTANCE	EMERALD	EMERALD SCRATCH RESISTANCE
047	EXTERIOR IMPACT RESISTANCE	EMERALD	EMERALD IMPACT RESISTANCE	EMERALD	EMERALD IMPACT RESISTANCE
048	EXTERIOR BURST RESISTANCE	EMERALD	EMERALD BURST RESISTANCE	EMERALD	EMERALD BURST RESISTANCE
049	EXTERIOR PUNCTURE RESISTANCE	EMERALD	EMERALD PUNCTURE RESISTANCE	EMERALD	EMERALD PUNCTURE RESISTANCE
050	EXTERIOR PERFORATION RESISTANCE	EMERALD	EMERALD PERFORATION RESISTANCE	EMERALD	EMERALD PERFORATION RESISTANCE

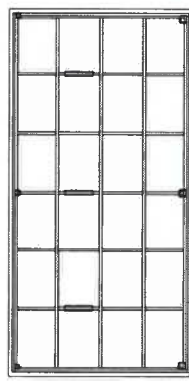
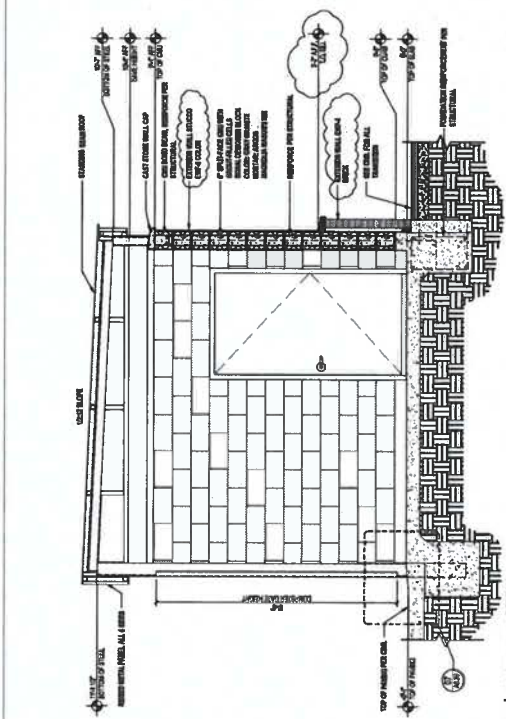


EXTERIOR KEYNOTE
ELEVATIONS

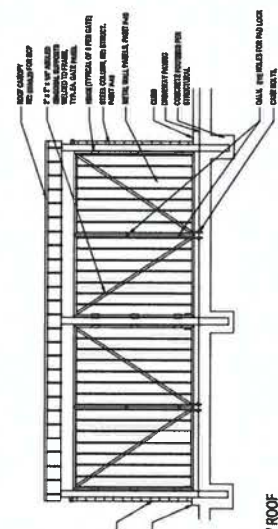
A4.20



01 | STANDARD DUMPSTER PLAN
1/2" = 1'-0"

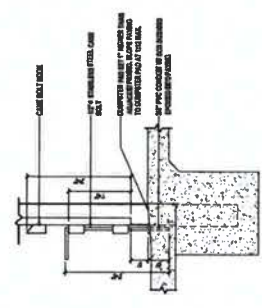


03 | DUMPSTER RCP
1/2" = 1'-0"

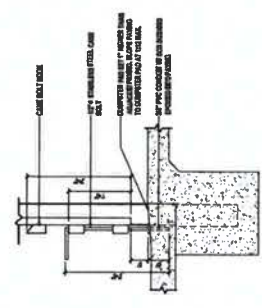


06 | DUMPSTER ENCLOSURE W/ ROOF
1/2" = 1'-0"

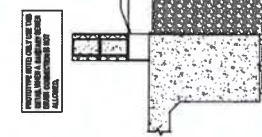
4 | DUMPSTER GATE DETAIL
1/2" = 1'-0"



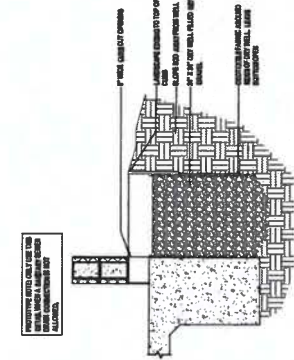
7 | DUMPSTER GATE THRESHOLD DETAIL
1/2" = 1'-0"



5 | NOT USED
1/2" = 1'-0"



8 | DRY WALL DRAIN DETAIL
1/2" = 1'-0"



Raising Cane's
Restaurant #874
Huro & 1215
Pemb, CA 92571
P1-HV(A)

CSRS
Engineering & Architecture
6150 PACIFIC COAST HIGHWAY
LONG BEACH, CA 90804
Telephone: 833-923-2528
www.csrsinc.com

Project Name: 2013-10
Project Number: 04-00-000
CSRS Project Manager: DM
2ND ROUND ENTITLEMENTS
08/10/22

Sheet Number	Date	Description

DUMPSTER DETAILS
(STANDARD)

Sheet Title: A0.20

Planning Commission Agenda

CITY OF PERRIS

March 15, 2023

Item

7B

***Specific Plan Amendment 22-05053,
Tentative Parcel Map 22-05028 (TPM 38385),
and Development Plan Review 20-00021***



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

- MEETING DATE:** March 15, 2023
- SUBJECT:** Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), and Development Plan Review 20-00021 – A proposal to consider the following entitlements to facilitate the construction of a 254,511-square-foot industrial warehouse building on a 12.60-acre site, located on the east side of Redlands Avenue between E. Rider Street and Placentia Avenue, in the Perris Valley Commerce Center Specific Plan (PVCCSP): 1) Specific Plan Amendment to remove a paper/unimproved street from the Circulation Plan of the PVCCSP; 2) Tentative Parcel Map to merge six (6) parcels into one (1) parcel; and 3) Development Plan Review for the site plan and building elevations. (APNs: 300-210-006, -007, -008, -026, -027 and -028). Applicant: Michael Johnson of Lake Creek Industrial, LLC.
- REQUESTED ACTION:** Adopt Resolution 23-07 recommending that the City Council adopt Mitigated Negative Declaration No. 2358 and the Mitigation Monitoring and Reporting Program, and approve Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), and Development Plan Review 20-00021 to facilitate the construction of a 254,511-square-foot industrial warehouse building, based on the findings and the Conditions of Approval.
- CONTACT:** Kenneth Phung, Director of Development Services

PROJECT SITE BACKGROUND:

The proposed project site consists of 6 vacant parcels and a paper/unimproved street consisting of Lots “B,” “C,” and “D,” totaling 12.60 acres. Three of the existing parcels front onto the paper/unimproved street and range in size from 0.72 to 0.91 acres. The remainder three parcels front on Redlands Avenue and range in size from 3.03 to 3.19 acres. The site is generally flat with minimal vegetation and located in the Light Industrial Zone of the Perris Valley Commerce Center Specific Plan (PVCCSP). The project site is located in the B2 (High Noise) Zone of the March Air Force Base/Inland Port Airport Land Use Compatibility Plan (MARB/IPA ALUCP), which prohibits residential uses, children’s schools, daycare centers, libraries, hospitals, congregate care facilities, hotels/motels, places of assembly, and limits the number of people per acre to an average of 100 people.

Surrounding uses include an industrial building under construction to the north, industrial-zoned land to the east and south, and an industrial project recently recommended for approval by the Planning Commission to the City Council to the west across Redlands Avenue.

PROJECT DESCRIPTION:

The applicant is proposing an amendment to the Perris Valley Commerce Center Specific Plan (PVCC-SP) to remove the paper/unimproved street consisting of Lots “B,” “C,” and “D”; a Tentative Parcel Map to merge six (6) parcels into a single parcel totaling 11.70 acres and dedicate 0.90 acres for right of way dedication; and Development Plan Review for the site plan and building elevations of a proposed industrial warehouse building.

The proposed 254,511-square-foot industrial warehouse building includes an 8,000-square-foot office area consisting of a 4,000-square-foot mezzanine and 4,000-square-foot ground floor area, and a 246,511-square-foot non-refrigerated warehouse area. A total of 31 dock doors and two above grade loading doors are proposed on the east side of the building. Rolling wrought iron gates, 8 feet in height, are provided to secure the loading areas. Screening of the loading areas along the east, north, and south sides will be provided by a 14-foot-high decorative tilt-up screen wall. The project will be served by 106 parking spaces and 47 trailer parking spaces.

Access to the project site is proposed via three driveways along Redlands Avenue. The northerly and southerly driveways are designed for truck access. The centrally located driveway is proposed for passenger vehicles only. Truck circulation is limited to and from I-215/Harley Knox Boulevard Interchange, Harley Knox Boulevard, and Redlands Avenue, or to and from I-215/Placentia Avenue Interchange via Placentia Avenue (no truck access on Placentia Avenue east of Perris Boulevard), Indian Avenue, Morgan Street, Redlands Avenue. Truck access to and from Ramona Expressway and Perris Boulevard is prohibited.

PROJECT ANALYSIS:

The table below summarizes the Project’s consistency with the General Plan, PVCC Specific Plan, Zoning Code, Title 18 Subdivision Code, and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan:

	Consistent	Inconsistent
<p>Consistency with the General Plan</p> <p>The Project is located in Planning Area 3 (Agricultural Conversion Area) of the General Plan, which allows for Agricultural Conversion Area for expansion of industrial and commercial opportunities due to the area’s proximity to the I-215 freeway, the cargo airport, other industrial and commercial land uses, and an existing rail line along the western edge of the Planning Area. As proposed, the Project will be consistent with the General Plan and will further the following General Plan Circulation Element goals:</p> <ul style="list-style-type: none"> o Goal II – A well planned, designed, constructed, and maintained street and highway system that facilitates the movement of vehicles and provides safe and convenient 	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Consistent	Inconsistent
<p>access to surrounding developments.</p> <ul style="list-style-type: none"> ○ Goal V - Efficient goods movement. <ul style="list-style-type: none"> - V.A.8: Require streets abutting properties in Light Industrial and General Industrial zones to conform to standard specifications for industrial collector streets to accommodate the movement of heavy trucks. - V.A.8: Provide adequate off-street loading areas for all commercial and manufacturing land uses. 		
<p>Consistency with the Perris Valley Commerce Center (PVCC) Specific Plan and Zoning Code</p> <p>The project site is in the Light Industrial (LI) Zone within the PVCC Specific Plan, which is intended for light industrial uses and related activities, including manufacturing, research, warehouse and distribution, assembly of non-hazardous materials, and retail related to manufacturing (Exhibit C). The Project proposes to amend the PVCCSP to remove a paper/unimproved street consisting of Lots “B,” “C,” and “D” from the Circulation Plan of the PVCCSP. The proposed amendment will facilitate industrial development in compliance with the LI Zone (Exhibit E).</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with Title 18 - Subdivisions</p> <p>The Project proposes to consolidate the six (6) parcels into a single 12.60-acre parcel (Exhibit F). The resulting parcel exceeds the minimum lot depth and width requirements of the underlying LI Zone of the PVCC Specific Plan. The map will also summarily vacate the paper/unimproved street to facilitate the development of the proposed 254,511-square-foot industrial warehouse building. Thus, the Project will be consistent with the PVCC Specific Plan and Title 18 – Subdivision Code.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB/IPA ALUCP)</p> <p>The Project site is located within Zone B2 (High Noise Zone) of the MARB/IPA ALUCP. Compatibility Zone B2 is a high noise zone (Exhibit D). The proposed Project was analyzed by ALUC on November 10, 2022, for consistency with the B2 Zone and was determined to be conditionally consistent with the MARB/IPA ALUCP.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

The table below summarizes compliance with the PVCCSP Development Standards for the Light Industrial Zone and Chapter 19.69 – Parking Development Standards of the Zoning Code.

Perris Valley Commerce Center Specific Plan Light Industrial Zone - Development Standards					
Standard		Proposed	Consistent	Inconsistent	
Lot Coverage	50 percent maximum	49.15 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
FAR (Floor Area Ratio)	0.75	0.50	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minimum Lot Size	15,000 square feet (0.34 acres)	11.7 acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Height	50 feet	48 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Setbacks	Front Yard: Redlands Ave (east)	35 feet	95 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Interior Side Yards: North Side South Side	0 feet	48.80 feet 49.71 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rear Yard (west)	0 feet	130 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Landscape Coverage	12 percent	12.20 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Parking Standards Chapter 19.69 – Parking Development Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Industrial	Warehouse: 20,000 s.f. (1space/1000 s.f.)	20 spaces			
	20,000 – 40,000 s.f. (1 space /2000 s.f.)	10 spaces	106 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Over 40,000 s.f. (1 space/5000 s.f.)	43 spaces			
Total Parking		73 spaces	106 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Parking			33 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS

- **Building Elevations/Architecture**

The proposed industrial warehouse building consists of contemporary architecture. It utilizes varying complementary colors and materials to distinguish the building's base, body, and cap, as required by the PVCC-SP. The building's design elements include a combination of varying rooflines, decorative cornice (roof cap) treatment, window glazing, and recessed panels to create both horizontal and vertical variations for visual interest. The proposed color palette includes a variety of grey shades, white colors, and elements framing the office areas painted a rust color as an accent. As the Commission

has previously expressed concern with the rust accent color in the past, a condition of approval is recommended requiring the rust accent color be replaced with a veneer material complementary to the color palette of the building. Rooftop equipment will be screened and not visible from the street (Exhibit G).

- **Employee Amenity and Recreation area**

Buildings over 100,000 square feet must have at least one (1) indoor employee amenity and two (2) outdoor employee amenities. The proposed project includes two outdoor amenity areas, including a landscaped, concrete lunch patio with a seating area covered with a trellis structure on the west side of the building and a horseshoe/bocce ball sand pit on the east side of the building. In addition, an indoor amenity area is proposed on the northeast side of the building. As proposed, the project amenities comply with the requirements of the Code (Exhibit G).

- **Landscaping**

The proposed conceptual landscape plan has been designed to provide a mix of African sumac trees and lavender crepe myrtle with accents thornless Palo Verde trees along the Redlands Avenue frontage. African sumac trees are planned for the northern and southern site boundaries. Brisbane box trees will provide shade for the outdoor bocce court.

Overall, the on-site landscaping area totals approximately 61,752 square feet or 12.2%, which exceeds the minimum landscape requirement of 12%. Therefore, the conceptual landscaping complies with the landscape requirements of the PVCC Specific Plan (Exhibit G). The plans erroneously show an 8-foot-high tubular steel fence on the site's east side to screen the loading area. A condition of approval is recommended requiring the tubular steel fence to be replaced with a decorative 14-foot-high screen wall to match the building.

- **Fencing/Walls**

A combination of decorative tilt-up screen walls and tubular steel fencing is proposed for screening, privacy, noise control, and security. Tubular steel fencing painted black, 8 feet in height, is proposed along the interior sides of the site. Wrought iron gates with obscure material are proposed to secure the truck loading and trailer parking area. A 14-foot-high decorative tilt-up wall is proposed along the east (rear), north and south sides of the loading area to screen the truck parking and loading area from public view. Staff notes that pilasters are not proposed and recommends that pilasters be added every 100 feet to break up the massing of the proposed screen walls and fencing. Additionally, the wall returns along each side of the gates are proposed to be 13 feet in height. Staff is recommending a condition of approval requiring the wall returns be increased in height to 14 feet for consistency with the perimeter wall height and to adequately screen the loading area from public view (Exhibit G).

ENVIRONMENTAL DETERMINATION

An Initial Study was prepared for the Project in accordance with the California Environmental Quality Act (CEQA), which concluded that all potential significant effects on the environment could be reduced to less than significant levels with mitigation measures. In accordance with the

California Environmental Quality Act (CEQA), a Notice of Intent to adopt a Mitigated Negative Declaration (NOI) was published with a 30-day public review period starting on November 28, 2022, and ending on December 28, 2022. The NOI was also posted on the City's website and at City Hall and sent to public agencies and property owners within a 300-foot radius of the Project site. The IS/MND 2358 has been available for public review at the Development Services public counter, and on the City's website.

During the thirty-day comment period, the City received six (6) comment letters from the following interested parties (Exhibit H):

1. South Coast Air Quality Management District (SCAQMD) – Notes that cumulative air quality impacts should be studied by the Lead agency and provides information detailing that the project is subject to SCAQMD permits.
2. California Department of Fish and Wildlife (CDFW) – Notes that the project is within the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) area, as well as habitat areas for narrow endemic plant species, burrowing owl, and nesting birds, and provides information for required fees and permits.
3. Golden State Environmental Justice Alliance (GSEJA) – Notes general objection to the project. Staff received a letter from Blum Collins & Ho LLP, on behalf of Golden State Environmental Justice Alliance, withdrawing prior comments regarding the project.
4. Riverside County Flood Control (RCFC) – Notes that the project is located in an area planned for the Mid County Parkway transportation corridor.
5. Center for Community Action and Environmental Justice (CCA EJ) – Notes that cumulative air quality impacts may be surpassed if the project allows for cold storage, asks that air monitoring equipment be installed at the project and that the project use the most up-to-date designs and standards for active transportation.
6. Adam Salcido – Asked to be notified of any hearings related to the project.

Responses to Comments were prepared and included in the Final MND 2358. None of the comments raised additional environmental concerns that have not already been addressed in the IS/MND 2358 or constitute "significant new information," or meet any of the conditions in Section 15088.5 of the State CEQA Guidelines that would require recirculation of the IS/MND 2358 (Exhibit J).

PUBLIC HEARING NOTICE:

A notice of public hearing for the Planning Commission meeting was published in the local newspaper and sent to agencies and property owners within 300 feet of the project site for the March 1, 2023 Planning Commission meeting. Since the meeting was cancelled, this project was continued to March 15, 2023, Planning Commission meeting. The Notice of Continuance and Notice of Meeting Cancellation were posted at the City Council Chambers and broadcasted at the time of the meeting on March 1, 2023. Thus, new noticing is not required.

RECOMMENDATION:

The Planning Commission adopt Resolution Adopt Resolution 23-07 recommending that the City Council adopt Mitigated Negative Declaration No. 2377 and the Mitigation Monitoring and Reporting Program, and approve Specific Plan Amendment 22-05053, Tentative Parcel Map 22-

05028 (TPM-38385), and Development Plan Review 20-00021 to facilitate the construction of a 254,511 square foot industrial warehouse building, based on the findings and the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: There is no fiscal impact associated with this project since all project costs are borne by the applicant.

Prepared by: Chantal Power, AICP, Contract Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Resolution 23-07 with Conditions of Approval (Planning, Engineering, Public Works, Community Services, and Building & Safety).
- B. Location/Aerial Photo
- C. PVCCSP Land Use Map
- D. MARB/IPA ALUCP Map
- E. Existing and Proposed PVCCSP Amendment Maps (Figures Removing Street Segments Lots “B”, “C”, and “D”)
- F. Tentative Parcel Map
- G. Project Plans (Site Plan, Fire Access Site Plan, Floor Plan, Building Elevations, Site Cross Sections, and Conceptual Landscape/ Fence and Wall Plans)
- H. Public Comments and Response to Comments
Due to the size of the file, the documents are available online at:
<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-328>
- I. Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, Associated Technical Studies.
Due to the size of the files, the documents are available online at:
<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-328>

EXHIBIT A

**Resolution 23-07 with Conditions of Approval
(Planning, Engineering, Public Works,
Community Services, and Building & Safety)**

RESOLUTION NUMBER NO. 23-07

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS , COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL ADOPT MITIGATED NEGATIVE DECLARATION 2358 AND APPROVE SPECIFIC PLAN AMENDMENT 22-05053, TENTATIVE PARCEL MAP 22-05028 (TPM 38385), AND DEVELOPMENT PLAN REVIEW 20-00021 TO AMEND THE CIRCULATION PLAN OF THE PERRIS VALLEY COMMERCE CENTER SPECIFIC PLAN FOR THE REMOVAL OF AN EXISTING PAPER STREET AND MERGE SIX (6) EXISTING PARCELS INTO ONE (1) PARCEL TO FACILITATE THE CONSTRUCTION AND OPERATION OF A 254,511 SQUARE FOOT INDUSTRIAL WAREHOUSE ON A 12.60 ACRE SITE LOCATED ON THE EAST SIDE OF REDLANDS AVENUE BETWEEN RIDER STREET AND PLACENTIA AVENUE BASED UPON THE FINDINGS HEREIN AND SUBJECT TO CONDITIONS OF APPROVAL.

WHEREAS, the applicant, Michael Johnson of Lake Creek Industrial, LLC proposes to amend the Circulation Plan of the Perris Valley Commerce Center Specific Plan (“PVCCSP”) to remove an existing paper street, consolidate six (6) existing parcels into one (1) parcel, and allow the construction and operation of a 254,511 square foot industrial warehouse along with the required improvements on a 12.60-acre site located at the east side of Redlands Avenue between Rider Street and Placentia Avenue; and

WHEREAS, Specific Plan Amendment (“SPA 22-05053”), Tentative Parcel Map 22-05028 (“TPM 38385”), and Development Plan Review (“DPR 20-00021”), applications were submitted for consideration to amend the PVCCSP Circulation Plan to remove an existing paper street, and merge six (6) parcels into one (1) parcel to facilitate the construction and operation of an industrial warehouse (collectively, the “Project”); and

WHEREAS, proposed SPA 22-05053, TPM 22-05028 (TPM 38385), DPR 20-00021 are considered a “Project” as defined by the California Environmental Quality Act (“CEQA”); and

WHEREAS, an Initial Study and Mitigated Negative Declaration (MND 2358) was prepared for the above-mentioned Project and was publicly reviewed for a thirty (30) day period in accordance with CEQA, from November 28, 2022 through December 28, 2022; and

WHEREAS, the Project is located within the Airport Overlay Zone of the 2014 March Air Reserve Base/Inland Port Airport Lands Use Compatibility Plan (“MARB/IPA ALUCP”) and the project site is within Airport Overlay Zone B2 (High Noise Zone), which prohibits residential uses and limits the number of people to an average of 100 people per acre and no more than 250 people per single acre; and

WHEREAS, the Airport Land Use Commission (“ALUC”) conducted a hearing on **November 10, 2022**, to consider the Project’s consistency with the B2 Zone and determined the Project is conditionally consistent with the MARB/IPA ALUCP; and

WHEREAS, March 1, 2023 Planning Commission public hearing was continued to March 15, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, Planning Commission held a duly a noticed public hearing on March 15, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence related to the Project; and

WHEREAS, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City by members of the public and City staff during all Project meetings and hearings; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS does resolve as follows:

Section 1. The above recitals are all true and correct and incorporated herein by reference.

Section 2. Based upon the forgoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports presented at its public hearing on March 15, 2023, the Planning Commission hereby determines pursuant to Section 15074 of the CEQA Guidelines that all potential significant effects on the environment can be reduced to a less than significant level through mitigation measures, the design of the development, the City’s Zoning Code, and standard requirements of the City, state and federal regulatory agencies; therefore a Mitigated Negative Declaration has been prepared, with findings that:

- A. No significant environmental effects would occur and there is no substantial evidence, in light of the whole record, that the Project may have a significant effect on the environment, and Mitigated Negative Declaration 2358 has been prepared.
- B. The City has complied with CEQA.
- C. Determinations of the Planning Commission reflect the independent judgment of the City.

Section 3. Based on the forgoing, the Initial Study and MND 2358 and all oral and written communications submitted by members and City staff to the Planning Commission at the March 15, 2023, public hearing (including, but not limited to, all staff reports and supporting exhibits), the Planning Commission further finds the following:

Specific Plan Amendment 22-05053

- A. The Specific Plan Amendment is consistent with the General Plan Land Use Map and applicable General Plan objectives, policies, and programs.*

The proposed amendment to the Circulation Plan of the Perris Valley Commerce Center Specific Plan (“PVCCSP”) is consistent with the General Plan, in that the General Plan Land Use will remain within the PVCCSP and is located within the General Plan area designated as planning Area 3: Agricultural Conversion Area which is generally made up of commercial and industrial land uses.

In addition, the proposed Specific Plan Amendment promotes Goal III of the General Plan Land Use Element, and Goals II and V, and Policies V.A and VIII.B of the General Plan Circulation Element:

Goal III (Land Use Element): Commerce and industry to provide jobs for residents at all economic levels.

Goal II (Circulation Element): A well planned, designed, constructed, and maintained street and highway system that facilitates the movement of vehicles and provides safe and convenient access to surrounding developments.

Goal V (Circulation Element): Efficient goods movement.

Policy V.A (Circulation Element): Provide for safe movement of goods along the street and highway system.

Policy VIII.B (Circulation Element): Identify Transportation System Management (TSM) strategies that will assist in mitigating traffic impacts and that will maintain the desired level of service along the street and highway system.

- B. The Specific Plan provides adequate text and diagrams to adequately address the following issues in detail:*

1. The distribution, location, and extent of the land uses of land, including open space, within the area covered by the Plan.

2. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the Plan and needed to support the land uses described in the Plan.

3. *Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.*

4. *A program of implementation measures including regulation, programs, public works projects, and financing measures necessary to carry out the provisions contained in paragraphs 1, 2, and 3 above.*

The Specific Plan Amendment proposes to 1) Amend the Circulation Plan of the PVCCSP to remove an existing paper street in order to facilitate the proposed industrial warehouse project located within the Light Industrial Zone, and will not impact existing land uses, including existing open space within the PVCCSP. The following maps have been revised to reflect the removal of the street from the PVCCSP:

- Figure 3.0-1 Circulation Plan Map
- Figure 3.0-4 Mass Transit Routes
- Figure 3.0-5 Trails System Map
- Figure 3.0-7 Existing EMWD Water Map
- Figure 3.0-8 Existing EMWD Sewer Map
- Figure 3.0-9 Existing EMWD Recycled Water Map
- Figure 3.0-12 Existing Natural Gas Map
- Figure 3.0-13 Existing Electrical Map
- Figure 3.0-14 Existing Telephone Map
- Figure 3.0-15 Electrical Cable TV Map

Chapters 4.0 – On-Site Design Standards and Guidelines, 5.0 – Off-Site Design Standards and Guidelines, 6.0 – Landscape Standards and Guidelines, 8.0 – Industrial Design Standards and Guidelines, provide adequate text and diagrams, and standards and criteria by which the proposed development will proceed, including standards for conservation, development, and utilization of natural resources, where applicable. The Specific Plan Amendment does not propose to change or revise any text or diagrams in these Chapters. As noted above, the Specific Plan Amendment proposes to revise Figures in Chapter 3 – Infrastructure Plan, to remove the paper street on the project site from those maps where it is shown. The paper street will be summarily vacated in order to facilitate the proposed industrial warehouse project.

Chapter 13 – Implementation and Administrative Process of the PVCCSP establishes a program of implementation measures including regulation, programs, and financing measures necessary to carry out the provisions contained in paragraphs 1, 2, and 3 above. Chapter 3 – Infrastructure Plan of the PVCCSP outlines public works projects within the PVCCSP with text and diagrams intended to guide and support development in the PVCCSP. As noted above, the project requires removal of a paper street detailed on several of the Figures contained within Chapter 3, in order to facilitate the proposed summary vacation of the paper street that will occur in connection with the proposed industrial warehouse project.

Tentative Parcel Map 22-05028 (TPM 38385)

- A. *The proposed map is consistent with applicable General Plan and Specific Plans.*

The Project proposes a tentative parcel map to consolidate six (6) existing parcels into one (1) 12.60-acre parcel, consistent with the minimum lot size requirement of 15,000 square feet in the Light Industrial (“LI”) Zone, to facilitate the construction and operation of a 254,511 square foot industrial warehouse within the LI Zone of the PVCCSP, which allows for “light industrial uses and related activities including manufacturing, research, warehouse and distribution, assembly of non-hazardous materials and retail related to manufacturing.” The Project site is also located in the area designated as Planning Area 3: Agricultural Conversion Area, of the City of Perris General Plan, which notes that the largest land use category within this Planning Area is Light Industrial, and that due to the area’s proximity to Interstate I-215, the cargo airport, other industrial and commercial land uses, and an existing rail line along the western edge, future development should be planned to expand industrial and commercial opportunities.

- B. *The design or improvement of the proposed subdivision is consistent with the applicable General Plan and Specific Plan.*

The proposed TPM-38385 project will not affect health, safety, and welfare, in that utilities and services are readily available to serve the site and required improvements will be in accordance with applicable city and affected agency policies and regulations.

- C. *That the site is physically suitable for the type and density of the proposed development.*

As noted above, the Project proposes a tentative parcel map to consolidate six (6) existing parcels into one (1) 12.60-acre parcel. The Project has been designed to provide adequate safe access for each proposed parcel; lot sizes are adequate to facilitate future light industrial development; and appropriate improvements will be constructed to mitigate impacts to adjacent roadways. The project has also been designed to be consistent with development standards of the underlying LI Zone.

The Project will be consistent with all applicable Code requirements for industrial projects located in the Light Industrial Zone of the PVCCSP including lot coverage, floor area ratio, height, setbacks, landscaping, and parking as noted in the staff report.

- D. *That the design of the map or the type of improvements will not cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat.*

The potential environmental impacts associated with the Project were evaluated in a Draft Initial Study/Mitigated Negative Declaration (“IS/MND”). It has been determined that all potential effects of the Project on biological resources will be reduced to less than significant levels with implementation of mitigation measures MM Bio 1 – MM Bio 6 contained within the Project MMRP.

- E. *That the design of the map or the type of improvements will not cause serious public health problems.*

The potential environmental impacts associated with the Project were evaluated in a Draft IS/MND. It has been determined that all potential effects of the Project most likely to impact public health such as air quality, hazards and hazardous materials, noise, and traffic and transportation, will be reduced to less than significant levels with implementation of mitigation measures MM Air 1 – MM Air 21, MM Haz 1 – MM Haz 7, MM Noise 1 – MM Noise 5, and MM Trans 1 – MM Trans 8 contained within the Project MMRP.

- F. *That the design of the subdivision or the type of improvements will not conflict with easements of record or easements established by court judgment, acquired by the public at large, for access through or use of, property within the proposed subdivision.*

The proposed TPM-38385 project will not conflict with existing easements of record or easements established by court judgment or the public for access through or use of the property as the map has been designed to prevent easement conflict and meets subdivision design requirements relating to access and service easements.

- G. *That the discharge of waste from the proposed subdivision into an existing community sewer system would NOT result in violation of existing requirements prescribed by a state regional water quality control board pursuant to division 7 (commencing with section 13000) of the Water Code.*

Tentative Parcel Map No. 38385 will not violate State Regional Water Quality Control Board (SRWQCB) requirements, in that it is conditioned to meet all regional SRWQCB regulations.

Development Plan Review 20-00021

- A. *The location, size, design, density and intensity of the proposed development and improvements are consistent with the City's General Plan, any applicable Specific Plans, the purposes and provisions of this Title, the purposes of the Zone in which the site is located, and the development policies and standards of the City.*

The Project proposes the construction of a 254,511 square foot industrial warehouse within the LI Zone of the PVCCSP which allows for “light industrial uses and related activities including manufacturing, research, warehouse and distribution, assembly of non-hazardous materials and retail related to manufacturing.” The Project site is also located in the area designated as Planning Area 3: Agricultural Conversion Area, of the City of Perris General Plan, which notes that the largest land use category within this Planning Area is Light Industrial, and that due to the area’s proximity to Interstate I-215, the cargo airport, other industrial and commercial land uses, and an existing rail line

along the western edge, future development should be planned to expand industrial and commercial opportunities.

The Project has been designed to be consistent with all applicable Code requirements for industrial projects located in the LI Zone of the PVCCSP including lot coverage, floor area ratio, height, setbacks, landscaping, and parking as noted in the staff report. Additionally, the project is consistent with the following General Plan Goals and Policies:

Goal III (Land Use Element): Commerce and industry to provide jobs for residents at all economic levels.

Goal II (Circulation Element): A well planned, designed, constructed, and maintained street and highway system that facilitates the movement of vehicles and provides safe and convenient access to surrounding developments.

Goal V (Circulation Element): Efficient goods movement.

Policy V.A (Circulation Element): Provide for safe movement of goods along the street and highway system.

Policy VIII.B (Circulation Element): Identify Transportation System Management (TSM) strategies that will assist in mitigating traffic impacts and that will maintain the desired level of service along the street and highway system.

- B. *The subject site is physically suitable, including but not limited to parcel size, shape, access, and availability of utilities and services, for the type of development proposed.*

The proposed Project is physically suitable in terms of parcel size, shape, access, and availability to utilities and services, as the site is located on the east side of Redlands Avenue between Rider Street and Placentia Avenue, which allows for adequate access and provides for the logical connection to infrastructure to service the site. Utility service connections are available to service the site.

- C. *The proposed development and the conditions under which it would be operated or maintained is compatible with abutting properties and will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.*

An Initial Study was prepared for the Project in accordance with CEQA, which concluded that all potential significant effects on the environment could be reduced to less than significant level with mitigation measures. In accordance with CEQA, a Notice of Intent to Adopt a Mitigated Negative Declaration (“NOI”) was published with a 30-day public review period starting on November 28, 2022 and ending on December 28, 2022. The NOI was also posted on the City’s website and at City Hall and sent to public agencies and property owners within a 300-radius of the Project site. The IS/MND has

been available for public review at the Development Services public counter, and on the City's website.

During the thirty-day comment period, the City received six (6) comment letters from the following interested parties (Exhibit H):

1. South Coast Air Quality Management District (SCAQMD)– Notes that cumulative air quality impacts should be studied by the Lead agency and provides information detailing that the project is subject to SCAQMD permits.
2. California Department of Fish and Wildlife (CDFW) – Notes that the project is within the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) area, as well as habitat areas for narrow endemic plant species, burrowing owl, and nesting birds, and provides information for required fees and permits.
3. Golden State Environmental Justice Alliance (GSEJA) – Notes general objection to the project. The letter has since been withdrawn.
4. Riverside County Flood Control (RCFC) – Notes that the project is located in an area planned for the Mid County Parkway transportation corridor.
5. Center for Community Action and Environmental Justice (CCA EJ) – Notes that cumulative air quality impacts may be surpassed if the project allows for cold storage, asks that air monitoring equipment be installed at the project, and that the project use the most up-to-date designs and standards for active transportation.
6. Adam Salcido – Asked to be notified of any hearings related to the project.

Responses to Comments were prepared and included in the Final MND. None of the comments or responses constituted "significant new information" or met any of the conditions in Section 15088.5 of the State CEQA Guidelines that would require recirculation of the IS/MND.

Section 4. Based upon the forgoing, the Initial Study/MND 2358, and all oral and written communication submitted by members of the public and City staff to the Planning Commission at the March 15, 2023, public hearing (including, but not limited to, all staff reports and supporting exhibits), the Planning Commission hereby recommends that the City Council adopt Mitigated Negative Declaration 2358 and Mitigation Monitoring and Reporting Program ("MMRP").

Section 5. Based upon the forgoing, the Initial Study/MND 2358, and all oral and written communication submitted by members of the public and City staff to the Planning Commission at the March 15, 2023, public hearing (including, but not limited to, all staff reports and supporting exhibits), the Planning Commission hereby recommends the City Council approve Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), Development Plan Review 20-00021, subject to the MMRP and Conditions of Approval attached to this Resolution.

Section 6. The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any

court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 7. The Chairperson shall sign, and the Secretary shall certify to the passage and adoption of this Resolution.

ADOPTED, SIGNED and **APPROVED** this 15th day of March 2023.

CHAIRPERSON, PLANNING COMMISSION

ATTEST:

Secretary, Planning Commission

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Patricia Brenes, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 23-07 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 15th day of March 2023, and that it was so adopted by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Secretary, Planning Commission

Attachments: Conditions of Approval (Planning, Engineering, Public Works, Community Services, Fire, Building and the Mitigation Monitoring and Reporting Program)

ATTACHMENT

Conditions of Approval

**(Planning, Engineering, Public Works,
Community Services, Building) and
Mitigation Monitoring and Reporting
Program**

**CITY OF PERRIS
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

CONDITIONS OF APPROVAL

March 15, 2023

**Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), and
Development Plan Review 20-00021**

PROJECT: Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), and Development Plan Review 20-00021 – A proposal to consider the following entitlements to facilitate the construction of a 254,511-square-foot industrial warehouse building on a 12.60-acre site, located on the east side of Redlands Avenue between E. Rider Street and Placentia Avenue, in the Perris Valley Commerce Center Specific Plan (PVCCSP): 1) Specific Plan Amendment to remove a paper/unimproved street from the Circulation Plan of the PVCCSP; 2) Tentative Parcel Map to merge six (6) parcels into one (1) parcel; and 3) Development Plan Review for the site plan and building elevations. (APNs: 300-210-006, -007, -008, -026, -027 and -028). Applicant: Michael Johnson of Lake Creek Industrial, LLC.

General Requirements:

1. **Approval Period for Development Plan Review 20-00021.** In accordance with P.M.C. Section 19.50.080, Expiration and Extension of Time, this approval shall expire three (3) years from the date of City Council approval. Within three years, the applicant shall demonstrate the beginning of substantial construction as contemplated by this approval, which shall thereafter be diligently pursued to completion, or substantial utilization. A maximum of three (3) one-year extensions may be requested. A written request for extension shall be submitted to the Planning Division at least ten (10) days prior to the initial (and any subsequent extension) expiration of the Development Plan Review.
2. **Mitigation Monitoring Program.** The project shall fully comply with all provisions of the adopted Mitigation Monitoring and Reporting Program (MMRP) for IS/MND 2358. The MMRP Checklist is attached to reduce potential aesthetic, air quality and greenhouse gas, biological resources, cultural resources, energy, geology and soils, hazards and hazardous materials, noise, transportation, tribal cultural resources, and wildfire impacts, and shall be implemented in accordance with the timeline, reporting and monitoring intervals listed.
3. **City Ordinances and Business License.** The subject business shall maintain compliance with all local and City Ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
4. **Specific Plan Compliance.** The project shall conform to the standards of the Perris Valley Commerce Center Specific Plan (PVCC-SP).
5. **Conformance to Approved Plans.** Development of the project site, building elevations, and conceptual landscaping shall conform substantially to the approved set of plans presented at the March 15, 2023, Planning Commission meeting, or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.

6. **Building Official/Fire Marshal.** The proposed project shall adhere to all requirements of the Building Official/Fire Marshal. The applicant shall submit a fire access and fire underground plan prior to construction drawings. Water, gas, sewer, electrical transformers, power vaults, and separate fire/water supply lines (if applicable) must be shown on the final set of construction plans pursuant to the requirements of the Building Official. All Planning Division and Engineering Department Conditions of Approval shall be reproduced in full on construction drawings and grading plans, located immediately following the cover sheet of such plans. The applicant shall annotate each Condition on the construction plans to indicate the manner by which each condition has been satisfied (i.e., sheet and detail numbers).
7. **City Engineer's Conditions.** The project shall comply with all requirements of the City Engineer's Conditions of Approval dated January 9, 2023.
8. **Fire Department Conditions.** The project shall comply with all Conditions of Approval by the Fire Department dated July 5, 2021, consisting of the following requirements.
 - a. Prior to the to the issuance of a grading permits a fire department access plan shall be submitted to the City of Perris for review and approval. The fire department access plan shall comply with the requirements specified by the City of Perris Guideline for Fire Department Access & Water Requirements for Commercial & Residential Development, and the California Fire Code, Chapter 5.
 - b. Prior to the to the issuance of a grading permits, evidence of sufficient fire flow of 4,000 GPM for 4-hours shall be provided to the City of Perris. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.
 - c. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
 - d. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
 - e. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
 - f. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
 - g. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
 - h. City of Perris approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.
 - i. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation.

- j. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven feet above the finished surfaced and near the main entrance door.
 - k. Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system. The emergency radio communication enhancement system shall meet the requirements of CFC § 510 and all applicable subsection. The system shall be installed and inspected by the City of Perris Building Department before the Certificate of Occupancy is issued. The requirement can be waived by the Fire Marshal if the building is evaluated by an Emergency Radio Communication Specialist license by FCC, who certifies the building meets the emergency communications capability as specified by the California Fire Code § 510. The certification shall be in the form of a written report which outlines the analysis used in determining the building meets the emergency communications without an enhancement system.
 - l. Fire pump shall be diesel or provided with provided with secondary power supply.
9. **Public Works Conditions.** The project shall comply with all Conditions of Approval by the Public Works Department dated May 27, 2021.
 11. **Building Conditions:** The project shall comply with all Conditions of Approval by the Building Department dated January 25, 2021.
 12. **Community Services Conditions:** The project shall comply with all Conditions of Approval by the Community Services Department dated February 22, 2021.
 13. **ADA Compliance.** The project shall conform to all disabled access requirements in accordance with the State of California, Title 24, and Federal Americans with Disabilities Act (ADA).
 14. **Southern California Edison.** The applicant shall contact the Southern California Edison (SCE) area service planner (951) 928-8323 to complete the required forms prior to commencement of construction.
 15. **Exterior Downspouts.** Exterior downspouts are not permitted on the elevations of any building where exposed to public view. Interior downspouts are required.
 16. **Screening of Roof-Mounted Equipment.** Parapet walls shall prevent public views of roof-mounted equipment.
 17. **Utilities.** All utility facilities attached to buildings, including meters and utility boxes, shall be enclosed within cabinets, as appropriate, and/or painted to match the building to which they are affixed.
 18. **Waste Hauling.** The developer shall use only the City-approved waste hauler for all construction and other waste disposal.
 19. **Graffiti** located on site shall be removed within 48 hours. The site shall be maintained in a graffiti-free state at all times. Graffiti shall be painted over in panels and not patches. The paint used in the removal of graffiti shall match the existing color.
 20. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance, and Chapter 7.42 regarding Property

Maintenance. In addition, the project shall comply with the one-year landscape maintenance schedule identified in Public Works Department Condition of Approval No. 5, dated May 27, 2021.

21. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City, concerning SPA 22-05052, DPR 20-00020, and TPM 22-05029. The City shall promptly notify the developer/applicant of any claim, action, or proceeding for which indemnification is sought and shall further cooperate fully in the defense of the action.
22. **Notice of Determination.** Within five (5) days of Planning Commission approval, the applicant shall file electronically the Notice of Determination and applicable fee to the "Riverside County Clerk-recorder," in compliance with CEQA. A copy of the Notice of Determination shall be provided to the Planning Division for the Project case file records.
23. **Preliminary Water Quality Management Plan (PWQMP).** A Preliminary WQMP was prepared for the proposed project site. All PWQMPs were determined to be in substantial compliance, in concept, with the Riverside County WQMP Manual requirements. Additional Engineering Department review is required to determine if the proposed retention basin is adequately sized to meet the minimum 100 year storm event volumes. The following two conditions apply:
 - a. The development shall be subject to all provisions of City of Perris Ordinance Number 1194, which establishes stormwater/urban runoff management and discharge controls to improve water quality and comply with federal regulations, and any subsequent amendments, revisions, or ordinances pertaining thereto.
 - b. The structural BMPs selected for this project have been approved in concept. The owner shall submit a Final WQMP including plans and details providing the elevations, slopes, and other details for the proposed structural BMPs including the Retention Basin. The Public Work Department shall review and approve the Final WQMP text, plans and details.
24. **Construction Practices.** To reduce potential traffic, noise, and air quality impacts, the mitigation measures listed in the Mitigation Monitoring and Reporting Plan (MMRP) shall be listed and included with the "General Notes" on the construction drawings, and implemented in accordance with the timeline, reporting and monitoring intervals listed in the MMRP.
25. **Voluntary Off-Site Tree Planting or Funding.** To promote the City's tree planting initiative currently underway to make Perris GREEN providing positive benefits to the local environment from air quality to shading, the developer will plant one tree per 5,000 square feet of building size to include irrigation lines and controllers at an off-site location to be determined by the City (i.e., City right-of-way, parks, etc.) or provide funding equivalent to such cost at the discretion of the City prior to issuance of the building permit.

Project-Specific Requirements:

26. **Employee Amenities.** A minimum of one (1) indoor employee amenity and two (2) outdoor employee amenities are required for buildings over 100,000 square feet. The indoor amenity may include cafeterias to weight rooms. The outdoor amenities may include walking trails and recreational facilities.
27. **On-street Parking.** On-street parking of vehicles, trucks, or trailers associated with the project is strictly prohibited.
28. **Security.** The Police Department shall review the security plan and placement of video cameras prior to installation. Video footage from on-site security cameras shall be provided to the Police Department upon demand. Additionally, the guard shack shall be locked at all times when no guard is present.
29. **Screen Walls.** The colors and patterns shall complement the building materials and color palette of the buildings. The truck courts shall be screened by 14-foot concrete screen walls to screen truck loading activities from the public right-of-way.
30. **Transit Refrigeration Units.** The use of transit refrigeration units (TRUs) shall be strictly prohibited.
31. **Signs.** This approval does not include signs, which shall conform to the Perris Crossing Sign Program. Applicant shall apply for a separate sign permit and all signs shall be reviewed and approved by the Planning Division prior to the issuance of building permits.
32. **State, County and City Ordinances.** All tenants shall maintain in compliance with all State, County and City ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
33. **March Air Reserve Base.** Notice regarding proximity to the March Air Reserve Base (i.e. to be provided by March Air Reserve Base) shall be given to all prospective purchasers of the property and tenants of the building. The project shall comply with the following Conditions of Approval issued by the Airport Land Use Commission on November 10, 2022:
34. **Outdoor Lighting.** Any outdoor lighting installed shall be hooded or shielded so as to prevent either spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
35. **Prohibited Uses.** The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - a. Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight or circling climb following takeoff or toward an aircraft engaged in a straight or circling final approach toward a landing at an airport, other than a DoD or FAA-approved navigational signal light or visual approach slope indicator.
 - b. Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight or circling climb following takeoff or towards an aircraft engaged in a straight or circling final approach towards a landing at an airport.
 - c. Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes,

- construction and demolition debris facilities, fly ash disposal, and incinerators.)
- d. Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - e. Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly (including but not limited to places of worship and theaters), buildings with more than 3 aboveground habitable floors, and critical community infrastructure facilities.
 - f. Highly noise-sensitive outdoor nonresidential uses. Examples of noise-sensitive outdoor nonresidential uses that are prohibited include, but are not limited to, major spectator-oriented sports stadiums, amphitheaters, concert halls and drive-in theaters.
 - g. Other Hazards to flight.

Avigation Easement. Prior to issuance of building permits, the landowner shall convey an avigation easement to the March Inland Port Airport Authority or its successor in interest or provide evidence that such easement has been previously conveyed. The Airport Authority may waive this requirement in the event that the Authority determines that pre-existing avigation easements dedicated to the United States of America are sufficient to address its needs. Contact the March Joint Powers Authority at (951) 656-7000 for additional information.

Notice to Property Owners. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property.

Detention Basins. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

Electromagnetic radiation. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation

controllers, access gates, etc.

Noise. Noise attenuation measures shall be incorporated into the design of the office areas of the building, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.

Solar Glare. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

ALUC Review. The project has been evaluated as 246,511 square feet of warehouse area, 4,000 square feet of first floor office area, and 4,000 square feet of second floor office mezzanine area. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.

Prior to Grading Permit Issuance:

36. **Water Quality Management Plan (WQMP).** The applicant shall submit a final WQMP substantially in conformance with the approved Preliminary WQMP including, but not limited to, plans and details providing the elevations, slopes, and other details for the proposed structural source control BMPs, and vegetative swales. The Public Works Department shall review and approve the final WQMP plans and details.
37. **Planning Clearance.** The applicant shall first obtain clearance from the Planning Division verifying that all pertinent conditions of approval have been met.

Prior to Building Permit Issuance:

38. **Site Plan Revision:** Plans submitted for building permit issuance shall incorporate the following:
 - a. Installation of gates at the north and south ends of the parking lot for passenger vehicles to preclude comingling of trucks and passenger vehicles.
39. **Building Elevations:** Plans submitted for building permit issuance shall incorporate the following:
 - a. The applicant shall work with Planning Division staff on an accent veneer complementary to the architecture and color palette of the building.
40. **Wall and Fence Plan.** Plans submitted for building permit issuance shall incorporate the following:
 - a. A 14-foot-high decorative block wall shall be provided to screen the truck loading area on the north, east and south sides. The remainder of the property may be screened by an 8-foot-high decorative iron fence with pilasters spaced every 100 feet.
 - b. Return walls shall be increased in height from 13 feet to 14 feet to match the screen walls.
41. **Site Lighting Plan.** The site lighting plan shall conform to the requirements of the City's adopted Mount Palomar Ordinance and be submitted to the Planning Division for final review and approval. Full cutoff fixtures shall be used to prevent light and glare above the

horizontal plan of the bottom of the lighting fixture. A minimum of one (1) foot-candle of light shall be provided in parking and pedestrian areas.

42. **Trash Enclosures.** A covered trash enclosure constructed to City standards is required. The trash enclosure shall be easily accessible to the tenant and be screened by landscaping from the public view. The split-face blocked wall trash enclosure shall have an overhead trellis treatment. Elevations shall be included on final landscape plans for review and approval by the Planning Division.
43. **Landscaping Plans.** Prior issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Division for approval, accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a California registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. The landscaping shall be consistent with the conceptual landscape plan. Any references to walls and fences shall consistent with the site plan.
 - a. **BMPs for Water Quality.** All BMPs (vegetated swales, detention basins, etc.) shall be indicated on the landscape plans with appropriate planting and irrigation, including the detention basin.
 - b. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for final landscape inspection after all the landscaping and irrigation has been installed and is completely operational. Before calling for a final inspection, a "Certificate of Compliance" form shall completed and signed by the designer/auditor responsible for the project, and submitted to the project planner for approval.
44. **Fees.** Prior to issuance of building permits, the developed shall pay the following fees:
 - a. Stephen's Kangaroo Rat Mitigation Fees of \$500.00 per acre
 - b. Development Impact Fees
 - c. Multiple Species Habitat Conservation Plan fees
 - d. Statutory school fees in effect to all appropriate school districts
 - e. RBBD fees
 - f. District drainage fees
 - g. All fees identified on Conditions of Approval from other department or instituted prior to issuance of a building

Prior to Issuance of Occupancy Permits:

45. **Truck Routes.** Signs shall be provided on-site and within public rights of way to direct all trucks to use designated truck routes, only as approved by the Engineering and Planning Departments. Truck routes are limited to and from I-215/Harley Knox Boulevard Interchange, Harley Knox Boulevard and Redlands Avenue; or to and from I-215/Placentia Avenue Interchange, Placentia Avenue (no truck access on Placentia Avenue between Perris Boulevard and Redlands Avenue), Indian Avenue, Morgan Street, Redlands Avenue. Truck access to and from Ramona Expressway and Perris Boulevard is prohibited.
46. **Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance,

services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to the issuance of a Certificate of Occupancy. This condition shall apply only to districts existing at the time the project is approved (or all requirements have been met for a certificate of occupancy, as applicable). Such districts may include but are not limited to the following:

- a. Landscape Maintenance District No. 1;
 - b. Flood Control Maintenance District No. 1;
 - c. Maintenance District No. 84-1;
47. **On-Site Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for final landscape inspection after all the landscaping and irrigation has been installed and is completely operational. Before calling for a final inspection, a "Certificate of Compliance" form shall be completed and signed by the designer/auditor responsible for the project, and submitted to the project planner for approval.
48. **Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-offs from the Building Division and Engineering Department. Planning Staff shall verify that all pertinent conditions of approval have been met. The applicant shall have all required paving, parking, walls, site lighting, landscaping and automatic irrigation installed and in good condition.

END OF CONDITIONS



CITY OF PERRIS

STUART E. MCKIBBIN, CONTRACT CITY ENGINEER

CONDITIONS OF APPROVAL

P8-1495

January 9, 2023

DPR 20-00021 – TPM 38385

Lake Creek Industrial LLC – East

Redlands Ave.

APNs 300-210-006 thru -008 & -026 thru 028

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer provide the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and that their omission may require resubmittal for further consideration. These Ordinances and the following conditions are essential parts and requirements occurring in one is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditions shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic Impact Analysis, the most stringent in the opinion of the City shall prevail.

General Conditions:

1. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.

2. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.

3. Truck access shall be limited to I-215/Harley Knox Boulevard Interchange, Harley Knox Boulevard and Redlands Avenue.

Truck access to and from Ramona Expressway and Perris Boulevard is prohibited.

Prior to Recordation of the Parcel Map:

4. The developer/property owner shall have approved improvement plans, executed subdivision agreement and posted securities.

5. The developer/property owner shall submit the following to the City Engineer and Riverside County Flood Control and Water Conservation District (RCFCD) for review and approval as directed by the City Engineer:

- a. Onsite Precise Grading Plan and Erosion Control Plans; plans shall show the WDID No.
- b. Street and Storm Drain Improvement Plans
- c. Signing and Striping Plans
- d. Water and Sewer Improvement Plans
- e. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- f. Geotechnical Report
- g. Hydrology and Hydraulic Report
- h. Final WQMP (for reference)

The design shall be in conformance with Eastern Municipal Water District (EMWD), RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

6. Redlands Avenue is classified as a Secondary Arterial (94'/70') per the General Plan. A 44 foot half width right-of-way is currently dedicated on Redlands Avenue along the property frontage; adequate right-of-way however shall be dedicated on Redlands Avenue along the property frontage to accommodate a 52 foot half width dedicated right-of-way to accommodate a 17 foot wide parkway consisting of a 13 foot wide Class I Shared Use Path and a 4 foot wide landscaped planter as approved by the Public Works Department.

7. All rights-of-way and easements shall be offered for dedication to the public or other appropriate agencies and shall continue in force until the City or the appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer.

8. Relinquish and waive rights of access to and from Redlands Avenue on the Map other than the access opening as shown on the site plan.

9. The developer/property owner shall make a good faith effort to acquire required offsite property interests, and if he or she should fail to do so, the developer/property owner shall, prior to submittal of the Final Map for recordation, enter into an agreement to complete the improvements. The agreement shall provide for payment by the developer/property owner of all costs incurred by the City to acquire the offsite property interests required in connection with the subdivision. Security of a portion of these costs shall be in the form of a cash deposit in the amount given in an appraisal report obtained by the developer/property owner (at developer/property owner cost). The appraiser shall be approved by the City prior to commencement of the appraisal.

10. The following statement shall be added to the Map:

"Notice of drainage fees" Notice is hereby given that this property is located in the Perris Valley Area Drainage Plan which was adopted by the City of Perris pursuant to Ordinance and Section 66483, et seq, of the Government Code and that said property is subject to fees for said drainage area. Notice is further given that, pursuant to Ordinance 13-01, payment of the drainage fees shall be paid to the City of Perris prior to issuance of the building permit for the map, and that the property owner prior to issuance of the building permit, shall pay the fee required at the rate in effect at the time of issuance of the actual permit.

11. The developer/property owner shall sign the consent and waiver form to join the City's Lighting and Landscape Districts and City's Flood Control District as appropriate. The proposed and existing streetlights and traffic signals shall be maintained by the City and cost paid by the developer/property owner through the said annexation.

Prior to Issuance of Grading Permit:

12. The developer/property owner shall submit the following to the City Engineer and Riverside County Flood Control and Water Conservation District (RCFCD) for review and approval as deemed applicable by the City Engineer:

a. Onsite Precise Grading Plan and Erosion Control Plans; plans shall show the WDID No.

- b. Street and Storm Drain Improvement Plans
- c. Signing and Striping Plans
- d. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- e. Geotechnical Report
- f. Hydrology and Hydraulic Report
- g. Final WQMP (for reference)

The design shall be in conformance with Eastern Municipal Water District (EMWD), RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

13. The treated onsite runoff shall be collected and conveyed via underground drainage facilities connecting to Perris Valley Master Drainage Plan (PVMDP) Line A-B in Rider Street discharging into Perris Valley Storm Drain Channel.

14. Site circulation, shall be such that auto and truck access and parking are distinct and separate.

15. Three points of access/driveways are permitted to the site:

- The northerly driveway shall be designated for truck access only and shall be restricted to right-out only (the southerly return of the driveway shall be reversed),
- The middle driveway shall be designated for auto access only and restricted to right-in/right-out only, and
- The southerly driveway shall be designated for truck access only and shall be restricted to left-in only (the southerly return of the driveway shall be reversed).

16. The driveways shall be per County of Riverside Standard No. 207A and shall include wet set concrete truncated domes in compliance to ADA standards and requirements.

17. The lengths of the designated turn lane pockets within the raised landscaped median shall be determined by the project's Traffic Engineer and approved by the City Engineer.

18. The developer/property owner shall pay to the City \$150,000 for their contribution towards I-215/Ramona Expressway Interchange and I-215/Harley Knox Boulevard Interchange and other improvements. This one-time contribution is above and beyond DIF, TUMF, RBBD and other City fees, and is not reimbursable.

Prior to Issuance of Building Permit:

19. Parcel Map 38385 shall be submitted to the City for review and approval and subsequently recorded.

20. project site is located within the limits of Perris Valley Area Drainage Plan (ADP) for which drainage fees have been adopted by City. Drainage fees shall be set forth under the provisions of the "Rules and Regulations of Administration of Area Drainage Plan". Acreage for the project site's impervious area shall be provided.

21. Water and sewer Improvement Plans, per Fire Department and EMWD standards, shall be submitted to the City Engineer for review and approval.

22. Fire Department and EMWD approvals of the Water Improvement Plans are required prior to City Engineer's approval.

23. Paved access shall be provided to the proposed buildings per the Precise Grading Plans.

24. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

Prior to Issuance of Certificate of Occupancy:

25. Redlands Avenue (Secondary Arterial - 104'/70') along the property frontage within the dedicated right-of-way shall be improved to provide for a 12 foot wide raised landscaped median, 29 foot wide asphalt pavement east of the raised landscaped median and 14 foot wide asphalt pavement west of the raised landscaped median (using a TI of 10.0 and PG 70-10), 8 inch curb and gutter located 35 feet east of street centerline, 13 foot wide Class I Shared Use Path per the Active Transportation Plan and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.

The 13 foot wide Class I Shared Use Path shall include an 8 foot wide concrete section with 2 foot wide Decomposed Granite (DG) strips on both sides of the concrete section, enclosed by 6 inch mow curbs.

26. The existing power poles on the west side of Redlands Avenue along the property frontage shall be removed and cables (under 66 kv) including the communication cables shall be undergrounded in the event that they are in conflict with the Redlands Avenue required improvements.

27. The condition of the existing pavement on Redlands Avenue along the property frontage shall be evaluated by the developer/property owner to determine the extent of pavement rehabilitation as approved by City Engineer. If the existing pavement is in good condition, the developer/property owner may use grind and overlay technique as determined by the City Engineer.

28. The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.

29. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified professional pursuant to the California Business and Professional Code 8771.

Stuart E. McKibbin
Contract City Engineer



CITY OF PERRIS

PUBLIC WORKS DEPARTMENT

Engineering Administration

. NPDES .

Special Districts (Lighting, Landscape, Flood Control)

MEMORANDUM

Date: May 27, 2021

To: Chantel Power, Project Planner

From: Michael Morales, CIP Manager *MM*

Subject: DPR 20-00021– Conditions of Approval

Proposal to construct a 255,472 s.f. industrial building on 18.91 acres along the east side of Redlands Avenue between Rider Street and Placentia Avenue, within the Perris Valley Commerce Center (PVCC) Specific Plan

-
1. **Dedication and Landscape Maintenance Easement.** Offer of Dedication and/or Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:
 - **Redlands Avenue– Redlands Avenue**–Provide offer of dedication as needed to provide for full half width Street (94' ROW (47' half-width), raised median, Class I shared use path (pedestrian and bicycle), curb gutter, sidewalk and off-site landscaping requirements, per City General Plan, including the minimum parkway, plus an additional 4' easement, totaling 16' public parkway from face of curb. The additional 4' of landscape easement shall be required to provide for the required Class I shared use path (pedestrian/bicycle), to be integrated with parkway landscape.
 - **Redlands Avenue Median-** Provide a 14' wide raised landscape median fronting the project and extending south along Redlands Avenue, as determined by the City Engineer's Office.
 2. **Landscape Maintenance Easement and/or Landscape Easement Agreement.** The developer shall provide, for review and approval, an Offer of Dedication and certificate of acceptance, complete with legal plat map and legal description to the City of Perris. In addition, if required by the City of Perris, the Developer shall provide a 4' landscape easement and Landscape easement agreement, acceptable to the City of Perris, for any required shared use path (bicycle/pedestrian). The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
 3. **Landscaping Plans.** Three (3) copies of Construction Landscaping and Irrigation Plans for the off-site landscaping, including any medians or other landscape areas along the dedications shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. This landscape plan shall be titled "LMD Off-site Landscape Plan DPR 20-00021" and shall be mutually exclusive of any private property, on-site landscaping. Elements of the Landscape Plan shall include but not be limited to:
 - a. **Landscape Limits** – Limits of right-of-way areas or easement areas, defined by concrete mow curb, fully

dimensioned, that are to be annexed into the Landscape Maintenance District. A planting palette and hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; or if no such guidelines exist the design intent of neighboring development, as determined by the Engineering Administration and Special Districts Division, including:

- **Redlands Ave-** Provide a 4' wide planter area adjacent to curb in accordance with Section 6.2.1 Streetscape Landscape design guidelines and planting pallet for Secondary Arterials, and figure 6.0-6 of the PVCCSP, for sizing and spacing requirements. Provide a shared use path, in accordance with the Design Guidelines provided in Section 4 "Mixed Use Tool Kit" of the City's Active Transportation Plan complete with mow curb, decomposed granite, and asphalt paving along roadway west of centerline. Planting will be the same plant pallet as new project to the north on Redlands Ave. Street Tree Primary: Rhus Lancia African Sumac Tree; Secondary (accent tree): Lagerstroemia India Tribe Varieties. Use drought resistant shrubs and ground cover intended to complement the existing parkways to the north along Redlands Avenue, including but not limited to the following Kangaroo Paw, Nelia Grasses, Agave, Lantana yellow/purple, Red Yucca, Red Hot Poker.
 - **Redlands Avenue Bicycle Path-** The configuration will approximate the following: 2' Decomposed Granite Pedestrian path (with 6" mow curb), 8' wide asphalt bicycle path, 2' Decomposed Granite Pedestrian path (with 6" mow curb), and 6" mow curb. Asphalt path will be a minimum of 3" asphalt concrete over a 4" class 2 base. Total width of shared use path will be 12'.
 - **Redlands Avenue Landscape Median-** Per Section 6.2.1 Streetscape Landscape design guidelines and planting pallet for Secondary Arterials, and figure 6.0-6 of the PVCCSP for sizing and spacing requirements. Planting will be the same plant pallet as new project to the north on Redlands Avenue. Median Street Tree is Platanus Acerfoilia/London Plane Tree. Shrubs and ground cover will consist of Diets Bi-color/Fortnight Lily, Lantana Camara Patriot Rainbow/Compact Lantana, Lantana 'New Gold'/New Gold Lantana.
- b. **Irrigation** – A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas as determined by the Engineering Administration and Special Districts Division. Components shall include, but not be limited to Salco or GPH flexible PVC risers, Sentry Guard Cable Guard and Union Guard, backflow Wilkens Model 375 (or equal), flow sensor Creative Sensor Technology FS1-TI5-001 or Data Industrial or equal. Controller shall include an ET based controller with weather station that is centrally controlled capable and wi-fi ready (WeatherTrak ET Pro3 Smart Controller, or equal, with Rain Sensor). At the discretion of the Engineering Administration and Special Districts Division public landscape areas utilizing no more than 6 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and wi-fi ready, such as the Weathermatic System or equal. Proposed system shall be complete with wireless weather station, aircard with flow, one year bundle service, blade antenna and flow sensor.
- c. **Benefit Zone Quantities** – Include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the district will be required to maintain.
- d. **Meters** – Each District is required to be metered separately. Parkway and Median shall require separate meters. All electrical and water meters shall be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene and away from street intersections. Show

location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for landscape district. Show location of water and electrical meter for flood control district. Show location of electrical meter for Traffic signal and street lighting district, on respective plans. Coordinate location of meters on landscape and civil engineering plan.

- e. **Controllers** - The off-site irrigation controllers are to be located within the right of way (preferably within the off-site landscape area). Parkway and Median shall require separate controllers. All point of connection equipment including irrigation controller pedestals, electrical meter pedestals, and backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Backflow preventers are to be screened on at least three sides with (5) gallon plant material. The fourth side shall be open to the back of the landscape area in order to allow the backflow cage to be opened without interference with plant materials. Backflow cages shall meet the required City of Perris Engineering Standards in effect at the time of approval.
 - f. **Recycled Water** - If applicable. The project landscape architect shall coordinate with EMWD to verify if the site will be served with recycled water and design all irrigation and landscape plans to meet the requirements of EMWD and provide additional irrigation components as needed.
 - g. **EMWD Landscape Plan Approval** – The project landscape architect shall submit a copy of all irrigation plans and specifications to EMWD for approval. The project landscape architect must confirm with EMWD that the plans have been approved by EMWD and submit written proof of approval by EMWD prior to the City approving the final Landscape Plans. Until the final landscape plan has been approved by the City of Perris, the maintenance areas depicted cannot be accepted by the City for maintenance. The developer shall coordinate the both reviews to ensure acceptability of plans by both EMWD and the City of Perris, prior to approval by either agency.
 - h. **Landscape Weed Barrier** - Weed cloth with a minimum expected life of 10-years shall be required under all mulched areas.
 - i. **Wire Mesh and Gravel At Pull Boxes**- Provide wire mesh and gravel layer within valve boxes to prevent rodent intrusion.
 - j. **Concrete Maintenance Band at Medians and Mortar Cobbled Turn Lane**-Provide 12" wide concrete maintenance band (safety edge) around entire median. At turn pockets provide mortared cobbled creek bed, round stone sized 6" and 12".
 - k. **Perimeter Walls Graffiti Coating**- Provide anti-graffiti coating at all perimeter walls. Acceptable products shall include Vitrocem Anti-Graffiti Coating or equal.
4. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only "OFF-SITE" landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled at least two-working days (Monday through Friday) prior to actual inspection. Contact Public Works-Engineering Administration/Special Districts at (951) 956-2120 to schedule inspections.
- **Inspection #1** - Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
 - **Inspection #2** - Soil prepared, and plant materials positioned and ready to plant.

- **Inspection #3** - Landscaping installed, irrigation system fully operational, and request for "Start of 1 year Maintenance Period" submitted, with all required turn-over submittal items provided to Public-Works Engineering Administration/Special Districts.
 - **Turn-Over Inspection**– On or about the one year anniversary of Inspection #3, Developer shall call for an inspection to allow the City to review and identify any potential irrigation system defects, dead plants, weed, debris or graffiti; stressed, diseased, or dead trees; mulch condition, hardscape or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At his sole expense, the Developer shall be responsible for rectifying system and installation deficiencies, and the one year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City's Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the Inspector shall recommend to the City's Special District Coordinator to accept turn-over of water and electrical accounts, wi-fi communication contracts and the entire landscape installation.
5. **One Year Maintenance and Plant Establishment Period**-The applicant will be required to provide a minimum of a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one-year maintenance period commences upon the successful completion of Inspection #3 discussed above, and final approval by the City. During this one year period the applicant shall be required to maintain all landscape areas free of weeds, debris, trash, and graffiti; and keep all plants, trees and shrubs in a viable growth condition. Prior to the start of the one year maintenance period, the Developer shall submit a weekly Landscape Maintenance Schedule for the review and approval by the City's Special Districts Division. City shall perform periodic site inspections during the one-year maintenance period. The purpose of these periodic inspections is to identify any and all items needing correction prior to acceptance by the City at the conclusion of the one-year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials, weeding, replenishment of mulches, repair of damaged or non-functioning irrigation components, test of irrigation controller communications, etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turn-over to City maintenance staff.
6. **Street/Off-Site Improvements.** The applicant shall submit street improvement plans, accompanied by the appropriate filing fee to the City Engineering Department. Details of treatments off-site improvements, including lighting shall meet both the City Engineer's Design Guidelines, and the additional requirements of the Engineering and Special Districts Division. Components shall include, but not be limited to:
- a. **Street Lighting**-If street lighting is required, (*STREET LIGHTING SHALL BE ADJACENT TO CURB*) lighting shall meet the type, style, color and durability requirements, necessary for energy efficiency goals, maintenance and longevity of improvements of the City Engineer's Office. As determined by the City, new streetlights may be required to be deeded to City of Perris, and not SCE. Street lights deeded to City of Perris shall be constructed per LS-3 account billing standard, which shall include an individually metered pedestal for streetlights.
 - b. **Acceptance By Public Works/Special Districts**- Lighting District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office, and the City's Consulting Traffic Signal Inspection Team (Riverside County TLMA) at (951) 955-6815. Prior to acceptance for maintenance of "Off-site" traffic signal and lighting facilities by the Public Works-Engineering and Administration Division/Special Districts, the developer shall contact the Public Works Special Districts Division at (951) 956-2120 to schedule the delivery of all required turn-over submittal items. Prior to acceptance into Lighting District 84-1, coordinate turn-over

information pertaining to Street Lights, and Traffic Signal Electrical/SCE Service Meters with Wildan Financial Services, the City's Special Districts Consulting Firm at (951) 587-3564. (i.e. Provide electrical meter number, photo of pedestal, and coordinate "request for transfer of billing information" with SCE and City for all new service meters). Developer shall pay 18-month energy charges to the City of Perris for all off-site street lighting. Call Wildan Financial Services, Inc. for amount due, and to obtain receipt for payment. Obtain and provide a clearance form from Riverside County TLMA indicating completion of all punch list items from traffic signal construction. Submit one large format photo-copy of Traffic Signal as-built plans and timing sheets.

7. **Water Quality Management Plans.** The applicant shall submit a Preliminary and Final WQMP, accompanied by the appropriate filing fee to the Planning Department and City Engineering Department, respectively. Details for treatment control facilities shall meet both the Riverside County WQMP Design Guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce long term maintenance costs and longevity of improvements. Components shall include, but not be limited to:
- **Storm Drain Screens-**If off-site catch basins are required by the City Engineer's Office, connector pipe screens shall be included in new catch basins to reduce sediment and trash loading within storm pipe. Connector pipe screens shall meet the type, style, and durability requirements of the Public Works Engineering Administration and Special Districts Division.
 - **WQMP Inspections-** The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both "ON-SITE" and OFF-SITE" WQMP Inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.
 - **Acceptance By Public Works/Special Districts-**Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the Final WQMP, shall be installed and fully operational, and approved by final inspection by the City's WQMP Consultant, CGRM. The Developer shall obtain a final Clearance Letter from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The developer shall deliver the same to the Public Works-Engineering and Administration Division/Special Districts. In addition, prior to acceptance by the City, the developer shall submit a Covenant and Agreement describing on-going maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works Engineering Administration and Special Districts Division. The Public Works Engineering Administration and Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
8. **Flood Control District #1 Maintenance Acceptance.** Flood Control District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office. Prior to acceptance for maintenance of "Off-site" flood control facilities by the Public Works-Engineering and Administration Division/Special Districts the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items including as-built storm drain plans in electronic PDF format, one large format photo-copy of as-built plans, storm drain video report in electronic format, and hardcopy of video report with industry standard notations and still photos made during video runs (i.e. facilities sizes, off-sets or damage, facility type, dirt and debris, etc.). The flood control facilities shall be turned over in a condition acceptable to the City, and the developer shall make all necessary repairs and perform initial maintenance to the satisfaction of the City.

9. **Assessment Districts.** Prior to permit issuance, developer shall deposit \$5,250 per district, \$15,750 total due. Payment is to be made to the City of Perris, and the check delivered to the City Engineer's Office. Payment shall be accompanied by the appropriate document for each district indicating intent and understanding of annexation, to be notarized by property owner(s):
- **Consent and Waiver for Maintenance District No. 84-1** - New street lighting proposed by the project.
 - **Consent and Waiver for Landscape Maintenance District No. 1** -New off-site parkway landscape, medians, and shared use path proposed by the project.
 - **Petition for Flood Control Maintenance District No. 1** -For Off-site Flood Control Facilities proposed by the project.
- Original notarized document(s) to be sent to:
Daniel Louie
Wildan Financial Services
27368 Via Industrial, #200
Temecula, CA 92590
- a. Prior to final map recordation or final certificate of occupancy the developer shall annex into the aforementioned districts, posting an adequate maintenance performance bond to be retained by the City as required by the City Engineer. Upon receipt of deposit and Consent and Waiver Forms, the developer shall work with City to meet all required milestones for annexations.
 - i. City prepares the Engineer's Reports which includes a description of the improvements to be maintained, an annual cost estimate and annual assessment amounts.
 - ii. Reports are reviewed and approved by the property owner. The assessment ballots will be based on these Reports.
 - iii. The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no sooner than 45 days. Property owner attendance at this City Council Meeting is not required.
 - iv. The assessment ballots are sent to the property owner and are opened by the City Clerk at the close of the Public Hearing. With a "YES" vote by the property owner the City Council can move forward with the Resolution that Confirms the Annexation. Property owner attendance at this Public Hearing is not required.
 - v. Confirmation by the City Council completes the annexation process and the condition of approval has been met.



CITY OF PERRIS
COMMUNITY SERVICES

MEMO

To: Chantal Power, Senior Planner
From: Sabrina Chavez, Director of Community Services
cc: Arcenio Ramirez, Community Services Manager
Joshua Estrada, Parks Coordinator
Jessica Galloway, Project Coordinator
Date: February 22, 2021
Subject: Development Plan Review - #20-00021
Applicant: Michael Johnson, Lake Creek Industrial LLC.

Community Services Staff reviewed DPR #20-00021 and offer the following comment(s):

Development Impact Fees – Park Facilities

The Proposed Project is a proposed warehouse building on the East side of Redlands Avenue south of Rider Street and is subject to payment of the following fees:

- Park Development Impact Fees
- Public Art Fees

Special Districts

- The project shall annex into the Community Facilities District No. 2018-02 (Public Services)

Trails and Connectivity

- Developer to include a Class 1 Bike Path on Redlands Avenue as recommended in the Active Transportation Plan, please reference Engineering Conditions.



Dennis Grubb and Associates, LLC

Assisting Cities Build Safe Communities

Fire Department Development Review Comments

February 8, 2021

City of Perris
Attn: Chantal Power
135 N. D Street
Perris, CA 92570-2200

Subject: Development Plan Review for DPR20-00021

As requested, a review of the subject property was completed. Apply the following fire conditions:

1. Prior to the to the issuance of a grading permits a fire department access plan shall be submitted to the City of Perris for review and approval. The fire department access plan shall comply with the requirements specified by the City of Perris Guideline for Fire Department Access & Water Requirements for Commercial & Residential Development, and the California Fire Code, Chapter 5.
2. Prior to the to the issuance of a grading permits, evidence of sufficient fire flow of 4,000 GPM for 4-hours shall be provided to the City of Perris. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.
3. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
4. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
5. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
6. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
7. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and

6560 Van Buren Blvd, Ste B, Riverside, CA. 92503
(800) 975-7395 * (951) 772-0007

color.

8. City of Perris approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.
9. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation.
10. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven-feet above the finished surfaced and near the main entrance door.
11. Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system. The emergency radio communication enhancement system shall meet the requirements of CFC § 510 and all applicable subsection. The system shall be installed and inspected by the City of Perris Building Department before the Certificate of Occupancy is issued. The requirement can be waived by the Fire Marshal if the building is evaluated by an Emergency Radio Communication Specialist license by FCC, who certifies the building meets the emergency communications capability as specified by the California Fire Code § 510. The certification shall be in the form of a written report which outlines the analysis used in determining the building meets the emergency communications without an enhancement system.
12. Fire pump shall be diesel or provided with provided with secondary power supply.

Respectfully,



Dennis Grubb, CFPE

SRC COMMENTS
***** BUILDING & SAFETY *****

Planning Case File No(s): DEVELOPMENT PLAN REVIEW #20-00021

Case Planner: Chantal Power (951) 943-5003, ext

Applicant: Michael Johnson

Location: East Side of Redlands Blvd. Between Placentia and Rider Street.

Project:

Proposal to construct a 255,472 SF warehouse building on six existing lots.

APN(s): 300-210-026 and 028 and 310-210-006, 007 and 008

Reviewed By: David J. Martinez, CBO

Date: 1-25-2021

BUILDING AND SAFETY CONDITIONS

1. Shall comply with the latest adopted State of California 2019 editions of the following codes as applicable:
 - A. 2019 California Building Code
 - B. 2019 California Electrical Code
 - C. 2019 California Mechanical Code
 - D. 2019 California Plumbing Code
 - E. 2019 California Energy Code.
 - F. 2019 California Fire Code
 - G. 2019 California Green Building Standards Code.
2. You will be required to provide proper fire access to the entire site.
3. You will be required to comply with the EV Charging station requirements
4. The proposed new building will have to comply with both the ADA and Title 24 Access Regulations

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

1. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off
 - F. The parcels will have to be consolidated prior to permit issuance

FIRE CONDITIONS: To Be provided by Dennis Grubb



Lake Creek Industrial Redlands East Project Initial Study/Mitigated Negative Declaration

Terms and Definitions:

1. **Property Owner/Developer** – Owner or developer of Lake Creek Industrial Redlands East project.
2. **Environmental Equivalent/Timing** – Any mitigation measure and timing thereof, subject to the approval of the City, which will have the same or superior result and will have the same or superior effect on the environment. The Planning Department, in conjunction with any appropriate agencies or City departments, shall determine the adequacy of any proposed "environmental equivalent/timing" and, if determined necessary, may refer said determination to the City Council. Any costs associated with information required in order to make a determination of environmental equivalency/timing shall be done by the property owner/developer. Staff time for reviews will be charged on a time and materials basis at the rate in the City's adopted Fee Schedule.
3. **Implementation Timing** – This is the point where a mitigation measure must be monitored for compliance. In the case where multiple action items are indicated, it is the first point where compliance associated with the mitigation measure must be monitored. Once the initial action item has been complied with, no additional monitoring pursuant to the Mitigation Monitoring Plan will occur, as routine County practices and procedures will ensure that the intent of the measure has been complied with. For example, if the timing is "to be shown on approved building plans" subsequent to issuance of the building permit consistent with the approved plans will be final building and zoning inspections pursuant to the building permit to ensure compliance.
4. **Responsibility Monitoring Party** – Shall mean that compliance with the subject mitigation measure(s) shall be reviewed and determined adequate by all departments listed for each mitigation measure. Outside public agency review is limited to those public agencies specified in the Mitigation Monitoring Plan which have permit authority in conjunction with the mitigation measure.
5. **Ongoing Mitigation Measures** – The mitigation measures that are designated to occur on an ongoing basis as part of this Mitigation Monitoring Plan will be monitored in the form of an annual letter from the property owner/developer in January of each year demonstrating how compliance with the subject measure(s) has been achieved. When compliance with a measure has been demonstrated for a period of one year, monitoring of the measure will be deemed to be satisfied and no further monitoring will occur. For measures that are to be monitored "Ongoing During Construction", the annual letter will review those measures only while construction is occurring; monitoring will be discontinued after construction is complete. A final annual letter will be provided at the close of construction.
6. **Building Permit** – For purposes of this Mitigation Monitoring Plan, a building permit shall be defined as any permit issued for construction of a new building or structural expansion or modification of any existing building but shall not include any permits required for interior tenant improvements or minor additions to an existing structure or building.



Mitigation Monitoring and Reporting Program

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Aesthetics</p>	<p>MM AES-1: Prior to issuance of grading permits, the Property Owner/Developer shall provide evidence to the City that any temporary nighttime lighting installed for security purposes shall be downward facing and hooded or shielded to prevent security light spillage outside of the staging area or direct broadcast of security light into the sky.</p>	<p>Prior to issuance of grading permits</p>	<p>Building Division</p>	<p>Confirmation that this requirement is included in Contractor Specifications</p>
<p>Air Quality</p>	<p>MM Air 2: Each individual implementing development project shall submit a traffic control plan prior to the issuance of a grading permit. The traffic control plan shall describe in detail safe detours and provide temporary traffic control during construction activities for that project. To reduce traffic congestion, the plan shall include, as necessary, appropriate, and practicable, the following: temporary traffic controls such as a flag person during all phases of construction to maintain smooth traffic flow, dedicated turn lanes for movement of construction trucks and equipment on- and off-site, scheduling of construction activities that affect traffic flow on the arterial system to off-peak hour, consolidating truck deliveries, rerouting of construction trucks away from congested streets or sensitive receptors, and/or signal synchronization to improve traffic flow.</p>	<p>Prior to issuance of grading permits</p>	<p>Planning & Engineering Department</p>	<p>Review and approval of required traffic control plan</p>



Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Air Quality</p>	<p>MIM Air 3: To reduce fugitive dust emissions, the development of each individual implementing development project shall comply with SCAQMD Rule 403. The developer of each implementing project shall provide the City of Perris with the SCAQMD- approved dust control plan, or other sufficient proof of compliance with Rule 403, prior to grading permit issuance. Dust control measures shall include, but are not limited to:</p> <ul style="list-style-type: none"> • Requiring the application of non-toxic soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for 20 days or more, assuming no rain), • Keeping disturbed/loose soil moist at all times, • Requiring trucks entering or leaving the Project Site hauling dirt, sand, or soil, or other loose materials on public roads to be covered, • Installation of wheel washers or gravel construction entrances where vehicles enter and exit unpaved roads onto paved roads, or wash off trucks 	<p>Prior to issuance of grading permits</p>	<p>Planning Division</p>	<p>Submittal of dust control plan approved by the SCAQMD or other sufficient proof of compliance with SCAQMD Rule 403</p>



**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>and any equipment leaving the Project Site each trip,</p> <ul style="list-style-type: none"> • Posting and enforcement of traffic speed limits of 15 miles per hour or less on all unpaved portions of the Project Site, • Suspending all excavating and grading operations when wind gusts (as instantaneous gust) exceed 25 miles per hour, • Appointment of a construction relations officer to act as a community liaison concerning on-site construction activity including resolution of issues related to PM-10 generation, sweeping streets at the end of the day if visible soil material is carried onto adjacent paved public roads and use of SCAQMD Rule 1186 and 1186.1 certified street sweepers or roadway washing trucks when sweeping streets to remove visible soil materials, • Replacement of ground cover in disturbed areas as quickly as possible. 			



**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
Air Quality	<p>MM Air 4: Building and grading permits shall include a restriction that limits idling of construction equipment on site to no more than five minutes.</p>	Prior to issuance of grading and building permits	Building Division	Confirmation that building and grading permits include required restriction
Air Quality	<p>MM Air 5: Electricity from power poles shall be used instead of temporary diesel or gasoline-powered generators to reduce the associated emissions. Approval will be required by the City of Perris' Building Division prior to issuance of grading permits.</p>	Prior to issuance of grading permits	Building Division	Confirmation that this requirement is included in Contractor Specifications
Air Quality	<p>MM Air 6: The developer of each implementing development project shall require, by contract specifications, the use of alternative fueled off-road construction equipment, the use of construction equipment that demonstrates early compliance with off-road equipment with the CARB in-use off-road diesel vehicle regulation (SCAQMD Rule 2449) and/or meets or exceeds Tier 3 standards with available CARB verified or US EPA certified technologies. Diesel equipment shall use water emulsified diesel fuel such as PuriNOx unless it is unavailable in Riverside County at the time of project construction activities. Contract specifications shall be included in project construction documents, which shall be reviewed by the City of Perris' Building Division prior to issuance of a grading permit.</p>	Prior to issuance of grading permits	Building Division	Confirmation that this requirement is included in Contractor Specifications



**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Air Quality</p>	<p>MM Air 7: During construction, ozone precursor emissions from mobile construction equipment shall be controlled by maintaining equipment engines in good condition and in proper tune per manufacturers' specifications to the satisfaction of the City of Perris' Building Division. Equipment maintenance records and equipment design specification data sheets shall be kept on-site during construction. Compliance with this measure shall be subject to periodic inspections by the City of Perris' Building Division.</p>	<p>Prior to issuance of grading and building permits During construction</p>	<p>Building Division</p>	<p>Confirmation that this requirement is included in Contractor Specifications Periodic review of equipment maintenance records and equipment design specifications data sheets by City staff</p>
<p>Air Quality</p>	<p>MM Air 8: Each individual implementing development project shall apply paints using either high volume low pressure (HVLP) spray equipment with a minimum transfer efficiency of at least 50 percent or other application techniques with equivalent or higher transfer efficiency.</p>	<p>During construction</p>	<p>Building Division</p>	<p>Confirmation that this requirement is included in Contractor Specifications</p>
<p>Air Quality</p>	<p>MM Air 9: To reduce VOC emissions associated with architectural coating, the project designer and contractor shall reduce the use of paints and solvents by utilizing pre-coated materials (e.g., bathroom stall dividers, metal awnings), materials that do not require painting, and require coatings and solvents with a VOC content lower than required under Rule 1113 to be utilized. The construction contractor shall be required to utilize "Super-Compliant" VOC paints, which are defined in</p>	<p>Prior to issuance of building permits</p>	<p>Building Division</p>	<p>Confirmation that this requirement is included in Contractor Specifications</p>



**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>SCAQMD's Rule 1113. Construction specifications shall be included in building specifications that assure these requirements are implemented. The specifications for each implementing development project shall be reviewed by the City of Perris' Building Division for compliance with this mitigation measure prior to issuance of a building permit for that project.</p>			
<p>Air Quality</p>	<p>MM Air 11: Signage shall be posted at loading docks and all entrances to loading areas prohibiting all on-site truck idling in excess of five minutes.</p>	<p>Prior to issuance of certificates of occupancy</p>	<p>Building Division</p>	<p>Confirmation that this requirement is included in building plans Inspection to confirm posted signs</p>
<p>Air Quality</p>	<p>MM Air 13: In order to promote alternative fuels, and help support "clean" truck fleets, the developer/successor-in-interest shall provide building occupants and businesses with information related to SCAQMD's Carl Moyer Program, or other state programs that restrict operations to "clean" trucks, such as 2007 or newer model year or 2010 compliant vehicles and information including, but not limited to, the health effect of diesel particulates, benefits of reduced idling time, CARB regulations, and importance of not parking in residential areas. If trucks older than 2007 model year will be used at a facility with three or more dock-high doors, the developer/successor-in-interest shall require, within one year of signing a lease, future</p>	<p>Prior to issuance of certificates of occupancy</p>	<p>Planning Division</p>	<p>Confirmation that tenants have been provided with information regarding funding for cleaner than required heavy-duty engines and emission control devices</p>



SAGECREST
PLANNING • ENVIRONMENTAL

**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Air Quality</p>	<p>tenants to apply in good-faith for funding for diesel truck replacement/retrofit through grant programs such as the Carl Moyer, Prop 1B, VIP, HVIP, and SOON funding programs, as identified on SCAQMD's website (http://www.aqmd.gov). Tenants will be required to use those funds, if awarded.</p> <p>MM Air 18: Prior to the approval of each implementing development project, the Riverside Transit Agency (RTA) shall be contacted to determine if the RTA has plans for the future provision of bus routing within any street that is adjacent to the implementing development project that would require bus stops at the project access points. If the RTA has future plans for the establishment of a bus route that will serve the implementing development project, road improvements adjacent to the Project Site shall be designed to accommodate future bus turnouts at locations established through consultation with the RTA. RTA shall be responsible for the construction and maintenance of the bus stop facilities. The area set aside for bus turnouts shall conform to RTA design standards, including the design of the contact between sidewalks and curb and gutter at bus stops and the use of ADA-compliant paths to the major building entrances in the project. <u>Compliance Note:</u> The Applicant has contacted the RTA, requesting comment as to the provision of bus</p>			<p>Mitigation measure completed with preparation of the IS-MIND</p>



Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Biological Resources</p>	<p>routing within any street adjacent to the Project. The RTA responded that it had no comments from the Agency.</p> <p>MIM BR 1: In order to avoid violation of the MBTA and the California Fish and Game Code, site preparation activities (ground disturbance, construction activities, staging equipment, and/or removal of trees and vegetation) for the Project shall be avoided, to the greatest extent possible, during the nesting season of potentially occurring native and migratory bird species.</p> <p>If site-preparation activities are proposed during the nesting/breeding season, the Project proponent shall retain a qualified biologist to conduct a pre-activity field survey prior to the issuance of grading permits for the Project to determine if active nests of species protected by the MBTA or the California Fish and Game Code are present in the construction zone.</p> <p>If active nests are not located within the Project site and an appropriate buffer of 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected bird nests (non-listed), or 100 feet of sensitive or protected songbird nests, construction may be conducted during the nesting/breeding season. However, if active nests are located during the pre-activity field survey, the Biologist shall immediately establish a</p>	<p>Mitigation measure required only between February 1 and August 31</p> <p>Pre-construction survey to be conducted no more than 30 days prior to issuance of a grading permit</p>	<p>Planning Division</p>	<p>Review of pre-activity field survey report</p>



SAGECREST
PLANNING + ENVIRONMENTAL

Lake Creek Industrial Redlands East Project Initial Study/Mitigated Negative Declaration

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>conservative avoidance buffer surrounding the nest based on their best professional judgement and experience. The Biologist shall monitor the nest at the onset of project activities, and at the onset of any changes in such project activities (e.g., increase in number or type of equipment, change in equipment usage, etc.) to determine the efficacy of the buffer. If the Biologist determines that such project activities may be causing an adverse reaction, the Biologist shall adjust the buffer accordingly or implement alternative avoidance and minimization measures, such as redirecting or rescheduling construction or erecting sound barriers. All work within these buffers will be halted until the nesting effort is finished (i.e., the juveniles are surviving independent from the nest). The on-site qualified biologist will review and verify compliance with these nesting avoidance buffers and will verify the nesting effort has finished. Work can resume within these avoidance areas when no other active nests are found. Upon completion of the survey and nesting bird monitoring, a report shall be prepared and submitted to City for mitigation monitoring compliance record keeping.</p>			



SAGECREST
PLANNING • ENVIRONMENTAL

**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Biological Resources</p>	<p>MM BR 2: The Project proponent shall retain a qualified biologist to conduct a pre-construction survey for resident burrowing owls within 30 days prior to commencement of grading and construction activities on the Project Site. The survey will include the Project Site and all suitable burrowing owl habitat within a 500-foot buffer. The results of the survey will be submitted to the City prior to obtaining a grading permit. In addition, if burrowing owls are observed during the MBTA nesting bird survey, to be conducted within three days prior to ground disturbance or vegetation clearance, the observation shall be reported to the Wildlife Agencies. If ground disturbing activities in these areas are delayed or suspended for more than 30 days after the pre-construction survey, the area shall be resurveyed for owls. The pre-construction survey and any relocation activity will be conducted in accordance with the current Burrowing Owl Survey Instructions for the Western Riverside MSHCP.</p> <p>If burrowing owl are detected, the CDFW shall be sent written notification by the City, within three days of detection of burrowing owls. If active nests are identified during the pre-construction survey, the nests shall be avoided and the qualified biologist and Project Applicant shall coordinate with the City of Perris</p>	<p>Pre-construction surveys to be conducted no more than 30 days prior to initiation of grading or construction activities</p>	<p>Planning Division</p>	<p>Review of pre-activity field survey reports</p>



SAGECREST
PLANNING • ENVIRONMENTAL

Lake Creek Industrial Redlands East Project Initial Study/Mitigated Negative Declaration

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>Planning Department, the USFWS, and the CDFW to develop a Burrowing Owl Plan to <u>be</u> approved by the City in consultation with the CDFW and the USFWS prior to commencing Project activities. The Burrowing Owl Plan shall be prepared in accordance with guidelines in the CDFW Staff Report on Burrowing Owl (March 2012) and MSHCP. The Burrowing Owl Plan shall describe proposed avoidance, minimization, relocation, and monitoring as applicable. The Burrowing Owl Plan shall include the number and location of occupied burrow sites and details on proposed buffers if avoiding the burrowing owls and/or information on the adjacent or nearby suitable habitat available to owls for relocation. If no suitable habitat is available nearby for relocation, details regarding the creation and funding of artificial burrows (numbers, location, and type of burrows) and management activities for relocated owls may also be required in the Burrowing Owl Plan. The Permittee shall implement the Burrowing Owl Plan following CDFW and USFWS review and concurrence. A final letter report shall be prepared by the qualified biologist documenting the results of the Burrowing Owl Plan. The letter shall be</p>			



SAGECREST
PLANNING • ENVIRONMENTAL

**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Cultural Resources</p>	<p>submitted to the CDFW prior to the start of Project activities. When a qualified biologist determines that burrowing owls are no longer occupying the Project site per the criteria in the Burrowing Owl Plan, Project activities may begin.</p> <p>If burrowing owls occupy the Project Site after Project activities have started, then construction activities shall be halted immediately. The Project proponent shall notify the City and the City shall notify the CDFW and the USFWS within 48 hours of detection. A Burrowing Owl Plan, as detailed above, shall be implemented.</p> <p>MM CR-1: Prior to the issuance of grading permits, the Project proponent/developer shall retain a professional archaeologist meeting the Secretary of the Interior's Professional Standards for Archaeology (U.S. Department of Interior, 2012; Registered Professional Archaeologist preferred). The primary task of the consulting archaeologist shall be to monitor the initial ground-disturbing activities at both the subject site and any off-site Project-related improvement areas for the identification of any previously unknown archaeological and/or cultural resources. Selection of the archaeologist shall be subject to the approval of the City of Perris</p>	<p>Prior to issuance of grading permits and during subsurface excavation</p>	<p>Planning Division</p>	<p>Confirmation of professional archaeologist retention/ongoing monitoring/submittal of Report of Findings</p>



SAGECREST
PLANNING • ENVIRONMENTAL

**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>Director of Development Services and no ground-disturbing activities shall occur at the Project Site or within the off-site Project improvement areas until the archaeologist has been approved by the City.</p> <p>The archaeologist shall be responsible for monitoring ground-disturbing activities, including initial vegetation removal, maintaining daily field notes and a photographic record, and for reporting all finds to the developer and the City of Perris in a timely manner. The archaeologist shall be prepared and equipped to record and salvage cultural resources that may be unearthed during ground-disturbing activities and shall be empowered to temporarily halt or divert ground-disturbing equipment to allow time for the recording and removal of the resources.</p> <p>In the event that archaeological resources are discovered at the Project Site or within the off-site Project improvement areas, the handling of the discovered resource(s) will differ, depending on the nature of the find. Consistent with California Public Resources Code Section 21083.2(b) and Assembly Bill 52 (Chapter 532, Statutes of 2014), avoidance shall be the preferred method of preservation for Native American/tribal cultural/archaeological resources. However, it is understood that all artifacts, with the</p>			



SAGECREST
PLANNING • ENVIRONMENTAL

**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>exception of human remains and related grave goods or sacred/ceremonial/religious objects, belong to the property owner. The property owner will commit to the relinquishing and curation of all artifacts identified as being of Native American origin. All artifacts, Native American or otherwise, discovered during the monitoring program shall be recorded and inventoried by the consulting archaeologist.</p> <p>If any artifacts of Native American origin are discovered, all activities in the immediate vicinity of the find (within a 50-foot radius) shall stop and the Project proponent and Project archaeologist shall notify the City of Perris Planning Division and the Soboba Band of Luiseño Indians, the Pechanga Band of Luiseño Indians, and A designated Native American representative from either the Soboba Band of Luiseño Indians, the Pechanga Band of Luiseño Indians, or the Agua Caliente Band of Cahuilla Indians shall be retained to assist the Project archaeologist in the significance determination of the Native American as deemed possible. The designated Luiseño tribal representative will be given ample time to examine the find. The significance of Native American resources shall be evaluated in accordance with the provisions of CEQA and shall consider the religious beliefs, customs, and practices of the Luiseño tribe. If the find is determined to be of</p>			



SAGECREST
PLANNING • ENVIRONMENTAL

Lake Creek Industrial Redlands East Project Initial Study/Mitigated Negative Declaration

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>sacred or religious value, the Luiseño tribal representative will work with the City and consulting archaeologist to protect the resource in accordance with tribal requirements. All analysis will be undertaken in a manner that avoids destruction or other adverse impacts.</p> <p>In the event that human remains are discovered at the Project Site or within the off-site Project improvement areas, mitigation measure CULT-2 shall immediately apply, and all items found in association with Native American human remains shall be considered grave goods or sacred in origin and subject to special handling.</p> <p>Native American artifacts that are relocated/reburied at the Project Site would be subject to a fully executed relocation/reburial agreement with the assisting Luiseño tribe. This shall include, but not be limited to, an agreement that artifacts will be reburied on-site and in an area of permanent protection, and that reburial shall not occur until all cataloging and basic recordation have been completed by the consulting archaeologist.</p> <p>Native American artifacts that cannot be avoided or relocated at the Project Site shall be prepared for curation at an accredited</p>			



SAGECREST
PLANNING - ENVIRONMENTAL

**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>curations facility in Riverside County that meets federal standards (per 36 CFR Part 79) and available to archaeologists/researchers for further study. The Project archaeologist shall deliver the Native American artifacts, including title, to the identified curation facility within a reasonable amount of time, along with applicable fees for permanent curation.</p> <p>Non-Native American artifacts shall be inventoried, assessed, and analyzed for cultural affiliation, personal affiliation (prior ownership), function, and temporal placement. Subsequent to analysis and reporting, these artifacts will be subjected to curation, as deemed appropriate, or returned to the property owner.</p> <p>Once grading activities have ceased and/or the archaeologist, in consultation with the designated Luiseño representative, determines that monitoring is no longer warranted, monitoring activities can be discontinued following notification to the City of Perris Planning Division.</p> <p>A report of findings, including an itemized inventory of artifacts, shall be prepared upon completion of the tasks outlined above. The report shall include all data outlined by the Office of Historic Preservation guidelines, including a conclusion of the significance of all</p>			



**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Cultural Resources</p>	<p>recovered, relocated, and reburied artifacts. A copy of the report shall also be filed with the City of Perris Planning Division, the University of California, Riverside, Eastern Information Center (EIC) and the Luiseño tribe(s) involved with the Project.</p> <p>MM CR-2: In the event that human remains (or remains that may be human) are discovered at the Project Site or within the off-site Project improvement areas during ground-disturbing activities, the construction contractors, Project archaeologist, and/or designated Luiseño tribal representative shall immediately stop all activities within 100 feet of the find. The Project proponent shall then inform the Riverside County Coroner and the City of Perris Planning Division immediately, and the coroner shall be permitted to examine the remains as required by California Health and Safety Code Section 7050.5(b).</p> <p>If the coroner determines that the remains are of Native American origin, the coroner will notify the Native American Heritage Commission (NAHC), which will identify the "Most Likely Descendent" (MLD). Despite the affiliation with any Luiseño tribal representative(s) at the Project Site, the NAHC's identification of the MLD will stand. The MLD shall be granted access to inspect the Project Site of the discovery of Native American human remains and may</p>	<p>During construction</p>	<p>Planning Division</p>	<p>Confirmation of coroner and NAHC contact and submittal of Report of Findings, if applicable</p>



SAGECREST
PLANNING • ENVIRONMENTAL

**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Energy</p>	<p>recommend to the Project proponent means for treatment or disposition, with appropriate dignity of the human remains and any associated grave goods. The MLD shall complete his or her inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the Project Site. The disposition of the remains will be determined in consultation between the Project proponent and the MLD. In the event that there is disagreement regarding the disposition of the remains, State law will apply and median with the NAHC will make the applicable determination (see Public Resources Code Section 5097.98(e) and 5097.94(k)).</p> <p>The specific locations of Native American burials and reburials will be proprietary and not disclosed to the general public. The locations will be documented by the consulting archaeologist in conjunction with the various stakeholders and a report of findings will be filed with the Eastern Information Center (EIC).</p>			
	<p>MM Air 20: Each implementing development project shall be encouraged to implement, at a minimum, an increase in each building's energy efficiency 15 percent beyond Title 24, and reduce indoor water use by 25 percent. All reductions will be documented through a</p>	<p>Prior to issuance of building permits</p>	<p>Building Division</p>	<p>Verification of incorporation of Project design features and approval of street and utility plans</p>



SAGECREST
PLANNING • ENVIRONMENTAL

**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Geology and Soils</p>	<p>checklist to be submitted prior to issuance of building permits for the implementing development project with building plans and calculations.</p> <p>MM GEO-1: Prior to the issuance of grading permits, the Project proponent/developer shall submit to and receive approval from the City, a Paleontological Resource Impact Mitigation Monitoring Program (PRIMMP). The PRIMMP shall include the provision for a qualified professional paleontologist (or his or her trained paleontological representative) to be on-site for any Project-related excavations that exceed three (3) feet below the pre-grade surface. Selection of the paleontologist shall be subject to approval of the City of Perris Planning Manager and no grading activities shall occur at the Project Site or within the off-site Project improvement areas until the paleontologist has been approved by the City.</p> <p>Monitoring shall be restricted to undisturbed subsurface areas of older Quaternary alluvium. The approved paleontologist shall be prepared to quickly salvage fossils as they are unearthed to avoid construction delays. The paleontologist shall also remove samples of sediments which are likely to contain the remains of small fossil invertebrates and vertebrates. The paleontologist shall have the power to temporarily halt or divert grading</p>	<p>Prior to issuance of grading permits and during subsurface excavation</p>	<p>Planning Division</p>	<p>Confirmation of professional paleontologist retention/ongoing monitoring/submitting of Report of Findings</p>



Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>equipment to allow for removal of abundant or large specimens.</p> <p>Collected samples of sediments shall be washed to recover small invertebrate and vertebrate fossils. Recovered specimens shall be prepared so that they can be identified and permanently preserved. Specimens shall be identified and curated and placed into an accredited repository (such as the Western Science Center or the Riverside Metropolitan Museum) with permanent curation and retrievable storage.</p> <p>A report of findings, including an itemized inventory of recovered specimens, shall be prepared upon completion of the steps outlined above. The report shall include a discussion of the significance of all recovered specimens. The report and inventory, when submitted to the City of Perris Planning Division, will signify completion of the program to mitigate impacts to paleontological resources.</p>			
<p>Hazards and Hazardous Materials</p>	<p>MM Haz 2: Prior to the recordation of a final map, issuance of a building permit, or conveyance to an entity exempt from the Subdivision Map Act, whichever occurs first, the landowner shall convey an avigation easement to the MARB/March Inland Port Airport Authority.</p>	<p>Prior to earliest recordation of final map, issuance of building permit, or conveyance to an entity exempt from the Subdivision Map Act</p>	<p>Planning Division</p>	<p>Confirmation of conveyance of avigation easement provided</p>



**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Hazards and Hazardous Materials</p>	<p>MM Haz 3: Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky or above the horizontal plane.</p>	<p>During plot plan/architectural plan review</p>	<p>Planning Division</p>	<p>Review and approval of site lighting plans</p>
<p>Hazards and Hazardous Materials</p>	<p>MM Haz 4: The following notice shall be provided to all potential purchasers and tenants:</p> <p>“This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example, noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Profession Code 11010 13(A)”</p>	<p>Prior to issuance of certificates of occupancy and tenant improvements</p>	<p>Planning Division</p>	<p>Confirmation that purchasers and tenants have been provided the required notice</p>
<p>Hazards and Hazardous Materials</p>	<p>MM Haz 5: The following uses shall be prohibited:</p> <ul style="list-style-type: none"> Any use which would direct a steady light or flashing light of red, white, green, or amber 	<p>During plot plan/architectural plan review</p>	<p>Planning Division</p>	<p>Confirmation that prohibited uses and actions are included in executed lease agreements</p>



SAGECREST
PLANNING • ENVIRONMENTAL

Lake Creek Industrial Redlands East Project Initial Study/Mitigated Negative Declaration

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.</p> <ul style="list-style-type: none">• Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.• Any use which would generate smoke or water vapor, or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.• Any use which would generate electrical interference that may be detrimental to the operation			



Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
<p>Hazards and Hazardous Materials</p>	<p>of aircraft and/or aircraft instrumentation.</p> <ul style="list-style-type: none"> All retention and water quality basins shall be designed to dewater within 48 hours of a rainfall event. <p>MM Haz 6: A minimum of 45 days prior to submittal of an application for a building permit for an implementing development project, the implementing development project applicant shall consult with the City of Perris Planning Department in order to determine whether any implementing project-related vertical structures or construction equipment will encroach into the 100-to-1 imaginary surface surrounding the MARB. If it is determined that there will be an encroachment into the 100-to-1 imaginary surface, the implementing development project applicant shall file a FAA Form 7460-1, Notice of Proposed Construction or Alteration. If FAA determines that the implementing development project would potentially be an obstruction unless reduced to a specified height, the implementing development project applicant and the Perris Planning Division will work with FAA to resolve any adverse effects on aeronautical operations.</p>	<p>A minimum of 45 days prior to submittal of a building permit application</p>	<p>Planning Division</p>	<p>Evidence that FAA Form 7460-1 has been filed for construction equipment, if needed</p>
<p>Noise</p>	<p>MM Noise 1: During all Project Site excavation and grading on-site, the construction</p>	<p>Prior to issuance of grading permits</p>	<p>Building Division</p>	<p>Confirmation that this requirement is included in Contractor Specifications</p>



**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
	<p>contractors shall equip all construction equipment, fixed or mobile, shall be equipped with properly operating and maintained mufflers consistent with manufacturer's standards. The construction contractor shall place all stationary construction equipment so that emitted noise is directed away from the noise sensitive receptors nearest the Project Site.</p>	<p>During excavation and grading</p>		<p>Periodic construction site inspection</p>
<p>Noise</p>	<p>MM Noise 2: During construction, stationary construction equipment, stockpiling and vehicle staging areas will be placed a minimum of 446 feet away from the closest sensitive receptor.</p>	<p>Prior to issuance of grading and building permits During grading and construction</p>	<p>Building Division</p>	<p>Confirmation that this requirement is included in Contractor Specifications Periodic construction site inspections</p>
<p>Noise</p>	<p>MM Noise 3: No combustion-powered equipment, such as pumps or generators, shall be allowed to operate within 446 feet of any occupied residence unless the equipment is surrounded by a noise protection barrier.</p>	<p>Prior to issuance of grading and building permits During grading and construction</p>	<p>Building Division</p>	<p>Confirmation that this requirement is included in Contractor Specifications Periodic construction site inspections</p>
<p>Noise</p>	<p>MM Noise 4: Construction contractors of implementing development projects shall limit haul truck deliveries to the same hours specified for construction equipment. To the extent feasible, haul routes shall not pass sensitive land uses or residential dwellings.</p>	<p>Prior to issuance of grading and building permits During grading and construction</p>	<p>Building Division</p>	<p>Confirmation that this requirement is included in Contractor Specifications Periodic construction site inspections</p>
<p>Noise</p>	<p>MM NOISE-5: Equipment shall be shut off and not left to idle when not in use.</p>	<p>Prior to issuance of grading and building permits</p>	<p>Building Division</p>	<p>Confirmation that this requirement is included in Contractor Specifications</p>



SAGECREST
PLANNING + ENVIRONMENTAL

**Lake Creek Industrial Redlands East Project
Initial Study/Mitigated Negative Declaration**

Impact Category	Mitigation Measure	Implementation Timing	Responsible Monitoring Party	Monitoring/Reporting Method
Noise	MM NOISE-6: Jackhammers, pneumatic equipment and all other portable stationary noise sources shall be shielded, and noise shall be directed away from sensitive receptors.	During grading and construction Prior to issuance of grading and building permits During grading and construction	Building Division	Periodic construction site inspections Confirmation that this requirement is included in Contractor Specifications Periodic construction site inspections
Noise	MM NOISE-7: The project proponent shall mandate that the construction contractor prohibit the use of music or sound amplification on the project site during construction.	Prior to issuance of grading and building permits During grading and construction	Building Division	Confirmation that this requirement is included in Contractor Specifications Periodic construction site inspections
Noise	MM NOISE-8: The construction contractor shall limit haul truck deliveries to the same hours specified for construction equipment.	Prior to issuance of grading and building permits During grading and construction	Building Division	Confirmation that this requirement is included in Contractor Specifications Periodic construction site inspections

EXHIBIT B

Location/Aerial Photo



N Perris Blvd

E Rider St

Lake View Dr

Ensenada

San Luis Dr

Punta Prieta Dr

Magellan Ln

Holiday Ln

Sparkler Ln

Russel Way

Redlands Ave

E Rider St

PROJECT SITE

Placentia Ave

Lisbon St

Wilson Ave

Count Turf St

Chant St

Spectacular

Caden Pl

Connors

Parula St

Glasper St

Cur



EXHIBIT C

PVCCSP Land Use Map

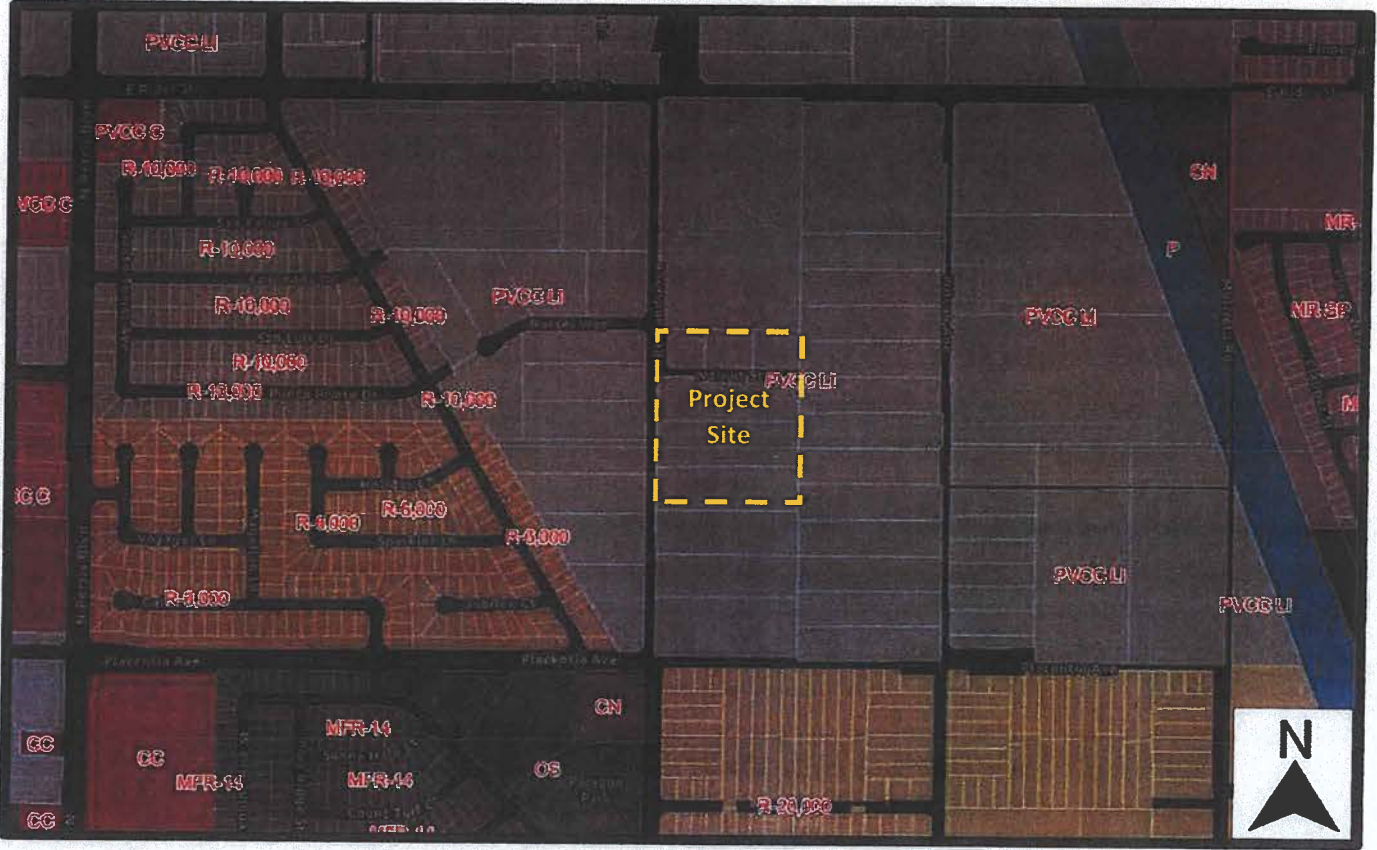


EXHIBIT D

MARB/IPA ALUCP Map

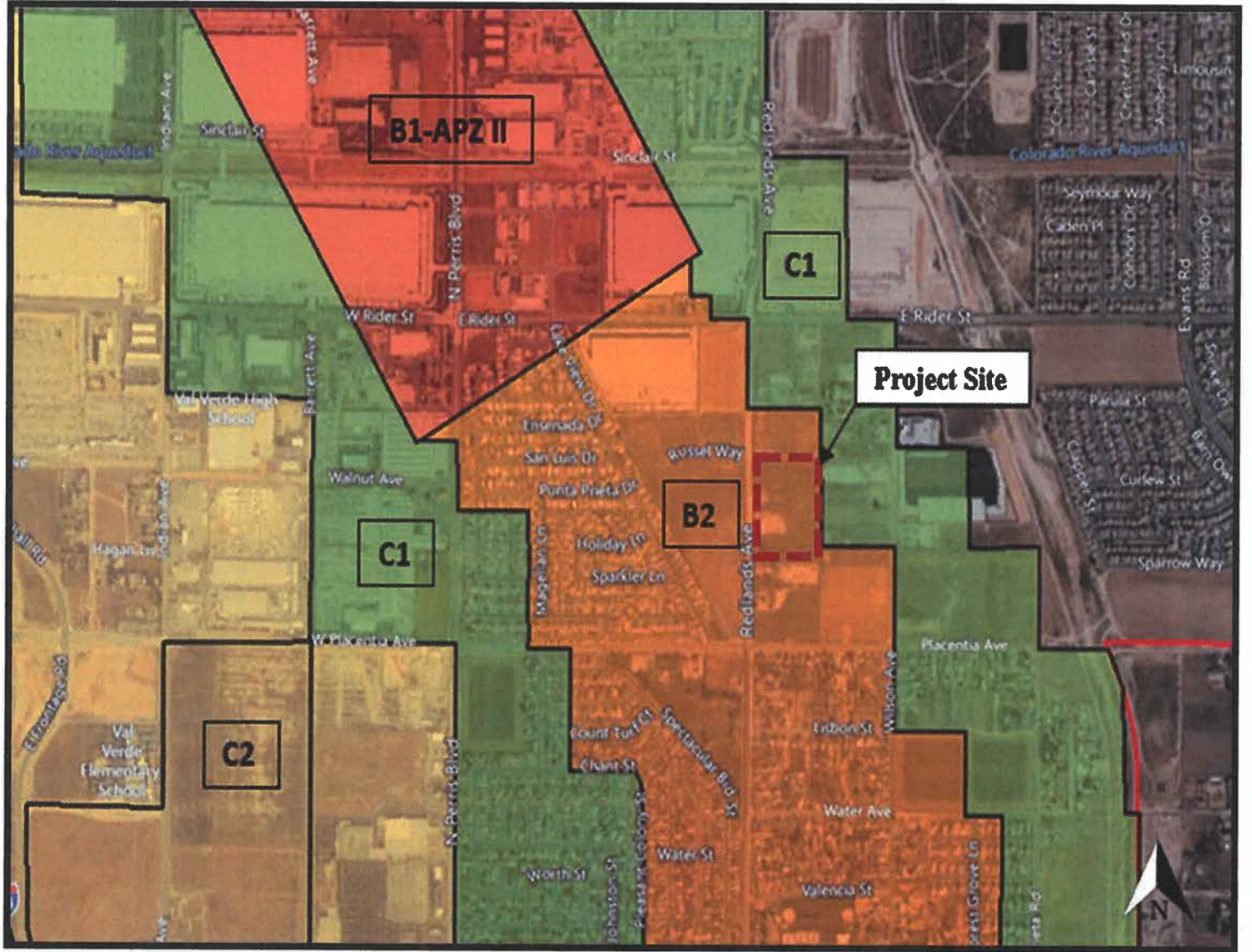


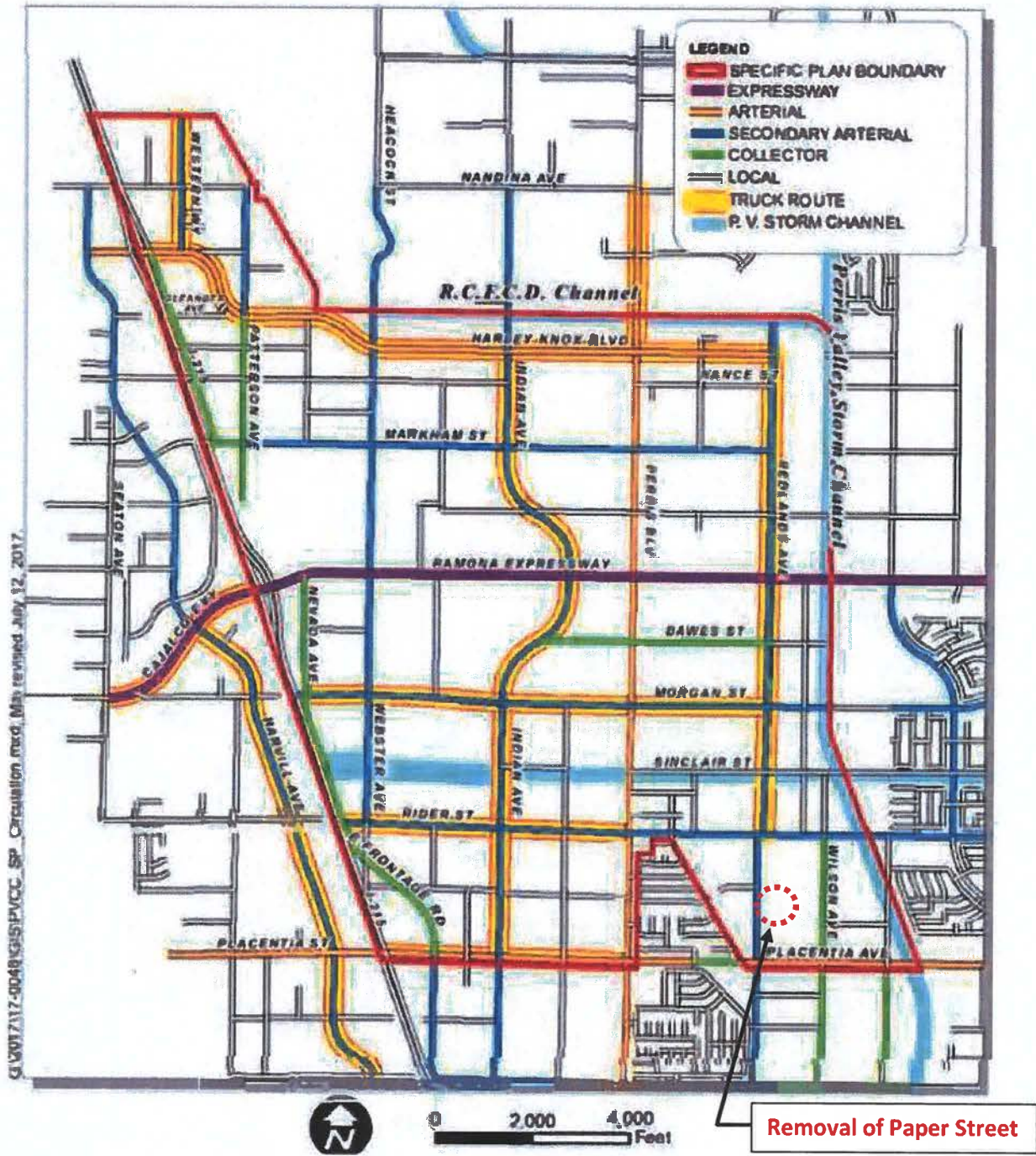
EXHIBIT E

Existing and Proposed PVCCSP Amendment
Maps
(Figures Removing Street Segments Lots “B”,
“C”, and “D”)

EXISTING (Figure 3.0-1 Circulation Plan Map)



PROPOSED (Figure 3.0-1 Circulation Plan Map)



EXISTING (Figure 3.0-4 Mass Transit Routes)



PROPOSED (Figure 3.0-4 Mass Transit Routes)



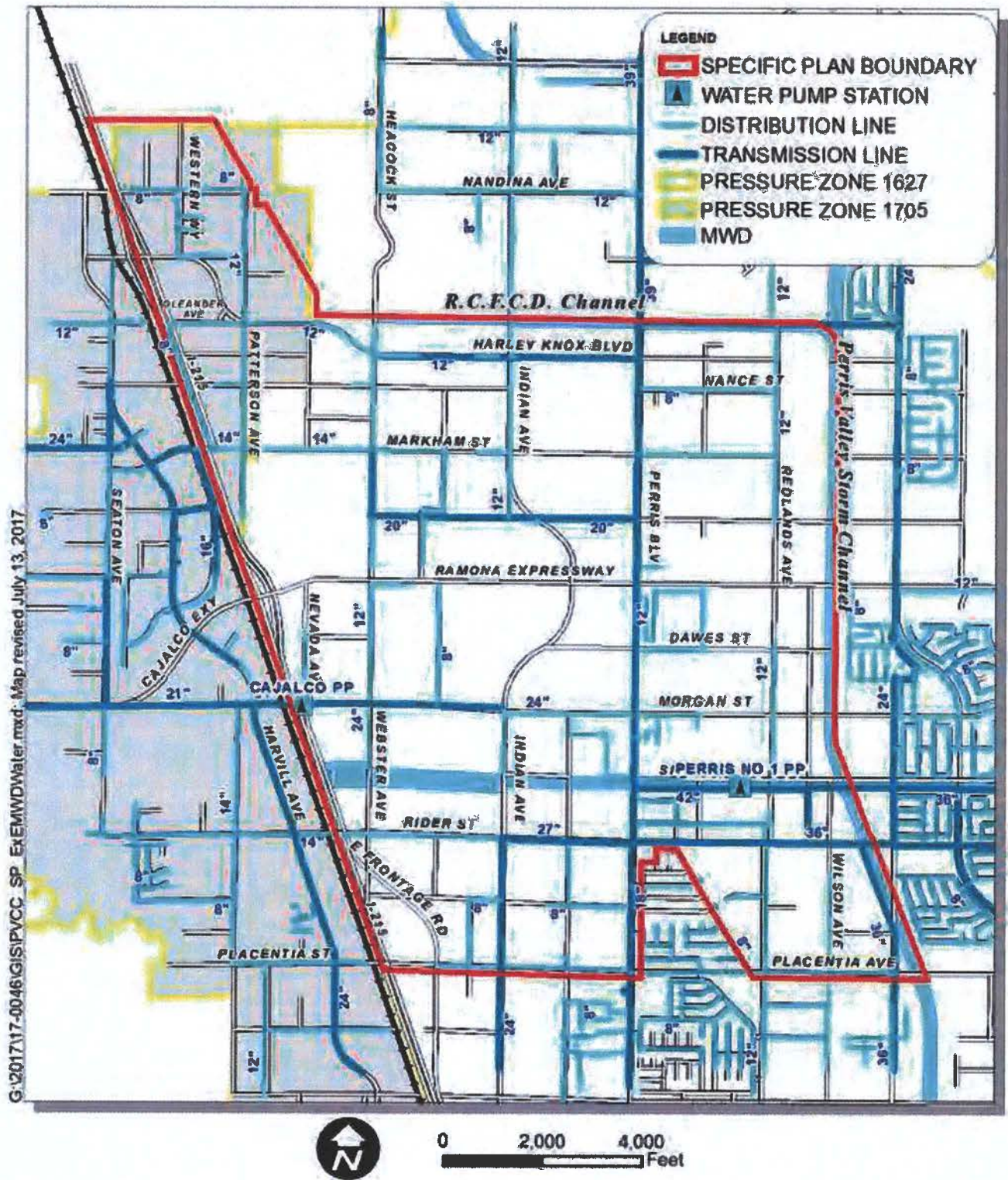
EXISTING (Figure 3.0-5 Trails System Map)



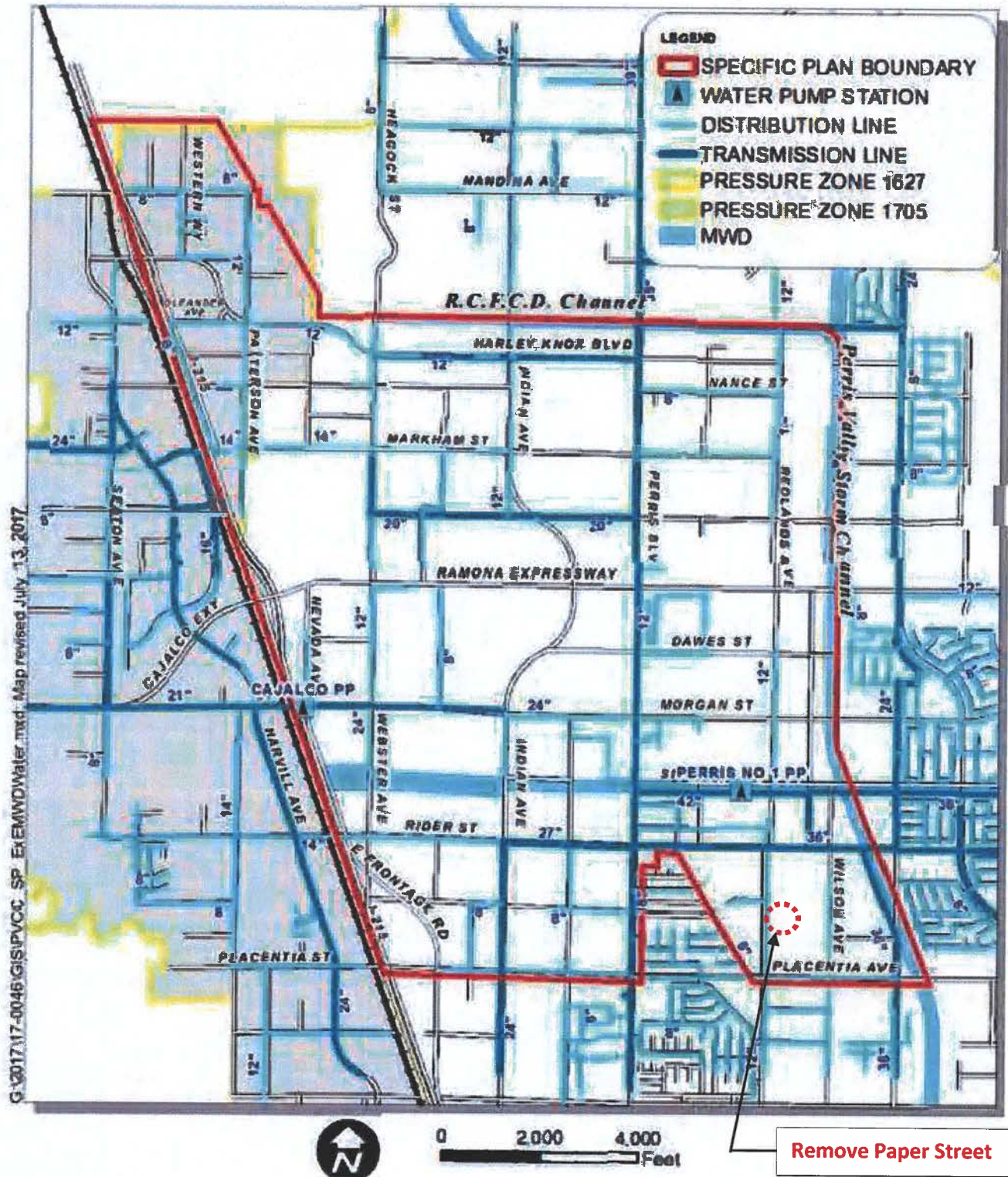
PROPOSED (Figure 3.0-5 Trails System Map)



EXISTING (Figure 3.0-7 Existing EMWD Water Map)



PROPOSED (Figure 3.0-7 Existing EMWD Water Map)



G:\2017\17-0045\GIS\VPCC_SP_ExtMWDWater.mxd, Map revised July 13, 2017.

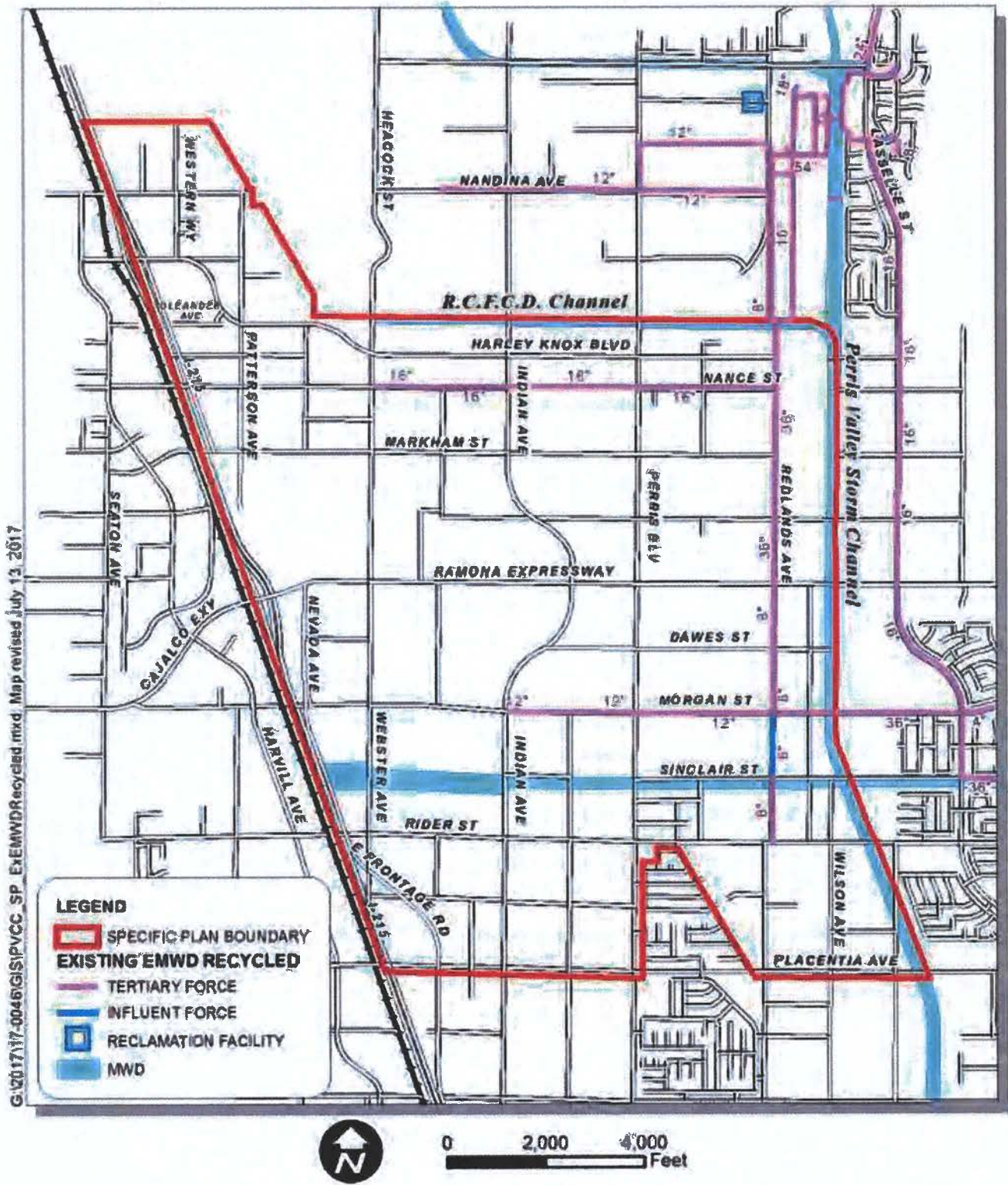
EXISTING (Figure 3.0-8 Existing EMWD Sewer Map)



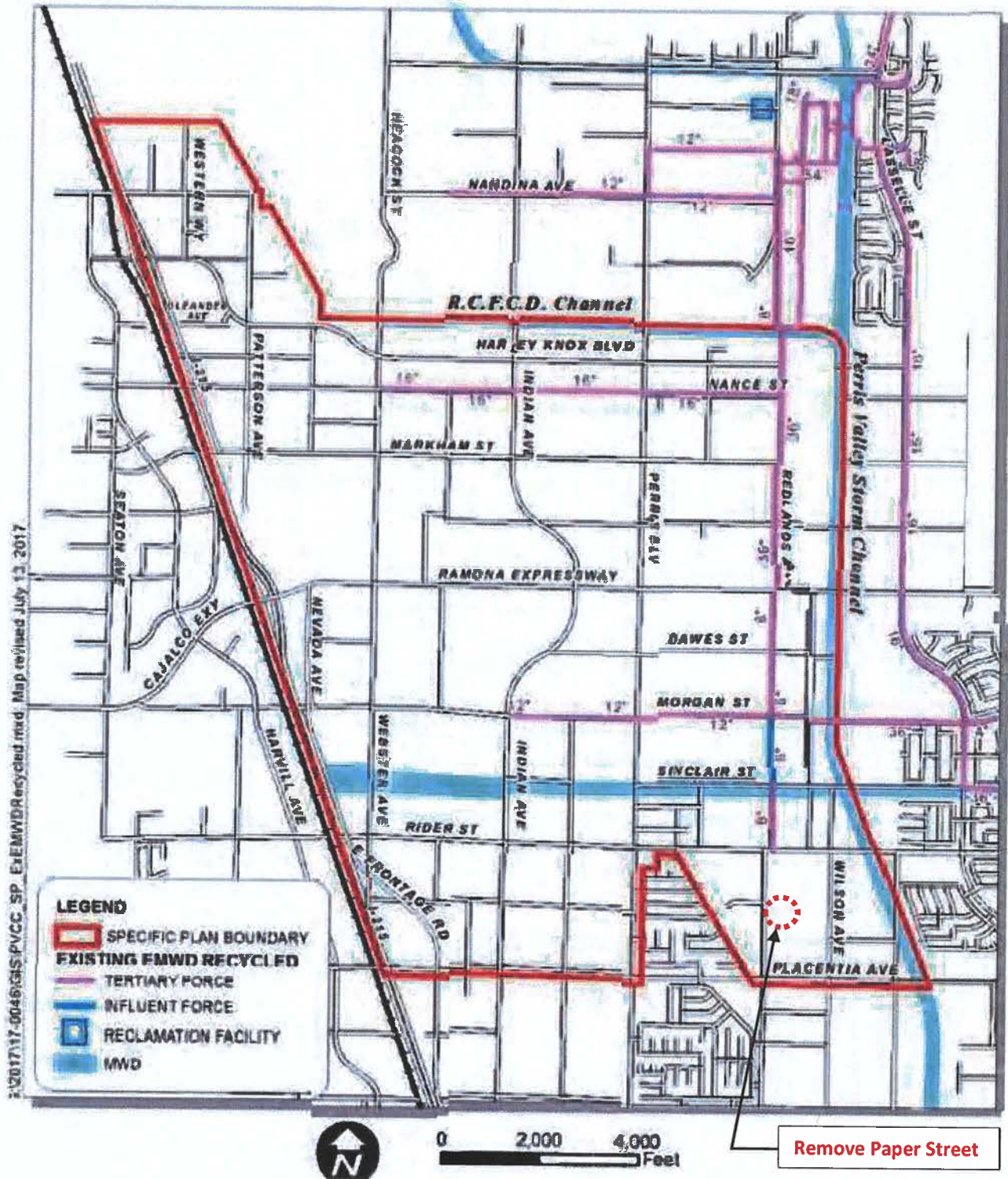
PROPOSED (Figure 3.0-8 Existing EMWD Sewer Map)



EXISTING (Figure 3.0-9 Existing EMWD Recycled Water Map)



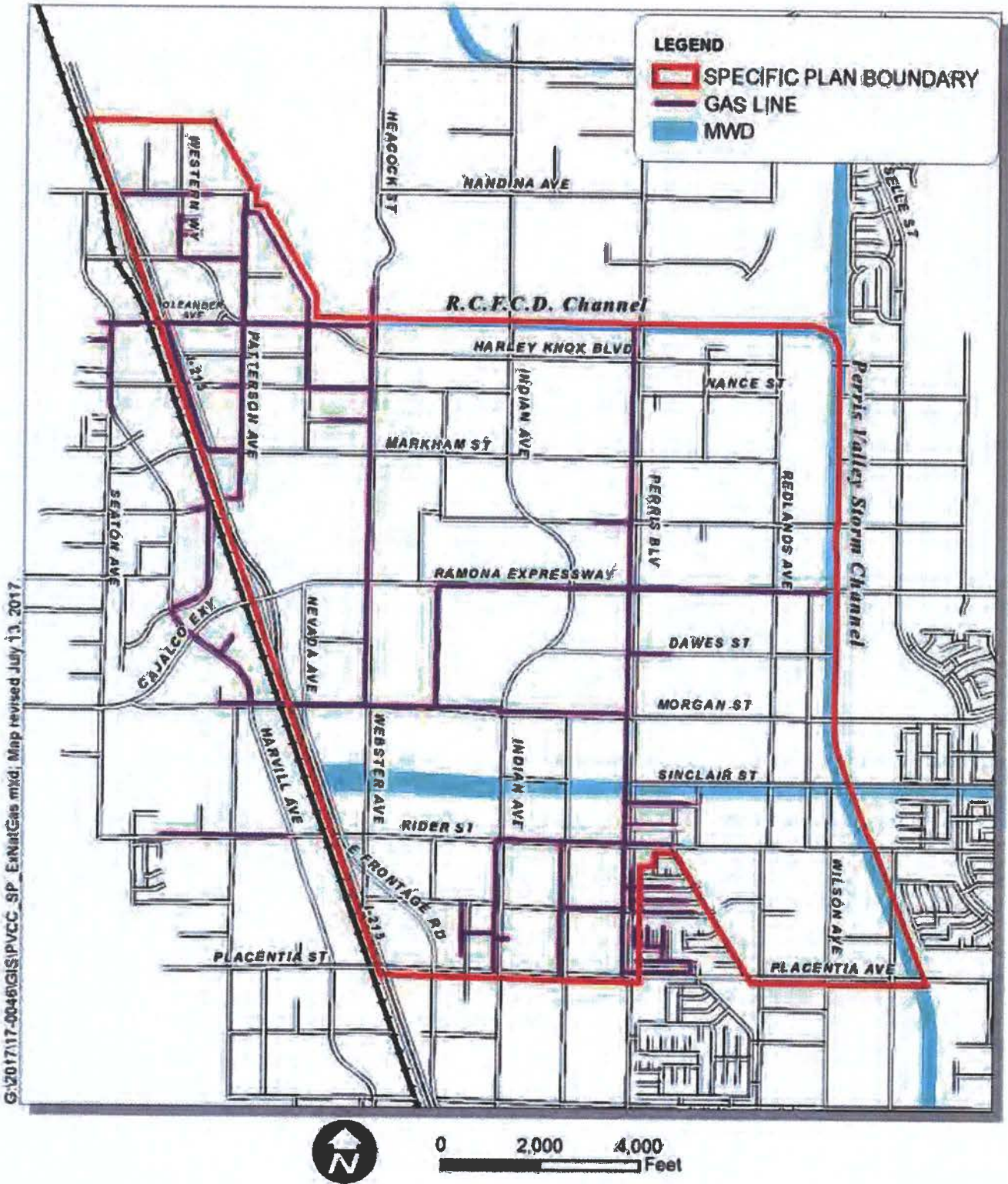
PROPOSED (Figure 3.0-9 Existing EMWD Recycled Water Map)



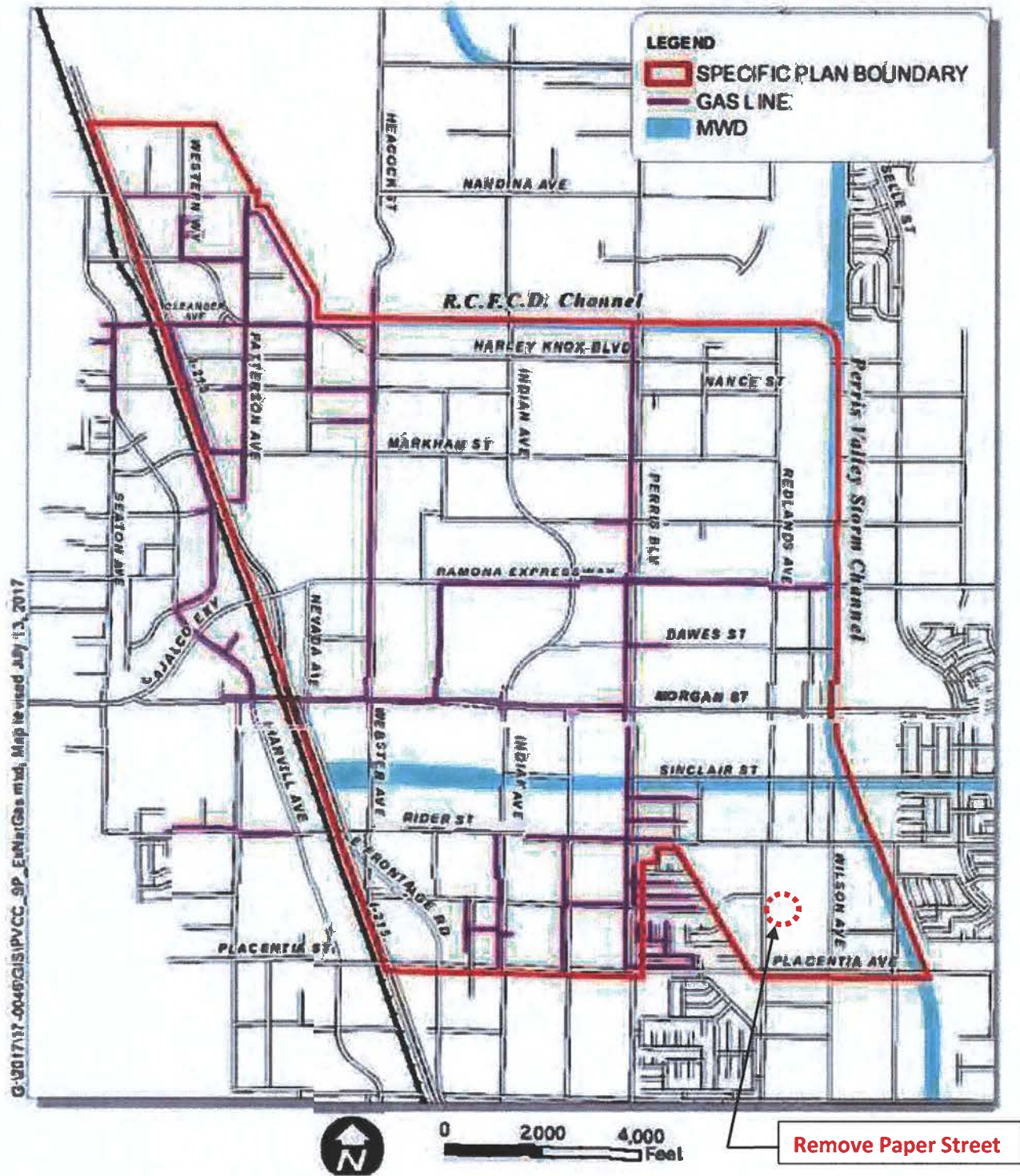
E:\2017\17-0046\GIS\FVCC_SP_ExtEMWDRecycled.mxd Map revised July 13, 2017

Remove Paper Street

EXISTING (Figure 3.0-12 Existing Natural Gas Map)



PROPOSED (Figure 3.0-12 Existing Natural Gas Map)

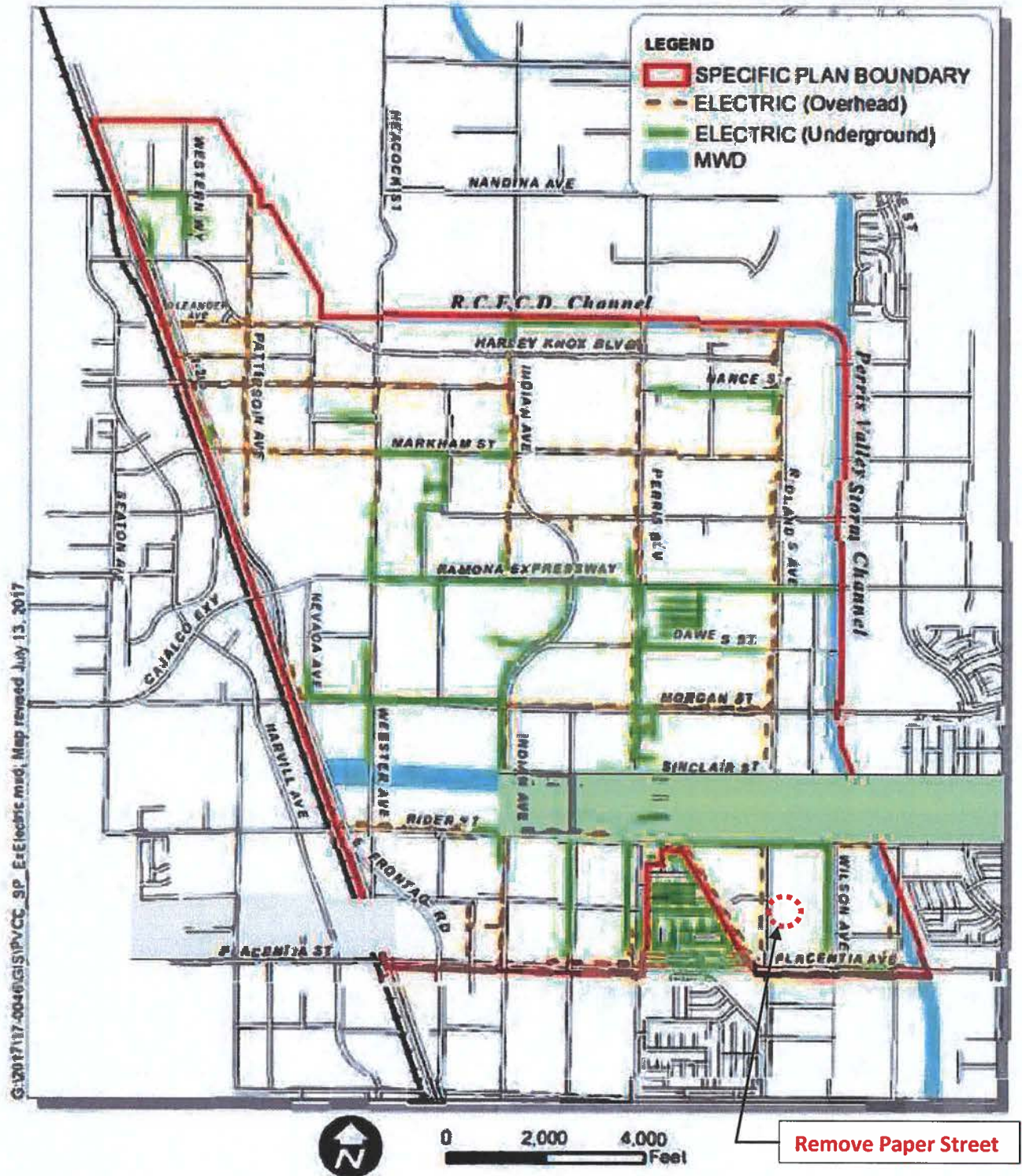


EXISTING (Figure 3.0-13 Existing Electrical Map)

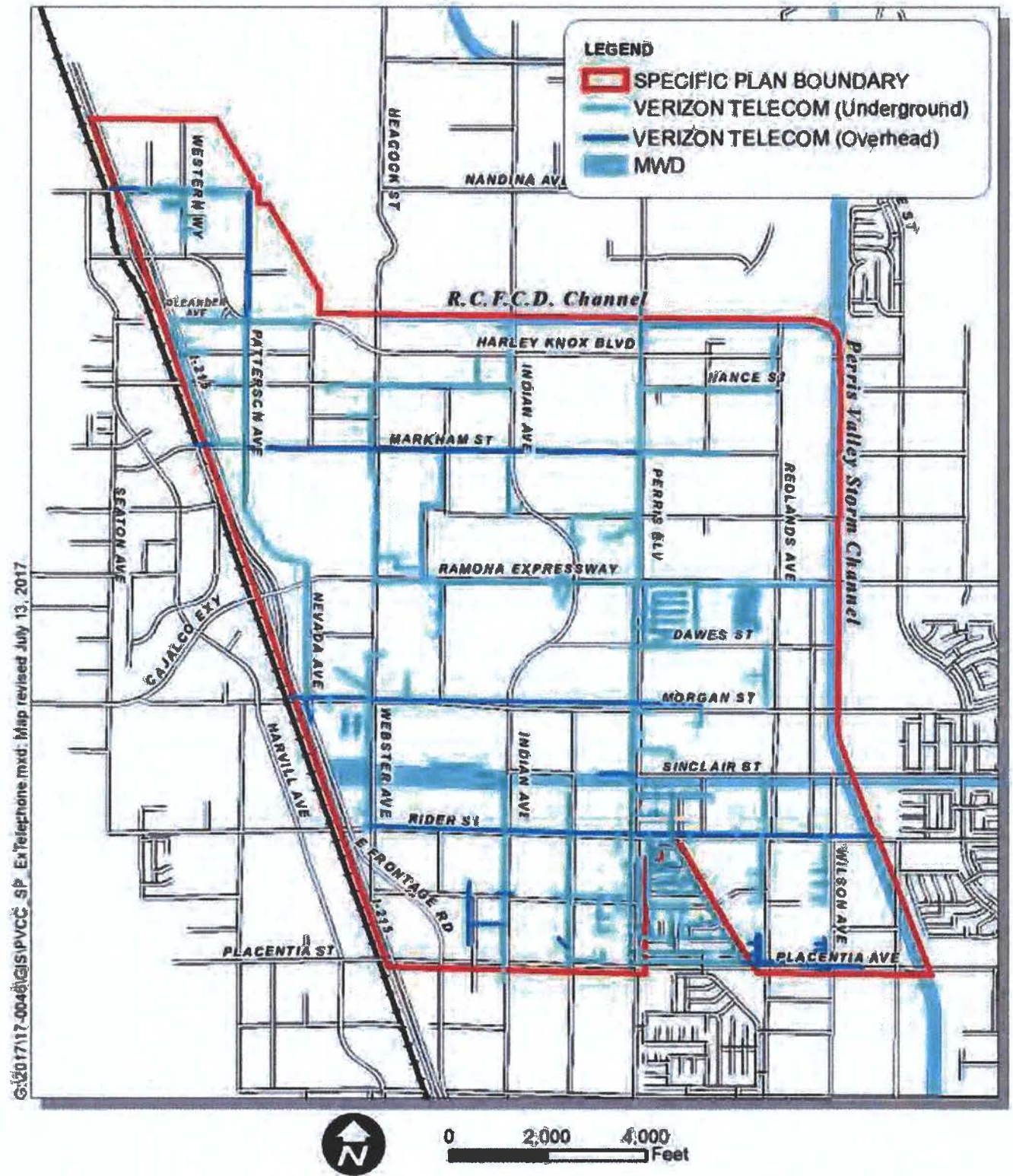


G:\2017\17-0046\GIS\pvcc_sp_ExtElectric.mxd; Map revised July 13, 2017

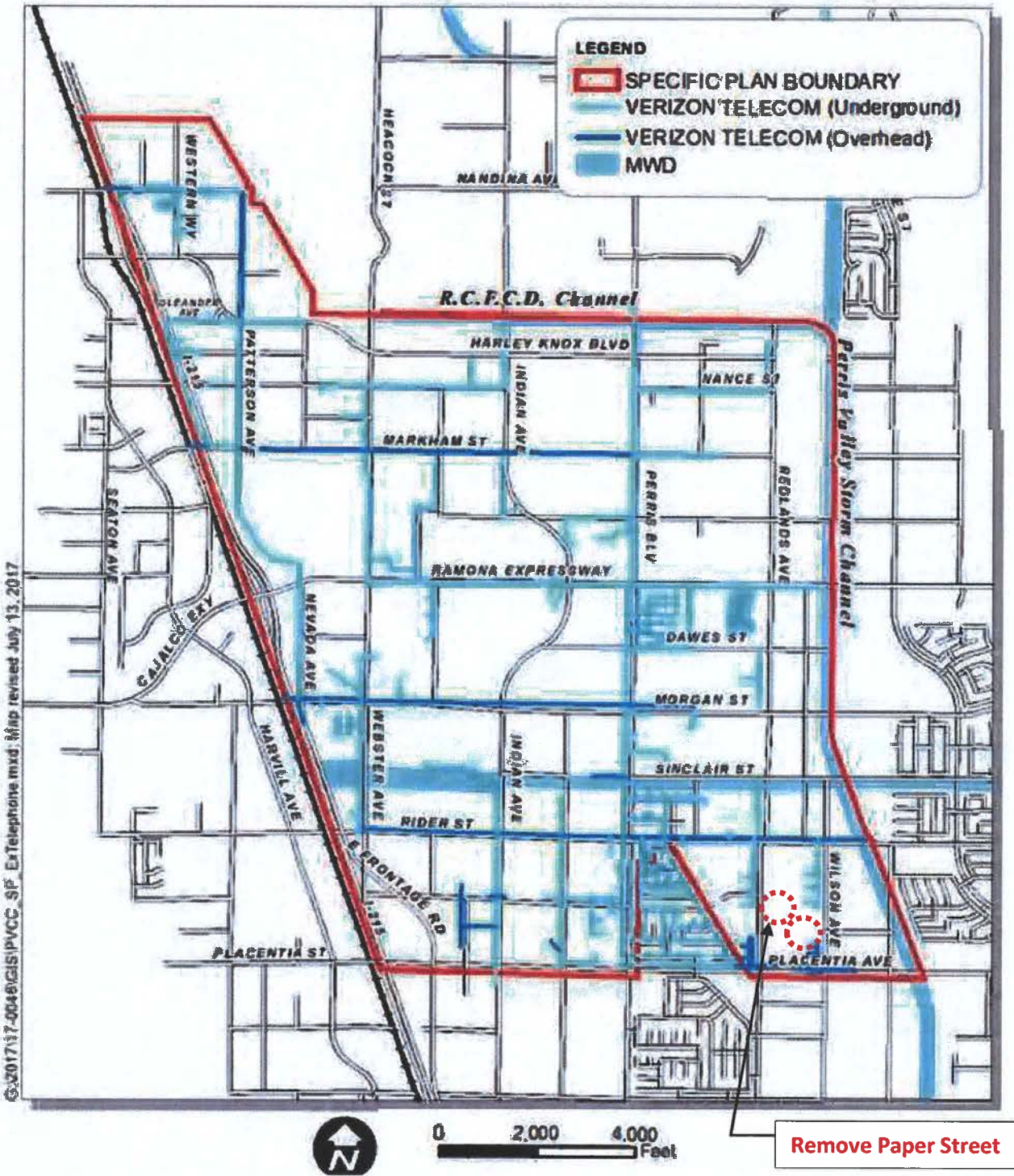
PROPOSED (Figure 3.0-13 Existing Electrical Map)



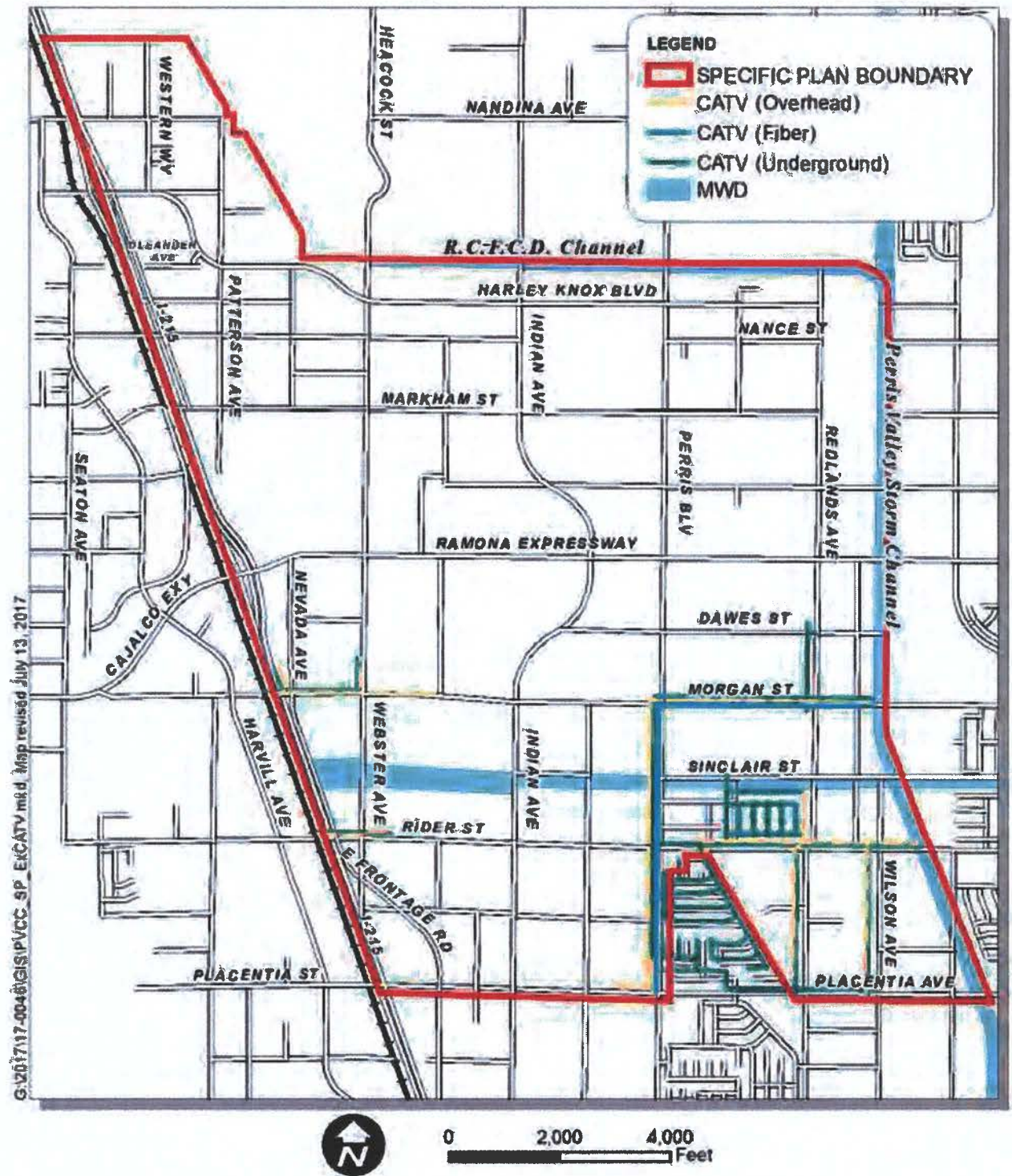
EXISTING (Figure 3.0-14 Existing Telephone Map)



PROPOSED (Figure 3.0-14 Existing Telephone Map)



EXISTING (Figure 3.0-15 Electrical Cable TV Map)



PROPOSED (Figure 3.0-15 Electrical Cable TV Map)

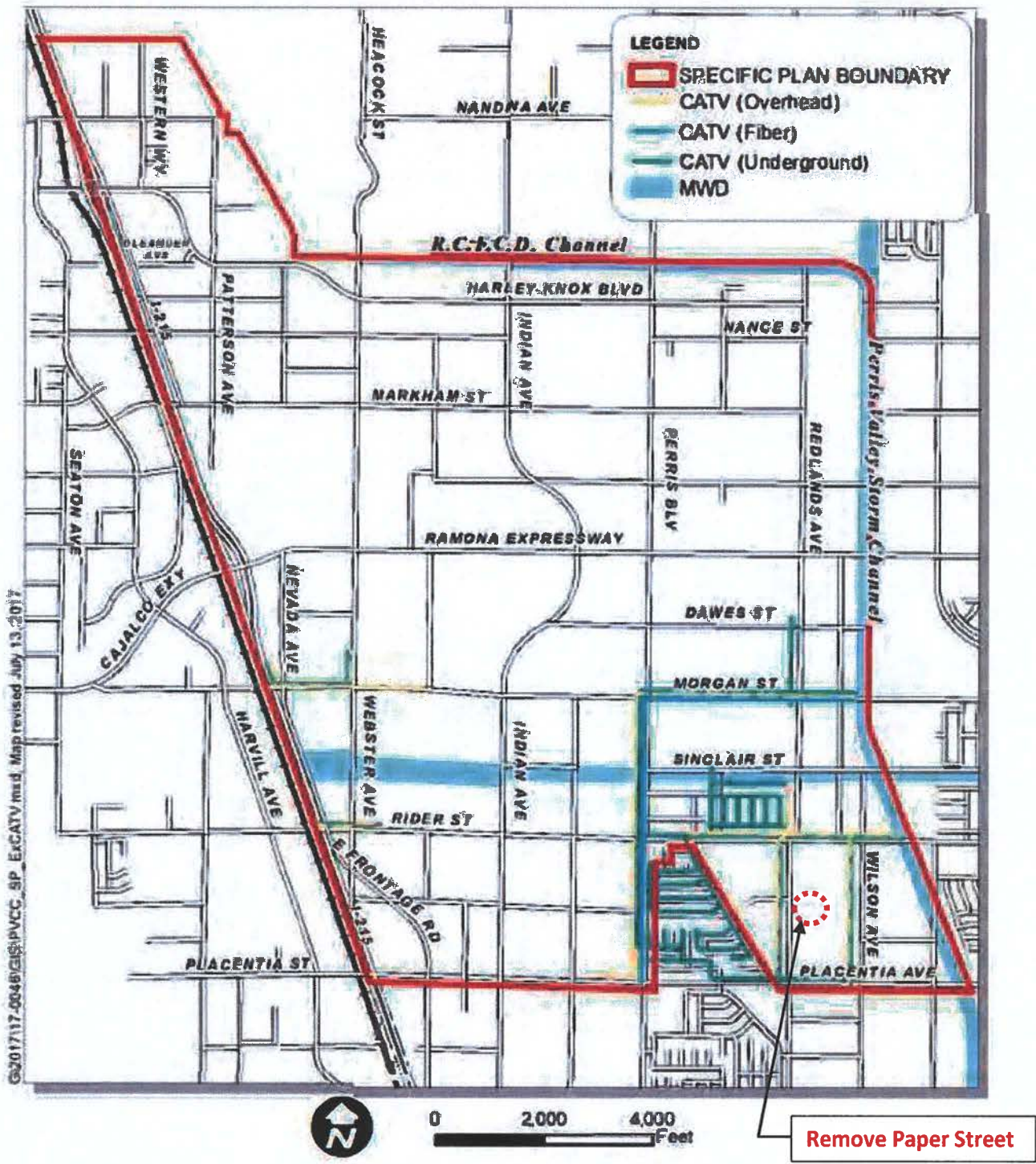
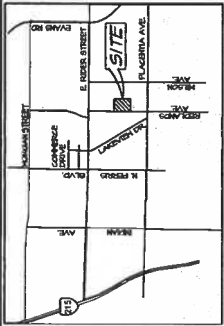
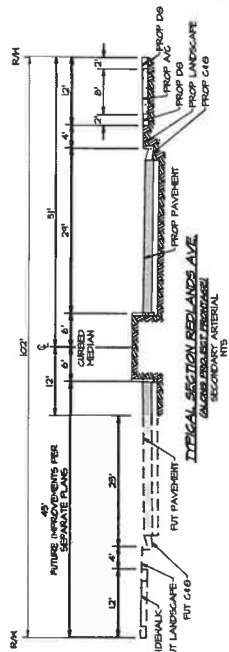
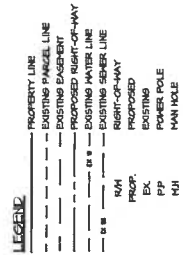
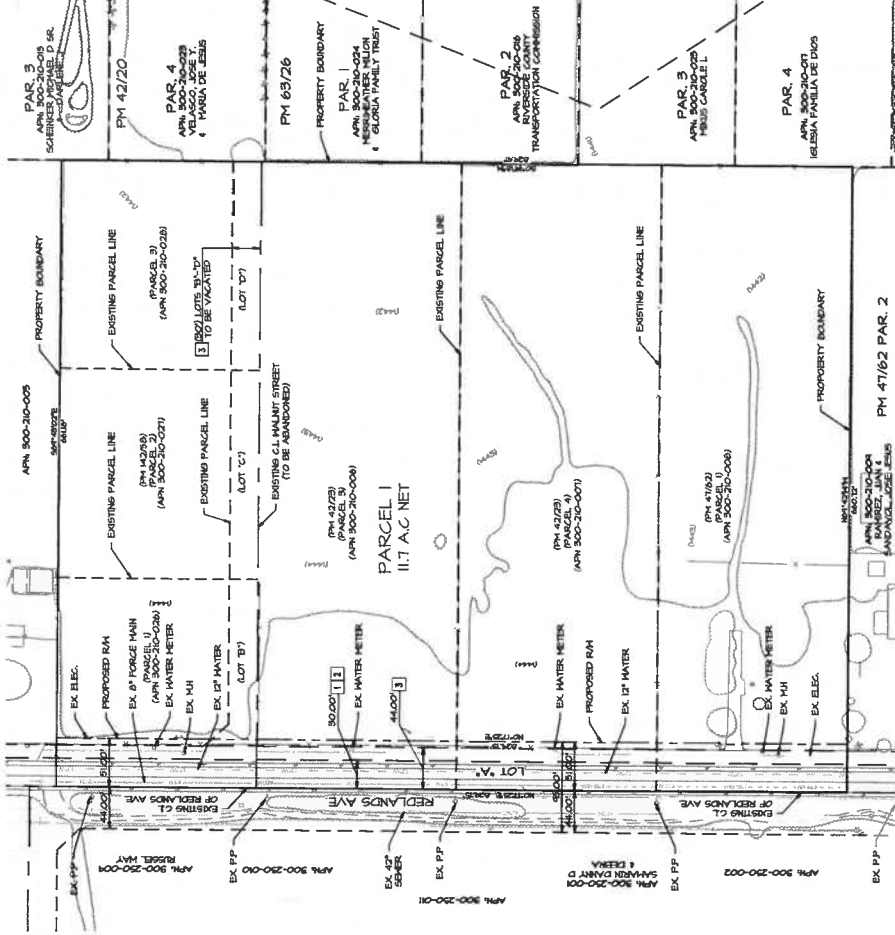


EXHIBIT F

Tentative Parcel Map

IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
TENTATIVE PARCEL MAP 38385
 LOCATED IN SECTION 17, T. 4 S., R. 9 N., S.B.M.



- LAND USE/ZONING**
- EXISTING ZONING: LIGHT INDUSTRIAL
 - PROPOSED ZONING: LIGHT INDUSTRIAL
- UTILITIES**
- EASTERN MUNICIPAL WATER DISTRICT
 - EASTERN MUNICIPAL WATER DISTRICT
 - SOUTHERN CALIFORNIA GAS COMPANY
 - SOUTHERN CALIFORNIA GAS COMPANY
 - SOUTHERN CALIFORNIA GAS COMPANY
 - VAL VERDE SCHOOL DISTRICT
- NOTES**
1. 2002 THOMAS BROOKS MAP - PAGE 17, GRID I-4
 2. THIS AREA IS NOT SUBJECT TO LIQUIDATION OR OTHER GEOLOGIC HAZARD.
 3. PERVA COMMUNITY PANEL NO. 0002834030 ZONE X (AREA OF NEURAL NETWORKS) IS IN THE AREA OF THIS PROJECT.
 4. CONCORD INTERSECTION OF 107'.
 5. THIS AREA IS WITHIN THE PERRIS VALLEY COMMERCIAL CENTER SPECIFIC PLAN.
 6. THIS PROJECT IS NOT WITHIN A COMMUNITY SERVICES DISTRICT.
 7. THE PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 8. SURFACE SEPTIC SERVICE IS NOT INTENDED FOR THIS SITE.
 9. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 10. SURFACE SEPTIC SERVICE IS NOT INTENDED FOR THIS SITE.
 11. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 12. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 13. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 14. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 15. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 16. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 17. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 18. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 19. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.
 20. THIS PROJECT IS NOT SUBJECT TO OVERLOOK, INUNDATION OR FLOOD HAZARD.

OWNER

LAKE CREEK INDUSTRIAL LLC
 5025 BRITANNY CANYON ROAD
 SUITE 100
 PERRIS, CA 92570
 (951) 253-1555

APPLICANT

LAKE CREEK INDUSTRIAL LLC
 5025 BRITANNY CANYON ROAD
 SUITE 100
 PERRIS, CA 92570
 (951) 253-1555

OWNER/AGENT

ALBERT A. KEBB ASSOCIATES
 2025 BRITANNY CANYON ROAD
 SUITE 100
 PERRIS, CA 92570
 (951) 253-1555

APN

800-200-008
 800-200-001
 800-200-005
 800-200-006
 800-200-009

SITE AREA

11.7 ACRES NET

TOPOGRAHY

BLAKE AERIAL SURVEYS, INC.
 AUGUST 19, 2020

LEGAL DESCRIPTION

THIS PROJECT IS SITUATED IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, IN THE UNDIVIDED PARTS OF PARCEL 1, 2, 3 AND 4 AS SHOWN BY PARCEL MAP NO. 10002 IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1 TO PARCEL 2: PARCEL 1 IS A 11.7 ACRES NET PARCEL SITUATED IN THE UNDIVIDED PARTS OF PARCEL 1, 2, 3 AND 4 AS SHOWN BY PARCEL MAP NO. 10002 IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 2 TO PARCEL 3: PARCEL 2 IS A 11.7 ACRES NET PARCEL SITUATED IN THE UNDIVIDED PARTS OF PARCEL 1, 2, 3 AND 4 AS SHOWN BY PARCEL MAP NO. 10002 IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 3 TO PARCEL 4: PARCEL 3 IS A 11.7 ACRES NET PARCEL SITUATED IN THE UNDIVIDED PARTS OF PARCEL 1, 2, 3 AND 4 AS SHOWN BY PARCEL MAP NO. 10002 IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

EASEMENT NOTES:

1. AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 12, 1965 AS INSTRUMENT NOS. 2002-020888-001 AND 2002-020888-002, IS IN FAVOR OF EASTERN MUNICIPAL WATER DISTRICT.
2. AN EASEMENT FOR SEWER LINES AND INCIDENTAL PURPOSES, RECORDED AUGUST 22, 1973 AS INSTRUMENT NO. 2002-020888-003, IS IN FAVOR OF EASTERN MUNICIPAL WATER DISTRICT.
3. AN EASEMENT FOR STREET AND HIGHWAY PURPOSES AND INCIDENTAL PURPOSES, RECORDED JUNE 12, 1975 AS INSTRUMENT NO. 2002-020888-004, IS IN FAVOR OF THE CITY OF PERRIS.
4. AN EASEMENT SHOWN OR DEDICATED ON THE MAP OF PARCEL MAP NO. 10002 RECORDED APRIL 15, 1967 AND ON THE MAP OF PARCEL MAP NO. 10002 RECORDED APRIL 15, 1967 AND ON THE MAP OF PARCEL MAP NO. 10002 RECORDED APRIL 15, 1967 AND ON THE MAP OF PARCEL MAP NO. 10002 RECORDED APRIL 15, 1967 IS IN FAVOR OF THE CITY OF PERRIS.

PRELIMINARY

SCALE: 1" = 40'

DATE: 3/17/21

DRAWN BY: [Signature]

CHECKED BY: [Signature]

IN CHARGE: [Signature]

NOT FOR CONSTRUCTION

NO.	DATE	BY	REVISIONS
1	3/17/21	[Signature]	ISSUE FOR REVIEW

OWNER/AGENT

ALBERT A. KEBB ASSOCIATES
 2025 BRITANNY CANYON ROAD
 SUITE 100
 PERRIS, CA 92570
 (951) 253-1555

APPLICANT

LAKE CREEK INDUSTRIAL LLC
 5025 BRITANNY CANYON ROAD
 SUITE 100
 PERRIS, CA 92570
 (951) 253-1555

PROJECT

TENTATIVE PARCEL MAP 38385
 CITY OF PERRIS CA.
 REDLANDS AVE.

1" = 40'

EXHIBIT G

Project Plans

**(Site Plan, Fire Access Site Plan, Floor Plan,
Building Elevations, Site Cross Sections, and
Conceptual Landscape/ Fence and Wall Plans)**



PROJECT DATA

GROSS SITE AREA: 548,478 SF / 12.58 AC
NET SITE AREA: 504,128 SF / 11.56 AC
FLOORING AREA: 280,111 SF
FOOTPRINT: 40,000 SF
MEZANINE: 40,000 SF
TOTAL GARAGE: 200,111 SF

TOTAL INCLUDED VOLUMES OFFER AREA:
48,000 CBM
32,000 CBM
80,000 CBM
TOTAL VOLUME: 160,000 CBM

TOTAL EXCLUDED VOLUMES OFFER AREA:
120,000 CBM
40,000 CBM
TOTAL VOLUME: 160,000 CBM

NET VOLUME: 160,000 CBM

NET GROSS FLOOR AREA: 1,008,256 SF

NET GROSS FLOOR AREA PER ACRE: 83,496 SF / ACRE

NET GROSS FLOOR AREA PER SQUARE FOOT: 1.008

APPROXIMATELY 15% OF THE TOTAL DEVELOPMENT AREA IS RESERVED FOR PARKING AND BIKE STALLS.

APPROXIMATELY 5% OF THE TOTAL DEVELOPMENT AREA IS RESERVED FOR LANDSCAPE.

APPROXIMATELY 10% OF THE TOTAL DEVELOPMENT AREA IS RESERVED FOR UTILITIES AND SERVICES.

ASSISTANTS: PARCEL NUMBERS
APPLICANT TYPE
PROJECT DESCRIPTION

LAND OWNER
APPLICANT

PLAN PREPARER
UTILITIES & SERVICES

LEGAL DESCRIPTION
KEYNOTES

GENERAL NOTES

GENERAL NOTES (continued)

GENERAL NOTES (continued)

GENERAL NOTES (continued)

GENERAL NOTES (continued)

GENERAL NOTES (continued)

GENERAL NOTES (continued)

GENERAL NOTES (continued)

GENERAL NOTES (continued)

GENERAL NOTES (continued)

GENERAL NOTES (continued)

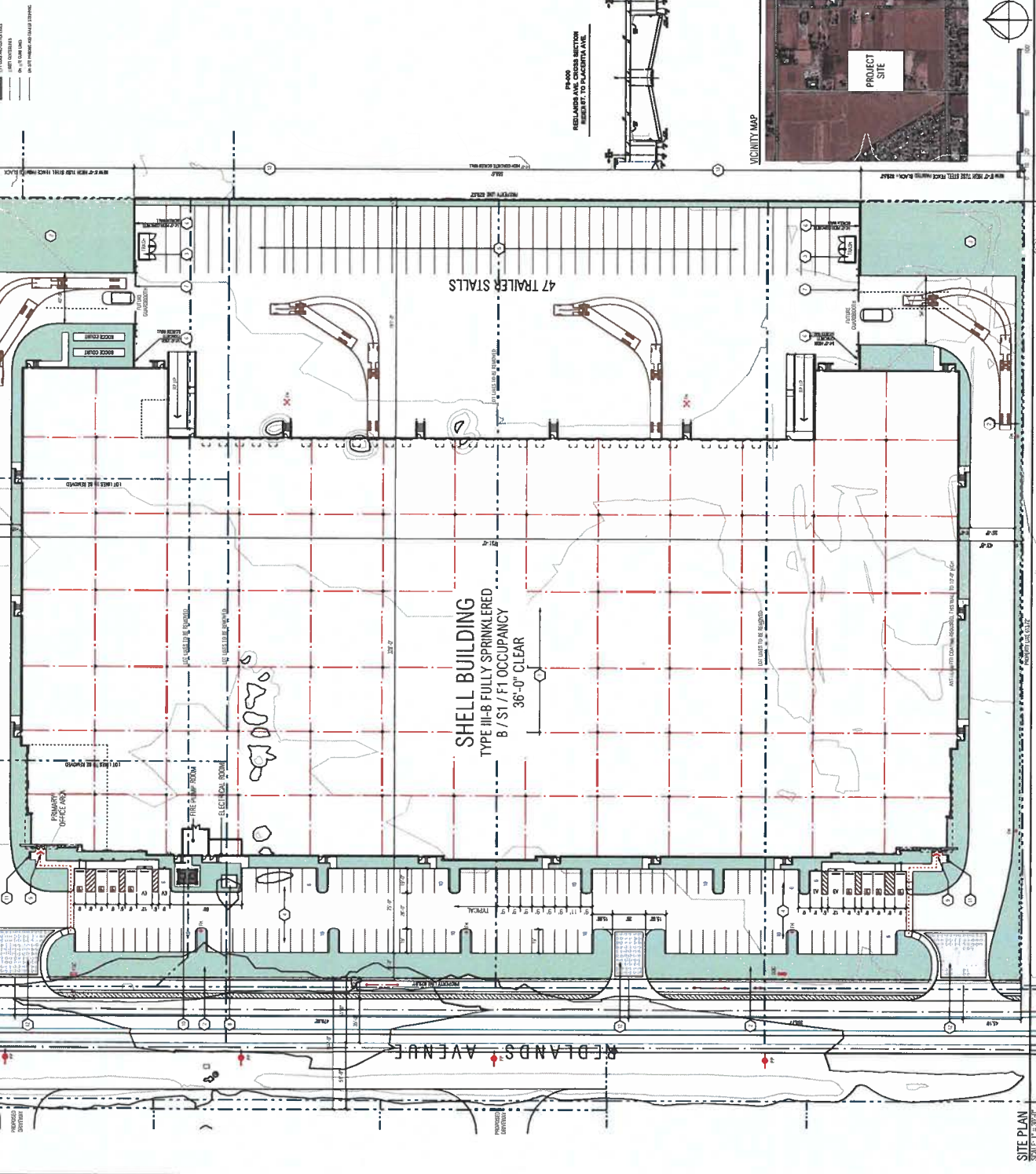
GENERAL NOTES (continued)

GENERAL NOTES (continued)

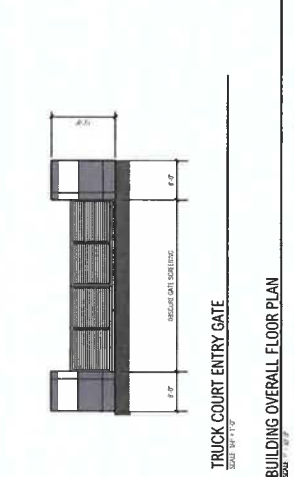
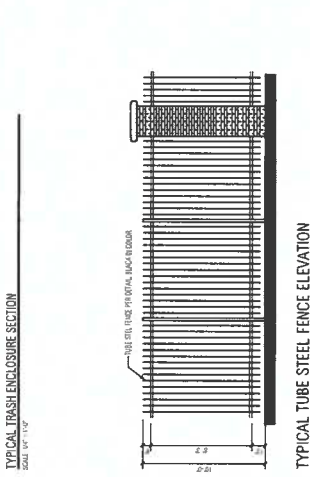
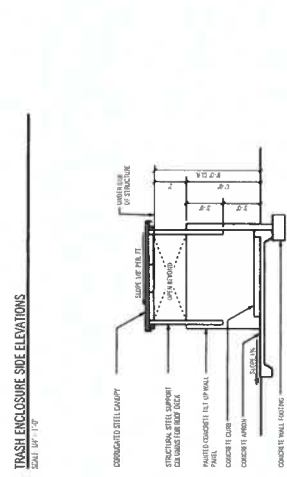
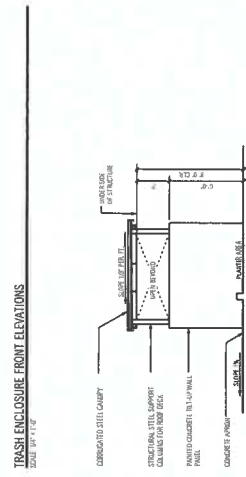
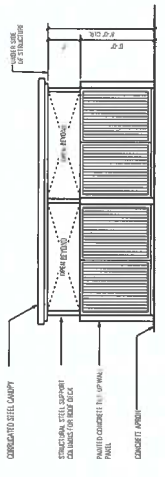
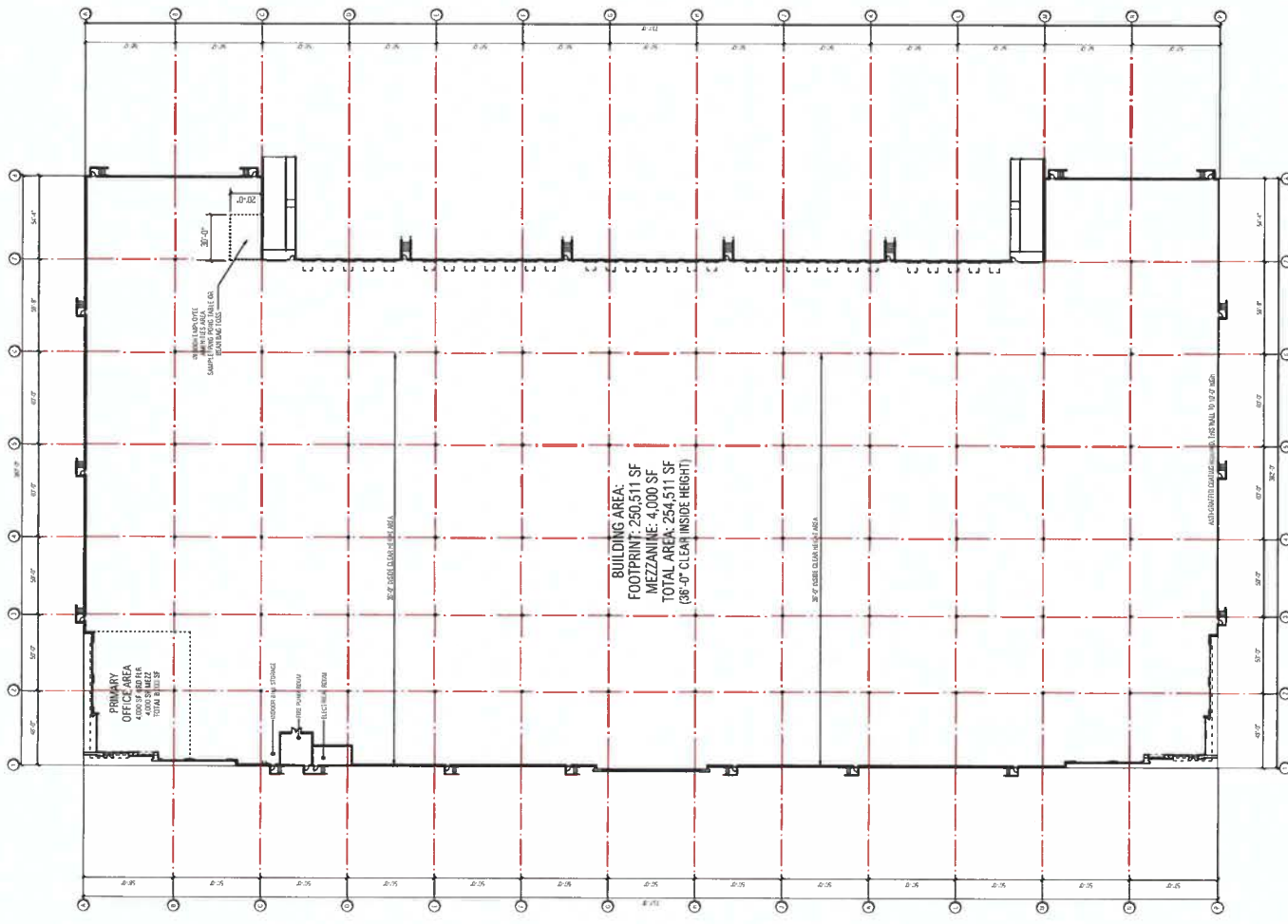
GENERAL NOTES (continued)

SITE LEGEND:

- EXISTING BUILDING FOOTPRINT
- NEW BUILDING FOOTPRINT
- EXISTING DRIVEWAY
- NEW DRIVEWAY
- EXISTING LANDSCAPE
- NEW LANDSCAPE
- EXISTING UTILITIES
- NEW UTILITIES
- EXISTING BIKE STALLS
- NEW BIKE STALLS
- EXISTING PARKING SPACES
- NEW PARKING SPACES
- EXISTING CONCRETE
- NEW CONCRETE
- EXISTING ASPHALT
- NEW ASPHALT
- EXISTING GRAVEL
- NEW GRAVEL
- EXISTING TOPOGRAPHY
- NEW TOPOGRAPHY
- EXISTING EROSION CONTROL
- NEW EROSION CONTROL
- EXISTING SIGNAGE
- NEW SIGNAGE
- EXISTING LIGHTING
- NEW LIGHTING
- EXISTING SECURITY
- NEW SECURITY



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10/20/17
2	REVISED PER COMMENTS	10/20/17
3	REVISED PER COMMENTS	10/20/17
4	REVISED PER COMMENTS	10/20/17
5	REVISED PER COMMENTS	10/20/17
6	REVISED PER COMMENTS	10/20/17
7	REVISED PER COMMENTS	10/20/17
8	REVISED PER COMMENTS	10/20/17
9	REVISED PER COMMENTS	10/20/17
10	REVISED PER COMMENTS	10/20/17
11	REVISED PER COMMENTS	10/20/17
12	REVISED PER COMMENTS	10/20/17
13	REVISED PER COMMENTS	10/20/17
14	REVISED PER COMMENTS	10/20/17
15	REVISED PER COMMENTS	10/20/17
16	REVISED PER COMMENTS	10/20/17
17	REVISED PER COMMENTS	10/20/17
18	REVISED PER COMMENTS	10/20/17
19	REVISED PER COMMENTS	10/20/17
20	REVISED PER COMMENTS	10/20/17
21	REVISED PER COMMENTS	10/20/17
22	REVISED PER COMMENTS	10/20/17
23	REVISED PER COMMENTS	10/20/17
24	REVISED PER COMMENTS	10/20/17
25	REVISED PER COMMENTS	10/20/17
26	REVISED PER COMMENTS	10/20/17
27	REVISED PER COMMENTS	10/20/17
28	REVISED PER COMMENTS	10/20/17
29	REVISED PER COMMENTS	10/20/17
30	REVISED PER COMMENTS	10/20/17
31	REVISED PER COMMENTS	10/20/17
32	REVISED PER COMMENTS	10/20/17
33	REVISED PER COMMENTS	10/20/17
34	REVISED PER COMMENTS	10/20/17
35	REVISED PER COMMENTS	10/20/17
36	REVISED PER COMMENTS	10/20/17
37	REVISED PER COMMENTS	10/20/17
38	REVISED PER COMMENTS	10/20/17
39	REVISED PER COMMENTS	10/20/17
40	REVISED PER COMMENTS	10/20/17
41	REVISED PER COMMENTS	10/20/17
42	REVISED PER COMMENTS	10/20/17
43	REVISED PER COMMENTS	10/20/17
44	REVISED PER COMMENTS	10/20/17
45	REVISED PER COMMENTS	10/20/17
46	REVISED PER COMMENTS	10/20/17
47	REVISED PER COMMENTS	10/20/17
48	REVISED PER COMMENTS	10/20/17
49	REVISED PER COMMENTS	10/20/17
50	REVISED PER COMMENTS	10/20/17



BUILDING OVERALL FLOOR PLAN
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	PROPOSED	02/20/15
2	REVISED	03/02/15
3	REVISED	04/02/15
4	REVISED	05/02/15
5	REVISED	06/02/15
6	REVISED	07/02/15
7	REVISED	08/02/15
8	REVISED	09/02/15
9	REVISED	10/02/15
10	REVISED	11/02/15
11	REVISED	12/02/15
12	REVISED	01/02/16
13	REVISED	02/02/16
14	REVISED	03/02/16
15	REVISED	04/02/16
16	REVISED	05/02/16
17	REVISED	06/02/16
18	REVISED	07/02/16
19	REVISED	08/02/16
20	REVISED	09/02/16
21	REVISED	10/02/16
22	REVISED	11/02/16
23	REVISED	12/02/16
24	REVISED	01/02/17
25	REVISED	02/02/17
26	REVISED	03/02/17
27	REVISED	04/02/17
28	REVISED	05/02/17
29	REVISED	06/02/17
30	REVISED	07/02/17
31	REVISED	08/02/17
32	REVISED	09/02/17
33	REVISED	10/02/17
34	REVISED	11/02/17
35	REVISED	12/02/17
36	REVISED	01/02/18
37	REVISED	02/02/18
38	REVISED	03/02/18
39	REVISED	04/02/18
40	REVISED	05/02/18
41	REVISED	06/02/18
42	REVISED	07/02/18
43	REVISED	08/02/18
44	REVISED	09/02/18
45	REVISED	10/02/18
46	REVISED	11/02/18
47	REVISED	12/02/18
48	REVISED	01/02/19
49	REVISED	02/02/19
50	REVISED	03/02/19
51	REVISED	04/02/19
52	REVISED	05/02/19
53	REVISED	06/02/19
54	REVISED	07/02/19
55	REVISED	08/02/19
56	REVISED	09/02/19
57	REVISED	10/02/19
58	REVISED	11/02/19
59	REVISED	12/02/19
60	REVISED	01/02/20
61	REVISED	02/02/20
62	REVISED	03/02/20
63	REVISED	04/02/20
64	REVISED	05/02/20
65	REVISED	06/02/20
66	REVISED	07/02/20
67	REVISED	08/02/20
68	REVISED	09/02/20
69	REVISED	10/02/20
70	REVISED	11/02/20
71	REVISED	12/02/20
72	REVISED	01/02/21
73	REVISED	02/02/21
74	REVISED	03/02/21
75	REVISED	04/02/21
76	REVISED	05/02/21
77	REVISED	06/02/21
78	REVISED	07/02/21
79	REVISED	08/02/21
80	REVISED	09/02/21
81	REVISED	10/02/21
82	REVISED	11/02/21
83	REVISED	12/02/21
84	REVISED	01/02/22
85	REVISED	02/02/22
86	REVISED	03/02/22
87	REVISED	04/02/22
88	REVISED	05/02/22
89	REVISED	06/02/22
90	REVISED	07/02/22
91	REVISED	08/02/22
92	REVISED	09/02/22
93	REVISED	10/02/22
94	REVISED	11/02/22
95	REVISED	12/02/22
96	REVISED	01/02/23
97	REVISED	02/02/23
98	REVISED	03/02/23
99	REVISED	04/02/23
100	REVISED	05/02/23

REMARKS

1. PROVIDE ACCESSIBLE ENTRANCE
2. ALL EXTERIOR SURFACES SHALL BE ALUMINUM FINISH. ALL GRATE TO BE AS SHOWN UNLESS NOTED OTHERWISE. PROVIDE GRATE WITH 3/4" SQUARE OPENINGS. PROVIDE GRATE WITH 1/2" SQUARE OPENINGS.
3. PROVIDE ONE EACH OF THESE ITEMS:
4. PROVIDE ONE EACH OF THESE ITEMS:
5. PROVIDE ONE EACH OF THESE ITEMS:
6. PROVIDE ONE EACH OF THESE ITEMS:
7. PROVIDE ONE EACH OF THESE ITEMS:
8. PROVIDE ONE EACH OF THESE ITEMS:
9. PROVIDE ONE EACH OF THESE ITEMS:
10. PROVIDE ONE EACH OF THESE ITEMS:
11. PROVIDE ONE EACH OF THESE ITEMS:
12. PROVIDE ONE EACH OF THESE ITEMS:
13. PROVIDE ONE EACH OF THESE ITEMS:
14. PROVIDE ONE EACH OF THESE ITEMS:
15. PROVIDE ONE EACH OF THESE ITEMS:
16. PROVIDE ONE EACH OF THESE ITEMS:
17. PROVIDE ONE EACH OF THESE ITEMS:
18. PROVIDE ONE EACH OF THESE ITEMS:
19. PROVIDE ONE EACH OF THESE ITEMS:
20. PROVIDE ONE EACH OF THESE ITEMS:

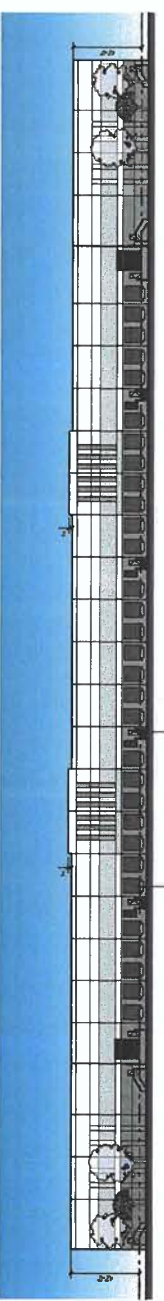
FINISH SCHEDULE

1. RED FLOOR - 5/8" DIA. METAL DECKING
2. ASBESTOS REMEDIATION - 1/2" DIA. METAL DECKING
3. ROOF COVER - 2" POLYURETHANE INSULATION OVER 1/2" DIA. METAL DECKING
4. ROOF COVER - 2" POLYURETHANE INSULATION OVER 1/2" DIA. METAL DECKING
5. ROOF COVER - 2" POLYURETHANE INSULATION OVER 1/2" DIA. METAL DECKING
6. ROOF COVER - 2" POLYURETHANE INSULATION OVER 1/2" DIA. METAL DECKING
7. ROOF COVER - 2" POLYURETHANE INSULATION OVER 1/2" DIA. METAL DECKING
8. ROOF COVER - 2" POLYURETHANE INSULATION OVER 1/2" DIA. METAL DECKING
9. ROOF COVER - 2" POLYURETHANE INSULATION OVER 1/2" DIA. METAL DECKING
10. ROOF COVER - 2" POLYURETHANE INSULATION OVER 1/2" DIA. METAL DECKING

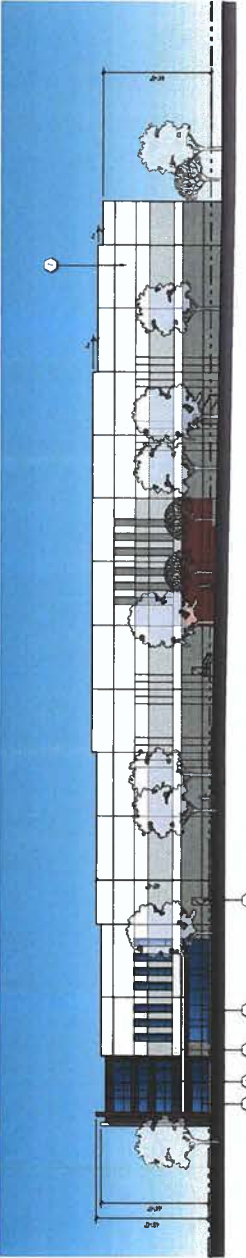
TYPICAL LUNCH PATIO TRELLIS

SCALE: 1/2" = 1'-0"

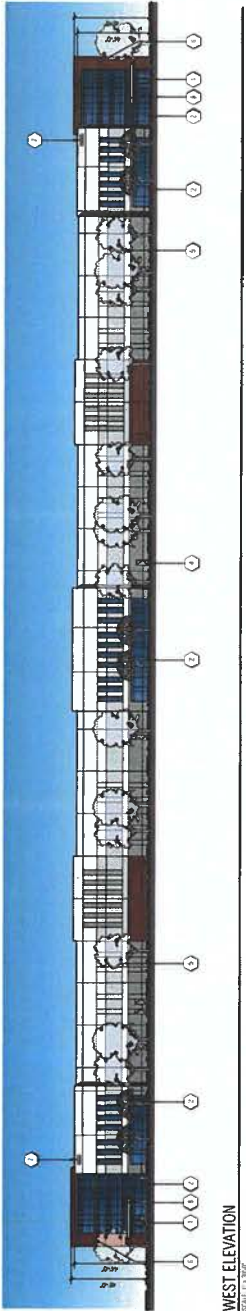
DETAIL 101 - 11'



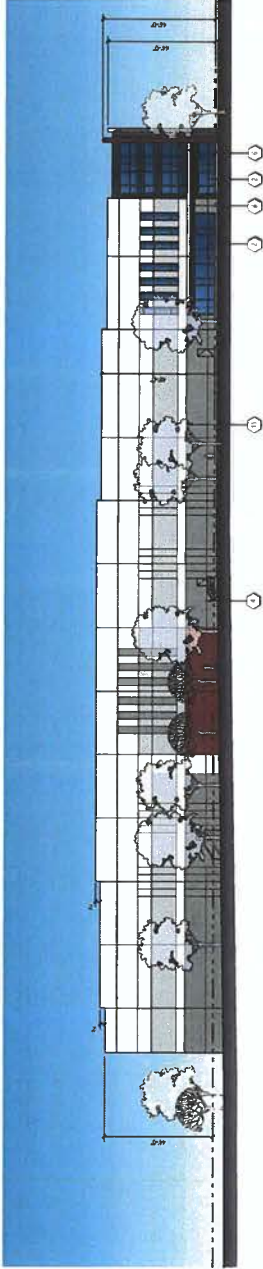
EAST ELEVATION
SCALE: 1/2" = 1'-0"



SOUTH ELEVATION
SCALE: 1/2" = 1'-0"
ANTI-GRAFFITI COATING REQUIRED, THIS WALL TO 10'-0" HIGH



WEST ELEVATION
SCALE: 1/2" = 1'-0"
ANTI-GRAFFITI COATING REQUIRED, THIS WALL TO 10'-0" HIGH



NORTH ELEVATION
SCALE: 1/2" = 1'-0"
ANTI-GRAFFITI COATING REQUIRED, THIS WALL TO 10'-0" HIGH

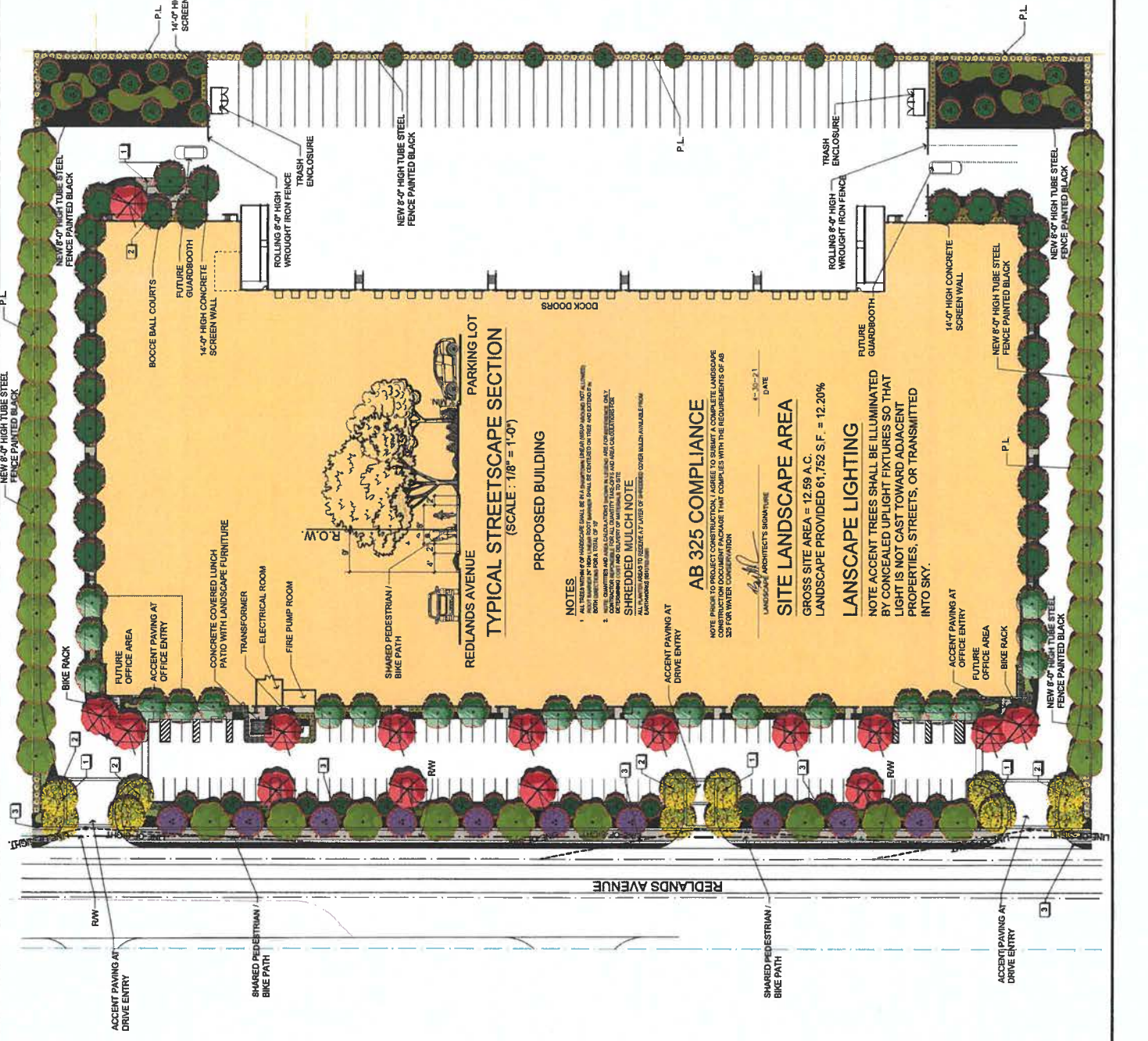
PLANT SCHEDULE

TREE ID	BOTANICAL COMMON NAME	QTY	SIZE	CITY
1	Arctostaphylos / Thunbergia	24	4"	Med
2	Cordia alliodora / Thevetia peruviana	24	4"	Med
3	Koeberlinia / Thevetia peruviana	24	4"	Med
4	Albizia leonensis / Mimosa pudica	24	4"	Med
5	Albizia leonensis / Mimosa pudica	24	4"	Med
6	Albizia leonensis / Mimosa pudica	24	4"	Med
7	Albizia leonensis / Mimosa pudica	24	4"	Med
8	Albizia leonensis / Mimosa pudica	24	4"	Med
9	Albizia leonensis / Mimosa pudica	24	4"	Med
10	Albizia leonensis / Mimosa pudica	24	4"	Med
11	Albizia leonensis / Mimosa pudica	24	4"	Med
12	Albizia leonensis / Mimosa pudica	24	4"	Med

CONCEPT PLANT SCHEDULE

CONCEPT PLANT SCHEDULE

- PLANTING NOTES:**
 - All trees shall be installed in accordance with the plant schedule and shall be installed in the following manner:
 - 1. All trees shall be installed in accordance with the plant schedule and shall be installed in the following manner:
 - 2. All trees shall be installed in accordance with the plant schedule and shall be installed in the following manner:
- PLANTING NOTES (continued):**
 - 3. All trees shall be installed in accordance with the plant schedule and shall be installed in the following manner:
 - 4. All trees shall be installed in accordance with the plant schedule and shall be installed in the following manner:
- PLANTING NOTES (continued):**
 - 5. All trees shall be installed in accordance with the plant schedule and shall be installed in the following manner:
 - 6. All trees shall be installed in accordance with the plant schedule and shall be installed in the following manner:



NOTES

- ALL TREES WITHIN 6' OF LANDSCAPE SHALL BE PLANTED TO MEET THE AB 325 COMPLIANCE REQUIREMENTS FOR TREE REPLACEMENT.
- ALL TREES WITHIN 10' OF LANDSCAPE SHALL BE PLANTED TO MEET THE AB 325 COMPLIANCE REQUIREMENTS FOR TREE REPLACEMENT.

AB 325 COMPLIANCE

NOTE: THIS DOCUMENT IS PART OF THE LANDSCAPE ARCHITECTURE CONSTRUCTION DOCUMENT PACKAGE THAT COMPLETES THE REQUIREMENTS OF AB 325 FOR WATER CONSERVATION.

DATE: 12-03-20

SITE LANDSCAPE AREA

GROSS SITE AREA = 12.59 A.C.
 LANDSCAPE PROVIDED 61,752 S.F. = 12.20%

LANDSCAPE LIGHTING

NOTE: ACCENT TREES SHALL BE ILLUMINATED BY CONCEALED UPLIGHT FIXTURES SO THAT LIGHT IS NOT CAST TOWARD ADJACENT PROPERTIES, STREETS, OR TRANSMITTED INTO SKY.



TREE MIX

24" BOX 124 = 72%
 36" BOX 49 = 28%
TOTAL TREES 173 = 100%

PLANT SCHEDULE

SYMBOL	BOTANICAL COMMON NAME	SCALE	MATERIAL	EXT.
(Symbol)	Acacia angulata / Blackwood Acacia	2 1/2" x 3"	Med	43
(Symbol)	Callitris e. / Tasmanian Blue Gum	3" x 3"	Med	13
(Symbol)	Lagotis linearis / Blue Chaff	3" x 3"	Med	13
(Symbol)	Lagotis linearis / Blue Chaff	3" x 3"	Med	13
(Symbol)	Lagotis linearis / Blue Chaff	3" x 3"	Med	13
(Symbol)	Lagotis linearis / Blue Chaff	3" x 3"	Med	13
(Symbol)	Lagotis linearis / Blue Chaff	3" x 3"	Med	13
(Symbol)	Lagotis linearis / Blue Chaff	3" x 3"	Med	13
(Symbol)	Lagotis linearis / Blue Chaff	3" x 3"	Med	13
(Symbol)	Lagotis linearis / Blue Chaff	3" x 3"	Med	13
(Symbol)	Lagotis linearis / Blue Chaff	3" x 3"	Med	13

CONCEPT PLANT SCHEDULE

FOUNDATION PLANTING (PLANTING IN 18" - 24" DEEP)

- Acacia angulata / Blackwood Acacia
- Callitris e. / Tasmanian Blue Gum
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff

PLANTING IN 18" - 24" DEEP (PLANTING IN 18" - 24" DEEP)

- Acacia angulata / Blackwood Acacia
- Callitris e. / Tasmanian Blue Gum
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff

PLANTING IN 24" - 36" DEEP (PLANTING IN 24" - 36" DEEP)

- Acacia angulata / Blackwood Acacia
- Callitris e. / Tasmanian Blue Gum
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff

PLANTING IN 36" - 48" DEEP (PLANTING IN 36" - 48" DEEP)

- Acacia angulata / Blackwood Acacia
- Callitris e. / Tasmanian Blue Gum
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff

PLANTING IN 48" - 60" DEEP (PLANTING IN 48" - 60" DEEP)

- Acacia angulata / Blackwood Acacia
- Callitris e. / Tasmanian Blue Gum
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff
- Lagotis linearis / Blue Chaff

REFERENCE NOTES SCHEDULE

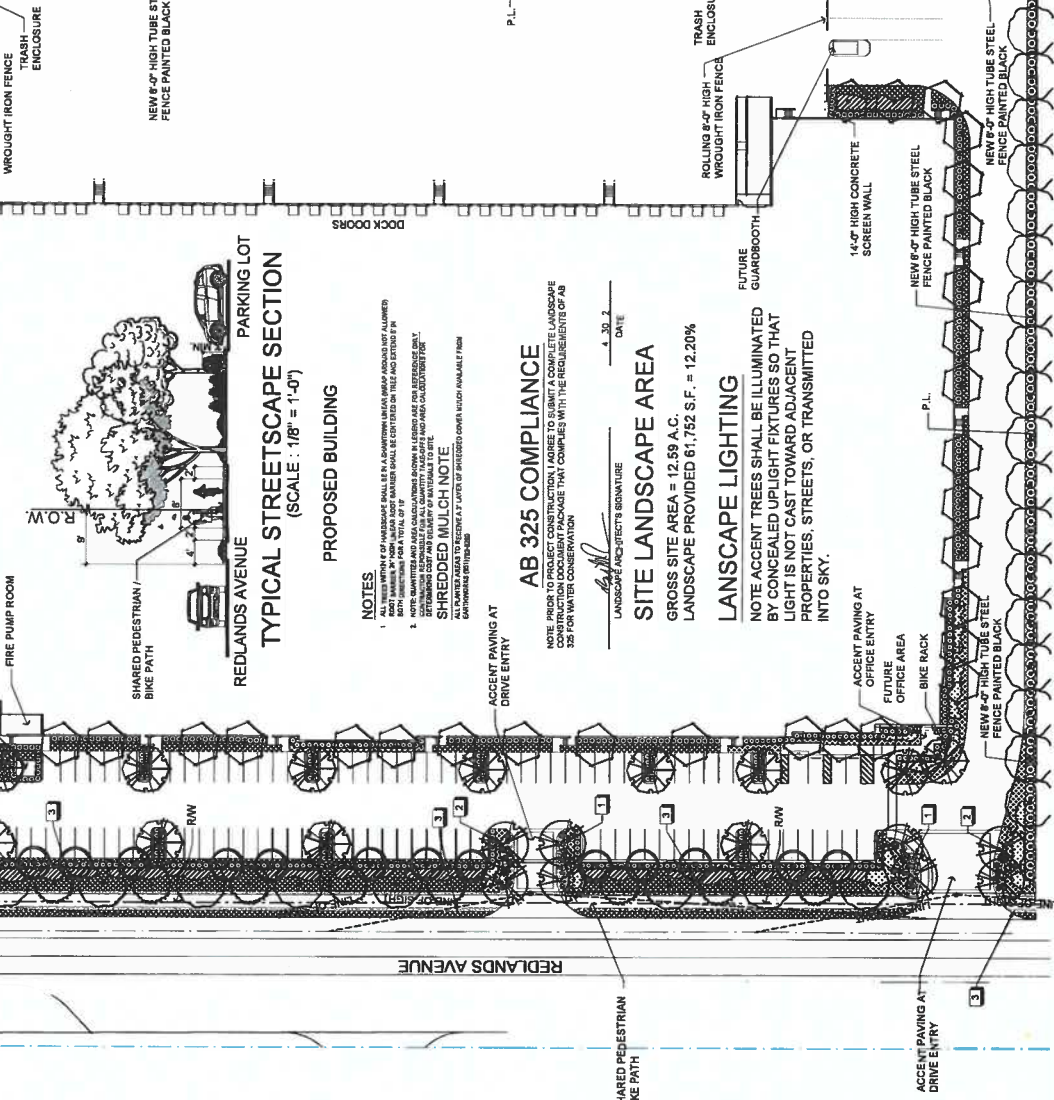
- 1. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
- 2. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
- 3. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
- 4. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
- 5. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
- 6. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
- 7. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
- 8. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
- 9. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
- 10. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.

TREE MIX

24" BOX 124 = 72%

36" BOX 49 = 28%

TOTAL TREES 173 = 100%



PROPOSED BUILDING

TYPICAL STREETScape SECTION (SCALE: 1/8" = 1'-0")

REDLANDS AVENUE

PARKING LOT

BOCCIE BALL COURTS

ROLLING 8'-0" HIGH WROUGHT IRON FENCE TRASH ENCLOSURE

NEW 6'-0" HIGH TUBE STEEL FENCE PAINTED BLACK

14'-0" HIGH CONCRETE SCREEN WALL

P.L.

DOCK DOORS

TRASH ENCLOSURE

ROLLING 8'-0" HIGH WROUGHT IRON FENCE TRASH ENCLOSURE

NEW 6'-0" HIGH TUBE STEEL FENCE PAINTED BLACK

14'-0" HIGH CONCRETE SCREEN WALL

P.L.

ACCENT PAVING AT DRIVE ENTRY

SHARED PEDESTRIAN BIKE PATH

CONCRETE COVERED LUNCH PATIO WITH LANDSCAPE FURNITURE

TRANSFORMER

ELECTRICAL ROOM

FIRE PUMP ROOM

BIKE BACK

BIKE RACK

ACCENT PAVING AT OFFICE ENTRY

FUTURE OFFICE AREA

ACCENT PAVING AT OFFICE ENTRY

BIKE RACK

BIKE RACK

ACCENT PAVING AT OFFICE ENTRY

FUTURE OFFICE AREA

ACCENT PAVING AT DRIVE ENTRY

SHARED PEDESTRIAN BIKE PATH

NOTES

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
2. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
3. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
4. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
5. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
6. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
7. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
8. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
9. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.
10. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE AB 325 COMPLIANCE SCHEDULE.

SHRDED MULCH NOTE

ALL PLANTED AREAS TO RECEIVE AT LEAST 4" LAYER OF SHRDED COVER MULCH (AVAILABLE FROM CALIFORNIA MULCH SUPPLIERS)

AB 325 COMPLIANCE

NOTE: PRIOR TO PROJECT CONSTRUCTION, LANDSCAPE ARCHITECT SHALL SUBMIT A COMPLETE LANDSCAPE PLAN TO THE CALIFORNIA WATER RESOURCES CONTROL BOARD (CWRB) FOR REVIEW AND APPROVAL UNDER AB 325 FOR WATER CONSERVATION.

LANDSCAPE ARCHITECT'S SIGNATURE: *[Signature]* DATE: 4.20.22

SITE LANDSCAPE AREA

GROSS SITE AREA = 12.59 A.C.

LANDSCAPE PROVIDED 61,752 S.F. = 12.20%

LANDSCAPE LIGHTING

NOTE ACCENT TREES SHALL BE ILLUMINATED BY CONCEALED UPLIGHT FIXTURES SO THAT LIGHT IS NOT CAST TOWARD ADJACENT PROPERTIES, STREETS, OR TRANSMITTED INTO SKY.

EXHIBIT H

Public Comments and Response to Comments –

*Due to the size of the document, the file is
available online at:*

<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-328>

EXHIBIT I

Initial Study/Mitigated Negative Declaration,
Associated Technical Studies, and MMRP

*Due to the size of the document the file is
available online at:*

<https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-328>

Planning Commission Agenda

CITY OF PERRIS

March 15, 2023

Item

7C

***Tentative Parcel Map
No. 38410 (PLN22-05124)***



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

MEETING DATE: March 15, 2023

SUBJECT: Tentative Parcel Map No. 38410 (PLN22-05124) – A proposal to subdivide 14.14 acres into three (3) lots for finance and conveyance purposes, located on the northeast corner of Goetz Road and Ethanac Road. Applicant: Matthew Villalobos, Green Valley Recovery Acquisition, LLC.

REQUESTED ACTION: Adopt Resolution No. 23-06, finding the project is consistent with the Second Addendum to the Final EIR of the Green Valley Specific Plan (GVSP), pursuant to Sections 15162 and 15315 (Minor Land Divisions) of the CEQA Guidelines, and approving Tentative Parcel Map No. 38410 (PLN22-05124), based on the findings and subject to the Conditions of Approval.

CONTACT: Kenneth Phung, Director of Development Services

BACKGROUND

The 14.14-acre project site is vacant and within Planning Areas (PA) 13a and 13b of the Green Valley Specific Plan (GVSP), generally located on the northeast corner of Goetz Road and Ethanac Road. PA 13a is zoned Commercial, and PA 13b is zoned Multi-Family. The GVSP, adopted in 1990, is a master-planned community encompassing 1,269 acres of land envisioned to be developed with 4,210 dwelling units, 42.3 acres of business and professional office space, 72.7 acres of commercial retail, 108.7 acres of industrial, 24 acres for three school sites, and 51.1 acres of public parks.

The Project site is surrounded by vacant land to the north, across Fieldstone Drive; residential neighborhood to the west, across Goetz Road; vacant land to the east; and vacant land to the south, across Ethanac Road within the Menifee city limits.

PROJECT DESCRIPTION

The applicant is requesting approval of a Tentative Parcel Map to subdivide 14.14 acres into three (3) lots for finance and conveyance purposes, summarized in the table below:

Proposed TPM-38410			
Lot No.	Lot Area (sq. ft.)	Lot Width	Lot Depth
1	117,612 (2.70 acres)	275 feet	421 feet
2	118,918 (2.73 acres)	275 feet	413 feet
3	379,407 (8.71 acres)	443 feet	848 feet

The purpose of the proposed map is to increase the area of the commercially zoned portion of the site by 13,068 square feet and allow flexibility to sell individual parcels to a merchant home builder and commercial developer. To ensure the zoning boundaries align with the proposed map boundaries, a condition of approval is recommended requiring a Specific Plan Amendment to rezone .3 acres from Multi-Family Zone to Commercial Zone.

The map includes a 30-foot-wide secondary access easement across Parcels 1 and 2 to ensure access is provided from Goetz Road to Parcel 3 for future multi-family residential development. No physical development is proposed at this time; all future commercial and residential development will be required to process separate development applications.

PROJECT ANALYSIS

The table below summarizes the Project’s consistency with the Green Valley Specific Plan (GVSP), March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and Perris Valley Airport Land Use Compatibility Plan.

	Consistent	Inconsistent
<p>Consistency with the Green Valley Specific Plan (GVSP)</p> <p>The Tentative Parcel Map is consistent with the GVSP development standards of the Commercial and Multi-family Zones. No physical development is proposed as part of this project, as this is subdivision for financing purposes; therefore, the Project is consistent with the GVSP.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Compliance with Title 18 - Subdivisions Code</p> <p>The project proposes a Tentative Parcel Map (TPM 38410) to subdivide a vacant 14.14-acre parcel into three parcels. As proposed, the map meets the minimum standards of the Subdivision Code and lot standards of the Commercial and Multi-Family Zones in the GVSP.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Compliance with MARB ALUCP and Perris Valley Airport Land Use Compatibility Plan (PV ALUCP)</p> <p>The proposed Project is located within the March Air Reserve Base/Inland Port Airport Influence Area and Zone E (Other Airport Environs) and within Zone D (Non-Residential Intensities) of the Perris Valley Airport Land Use Compatibility Plan (PV ALUCP), which has no development restrictions. Since no physical development is</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Consistent	Inconsistent
proposed with this Tentative Parcel Map, the Project complies with the MARB ALUCP and PV ALUCP.		

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

The two (2) tables below summarize compliance with GVSP Section 3.4 – Multi-Family Residential Standards and GVSP Section 3.5 – Retail Commercial Standards of the GVSP Specific Plan.

Development Standards GVSP Section 3.5 – Retail Commercial Standards					
Standard			Proposed	Consistent	Inconsistent
Minimum Lot Size	Lot 1	10,000 square feet (0.23 acres)	2.70 acre	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lot 2		2.73 acre		
Minimum Lot Width	Lot 1	100 feet	277 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lot 2		277 feet		
Minimum Lot Depth	Lot 1	25 feet	406 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lot 2		439 feet		

Development Standards GVSP Section 3.4 – Multi-Family Residential Standards					
Standard			Proposed	Consistent	Inconsistent
Minimum Lot Size	Lot 3	10,000 square feet (0.23 acres)	8.71 acre	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Lot Width	Lot 3	35 feet	445 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Lot Depth	Lot 3	N/A	848 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ENVIRONMENTAL DETERMINATION

The Project is consistent with the Second Addendum to the Final EIR of the Green Valley Specific Plan (GVSP) pursuant to Sections 15162 and 15315 (Minor Land Divisions) of the California Environmental Quality Act (CEQA) Guidelines.

PUBLIC HEARING NOTICE:

A notice of public hearing for the Planning Commission meeting was published in the local newspaper and sent to agencies and property owners within 300 feet of the project site for the March 1, 2023, Planning Commission meeting. Since the meeting was cancelled, this project was continued

to the March 15, 2023 Planning Commission meeting. The Notice of Continuance and Notice of Meeting Cancellation were posted at the City Council Chambers and broadcasted at the time of the meeting on March 1, 2023. Thus, new noticing is not required.

RECOMMENDATION:

Adopt Resolution No. 23-06, finding the project is consistent with the Second Addendum to the Final EIR of the Green Valley Specific Plan (GVSP) pursuant to Sections 15162 and 15315 (Minor Land Divisions) of the CEQA Guidelines; and approving Tentative Parcel Map No. 38410 based on the findings and subject to the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: There is no fiscal impact associated with this Project since all project costs are borne by the applicant.

Prepared by: Nathan Perez, Senior Planner
REVIEWED BY: Patricia Brenes, Planning Manager

Exhibits:

- A. Resolution 23-06 - TPM 38410, including Conditions of Approval (Planning and Engineering)
- B. Location/Aerial Photo
- C. Proposed TPM 38410
- D. Existing and Proposed GVSP Land Use Maps (PA 13a. and PA 13b.)
- E. Applicant's Request Letter – Dated February 26, 2023

Consent:
Public Hearing: X
Business Item:
Presentation:
Other:

EXHIBIT A

Resolution 23-06 – TPM 38410, including
Conditions of Approval (Planning and
Engineering)

RESOLUTION NUMBER NO. 23-06

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, FINDING TENTATIVE PARCEL MAP NO. 38410 (PLN22-05124) IS CONSISTENT WITH THE SECOND ADDENDUM TO THE FINAL ENVIRONMENTAL IMPACT REPORT OF THE GREEN VALLEY SPECIFIC PLAN (GVSP) PURSUANT TO SECTIONS 15162 AND 15315 (MINOR LAND DIVISIONS) OF THE CEQA GUIDELINES, AND APPROVING THEREOF TO SUBDIVIDE 14.14 ACRES INTO THREE (3) LOTS FOR FINANCE AND CONVEYANCE PURPOSES LOCATED AT THE NORTHEAST CORNER OF GOETZ ROAD AND ETHANAC ROAD SUBJECT TO CONDITIONS OF APPROVAL AND BASED UPON THE FINDINGS NOTED HEREIN.

WHEREAS, the applicant, Green Valley Recovery Acquisition, LLC., filed Tentative Parcel Map No. 38410 (PLN22-05124) to subdivide 14.14 acres into three (3) lots for finance and conveyance purposes located at the northeast corner of Goetz Road and Ethanac Road; and

WHEREAS, Tentative Parcel Map No. 38410 (PLN22-05124) (the “Project”) has been duly noticed; and

WHEREAS, the Project is consistent with the Second Addendum to the Final Environmental Impact Report (Final EIR) of the Green Valley Specific Plan (GVSP) pursuant to Sections 15162 and 15315 (Minor Land Divisions) of the CEQA Guidelines. Further, the Project is for finance and conveyance purposes only and will not result in legal building lots; and

WHEREAS, Section 66411 of the California Government Code (Subdivision Map Act) vests in the legislative bodies of local agencies the regulation and control of the design and improvement of subdivisions; and

WHEREAS, the Planning Commission conducted a duly noticed public hearing on March 15, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

WHEREAS, Chapter 19.54 of the City of Perris Municipal Code (Zoning Code, Authority and Review Procedures) authorizes the City to approve, conditionally approve, or deny requests for a Specific Plan Amendment; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS does resolve as follows:

Section 1. The above recitals are all true and correct and incorporated herein by reference.

Section 2. Based upon the foregoing and all oral and written testimony made by members of the public and City staff (including without limitation the staff report and all exhibits/attachments) at the public hearing on March 15, 2023, the Planning Commission hereby finds that the Project is consistent with the Second Addendum to the Final Environmental Impact Report (Final EIR) of the Green Valley Specific Plan (GVSP) pursuant to Section 15162 of the CEQA Guidelines and, therefore, that no further CEQA analysis is required. Therefore, this Project qualifies for Minor Land Division exemption under Section 15315 of the California Environmental Quality Act (CEQA).

Section 3. Based upon the foregoing and all oral and written testimony made by members of the public and City staff (including without limitation the staff report and all exhibits/attachments) at the public hearing on March 15, 2023, the Planning Commission further finds, with respect to Tentative Parcel Map 38410 (PLN22-05124)

A. ***Tentative Parcel Map 38410 is consistent with the Green Valley Specific Plan underlying land use designation of Multi-Family (MFR) and Commercial, and all other applicable Specific Plan and General Plan policies; and***

The Tentative Tract Map complies with the lot standards contained in the Green Valley Specific Plan.

B. ***The site is suitable for the type of development:***

The proposed parcels will allow future commercial and multi-family residential development to comply with the development standards of the underlying zones.

C. ***The site is physically suitable for the proposed density of development:***

The proposed Project is for finance purposes only. No development is proposed involving any residential density.

D. ***The design of the subdivision or the type of improvements will not conflict with easements of record or easements established by court judgment, acquired by the public at large, for access through or use of, property within the proposed subdivision.***

The design of the subdivision or any type of improvements will not conflict with easements of record or easements established by court judgment, acquired by the public at large, for access through or use of property within the proposed subdivision.

E. ***The proposed Project will not result in a significant adverse effect on the environment:***

The proposed Project will not impact the environment, since there is no physical development associated with this Project.

F. ***The proposed Project will not have a negative effect on the public's health, safety, or general welfare.***

The proposed Project will not have a negative effect on public health, safety, or general welfare. No physical development is proposed for this Project, as such, the Project will not have a negative effect on public health, safety, or the general welfare of the City of Perris residents.

G. ***The Project is in compliance with the Subdivision Map Act.***

The design of the subdivision, Tentative Tract Map 38410, is in compliance with the Subdivision Map Act, as the lots created by the subdivision are of adequate size.

Section 4. Based upon the forgoing, the staff report, supporting exhibits, and all written and oral testimony presented at the March 15, 2023, public hearing, the Planning Commission has considered and finds that the Project is consistent with the adopted Second Addendum to the Final Environmental Impact Report for the Green Valley Specific Plan and supplemental Mitigation Monitoring and Reporting Program (MMRP) pursuant to Section 15162 of the CEQA Guidelines; therefore, no further CEQA analysis is required.

Section 5. Based upon the forgoing, the staff report, supporting exhibits, and all written and oral testimony presented at the March 15, 2023, public hearing, the Planning Commission hereby approves Tentative Parcel Map No. 38410 (PLN22-05124), based on the information and findings presented and supporting exhibits, as well as all written and oral testimony presented at the March 15, 2023, public hearing, and subject to the attached Conditions of Approval.

Section 6. The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 7. The Chairperson shall sign, and the Secretary shall certify the passage and adoption of this Resolution.

ADOPTED, SIGNED and **APPROVED** this 15th day of March 2023.

CHAIRPERSON, PLANNING COMMISSION

ATTEST:

Secretary, Planning Commission

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Patricia Brenes, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 23-06 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 15th day of March 2023, and that it was so adopted by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Secretary, Planning Commission

- Attachments:**
1. Tentative Parcel Map No. 38410 (PLN22-05124) Conditions of Approval (Planning and Engineering)

**CITY OF PERRIS
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

CONDITIONS OF APPROVAL

Tentative Parcel Map 38410 (PLN22-05124)

March 15, 2023

PROJECT: Tentative Parcel Map No. 38410 (PLN22-05124) – A Tentative Parcel Map to subdivide 14.14 acres into three (3) lots for finance and conveyance purposes located northeast corner of Goetz Road and Ethanac Road. Applicant: Matthew Villalobos, Green Valley Recovery Acquisition, LLC.

General Requirements:

1. **Development Standards.** The project shall conform to all requirements of the City of Perris Municipal Code Title 19 and the Green Valley Specific Plan.
2. **Conformance to Approved Plans.** The Tentative Parcel Map shall conform substantially to the approved set of plans presented at the **March 15, 2023**, Planning Commission hearing, or as amended by these conditions and as approved by the City Council. Any deviation shall require appropriate Planning Division review and approval.
3. **Parcel Map Term of Approval.** In accordance with the Subdivision Map Act, the recordation of the final map shall occur within two (2) years from the approval date unless an extension is granted. The applicant may apply for a maximum of six (6) one-year extensions, to permit additional time to record the final map. A written request for extension shall be submitted to the Development Services Department at least thirty (30) days prior to the expiration of Tentative Parcel Map approval.
4. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City, concerning **Tentative Parcel Map 38410 (PLN22-05328)**. The City shall promptly notify the developer/applicant of any claim, action, or proceeding for which indemnification is sought and shall further cooperate fully in the defense of the action.
5. **Engineering Conditions.** The project shall comply with all requirements of the City Engineer as indicated in the Conditions of Approval dated December 19, 2022.
6. **Future Underlying Development.** all future underlying commercial and residential development within Planning Areas 13a and 13b will be required to process separate development applications subject to development requirements of the Green Valley

Specific Plan.

7. Tentative Parcel Map 38410 is for financing and conveyance purposes only. No permits shall be issued as part of the approval of this Financing Map.
8. **Specific Plan Amendment.** Tentative Parcel Map 38410 shall not be recorded until the City Council approves a Specific Plan Amendment (SPA) for the Green Valley Specific Plan to reflect the adjusted zoning boundaries for PA13a and PA13b.

End of conditions



CITY OF PERRIS

STUART E. MCKIBBIN, CONTRACT CITY ENGINEER

P8-1415

MEMORANDUM

TO: Nathan Perez (Senior Planner)

FROM: Stuart E. McKibbin, Contract City Engineer

DATE: December 19, 2022

RE: PLN22-05124
Financing TPM38410
Green Valley Specific Plan
Lot13 of Tract Map 24648 (MB 226/88-100)
APN: 330-150-009

We have completed our review of the subject project and offer the following comments:

- The following statements must be clearly printed on the face of the proposed financing map:
 - a. FOR FINANCE AND CONVEYANCE PURPOSES ONLY.
 - b. THIS MAP DOES NOT CREATE A LEGAL BUILDING SITE. FURTHER APPLICATIONS ARE NECESSARY TO DEVELOP THIS PROPERTY.
- All easements and/or rights-of-way shall be offered for dedication to the public or other appropriate agencies and shall continue in force until the City or the appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer.
- This subdivision is for financing purposes only , therefore, no development shall occur and no permits shall be issued. The parcel map shall adhere to the requirements and conditions of approval of the underlying Green Valley Specific Plan and Tract No. 24648 (MB 226/88).

- Development of each parcel created by this map shall be subject to filing the applicable development application with the City for review and approval. Respectively, the development applications will be conditioned for dedication of additional rights-of-way and provision of public and private improvements.
- The point(s) of access, driveway(s) and ingress and egress to each parcel shall be determined by the City upon review and approval of the said development applications for each parcel.
- The applicant/property owner shall submit the parcel map to the City for review and approval and subsequent recordation.
- The financing map site is within the limits of FEMA 100-year flood plain. Parcels created by this map shall be required to file CLOMR and the subsequent LOMR with FEMA for approval by the City.
- Property line corner cutbacks shall be dedicated per County of Riverside Standard No. 805.
- The project site is located within the limits of San Jacinto River Area Drainage Plan (ADP) for which drainage fees have been adopted by City. Parcels created by this map shall pay separately drainage fees as set forth under the provisions of the “Rules and Regulations of Administration of Area Drainage Plan” prior to approval of a future map for each parcel.

Additional comments will be provided upon receipt of resubmittals with additional information.

Should you have any questions, please contact Kamran Saber via e-mail at ksaber@interwestgrp.com.

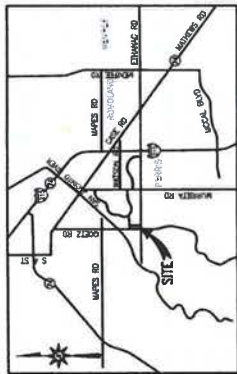
EXHIBIT B
Location/Aerial Photo



EXHIBIT C

Proposed TPM38410

IN THE CITY OF FERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
TENTATIVE PARCEL MAP 38410
 LOCATED IN SECTION 8, T. 5 S., R. 9 N



VIGNETTE MAP
 NOT TO SCALE

OWNER/APPLICANT:

ENGINEER ASSOCIATES
 (ATTN: JENNIFER GILLEN)
 5940 HAZEL AVENUE
 SUITE 100
 PALM SPRING, CA 92262
 PH: (951) 866-0700
 FAX: (951) 780-4286

TOPOGRAPHY SOURCE:

TERRACON CONSULTING
 (ATTN: ANDREW COLAROSSO)
 10000 WILSON AVENUE, SUITE 200
 RIVERSIDE, CALIFORNIA 92504
 PH: (951) 782-9796
 FAX: (951) 782-9790

APX:

300-00-001
 1.44 ACRES NET

SCHOOL DISTRICT:

ROSELAND AND FERRIS JUNIOR HIGH

LEGAL DESCRIPTION:

PARCELS 5 OF LOT USE ADJUSTMENT NO. 09-008
 RECORDS 04/20/07 PER WEST CO. 04/20/07

UTILITIES:

EASTERN MICHIGAN WATER DISTRICT
 WATER
 SOUTHERN CALIFORNIA GAS COMPANY
 GAS
 SOUTHERN CALIFORNIA EDISON COMPANY
 TELEVISION
 VERIZON WIRELESS

LAND USE:

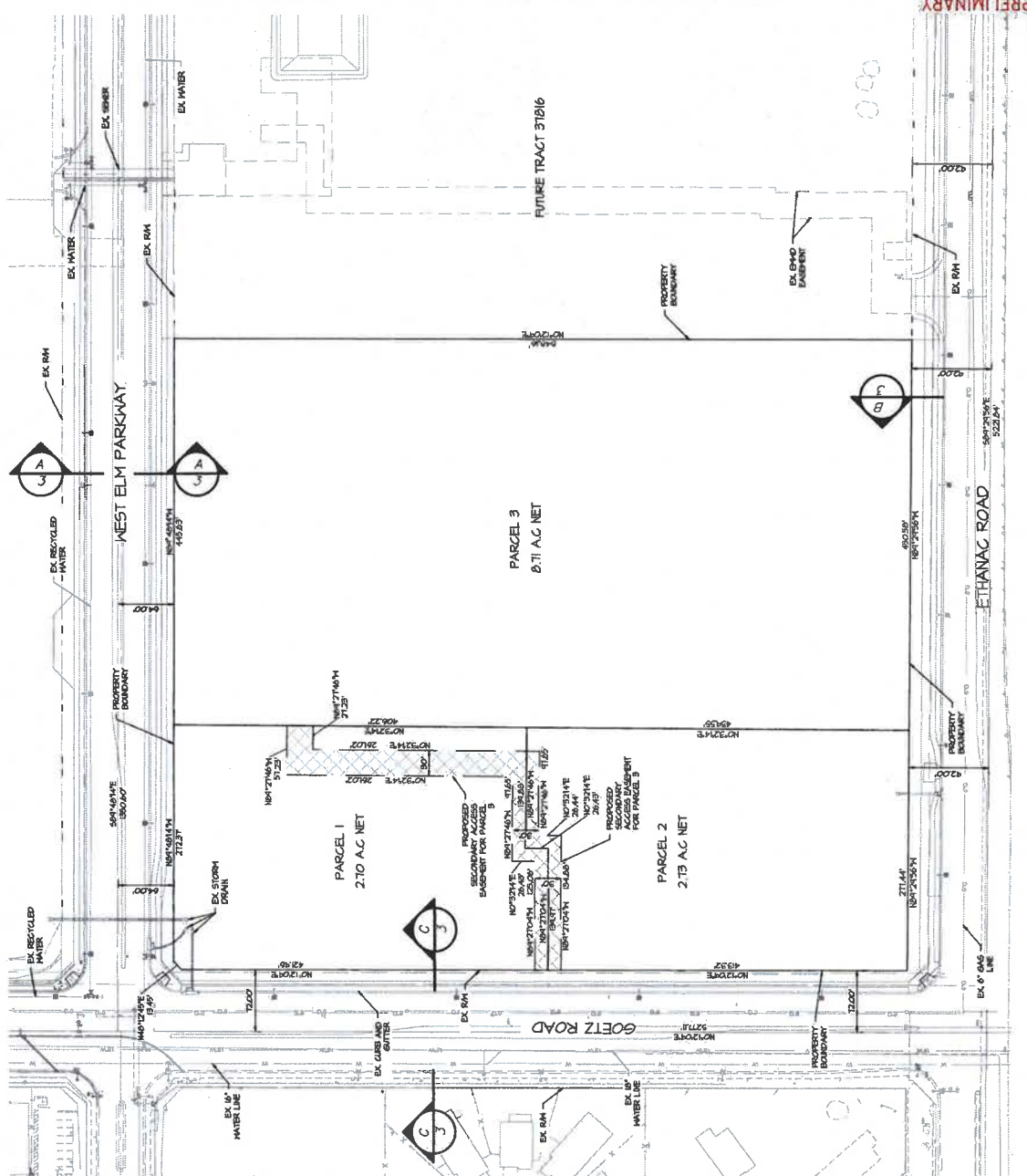
MULTI-FAMILY RESIDENTIAL
 PROPOSED LAND USE
 EXISTING 3.75 ACRES
 GREEN VALLEY SPECIFIC PLAN
 EXISTING GENERAL PLAN
 GREEN VALLEY SPECIFIC PLAN
 PROPOSED GENERAL PLAN

FOR FINANCE AND CONVEYANCE PURPOSES ONLY -
 A FUTURE SUBDIVISION MAP OR LAND USE ENTITLEMENT OR PERMIT
 IS NECESSARY TO DEVELOP THIS PROPERTY. THIS MAP DOES NOT
 REMOVE ANY CONDITIONS OF APPROVAL FOR SEPARATE LAND
 USE ENTITLEMENTS OR TENTATIVE MAPS OR USE PERMITS
 APPROVED FOR THIS LAND.

DRIVEWAY LOCATIONS ARE APPROVED WITH THE
 CONCEPTUAL SITE PLAN. DRIVEWAY LOCATIONS ARE
 SUBJECT TO MINOR ADJUSTMENTS WITH FULL
 ENTITLEMENT SUBMITTAL.

ALL PARCELS CREATED SHALL ABIDE BY THE
 CONDITIONS OF APPROVAL FOR ITEM 38410.

NOTICE OF DRAINAGE FEES
 NOTICE IS HEREBY GIVEN THAT THIS PROPERTY IS
 LOCATED IN THE SAN JACINTO RIVER AREA
 DRAINAGE PLAN WHICH HAS ADOPTED BY THE CITY
 OF FERRIS PURSUANT TO ORDINANCE AND SECTION
 66493 ET SEQ. OF THE GOVERNMENT CODE AND
 THAT SAID PROPERTY IS SUBJECT TO FEES FOR SAID
 DRAINAGE AREA. NOTICE IS GIVEN THAT THE
 DRAINAGE FEE SHALL BE PAID TO THE CITY OF
 FERRIS PRIOR TO ISSUANCE OF THE GRADING PERMIT
 OR BUILDING PERMIT AT THE RATE IN EFFECT AT THE
 TIME OF ISSUANCE OF THIS ACTUAL PERMIT.



PARCEL AREA TABLE

PARCEL #	AREA AC
LOT 1	2.70
LOT 2	2.73
LOT 3	8.71

LEGEND

- PROPERTY LINE
- EXISTING PARCEL LINE
- EXISTING EASEMENT
- PROPOSED RIGHT-OF-WAY
- PROPOSED WATER LINE
- EXISTING OTHER LINE
- LINE-OF-WAY
- PROPOSED
- EXISTING
- POKER POLE
- MAN HOLE



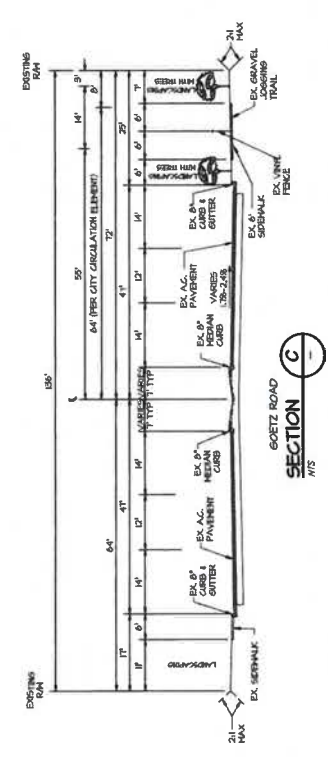
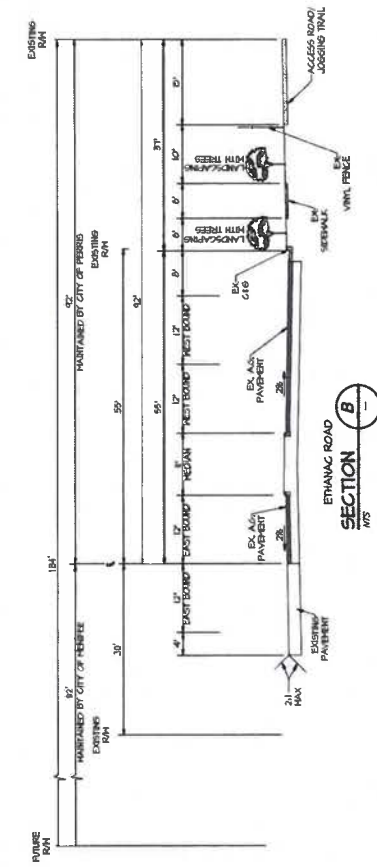
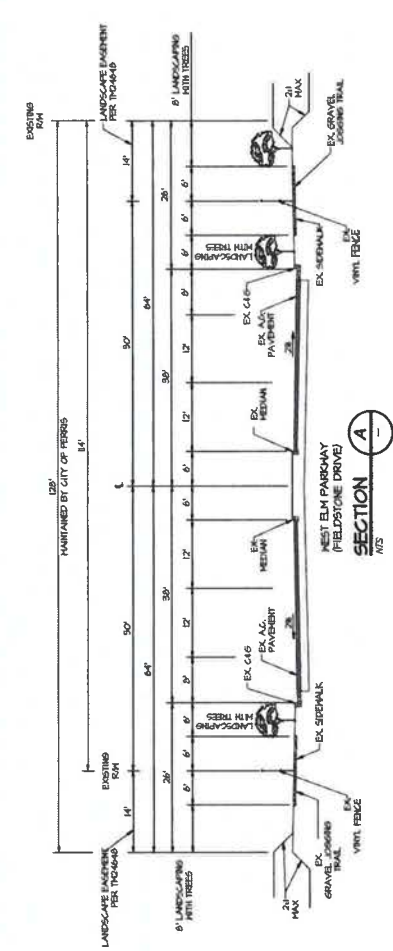
REVISIONS

NO.	DATE	BY	DESCRIPTION
1	1/24/2023	WJ	PRELIMINARY

TENTATIVE PARCEL MAP 38410
 CITY OF FERRIS, CA
 GREEN VALLEY PA-13

DATE: 1/24/2023
 TIME: 11:55 AM
 DRAWN BY: WJ
 CHECKED BY: WJ
 SCALE: AS SHOWN
 SHEET NO. 1 OF 2
 DATE: 1/24/2023
 TIME: 11:55 AM
 DRAWN BY: WJ
 CHECKED BY: WJ
 SCALE: AS SHOWN
 SHEET NO. 1 OF 2

SCALE	DATE	BY	CHECKED	DATE	BY
AS SHOWN	1/14/21	J.E.	J.E.		
DATE OF REF.					
DATE OF F.A.					

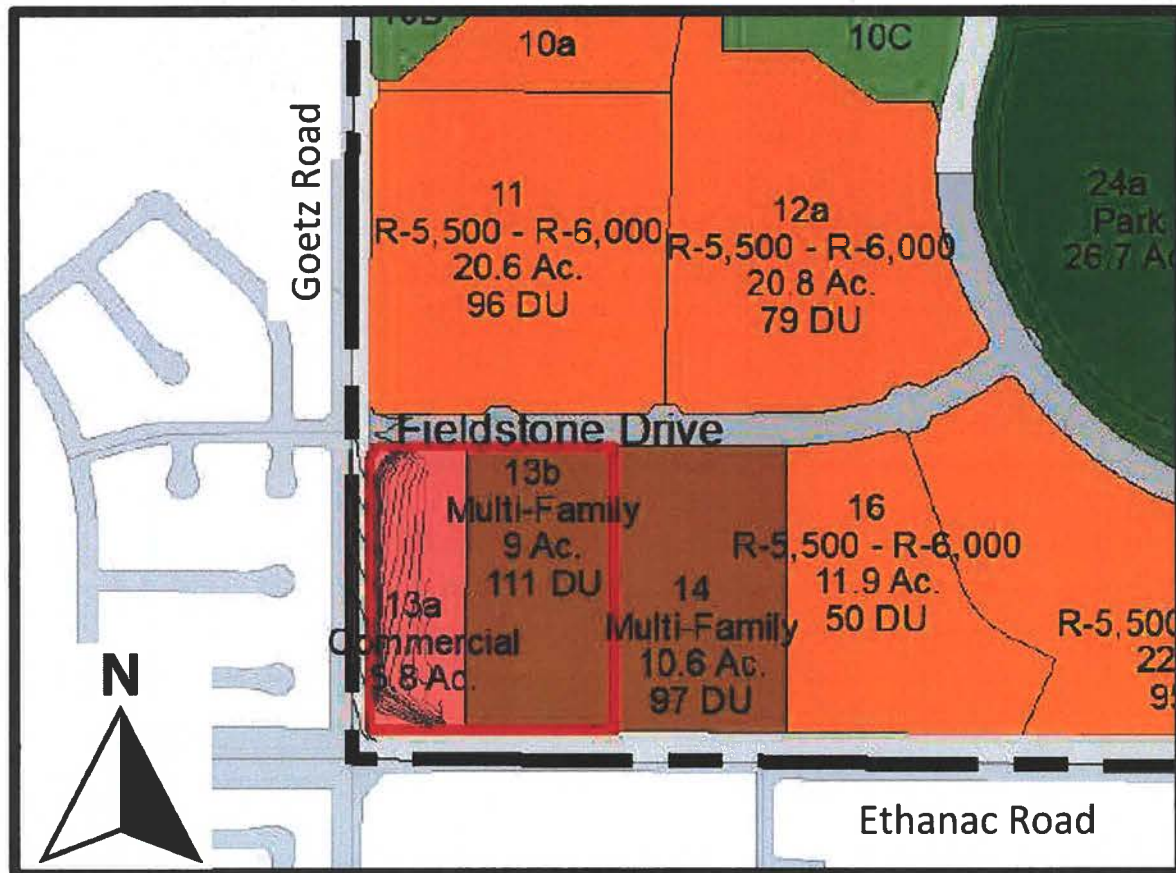


PROPOSED

EXHIBIT D

Existing and Proposed GVSP Land Use Maps (PA
13a. and PA 13b.)

2021 APPROVED LAND USE PLAN



2022 PROPOSED LAND USE PLAN

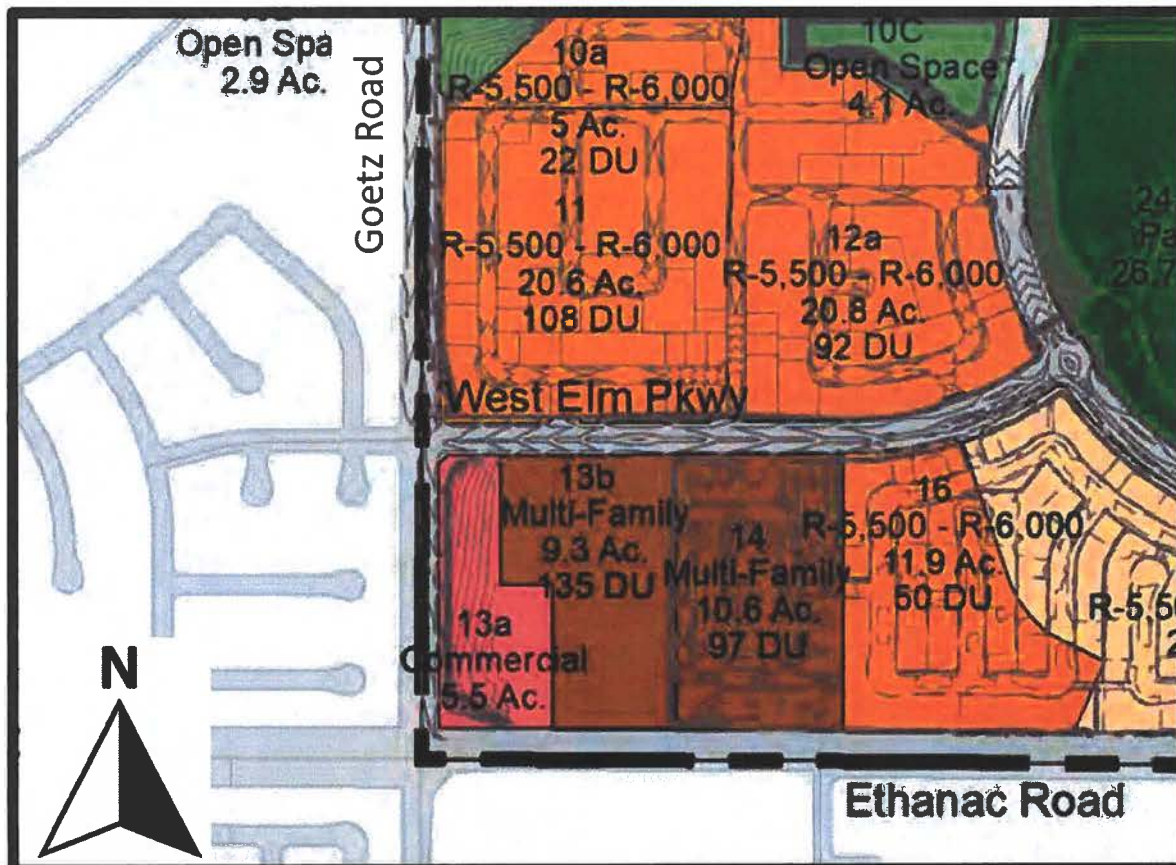


EXHIBIT E

**Applicant's Request Letter – Dated February 26,
203**

**Green Valley Recovery Acquisition, LLC
10421 S. Jordan Gateway, Suite 200
South Jordan, UT 84095**

January 26, 2023

**Nathan Perez
City of Perris
Department of Development Services - Planning Division
135 N. "D" Street
Perris, CA 92570
Tel: (951) 943-5003**

RE: Finance Map Request for PA 13 (PLN22-05124 Finance Map 38410 PC3)

Dear Mr. Perez:

This letter is to provide explanation for our request for the City of Perris to consider and approve our Finance Map TTM for PA 13 in the Green Valley Specific Plan.

As a little background, in 1990 the City of Perris approved and recorded a finance map that created individual parcels that matched the original SP, dedicated all roadways to the City, and created driveway curb cuts into each parcel.

In our 2021 Specific Plan Amendment, PA 13 was split into two uses: Commercial and Residential. This Finance Map request is to now split this parcel into the two parcels to match the latest approved land use plan. This map will also document the proposed conceptual site plan and tentative curb cuts. Once this Finance Map is approved, we will then be able to move forward with the final engineering for each site and make full architectural submittals for City's consideration.

Please let me know if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read 'M. Villalobos', with a long horizontal stroke extending to the right.

**Matthew Villalobos
Authorized Signatory**

Planning Commission Agenda

CITY OF PERRIS

March 15, 2023

Item

7D

***Development Plan Review
(DPR) 21-00018***



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

MEETING DATE:

March 15, 2023

SUBJECT:

Development Plan Review 21-00018 - A proposal to construct a 37-unit condominium development on 1.82 acres located on the east side along G street at the terminus of E. 2nd Street, within the Urban Village (UV) Zone of the Perris Downtown Specific Plan (DTSP) (APN: 310-070-001 and 310-070-002). Applicant: Winston Liu of W&W Land Design Consultants, Inc.

REQUESTED ACTION:

Adopt Resolution No. 23-08, finding the project is Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-fill Development Projects); and approving DPR 21-00018, based on the findings and subject to the Conditions of Approval.

CONTACT:

Kenneth Phung, Director of Development Services

BACKGROUND

The subject site is vacant and has a relatively flat terrain totaling approximately 1.8 acres. The site has never been developed or utilized for residential or commercial purposes. Surrounding uses include Perris Villas Apartments to the south, Diamond Environmental Services to the west across across G Street, County Hills Apartments to the west, and an existing single-family residence to the north. All the surrounding properties and the project site are zoned Urban Village, which allows 3 to 5-story stacked flats, rowhouses, courtyard housing, live-work, and mixed-use commercial block buildings. The proposed development follows the courtyard housing concept.

As a matter of information, staff conducted an Ad Hoc Committee for this Project on June 8, 2022. The Ad Hoc Committee expressed concerns related to architectural enhancements, color palette, walkability, and outdoor amenities. The applicant has revised the project plans to address the Ad Hoc Committee's concerns by modifying the architectural treatment to have a more traditional downtown architecture with additional veneer treatment with a contemporary flair to reflect the market demand for a modern downtown. Also, walkways have been incorporated to connect all the units to the street and to the outdoor amenities, which have been enhanced to include picnic benches, barbeque grills, and a tot lot. The Downtown Specific Plan does not have specified requirements for on-site recreational amenities for multi-family development, as it is anticipated that as the downtown develops, additional entertainment, recreational and cultural amenities will be close to those who reside in the downtown area. But outdoor amenities have been provided on the project site in response to the Ad Hoc Committee to afford the future residents of the project site recreational amenities as the City develops.

PROJECT DESCRIPTION

The applicant requests a Development Plan Review approval to construct a 37-unit condominium development on 1.82 acres. The proposed condominium development comprises 10 detached buildings containing 3 to 5 attached units.

Each unit has three levels; the ground level includes the main door, private patio, and a two-car garage; the second floor includes living areas, and the third floor includes bedrooms. A 33-foot-wide decorative driveway proposed along S. G street provides the main access to the site and is enhanced with a raised plant median. The project also includes centrally located common open space, parallel parking between curb bulb-outs, and a 10-foot landscape buffer for neighborhood character along the G street frontage. This development is not proposed to be gated, but the tot-lot will be gated for the residents' use only.

PROJECT ANALYSIS

The table below summarizes the project's consistency with the General Plan, DTSP Specific Plan, Zoning Code, Title 18 Subdivision Code, and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.

	Consistent	Inconsistent
<p>Consistency with the General Plan</p> <p>The project site has a General Plan land use designation of UV – Urban Village. The intent of the Urban Village is to allow for mixed-use and multi-family residential buildings within walking distance of Downtown and the MetroLink Station. The Urban Village is envisioned to include an interior pedestrian paseo that provides access to downtown and the adjacent commercial district. Building heights may range from three to five stories, with parking provided on the streets as well as in parking structures and surface lots behind buildings. The proposed condominium development as conditioned, will be consistent with the General Plan.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the Perris Downtown (DTSP) Specific Plan</p> <p>The project site is in the Urban Village Zone of the Downtown Specific Plan, which is intended for residential development that supports 3 to 5-story stacked flats, rowhouses, courtyards housing, live-work, and mixed uses. (Exhibit C). This project includes attached condominiums, and ancillary open space (courtyards) uses; therefore, it is consistent with the DTSP Specific Plan.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the March Air Reserve Base/Inland Port Airport</p> <p>The proposed project is located within the March Air Reserve Base/Inland Port Airport Influence Area (March AIA.) Zone E (other Airport Environs). Zone E has no residential development restrictions. As the project is located in the downtown, consistency</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Consistent	Inconsistent
<p>with the with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB ALUCP), and the 2010/2011 Perris Valley Land Use Compatibility Plan is not required.</p> <p>On February 23, 2023, the Riverside County Airport Land Use Commission (ALUC) considered and determined that the Project is "Conditionally Consistent" with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB ALUCP).</p>		

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

The table below summarizes compliance with the Downtown Specific Plan development standards.

Perris Downtown Specific Plan Urban Village Zone – Courtyard Flat Building Development Standards Development Standards					
Standard		Proposed	Consistent	Inconsistent	
Number of Stories	2 to 3 stories	1.0	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Height	75 -100 feet	35 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Setbacks	Front Yard:	5 feet	10 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Side Yards: - North - South	5 feet 5 feet	7 feet - 6 inches 8 feet- 4 inches	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rear Yard (east)	5 feet	5 feet - 8 inches	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Parking Standards Downtown Specific Plan – Parking Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Multi-Family	2 spaces/2 or more bedroom unit	74 spaces	74 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	- 20 2-bedroom units - 17 3-bedroom units		8 guest spaces (not required)		
Total Parking		74 spaces	82 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Parking			8 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The project complies with the development standards for Courtyard Flat Building in the Urban Village Zone. It proposes 74 spaces in garages and 8 guest parking spaces, which exceed the minimum parking requirement of the Downtown Specific Plan for multi family residential, which is intended to provide an urban nature in the downtown, where retail businesses and offices are

located within walking distance, public transportation is more accessible than in suburban areas, and higher density residential development is promoted. Thus, as proposed, the project complies with the Downtown Specific Plan.

COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS

- **Building Elevations/Architecture**

The proposed building elevations reflect a contemporary architecture that emphasizes vertical elements contrasted by alternate decorative materials and colors. The design incorporates a combination of varying rooflines, vertical and horizontal windows, horizontal faux wood shiplap, brick veneer, and intermittent recessed panels to create a contrasting aesthetic design for compliance with the Perris Downtown Specific Plan design standards. The entry areas of the buildings are recessed to provide additional articulation in the vertical plane and covered entry ways. The proposed color palette combines warm shades of tans, white and copper to complement the buildings. The combination of varying colors, articulating footprint, variable roof height, enhanced cornice treatments, windows, etc., provides visual interest to the building.

- **Landscaping**

The applicant has submitted a conceptual landscape plan conforming to the Landscaping Ordinance's requirements. The proposed on-site landscaping area totals approximately 13,326 square feet or approximately 16.8% of the site. There is no minimum landscaping requirement in the Downtown Specific Plan; instead landscaping in the Downtown area is required to be provided in all setbacks to soften the street edge and large buildings, create a sense of place, screen parking areas and mechanical equipment, and enhance the pedestrian environment. The project proposes landscaping and decomposed granite along the street frontage. Additional landscaping is proposed along the perimeter of the site, guest parking area, common open space areas, and adjacent to the buildings. Staff is

The decomposed granite proposed along the street frontage and at the main entrance is recommended to be enhanced with plant materials to provide visual interest from the public right of way for compliance with the Downtown Specific Plan.

- **Fencing and Screening**

The project is required to construct a decorative 6-foot-high split-face concrete wall with a trim cap at the north and south sides of the property to buffer adjacent residential homes from noise and views associated with the residential project. The existing 6-foot-high block wall along the east property line will remain. A low decorative fence will be provided around the private patios for privacy.

- **Lighting**

All exterior lighting will provide one (1) foot-candle of illumination for pedestrian safety and security along all parking lots and pedestrian areas. All exterior lighting shall provide cut-off fixtures and will be downward facing away from the neighboring properties per City standards.

- **Amenity and Recreation area**

The applicant proposes common open space areas furnished with outdoor amenities including picnic benches, barbeque grills, and a tot lot.

ENVIRONMENTAL DETERMINATION

The Project is Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-Fill Development Projects), as the project constitutes an infill development project within city limits on less than five acres of land in compliance with the applicable General Plan and Zoning Code and has no habitat value for biological resources.

RECOMMENDATION:

Adopt Resolution No. 23-08 finding the project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332, Class 32 In-Fill Development Projects, and approving DPR 21-00018 to construct a 37-unit condominium community on 1.82 acres, based on the findings and subject to the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: There is no fiscal impact associated with this project since all project costs are borne by the applicant.

Prepared by: Alfredo Garcia, Associate Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Resolution 23-08 Approving Conditions of Approval (Planning, Engineering, Public Works, Fire, Community Services and Building & Safety)
- B. Location/Aerial Map
- C. Downtown Specific Plan Land Use Map
- D. Project Plans (Site, Floor, Elevations and Conceptual Landscape Plans)

Consent:
Public Hearing: X
Business Item:
Presentation:
Other:

EXHIBIT A

Reso 23-08 with Conditions of Approval
(Planning, Engineering, Public Works, Fire,
Community Services and Building)

RESOLUTION NUMBER NO. 23-08

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, FINDING THE PROPOSED PROJECT CATEGORICALLY EXEMPT FROM CEQA UNDER SECTION 15332, CLASS 32 IN-FILL DEVELOPMENT AND APPROVING DEVELOPMENT PLAN REVIEW 21-00018 TO CONSTRUCT A 37-UNIT CONDOMINIUM COMMUNITY ON 1.82 ACRES. THE PROJECT SITE IS LOCATED ON THE EAST SIDE ALONG G STREET AT THE TERMINUS OF E. 2ND STREET, WITHIN THE URBAN VILLAGE ZONE OF THE PERRIS DOWNTOWNSPECIFIC PLAN, SUBJECT TO CONDITIONS OF APPROVAL AND THE FINDINGS NOTED HEREIN.

WHEREAS, the applicant, Winston Liu , proposes to construct a 37-unit condominium community on 1.82 acres. The project site is located on the east side along G street at the terminus of E. 2nd Street, within the Urban Village (UV) Zone of the Perris Down Town Specific Plan (“Project”); and

WHEREAS, the Project’s proposed use is in accordance with the objectives of the Downtown specific plan Urban Village zone; and

WHEREAS, the Project’s proposed use is consistent with the City’s General Plan and conforms to all zoning standards and other relevant ordinances and resolutions of the City; and

WHEREAS, the applicant submitted a Development Plan Review application (DPR 21-00018) for the Project for consideration of architectural design and site layout; and

WHEREAS, the City has complied with the California environmental Quality Act, in that the Project is categorically exempt from review under the California Environmental Quality Act (CEQA) under Section 15332, Class 32 In-Fill Development; and

WHEREAS, a duly noticed public hearing was held on March 15, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, Chapter 19.54 of the City of Perris Municipal Code (Zoning Code, Authority and Review Procedures) authorizes the City to approve, conditionally approve, or deny requests for a Development Plan Review; and

WHEREAS, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Perris as follows:

Section 1. The above recitals are all true and correct and incorporated herein by this reference.

Section 2. The Planning Commission has determined that the Project is categorically exempt from review under the California environmental Quality Act (CEQA) under Section 15332, Class 32 In-Fill Development.

Section 3. Development Plan Review 21-00018. Based upon the forgoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on March 15, 2023, the Planning Commission finds, with respect to DPR 21-00018, that:

- 1. The location, size, design, density, and intensity of the proposed development and improvements are consistent with the City's General Plan and provisions of the Perris Municipal Code ("PMC"), the purposes of the Zone in which the site is located, and the development policies and standards of the City.*

The Project is zoned Urban Village. The intent of the Urban Village is to allow for mixed-use and multi unit residential buildings with first floor ancillary commercial uses within walking distance of Downtown and the MetroLink Station. The Urban Village is envisioned to include an interior pedestrian paseo that provides access to Downtown and the adjacent commercial district. Building heights would range from three to five stories, with parking provided on the streets as well as in parking structures and surface lots behind buildings.

The proposed location of the Project is in accordance with the objectives of the Development Plan Review provisions of the City's Zoning Code, Chapter 19.26, in that the proposed commercial building is desirable for the community and an appropriate use that provides a new area for the public to work and ensure compatibility with surrounding uses and protect the aesthetics and public, health and welfare of the community.

The proposed Project is consistent with the City's General Plan, meets the intent of the Urban Village zone and conforms to applicable provisions of the City's Zoning regulations in that appropriate conditions of approval have been developed to ensure that the use operates according to City policies and regulations to protect the public health and welfare.

2. *The proposed Project site is physically suitable, including but not limited to parcel size, shape, access, and availability of utilities and services, for the type of development proposed.*

The proposed location of the Project is in accordance with the objectives of the Development Plan Review provisions of the City's Zoning Code, Urban Village and Chapter 19.26 e, in that the proposed residential buildings are desirable for the community and appropriate use that provides a new area for the public to work and ensure compatibility with surrounding uses and protect the aesthetics and public, health and welfare of the community. The Project has been designed to meet with setbacks, FAR, coverages and landscape requirements as stated in the development standards of Urban Village Zone and Chapter 19.26. Furthermore, the site has been designed with added safety measures via traffic analysis as well as photometric review for added public safety and connection to all public utilities.

3. *The proposed Project and the conditions under which it would be operated or maintained is compatible with abutting properties and will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.*

As conditioned, the proposed Project will not be detrimental to the public health, safety or welfare, or injurious to property and improvements in the vicinity or to the general welfare of the City. Other high density residential projects currently exist in close proximity to the Project site. Traffic control signs currently exist along G Street and 2 Street street to help provide safe access /exit to the site as stated in the Conditions of Approval to ensure safe traffic conditions.

4. *The architecture proposed is compatible with community standards and protects the character of adjacent development.*

The Project proposes an architecturally enhanced buildings with varying roofline angles and heights, , wood ship lap siding and brick veneer. Colors on the façades range from white, tan and cooper which creates a modern yet warm palette. This meets the development standards of the Urban Village Zone.

5. *The landscaping plan ensures visual relief and provides an attractive environment for the public's enjoyment.*

The proposed Project meets or exceeds the on-site and off-site landscape standards for the Urban Village (UV) zoning district as outlined in the City of Perris Municipal Code, by providing a mix of specimen native and drought-tolerant trees, shrubs, ground cover, and annual color throughout the site to ensure visual relief and effectively frame, soften and embellish access points, building entries, parking areas, and trash enclosures.

6. *The safeguards necessary to protect the public health, safety and general welfare have been required for the proposed project.*

Section 4. Based upon the forgoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on March 15, 2023, the Planning commission finds the Project is exempt from review under the California Environmental Quality Act (CEQA) pursuant to Article 19 of the California Environmental Quality Act (CEQA) under section 15332, Class In-Fill development and approves Development Plan review 21-00018 to construct a 37-unit condominium community on 1.82 acres. The project site is located on the east side along G street at the terminus of E. 2nd Street, within the Urban Village (UV) Zone of the Perris Down Town Specific Plan, subject to the attached Conditions of Approval, which are attached hereto, and incorporated herein by this reference, as Attachment A.

Section 5. Based upon the forgoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on April 6, 2022.

Section 6. The Planning Commission declares that should include any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 7. The Chairperson shall sign, and the Secretary shall certify to the passage and adoption of this Resolution.

ADOPTED, SIGNED and APPROVED this 15th day of March 2023.

CHAIRPERSON, PLANNING COMMISSION

ATTEST:

Secretary, Planning Commission

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Kenneth Phung, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 23-08 was duly adopted

by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 15th day of March 2023, and that it was so adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Secretary, Planning Commission

Attachments:

A. Conditions of Approval (Planning, Engineering, Public Works, Fire, and Building)

**CITY OF PERRIS
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

PLANNING COMMISSION CONDITIONS OF APPROVAL

Development Plan Review 21-00018

March 15, 2023

PROJECT: Proposal to construct a 37-unit condominium community on 1.82 acres. The project site is located on the east side along G street at the terminus of E. 2nd Street, within the Urban Village (UV) Zone of the Perris Down Town Specific Plan (DTSP). APN: 310-070-001 and 002.

Applicant: Winston Liu of W&W Land Design Consultants, Inc.

General Requirements:

1. **Municipal Code and Specific Plan Compliance.** The project shall conform to the Downtown Specific Plan Urban Village zone standards of the city of Perris Municipal Code.
2. **Future Obligation of Buyers and Lessees.** All future buyers and lessees shall be informed of their obligation to comply with these Conditions of Approval. The applicant shall provide a copy of these conditions and inform the buyer or lessee of their obligation to maintain compliance with all local and City ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
3. **Expansion of Use.** No expansion of the site or the use shall occur without subsequent reviews and approvals from the Planning Division.
4. **Term of Approval.** This approval shall be used within three (3) years of approval date; otherwise it shall become null and void. By use is meant the beginning of substantial construction contemplated by this approval within the three (3) year period which is thereafter diligently pursued to completion, or the beginning of substantial utilization contemplated by this approval. A maximum of three (3) one-year time extensions shall be permitted.
5. **City Ordinances and Business License.** The subject business shall maintain compliance with all local and City Ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
6. **Payment of Notice of Exemption (NOE).** Within five (5) days of Planning Commission approval, the applicant shall file electronically a Notice of Exemption (NOE) and administrative \$50.00 fee to the "Riverside County Clerk's Office". A copy of the recorded NOE shall be provided to the Planning Division for record keeping purposes.
7. **Conformance to Approved Plans.** The proposed use will operate in accordance with the March 15, 2023 Planning Commission meeting approval, or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.

8. **Graffiti** located on site shall be removed within 48 hours. The site shall be maintained in a graffiti-free state at all times. Graffiti shall be painted over in panels and not patches. In addition, will match color of wall or material surface. Furthermore, applicant shall apply an anti-graffiti coating on walls.
9. **Building & Safety Division.** The project shall comply with all Conditions of Approval by the Building and Safety Department dated January 16, 2021.
10. **ADA Compliance.** The project shall conform to all disabled access requirements in accordance with the State of California, Title 24, and Federal Americans with Disabilities Act (ADA).
11. **Fire Department Conditions.** The project shall comply with all Conditions of Approval by the Fire Department dated November 17, 2021, consisting of the following requirements.
 - a. Provide a fire flow report that has been completed within the last 6 months. The test flow shall be completed from the closest fire hydrant to the property. A minimum of 1,500 GPM @ 20 psi for 2-hours is required. CFC § 507.3
 - b. Provide a stand-alone fire department access plan. The fire department access plan shall show compliance with CFC § 503 and City of Perris Access Guideline and all applicable subsections. The guideline can be obtained <https://www.cityofperris.org/home/showpublisheddocument/2405/637216987049700000> . At a minimum the access plan shall address the following items:
 - Location of the access road. CFC § 503.1.1
 - Width of the access road. CFC § 503.2.1
 - Vertical clearance. CFC § 503.2.1
 - Inside and outside turning radii. CFC § 503.2.4
 - Road weight capacity. CFC § 503.2.3
 - Identify the type of roadway surface (concrete, asphalt, pavers, etc.). CFC § 503.2.3
 - Road grade (distinguish changes in 2.5% increments), CFC 503.2.7
 - Turn-arounds for dead-end access greater than 150' per CFC § 503.2.5 &
 - Location and details of "Fire Lane - No parking sign" and/or red curb marking CFC § 503.3
 - Location of all fire hydrants within 500 feet to the new structures. CFC § 507.5
 - Identify all gates/fences that obstruct the fire department path. CFC § 503.6
12. **Public Works.** The project shall adhere to the requirements of the Public Works Department as indicated in the attached Conditions of Approval dated March 8, 2022.
13. **City Engineering.** The Project shall comply with all requirements of the City Engineer's Conditions of Approval dated February 10, 2023.

14. **Sign Application.** A separate sign application will be required for any signs.
15. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City concerning **Development Review (DPR) 21-00018**. The City shall promptly notify the applicant of any claim, action, or proceeding for which indemnification is sought, and shall further cooperate fully in the defense of the action.
16. **Southern California Edison (SCE).** The developer/owner shall contact Southern California Edison SCE area service planner (951 928-8323) to complete the required forms prior to commencement of construction. No grading permits shall be issued until a letter from SCE is received by the City Engineer indicating electrical service will be placed underground.
17. **Waste Hauling and Disposal.** The project shall use only the City-approved waste hauler for all construction and other waste disposal.
18. **On-site & Off-site Utilities.** All utilities attached to buildings, including meters and utility boxes, shall be painted to match the wall of the building to which they are affixed. These facilities shall also be screened from the public right-of-way by landscaping or physical barrier such as a wall.
19. **Site Lighting Plan.** The site lighting plan shall conform to the requirements of the City's adopted Mount Palomar Ordinance and be submitted to the Planning Division for final review and approval. Full cutoff fixtures shall be used to prevent light and glare above the horizontal plane of the bottom of the lighting fixture. A minimum of one (1) foot-candle of light shall be provided in parking and pedestrian areas. All lighting shall be shielded downward to prevent light pollution to spill over onto adjacent parcels.
20. **Trash Enclosure.** The trash enclosure shall be constructed as presented in the development plans approved by the Planning Commission.
21. **Screening of Roof-Mounted Equipment.** Proper screening shall prevent public views of all HVAC equipment.
22. **Outstanding Fees.** Any outstanding processing fees due to the Planning Division shall be paid.
23. **Construction Practices.** To reduce potential noise and air quality nuisances, the following items shall be listed as "General Notes" on the construction drawings:

- a. Construction activity and equipment maintenance is limited to the hours between 7:00 a.m. and 7:00 p.m., on weekdays. Construction may not occur on weekends or State holidays, without prior consent of the Building Official. Non-noise generating activities (e.g., interior painting) are not subject to these restrictions.
- b. Stationary construction equipment that generates noise in excess of 65 dBA at the project boundaries must be shielded and located at least 100 feet from occupied residences. The equipment area with appropriate acoustic shielding shall be designated on building and grading plans. Equipment and shielding shall remain in the designated location throughout construction activities.
- c. Construction routes are limited to City of Perris designated truck routes.
- d. Water trucks or sprinkler systems shall be used during clearing, grading, earth moving, excavation, transportation of cut or fill materials and construction phases to prevent dust from leaving the site and to create a crust after each day's activities cease. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.
- e. A person or persons shall be designated to monitor the dust control program and to order increased watering as necessary to prevent transport of dust off-site. The name and telephone number of such persons shall be provided to the City. Also, a board shall be placed at the subject site to include person and phone number for the public to call in case of dirt and dust issues.
- f. Project applicants shall provide construction site electrical hook ups for electric hand tools such as saws, drills, and compressors, to eliminate the need for diesel powered electric generators or provide evidence that electrical hook ups at construction sites are not practical or prohibitively expensive.

24. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance and Chapter 7.42 regarding Property Maintenance. In addition, the project shall comply with the one-year landscape maintenance schedule identified in Public Works Department Condition of Approval No. 5, dated March 08, 2022.

Prior to Building Permit Issuance:

28. Prior to building permit issuance, the applicant shall update the plans to provide a 36-inch wide concrete sidewalk between the southerly building wall and parking stalls. The landscaped finger areas shall be widened to align with the width of all emergency exits located at the southerly building wall to provide continuous connectivity of the concrete sidewalk.

29. **Fees.** The developer shall pay the following fees prior to the issuance of building permits:
- a. Stephen's Kangaroo Rat Mitigation Fees of \$500.00 per acre;
 - b. Multiple Species Habitat Conservation Plan fees currently in effect;
 - c. Current statutory school fees to all appropriate school districts;
 - d. Any outstanding liens and development processing fees owed to the City.
 - e. Appropriate City Development Impact Fees in effect at the time of development.
30. **Landscaping Plans.** Prior issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Division for approval, accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a California registered landscape architect and conformed to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. The landscaping shall be consistent with the conceptual landscape plan, except as required below. Plans shall be revised to include the following:
- a. The planter proposed to include decomposed granite proposed along the street frontage and at the main entrance shall include plant materials to provide visual interest from the public right of way for compliance with the Downtown Specific Plan.
31. **Wall and Fence Plan.** The project is required to erect a decorative 6-foot-high split face concrete wall with trim cap at the rear side of the property to buffer adjacent residential homes from noise and views associated with the proposed loading and parking areas..
32. **Construction Plans.** All Planning Division and Engineering Department Conditions of Approval, shall be reproduced in full on construction drawings and grading plans, immediately following the cover sheet of such plans. Each Condition shall be annotated on the construction plans for ease of reference (i.e., sheet and detail numbers).

Prior to Grading Permit Issuance:

33. **Precise Grading Plans.** Precise grading plans shall be submitted to the City Engineer for review and approval. Grading plans shall be consistent with approved development plans.
34. **Final Water Quality Management Plan (FWQMP).** Prior to issuance of grading permits a FWQMP is required to be submitted. To mitigate impacts related to pollutant loading to receiving waters and/or increased erosion/siltation resulting from the long-term operation of the project, the applicant shall develop, receive approval from the City, and implement a FWQMP. The FWQMP shall contain measures that will effectively treat all pollutants of concern and hydrologic conditions of concern, consistent with the Preliminary WQMP and developed in compliance with the MS4 permit. The FWQMP shall specifically identify pollution prevention, source control, treatment control measures, and other Best Management Practices (BMPs) that shall be used on site to control predictable pollutant runoff to reduce impacts to water quality to the maximum

extent practicable. The FWQMP shall substantially comply with site design, source control and treatment control BMPs proposed in the approved Preliminary Water Quality Management Plan (PWQMP).

Prior to Issuance of Occupancy Permits:

35. **Assessment and Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to issuance of a Certificate of Occupancy. See Public Works/Engineering Conditions of Approval.
36. **On-Site Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for final landscape inspection after all the landscaping and irrigation has been installed and is completely operational. Before calling for a final inspection, a "Certificate of Compliance" form shall be completed and signed by the designer/auditor responsible for the project, and submitted to the project planner for approval.
37. **Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-offs from the Building Division and Engineering Department. Planning Staff shall verify that all pertinent conditions of approval have been met. The applicant shall have all required paving, parking, walls, site lighting, landscaping and automatic irrigation installed and in good condition.

END OF CONDITIONS



CITY OF PERRIS

STUART E. MCKIBBIN, CONTRACT CITY ENGINEER

CONDITIONS OF APPROVAL

P8-1502
February 10, 2023
DPR 21-00018 – TTM 38308
Grace Su
G St. at 2nd St.
APNs 310-070-001 & -002
Lots A & B – Blk 3 – MB 016/078

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer provide the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and that their omission may require resubmittal for further consideration. These Ordinances and the following conditions are essential parts and requirements occurring in one is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditions shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic Impact Analysis, the most stringent in the opinion of the City shall prevail.

General Conditions:

1. The developer/property owner shall secure City's and appropriate agencies clearances and approvals of the improvement plans.
2. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and

City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.

3. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.

Prior to Recordation of the Tract Map:

4. The developer/property owner shall have approved improvement plans, executed subdivision agreement and posted securities.

5. The developer/property owner shall submit the following to the City Engineer for review and approval:

- a. Onsite Precise Grading Plan and Erosion Control Plans; plans shall show the WDID No.
- b. Street Improvement Plans
- c. Storm Drain Improvement Plans
- d. Signing and Striping Plans
- e. Water and Sewer Improvement Plans
- f. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- g. Geotechnical Report
- h. Hydrology and Hydraulic Report
- i. Final WQMP (for reference)

The design shall be in conformance with Eastern Municipal Water District (EMWD), Riverside County Flood Control and Water Conservation District (RCFCD), Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

6. G Street is classified as a Collector (60'/40') per the General Plan. Adequate right-of-way shall be dedicated on G Street along the property frontage to accommodate a 30 foot half width dedicated right-of-way.

7. All rights-of-way and easements shall be offered for dedication to the public or other appropriate agencies and shall continue in force until the City or the appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer.

8. Relinquish and waive rights of access to and from G Street on the Map other than the access opening as shown on the tentative map.

9. In the event that offsite property is required to complete the improvements, the developer/property owner shall make a good faith effort to acquire required offsite property interests, and if he or she should fail to do so, the developer/property owner shall, prior to submittal of the Final Map for recordation, enter into an agreement to complete the improvements. The agreement shall provide for payment by the developer/property owner of all costs incurred by the City to acquire the offsite property interests required in connection with the subdivision. Security of a portion of these costs shall be in the form of a cash deposit in the amount given in an appraisal report obtained by the developer/property owner (at developer/property owner cost). The appraiser shall be approved by the City prior to commencement of the appraisal.

10. The developer/property owner shall sign the consent and waiver form to join the City's Lighting and Landscape Districts and City's Flood Control District as appropriate. The proposed and existing streetlights and traffic signals shall be maintained by the City and cost paid by the developer/property owner through the said annexation.

Prior to Issuance of Grading Permit:

11. The developer/property owner shall submit the following to the City Engineer for review and approval:

- a. Onsite Precise Grading Plan and Erosion Control Plans; plans shall show the WDID No.
- b. Street Improvement Plans
- c. Storm Drain Improvement Plans
- d. Signing and Striping Plans
- e. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- f. Geotechnical Report
- g. Hydrology and Hydraulic Report
- h. Final WQMP (for reference)

The design shall be in conformance with EMWD, RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

12. All generated onsite and offsite runoff shall be collected and conveyed via underground drainage facilities and shall be connected to the existing storm drain system in G Street.

13. The ramps at the driveway shall include wet set concrete truncated domes in compliance to ADA standards and requirements.

Prior to Issuance of Building Permit:

14. Water and sewer Improvement Plans, per Fire Department and EMWD standards, shall be submitted to the City Engineer for review and approval.

15. Fire Department approval of the Water Improvement Plan is required prior to City Engineer's approval.

16. Paved access shall be provided to the proposed buildings per the Precise Grading Plans.

17. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

Prior to Issuance of Certificate of Occupancy:

18. G Street (Collector - 60'/40') along the property frontage within the dedicated right-of-way shall be improved to provide for a 30 foot wide AC pavement (using a TI of 6.0 and PG 64-10), 6 inch curb and gutter generally located 18 feet east of street centerline, 6 foot wide sidewalk and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.

The street design, bulbouts, sidewalk extensions, crosswalks, and paving materials shall be per Downtown Specific Plan standards as approved by Planning Department, Public Works Department and the City Engineer.

19. The conditions of the existing pavement on G Street along the property frontage shall be evaluated by the developer/property owner to determine the extent of pavement rehabilitation as approved by City Engineer. If the existing pavement is in good condition, the developer/property owner may use grind and overlay technique as determined by the City Engineer.

20. The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.

21. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified

professional pursuant to the California Business and Professional Code
8771.

Stuart E. McKibbin
Contract City Engineer



CITY OF PERRIS

PUBLIC WORKS DEPARTMENT

Weed Abatement

NPDES Services

Flood Control and Landscape Districts

MEMORANDUM

Date: March 08, 2022

To: Alfredo Garcia, Planner

From: Michael Morales, CIP Manager

By: Chris Baldino, Landscape Inspector **CB**

Subject: **DPR 21-00018 – Conditions of Approval**

Proposal of a 37-unit residential development Condominium Project on 1.82 acres.
Located within the Downtown Specific Plan on G Street at terminal of 2nd Street.

-
1. **Dedication and/or Landscape Maintenance Easement.** Offer of Dedication and Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:
 - **G Street** - Provide offer of dedication as needed to provide for full half width Street (60' ROW / 30' Half width, curb gutter, sidewalk, and off-site landscaping requirements, per City General Plan, including a minimum public parkway plus an additional 2' of landscape easement, totaling a 12' public parkway from face of curb. Provide a colored concrete intersection with stamped concrete crosswalk.
 2. **Landscape Maintenance Easement and Landscape Easement Agreement.** The developer shall provide, for review and approval, an Offer of Dedication and certificate of acceptance, complete with legal plat map and legal description to the City of Perris. In addition, if required by the City of Perris, the Developer shall provide a landscape easement and Landscape easement agreement of 1 additional foot for parkway landscaping, acceptable to the City of Perris. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
 3. **Landscaping Plans.** Three (3) copies of Construction Landscaping and Irrigation Plans for the off-site landscaping, including any medians or other landscape areas along the dedications shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. This landscape plan shall be titled "Off-site Landscape Plan for **DPR 21-00018**" and shall be exclusive of any private property, on-site landscaping. Elements of the Landscape Plan shall include but not be limited to:
 - a. **Landscape Limits** – Limits of right-of-way areas or easement areas, defined by concrete mow curb, fully dimensioned, that are to be annexed into the Landscape Maintenance District. A planting palette and hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; or if no such guidelines exist the design intent of neighboring development, as determined by the Engineering

Administration and Special Districts Division, including:

- **G Street** – Developer shall be required to install new landscape and irrigation within new parkway along G street. Trees to be Koelreuteria Bipinnata, 'Chinese Flame Tree'. Use of drought resistant shrubs and groundcover, including but not limited to the following: Raphiolepis, Kanagarro Paws, Dietes Bicolor, Hermercolasis Hybrid Day Lily, Nandina Domestica Harbor Dwarf and Myoporum parvifolium 'Putha Creek'.
 - **Decorative Double Head Street Light** – The Developer shall be required to provide decorative streetlights with a third pedestrian luminaire per the Downtown Specific Plan.
 - **Decorative Intersection at G Street and 2nd Street / Crosswalk** – The developer shall be required to install a Mid decorative intersection at 2nd & G street. Crosswalks shall be constructed of decorative colored concrete pavement (stamped colored concrete) to clearly mark the pedestrian crossing zone, per sections 3.4 Vision Plan and 5.6 Street Standards, of the Downtown Specific Plan. Colors shall match colors provided in the D street Public Area Enhancement Plan.
- b. **Irrigation** – A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas as determined by the Engineering Administration and Special Districts Division. Components shall include, but not be limited to Salco or equal on flexible PVC risers, Sentry Guard Cable Guard and Union Guard, and backflow Wilkens Model 375 (or equal). Controller shall include an ET based controller with weather station that is centrally controlled capable and wi-fi ready (WeatherTrak ET Pro3 Smart Controller, or equal, with Rain Sensor). At the discretion of the Engineering Administration and Special Districts Division public landscape areas utilizing no more than 6 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and wi-fi ready, such as the Weathermatic System or equal. Proposed system shall be complete with wireless weather station, aircard with flow, one year bundle service, blade antenna and flow sensor.
- c. **Benefit Zone Quantities** – Include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the district will be required to maintain.
- d. **Meters** – Each District is required to be metered separately. All electrical and water meters shall be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene and away from street intersections. Show location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for landscape district. Show location of water and electrical meter for flood control district. Show location of electrical meter for Traffic signal and street lighting district, on respective plans. Coordinate location of meters on landscape and civil engineering plan.
- e. **Controllers** - The off-site irrigation controllers are to be located within the right of way (preferably within the off-site landscape area). All point of connection equipment including irrigation controller pedestals, electrical meter pedestals, and backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Backflow preventers are to be screened on at least three sides with (5) gallon plant material. The fourth side shall be open to the back of the landscape area in order to allow the backflow cage to be opened without interference with plant materials. Backflow cages shall meet the required City of Perris Engineering

Standards in effect at the time of approval.

- f. **Recycled Water** - If applicable. The project landscape architect shall coordinate with EMWD to verify if the site will be served with recycled water and design all irrigation and landscape plans to meet the requirements of EMWD and provide additional irrigation components as needed.
 - g. **EMWD Landscape Plan Approval** – The project landscape architect shall submit a copy of all irrigation plans and specifications to EMWD for approval. The project landscape architect must confirm with EMWD that the plans have been approved by EMWD and submit written proof of approval by EMWD prior to the City approving the final Landscape Plans. Until the final landscape plan has been approved by the City of Perris, the maintenance areas depicted cannot be accepted by the City for maintenance. The developer shall coordinate both reviews to ensure acceptability of plans by both EMWD and the City of Perris, prior to approval by either agency.
 - h. **Landscape Weed Barrier** - Weed cloth with a minimum expected life of 10-years shall be required under all gravel, rock, or cobble areas.
 - i. **Wire Mesh and Gravel at Pull Boxes**- Provide wire mesh and gravel layer within valve boxes to prevent rodent intrusion.
 - j. **Concrete Maintenance Band at Medians and Mortar Cobble turn Land** – Provide 12” wide concrete maintenance band (safety edge) around entire median. At turn pockets provide mortared cobble creek bed, round stone sized 6” to 12”.
 - k. **Perimeter Walls Graffiti Coating** – Provide anti-graffiti coating at all perimeter walls. Acceptable products shall include Vitrocem Anti-Graffiti Coating or equal.
4. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only “OFF-SITE” landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled at least two-working days (Monday through Friday) prior to actual inspection. Contact Public Works-Engineering Administration/Special Districts at (951) 657-3280 to schedule inspections.
- **Inspection #1** - Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
 - **Inspection #2** - Soil prepared, and plant materials positioned and ready to plant.
 - **Inspection #3** - Landscaping installed, irrigation system fully operational, and request for “Start of 1 year Maintenance Period” submitted, with all required turn-over submittal items provided to Public-Works Engineering Administration/Special Districts.
 - **Turn-Over Inspection**– On or about the one-year anniversary of Inspection #3, Developer shall call for an inspection to allow the City to review and identify any potential irrigation system defects, dead plants, weed, debris or graffiti; stressed, diseased, or dead trees; mulch condition, hardscape or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At his sole expense, the Developer shall be responsible for rectifying system and installation deficiencies, and the one-year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City’s Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication

system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the Inspector shall recommend to the City's Special District Coordinator to accept turn-over of water and electrical accounts, wi-fi communication contracts and the entire landscape installation.

5. **One Year Maintenance and Plant Establishment Period**-The applicant will be required to provide a minimum of a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one-year maintenance period commences upon the successful completion of Inspection #3 discussed above, and final approval by the City. During this one-year period the applicant shall be required to maintain all landscape areas free of weeds, debris, trash, and graffiti; and keep all plants, trees, and shrubs in a viable growth condition. Prior to the start of the one-year maintenance period, the Developer shall submit a weekly Landscape Maintenance Schedule for the review and approval by the City's Special Districts Division. City shall perform periodic site inspections during the one-year maintenance period. The purpose of these periodic inspections is to identify any and all items needing correction prior to acceptance by the City at the conclusion of the one-year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials, weeding, replenishment of mulches, repair of damaged or non-functioning irrigation components, test of irrigation controller communications, etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turn-over to City maintenance staff.
6. **Street/Off-Site Improvements.** The applicant shall submit street improvement plans, accompanied by the appropriate filing fee to the City Engineering Department. Details of treatments off-site improvements, including lighting shall meet both the City Engineer's Design Guidelines, and the additional requirements of the Engineering and Special Districts Division. Components shall include, but not be limited to:
 - a. **Street Lighting**-If Street lighting is required, lighting shall meet the type, style, color and durability requirements, necessary for energy efficiency goals, maintenance and longevity of improvements of the City Engineer's Office. As determined by the City, new streetlights may be required to be deeded to City of Perris, and not SCE. Street lights deeded to City of Perris shall be constructed per LS-3 account billing standard, which shall include an individually metered pedestal for streetlights.
 - b. **Acceptance By Public Works/Special Districts**- Lighting District facilities required by the City Engineer's Office shall be installed and fully operational and approved by final inspection by the City Engineer's Office, and the City's Consulting Traffic Signal Inspection Team (Riverside County TLMA) at (951) 955-6815. Prior to acceptance for maintenance of "Off-site" traffic signal and lighting facilities by the Public Works-Engineering and Administration Division/Special Districts, the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items. Prior to acceptance into Lighting District 84-1, coordinate turn-over information pertaining to Street Lights, and Traffic Signal Electrical/SCE Service Meters with Wildan Financial Services, the City's Special Districts Consulting Firm at (951) 587-3564. (i.e. Provide electrical meter number, photo of pedestal, and coordinate "request for transfer of billing information" with SCE and City for all new service meters). Developer shall pay 18-month energy charges to the City of Perris for all off-site street lighting. Call Wildan Financial Services, Inc. for amount due, and to obtain receipt for payment. Obtain and provide a clearance form from Riverside County TLMA indicating completion of all punch list items from traffic signal construction. Submit one large format photo-copy of Traffic Signal as-built plans and timing sheets.
7. **Water Quality Management Plans.** The applicant shall submit a Preliminary and Final WQMP, accompanied by the appropriate filing fee to the Planning Department and City Engineering Department, respectively. Details

for treatment control facilities shall meet both the Riverside County WQMP Design Guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce long term maintenance costs and longevity of improvements. Components shall include, but not be limited to:

- **Storm Drain Screens**-If off-site catch basins are required by the City Engineer's Office, connector pipe screens shall be included in new catch basins to reduce sediment and trash loading within storm pipe. Connector pipe screens shall meet the type, style, and durability requirements of the Public Works Engineering Administration and Special Districts Division.
- **WQMP Inspections**- The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both "ON-SITE" and OFF-SITE" WQMP Inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.
- **Acceptance By Public Works/Special Districts**-Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the Final WQMP, shall be installed and fully operational, and approved by final inspection by the City's WQMP Consultant, CGRM. The Developer shall obtain a final Clearance Letter from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The developer shall deliver the same to the Public Works-Engineering and Administration Division/Special Districts. In addition, prior to acceptance by the City, the developer shall submit a Covenant and Agreement describing on-going maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works Engineering Administration and Special Districts Division. The Public Works Engineering Administration and Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.

8. **Flood Control District #1 Maintenance Acceptance.** Flood Control District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office. Prior to acceptance for maintenance of "Off-site" flood control facilities by the Public Works-Engineering and Administration Division/Special Districts the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items including as-built storm drain plans in electronic PDF format, one large format photo-copy of as-built plans, storm drain video report in electronic format, and hardcopy of video report with industry standard notations and still photos made during video runs (i.e. facilities sizes, off-sets or damage, facility type, dirt and debris, etc.). The flood control facilities shall be turned over in a condition acceptable to the City, and the developer shall make all necessary repairs and perform initial maintenance to the satisfaction of the City.
9. **Assessment Districts.** Prior to permit issuance, developer shall deposit \$5,250 per district, \$15,750 total due. Payment is to be made to the City of Perris, and the check delivered to the City Engineer's Office. Payment shall be accompanied by the appropriate document for each district indicating intent and understanding of annexation, to be notarized by property owner(s):
 - **Consent and Waiver for Maintenance District No. 84-1** – New decorative street lighting proposed by the project, as determined by the City Engineer
 - **Consent and Waiver for Landscape Maintenance District No. 1** – New off-site parkway landscape and decorative intersection proposed by the project on G Street.

- **Petition for Flood Control Maintenance District No. 1** -For Off-site Flood Control Facilities proposed by the project, as determined by the City Engineer.

- Original notarized document(s) to be sent to:
Daniel Louie
Wildan Financial Services
27368 Via Industria, #200
Temecula, CA 92590

- a. Prior to final map recordation or final certificate of occupancy the developer shall annex into the aforementioned districts, posting an adequate maintenance performance bond to be retained by the City as required by the City Engineer. Upon receipt of deposit and Consent and Waiver Forms, the developer shall work with City to meet all required milestones for annexations.

- i. City prepares the Engineer's Reports which includes a description of the improvements to be maintained, an annual cost estimate and annual assessment amounts.

- ii. Reports are reviewed and approved by the property owner. The assessment ballots will be based on these Reports.

- iii. The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no sooner than 45 days. Property owner attendance at this City Council Meeting is not required.

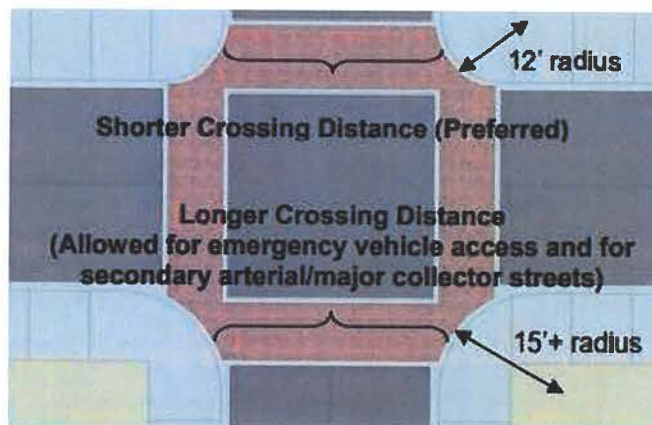
- iv. The assessment ballots are sent to the property owner and are opened by the City Clerk at the close of the Public Hearing. With a "YES" vote by the property owner the City Council can move forward with the Resolution that Confirms the Annexation. Property owner attendance at this Public Hearing is not required.

- v. Confirmation by the City Council completes the annexation process and the condition of approval has been met.



D. INTERSECTION AND CROSSWALK STANDARDS

1. To reduce the length of pedestrian crosswalks and the speed of turning vehicles at intersections, the curb radius at street intersections should not exceed 12 feet unless necessary for emergency vehicle access or to accommodate turning movements along secondary arterial streets and major collector streets, which may require turning radii of 15 feet or greater.
2. Crosswalks are required at all street intersections along D Street and within 1,320 feet (one quarter mile) of the train station. Mid-block crosswalks may be provided to allow greater connectivity for pedestrians. Intersection and mid-block crosswalks in other locations are encouraged to provide safe crossing areas for pedestrians. Crosswalks should be constructed of decorative pavement to clearly mark the pedestrian crossing zone and to help slow the speed of vehicles entering an intersection.
3. Bulbouts (extensions of the sidewalk into the parking aisle) are encouraged along D Street and at intersections with heavy pedestrian traffic. Bulbouts shall be constructed with paving materials that are consistent with the adjacent sidewalk.



Turning radius at intersections





Dennis Grubb and Associates, LLC

Assisting Cities Build Safe Communities

Fire Department Development Review Comments

November 17, 2021

City of Perris
Attn: Alfredo Garcia
135 N. D Street
Perris, CA 92570-2200

Subject: Development Plan Review for DPR 21-00018

As requested, a review of the subject property was completed. The following fire conditions shall apply:

1. Provide a fire flow report that has been completed within the last 6 months. The test flow shall be completed from the closest fire hydrant to the property. A minimum of 1,500 GPM @ 20 psi for 2-hours is required. CFC § 507.3
2. Provide a stand-alone fire department access plan. The fire department access plan shall show compliance with CFC § 503 and City of Perris Access Guideline and all applicable subsections. The guideline can be obtained <https://www.cityofperris.org/home/showpublisheddocument/2405/637216987049700000> . At a minimum the access plan shall address the following items:
 - Location of the access road. CFC § 503.1.1
 - Width of the access road. CFC § 503.2.1
 - Vertical clearance. CFC § 503.2.1
 - Inside and outside turning radii. CFC § 503.2.4
 - Road weight capacity. CFC § 503.2.3
 - Identify the type of roadway surface (concrete, asphalt, pavers, etc.). CFC § 503.2.3
 - Road grade (distinguish changes in 2.5% increments), CFC 503.2.7
 - Turn-arounds for dead-end access greater than 150' per CFC § 503.2.5 &
 - Location and details of "Fire Lane - No parking sign" and/or red curb marking CFC § 503.3
 - Location of all fire hydrants within 500 feet to the new structures. CFC § 507.5
 - Identify all gates/fences that obstruct the fire department path. CFC § 503.6

Respectfully,

Dennis J. Grubb CFPE



CITY OF PERRIS

COMMUNITY SERVICES

MEMO

Date: March 8, 2023

To: Alfredo Garcia, Project Planner

From: Sabrina Chavez, Director of Community Services

Cc: Arcenio Ramirez, Assistant Director of Community Services
Arturo Garcia, Parks Manager
Joshua Estrada, Parks Coordinator

Subject: Development Plan Review 21-00018 – Proposed 37-unit residential development on vacant land and associated improvements. The site is comprised of 2 existing vacant parcels totaling 1.82 +/- acres. The downtown Specific Plan designated the project site as Urban Village – Comments

Community Services Staff reviewed DPR 21-00018 and offer the following comment(s):

Development Impact Fees

- The Project is subject to payment of Industrial Park Development Impact Fees.
- The Project is subject to payment of Residential Park Development Impact Fees.
- This Project is subject to payment of Public Art Development Impact Fees.

Special Districts

- The project shall annex into the Community Facilities District No. 2018-02 (Public Services)

SRC COMMENTS
***** BUILDING & SAFETY *****

Planning Case File No(s): DEVELOPMENT PLAN REVIEW #21-00018

Case Planner: Alfredo Garcia (951) 943-5003,

Applicant: Winston Liu

Location: Along G Street at the terminus of E 2nd street

Project: Proposed 37- unit residential development

APN(s): 310-070-001 and 002

Reviewed By: David J. Martinez, CBO

Date: 11-16-2021

BUILDING AND SAFETY CONDITIONS

1. Shall comply with the latest adopted State of California 2019 editions of the following codes as applicable:
 - A. 2019 California Building Code
 - B. 2019 Residential Code
 - C. 2019 California Electrical Code
 - D. 2019 California Mechanical Code
 - E. 2019 California Plumbing Code
 - F. 2019 California Energy Code.
 - G. 2019 California Fire Code
 - H. 2019 California Green Building Standards Code.
2. You will be required to provide proper fire access to the entire site.
3. The proposed lots will have to comply with the new EV charging station regulations.
4. You will have to comply with the Title 24 and ADA Access regulations for the complex facilities and the site.
5. You will have to comply with the Solar regulations for the residential units
6. No building will be allowed to be built over any parcel lines. The Parcel Map must be recorded prior to the issuance of any building permits

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

1. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off

FIRE CONDITIONS: To Be provided by Dennis Grubb

EXHIBIT B

Location / Aerial Map



EXHIBIT C

Downtown Specific Plan Land Use Map

EXHIBIT D
Project Plans



H&M ARCHITECTS
1740 G STREET, SUITE 200
PERRIS, CALIFORNIA 92370
TEL: (951) 951-1100
WWW.HMARCHITECTS.COM

PROJECT: A37-UNIT RESIDENTIAL (CONDO)
DEVELOPMENT (DPR # 21-00018)
175 S 225 SOUTH G STREET,
PERRIS, CA 92370
CLIENT: GRACE SU
12400 REALTY GROUP, INC.
CHINO, CA 91710

PROPOSED SITE PLAN & REFERENCE NOTES

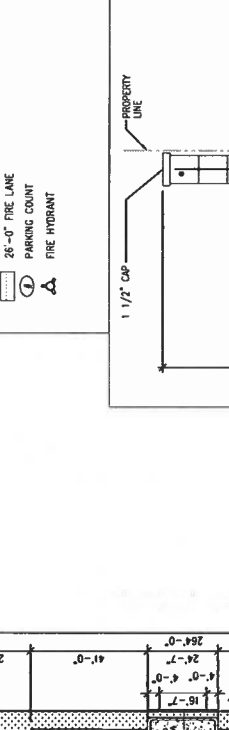
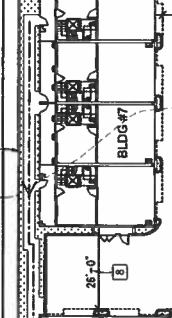
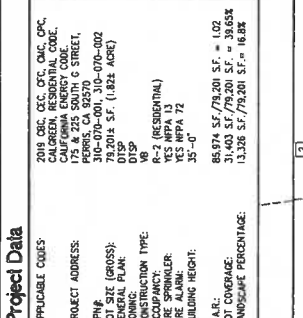
DATE: 01/11/18
DESIGNER: H&M ARCHITECTS
CHECKED BY: [Signature]
DRAWN BY: [Signature]

A1.01

S H E E T
OF
S H E E T S

- ### Reference Notes
- 1 (E) PROPERTY LINES
 - 2 (N) FENCE WALL, SEE [Symbol]
 - 3 TRASH ENCLOSURE W/ ROOF, SEE [Symbol]
 - 4 HANDICAP PARKING
 - 5 EV PARKING
 - 6 TRANSFORMER PAD
 - 7 DECORATION PARKING
 - 8 26'-0" WIDE FIRE LANE, SEE ALSO FIRE ACCESS PLAN [Symbol]
 - 9 (N) 4'-0" WIDE CONC. PAVED PATH OF TRAVEL FROM PUBLIC SIDEWALK TO PROPOSED BUILDING ENTRY AND ROOF ENCLOSURE, MAX. 3% SLOPE AND 2% CROSS SLOPE. SEE ALSO FINISHED GRADES AT ANY DRIVEWAY CROSSING, SEE CIVIL PLAN.
 - 10 EXISTING WALL
 - 11 MONUMENT SIGN, SEE [Symbol]
 - 12 (E) FIRE HYDRANT, SEE CIVIL PLAN
 - 13 ASPHALT PAVING, TP.
 - 14 (P) FIRE HYDRANT LOCATION

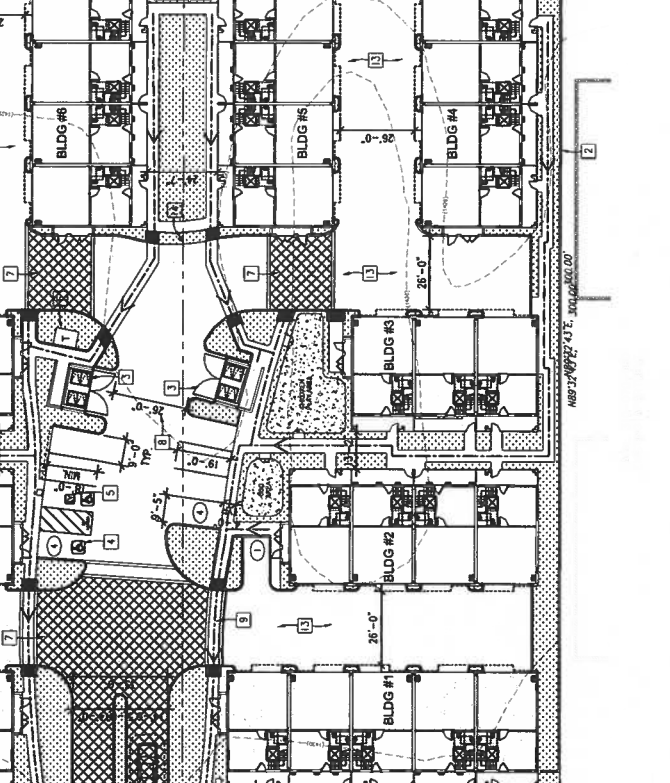
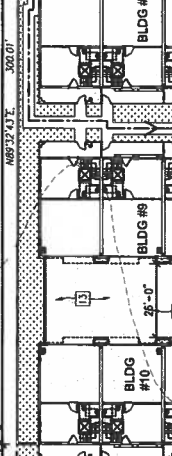
- ### Legend
- [Symbol] PAIR OF TRAVEL
 - [Symbol] LANDSCAPE AREA
 - [Symbol] 26'-0" FIRE LANE
 - [Symbol] PARKING COUNT
 - [Symbol] FIRE HYDRANT



Project Data

APPLICABLE CODES: ALL REG. SEC. 07E, CMC, CPC, CALIFORNIA BUILDING CODE, CALIFORNIA ENERGY CODE, 175 S. 225 SOUTH G STREET, 310-070-001, 310-070-002, 310-070-003, 310-070-004, 310-070-005, 310-070-006, 310-070-007, 310-070-008, 310-070-009, 310-070-010, 310-070-011, 310-070-012, 310-070-013, 310-070-014, 310-070-015, 310-070-016, 310-070-017, 310-070-018, 310-070-019, 310-070-020, 310-070-021, 310-070-022, 310-070-023, 310-070-024, 310-070-025, 310-070-026, 310-070-027, 310-070-028, 310-070-029, 310-070-030, 310-070-031, 310-070-032, 310-070-033, 310-070-034, 310-070-035, 310-070-036, 310-070-037, 310-070-038, 310-070-039, 310-070-040, 310-070-041, 310-070-042, 310-070-043, 310-070-044, 310-070-045, 310-070-046, 310-070-047, 310-070-048, 310-070-049, 310-070-050, 310-070-051, 310-070-052, 310-070-053, 310-070-054, 310-070-055, 310-070-056, 310-070-057, 310-070-058, 310-070-059, 310-070-060, 310-070-061, 310-070-062, 310-070-063, 310-070-064, 310-070-065, 310-070-066, 310-070-067, 310-070-068, 310-070-069, 310-070-070, 310-070-071, 310-070-072, 310-070-073, 310-070-074, 310-070-075, 310-070-076, 310-070-077, 310-070-078, 310-070-079, 310-070-080, 310-070-081, 310-070-082, 310-070-083, 310-070-084, 310-070-085, 310-070-086, 310-070-087, 310-070-088, 310-070-089, 310-070-090, 310-070-091, 310-070-092, 310-070-093, 310-070-094, 310-070-095, 310-070-096, 310-070-097, 310-070-098, 310-070-099, 310-070-100.

APN: 310-081-008
EXISTING SINGLE FAMILY RESIDENCE

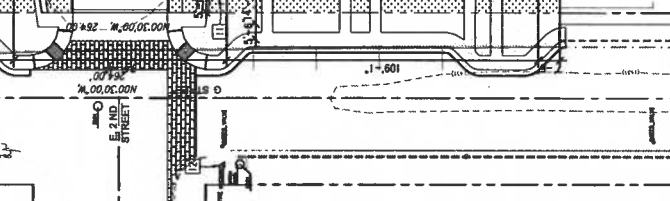
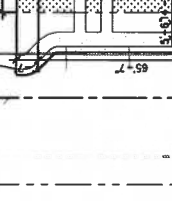


Parking

REQUIRED PARKING PROVIDED:
2-CAR PER UNIT (37 UNITS) = 74 SPACES
3-BEDROOM (17 UNITS) = 51 SPACES
2-CAR GARAGE = 34 SPACES
2-CAR GARAGE = 34 SPACES

2-CAR PER UNIT (37 UNITS) = 74 SPACES
3-BEDROOM (17 UNITS) = 51 SPACES
2-CAR GARAGE = 34 SPACES
2-CAR GARAGE = 34 SPACES

EV PARKING:
= 8 SPACES
EV CHARGER IS PROVIDED IN EACH UNIT.
EV PARKING IS EXCLUDED FROM PARKING COUNT.



2 Proposed Site Plan

SCALE: 1" = 2'-0"



PROJECT: A 27-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)
ADDRESS: 175 & 225 SOUTH G STREET, PERRIS, CA 92570
CLIENT: GRACE SU MEDICAL REALTY GROUP, INC. CHINO, CA 91710

TRASH ENCLOSURE & DETAILS

SHEET TITLE: EST. MAP. SEAL/STAMP: [Professional Engineer Seal]

JOB NO.: DRAWN BY: CHECKED BY: DATE: 11/11/11

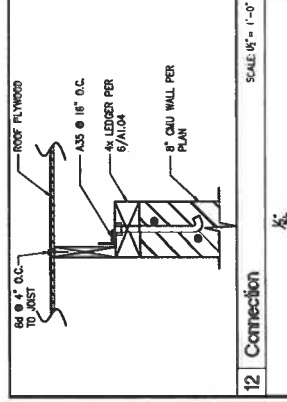
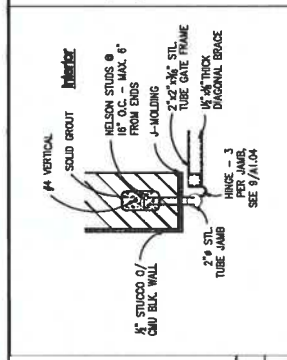
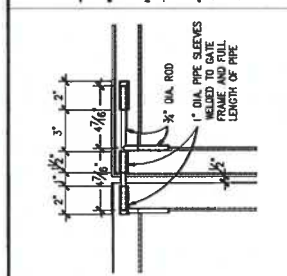
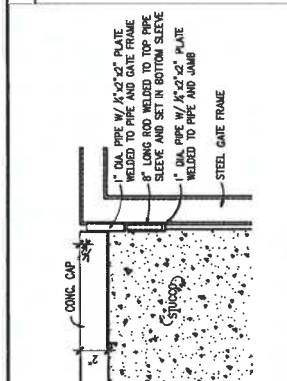
REVISIONS:

NO.	DATE	DESCRIPTION
1	11/11/11	ISSUE FOR PERMITS
2	11/11/11	ISSUE FOR PERMITS
3	11/11/11	ISSUE FOR PERMITS
4	11/11/11	ISSUE FOR PERMITS
5	11/11/11	ISSUE FOR PERMITS
6	11/11/11	ISSUE FOR PERMITS
7	11/11/11	ISSUE FOR PERMITS
8	11/11/11	ISSUE FOR PERMITS
9	11/11/11	ISSUE FOR PERMITS
10	11/11/11	ISSUE FOR PERMITS
11	11/11/11	ISSUE FOR PERMITS
12	11/11/11	ISSUE FOR PERMITS

A1.11 OF SHEETS

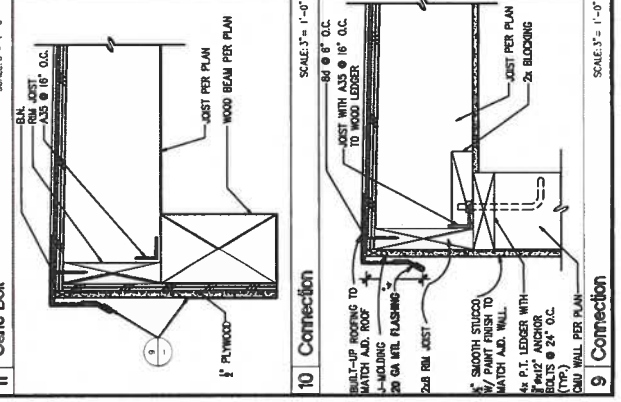
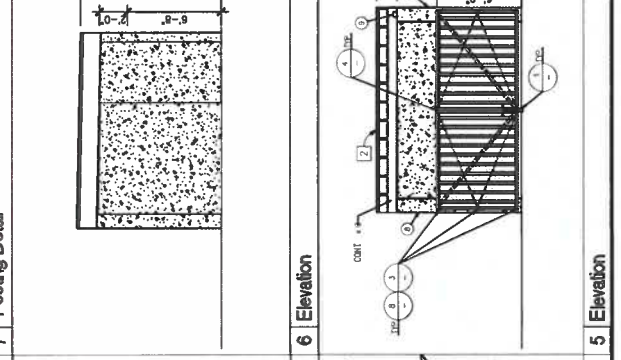
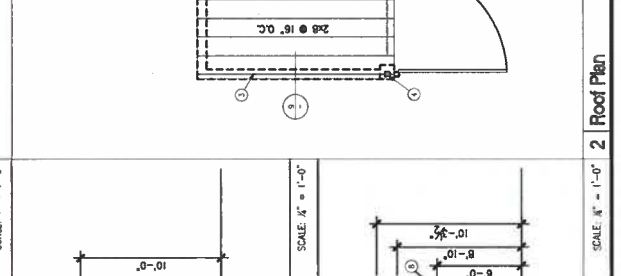
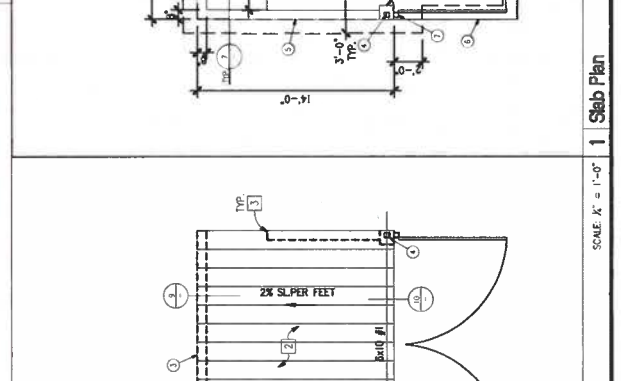
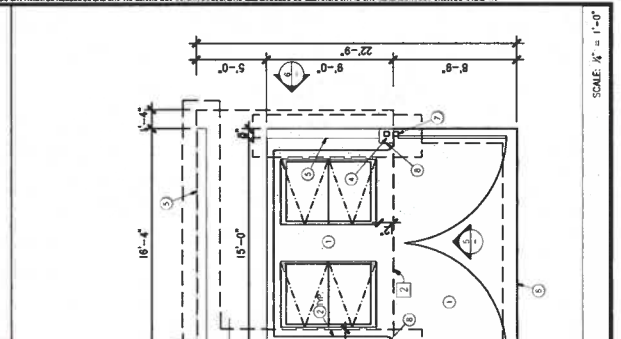
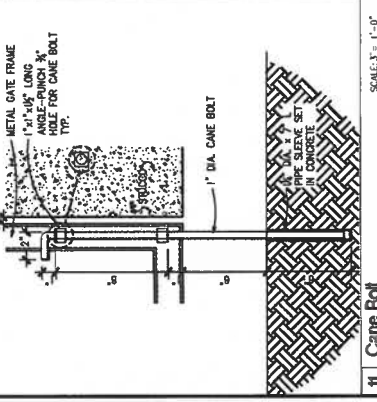
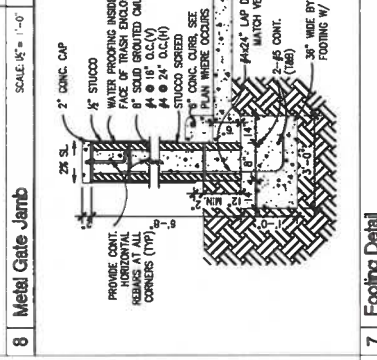
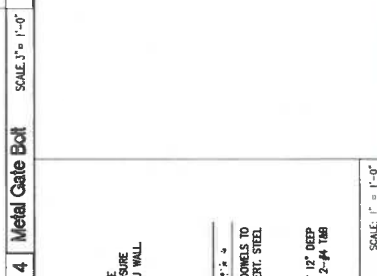
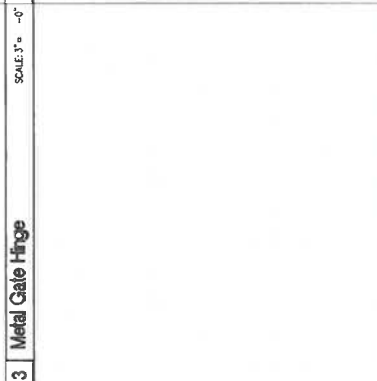
Reference Notes

- 1 ROOF ABOVE
- 2 1/2" COX FLYWOOD W/ 80 COMMON NAILS, 6" O.C. EDGES, 12" O.C. A FIELD W/ CLASS A ROOFING
- 3 DASH LINE INDICATES CHU WALL BE ON



Key Notes

- 1 6" CONCRETE FLUSH SLAB WITH #4 @ 16" O.C. EACH WAY AT CENTER OVER
- 2 SAND OVER JOBS TO MAX. COMPACTED SUBGRADE
- 3 4" HIGH CONCRETE CURB
- 4 2" AIR OVER WALL
- 5 1" PBRG BASE FOR BEAM SEAT ON WALL
- 6 8" SOLID GROUDED CHU WALL SEE
- 7 12" WIDE x 24" DEEP FOOTING WITH 2-#6 TOP AND BOTTOM
- 8 GATE JAMB CONNECTION SEE
- 9 1/2" x 2" CHU PLASTER, PROVIDE 4-#4 (N) AND
- 10 WOOD BEAM WITH PBRG BASE ON CHU WALL/STAY



12 Connection SCALE: 1/4" = 1'-0"

11 Cane Bolt SCALE: 3/8" = 1'-0"

10 Connection SCALE: 3/8" = 1'-0"

8 Metal Gate Jamb SCALE: 1/2" = 1'-0"

7 Footing Detail SCALE: 1" = 1'-0"

6 Elevation SCALE: 1/4" = 1'-0"

5 Elevation SCALE: 1/4" = 1'-0"

4 Metal Gate Bolt SCALE: 3/8" = 1'-0"

3 Metal Gate Hinge SCALE: 3/8" = 1'-0"



WILMINGTON CONSULTANTS INC.
ARCHITECTURE, ONE ENVIRONMENT & DESIGN
1200 CENTRAL AVE., SUITE 100, SAN JOSE, CA 95128
PHONE: (408) 950-7110 FAX: (408) 944-1110

CLIENT: GRACE SU
MELGRO REALTY GROUP, INC.
1200 CENTRAL AVE., SUITE 100
SAN JOSE, CA 95128
PROJECT: A 27-UNIT RESIDENTIAL (CONDO)
DEVELOPMENT
(DPR 21-00019)
ADDRESS: 175 S 225 SOUTH G ST, REDDING, CA 96001

PROPOSED FLOOR PLAN BUILDING #1

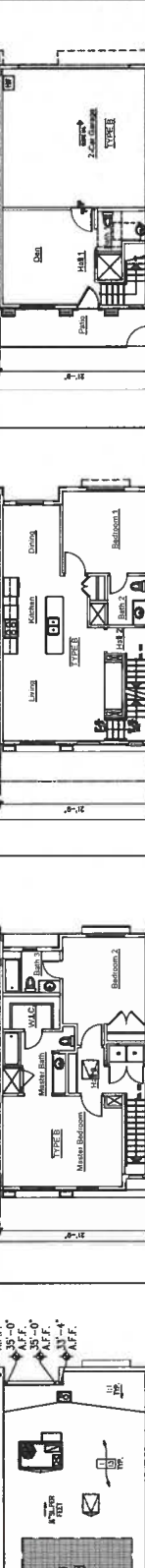
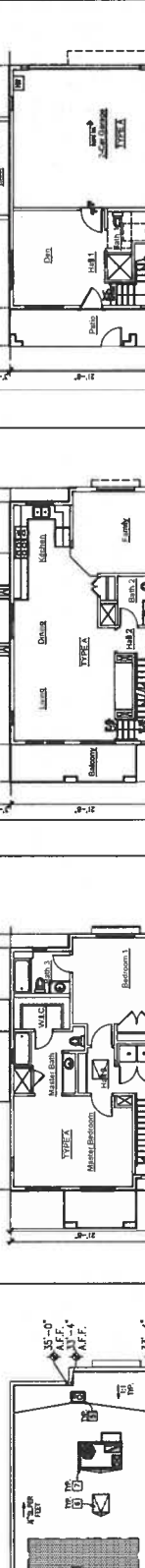
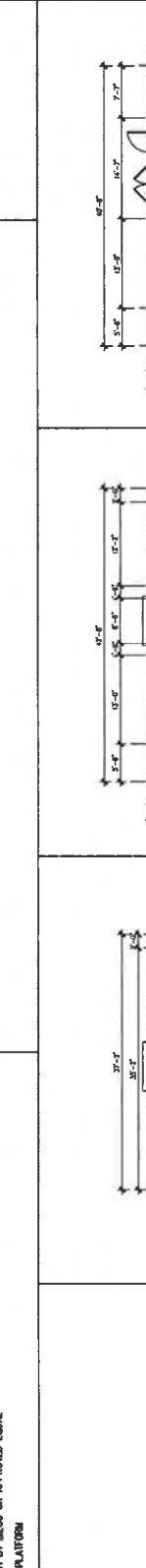


JOB NO. 21040R
DRAWN BY: AZ/2
CHECKED BY: TL
DATE: 11/04/2020
SCALE: 1/8"=1'-0"

NO.	DATE	REVISIONS
1	11/04/2020	ISSUE FOR PERMITS
2	11/04/2020	REVISED PER COMMENTS
3	11/04/2020	REVISED PER COMMENTS
4	11/04/2020	REVISED PER COMMENTS
5	11/04/2020	REVISED PER COMMENTS
6	11/04/2020	REVISED PER COMMENTS
7	11/04/2020	REVISED PER COMMENTS
8	11/04/2020	REVISED PER COMMENTS
9	11/04/2020	REVISED PER COMMENTS
10	11/04/2020	REVISED PER COMMENTS
11	11/04/2020	REVISED PER COMMENTS
12	11/04/2020	REVISED PER COMMENTS
13	11/04/2020	REVISED PER COMMENTS
14	11/04/2020	REVISED PER COMMENTS
15	11/04/2020	REVISED PER COMMENTS
16	11/04/2020	REVISED PER COMMENTS
17	11/04/2020	REVISED PER COMMENTS
18	11/04/2020	REVISED PER COMMENTS
19	11/04/2020	REVISED PER COMMENTS
20	11/04/2020	REVISED PER COMMENTS
21	11/04/2020	REVISED PER COMMENTS
22	11/04/2020	REVISED PER COMMENTS
23	11/04/2020	REVISED PER COMMENTS
24	11/04/2020	REVISED PER COMMENTS
25	11/04/2020	REVISED PER COMMENTS
26	11/04/2020	REVISED PER COMMENTS
27	11/04/2020	REVISED PER COMMENTS
28	11/04/2020	REVISED PER COMMENTS
29	11/04/2020	REVISED PER COMMENTS
30	11/04/2020	REVISED PER COMMENTS
31	11/04/2020	REVISED PER COMMENTS
32	11/04/2020	REVISED PER COMMENTS
33	11/04/2020	REVISED PER COMMENTS
34	11/04/2020	REVISED PER COMMENTS
35	11/04/2020	REVISED PER COMMENTS
36	11/04/2020	REVISED PER COMMENTS
37	11/04/2020	REVISED PER COMMENTS
38	11/04/2020	REVISED PER COMMENTS
39	11/04/2020	REVISED PER COMMENTS
40	11/04/2020	REVISED PER COMMENTS
41	11/04/2020	REVISED PER COMMENTS
42	11/04/2020	REVISED PER COMMENTS
43	11/04/2020	REVISED PER COMMENTS
44	11/04/2020	REVISED PER COMMENTS
45	11/04/2020	REVISED PER COMMENTS
46	11/04/2020	REVISED PER COMMENTS
47	11/04/2020	REVISED PER COMMENTS
48	11/04/2020	REVISED PER COMMENTS
49	11/04/2020	REVISED PER COMMENTS
50	11/04/2020	REVISED PER COMMENTS

ALSO SEE SHEETS A2.01 THROUGH A2.05 FOR GENERAL NOTES AND SPECIFICATIONS. THESE DRAWINGS ARE NOT VALID FOR CONSTRUCTION UNLESS OTHERWISE NOTED. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.

- ### General Notes
- ALL WALL DIMENSIONS ARE FROM F.A.S. UNLESS NOTED OTHERWISE.
 - ALL WINDOW AND DOOR DIMENSIONS ARE FROM CENTER LINE OF THE WINDOW OR DOOR, U.O.M.
 - PROVIDE R-13 INSULATION @ ALL PLUMBING WALLS



- ### Reference Notes
- CLASS 'A' ULTRAVIOLET (POLYURETHANE) SINGLE-PLY ROOFING MEMBRANES BY FIRESTONE BUILDING PRODUCTS OR APPROVED EQUAL, (E81-251) COND. BROD. & COND. EQUAL, (E81-251) INITIAL SOLAR REFLECTANCE: 0.79 3 YEAR SOLAR REFLECTANCE: 0.68 10 YEAR SOLAR REFLECTANCE: 0.55 3 YEAR INTERNAL EMITTANCE: 0.83 INITIAL SRI: 58 50
 - NOT USE
 - ROOF DRAIN AND OVERFLOW OUTLET
 - 30"x30" SQ. ROOF HATCH BY BALCO OR APPROVED EQUAL
 - A/C UNIT & EQUIPMENT PLATFORMS

1/4" FLOOR PLAN SCALE: 1/8"=1'-0"

2/2" FLOOR PLAN SCALE: 1/8"=1'-0"

3/3" FLOOR PLAN SCALE: 1/8"=1'-0"

4/ROOF PLAN SCALE: 1/8"=1'-0"

SHEETS OF A2.01

Reference Notes

- 1 CLASS 'A' ULTRAVIOLET (INHERENT POLYOLEFIN) SINGLE-PLY ROOFING MEMBRANES BY FIRESTONE BUILDING PRODUCTS OR APPROVED EQUAL, ESP-351
- 2 INITIAL SOLAR REFLECTANCE: 0.79
- 3 3 YEAR SOLAR REFLECTANCE: 0.68
- 4 10 YEAR SOLAR REFLECTANCE: 0.58
- 5 1 YEAR INITIAL EMITTANCE: 0.15
- 6 1 YEAR SRI: 98
- 7 3 YEAR SRI: 83
- 8 NOT USE
- 9 ROOF DRAIN AND OVERFLOW OUTLET
- 10 30"x30" SQ. ROOF HATCH BY BICO OR APPROVED EQUAL
- 11 A/C UNIT & EQUIPMENT PLATFORM

- 12 PROPOSED SOLAR ZONE (MIN. L5X) TOTAL ROOF AREA = 2,295 S.F.
- 13 REQUIRED SOLAR ZONE (MIN. L5X) TOTAL ROOF AREA = 2,347 S.F.
- 14 PROVIDED AREA = 2,384 S.F.
- 15 PARQUET FINISHING, SEE STR. PLAN.

General Notes

- 1. ALL WALL DIMENSIONS ARE FROM F.O.S. UNLESS NOTED OTHERWISE.
- 2. ALL WINDOW AND DOOR DIMENSIONS ARE FROM CENTER LINE OF THE WINDOW OR DOOR U.O.A.
- 3. PROVIDE R-13 INSULATION @ ALL PLUMBING WALLS




WLAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR DESIGN
333 S. FORTMILL BLVD., SUITE 1, ANAHEIM, CA 92805
PHONE: (714) 952-7110 FAX: (714) 954-1137

PROJECT: A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)
ADDRESS: 175 S 225 SOUTH G STREET, PERRIS, CA 92570
CLIENT: GRACE SU
MENDOZA REALTY GROUP, INC.
12409 CENTRAL AVE., #510
CHINO, CA 91710

SHEET TITLE: PROPOSED FLOOR PLAN (BUILDING #3, #9 REVERSED) BUILDING #8, #10
SCALE: 1/8"=1'-0"

SEAL/STAMP

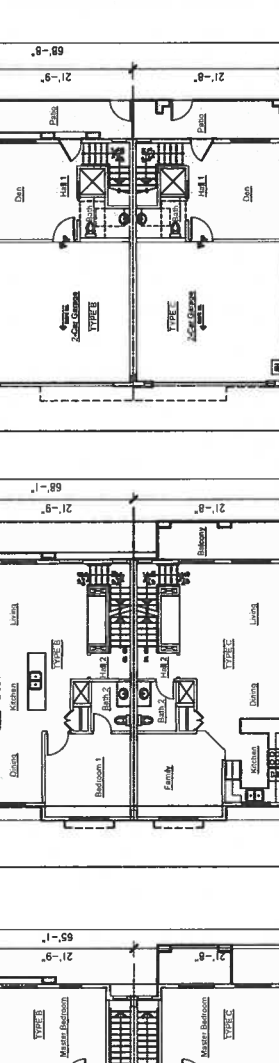
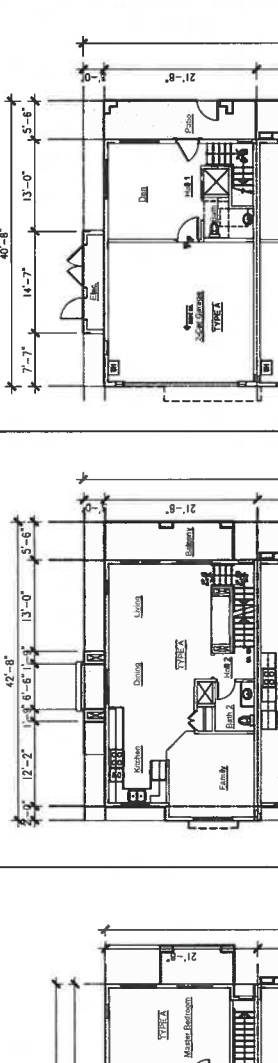
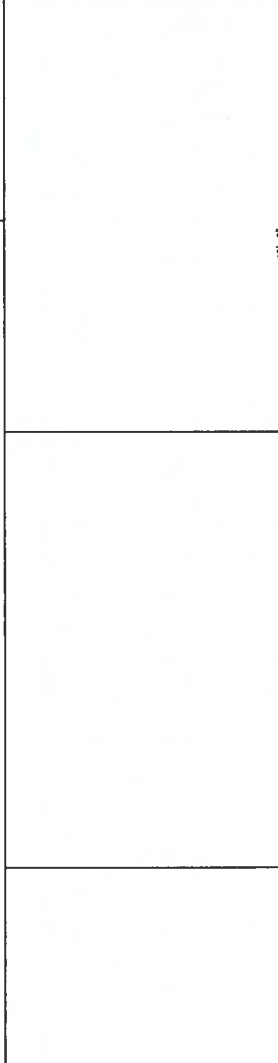
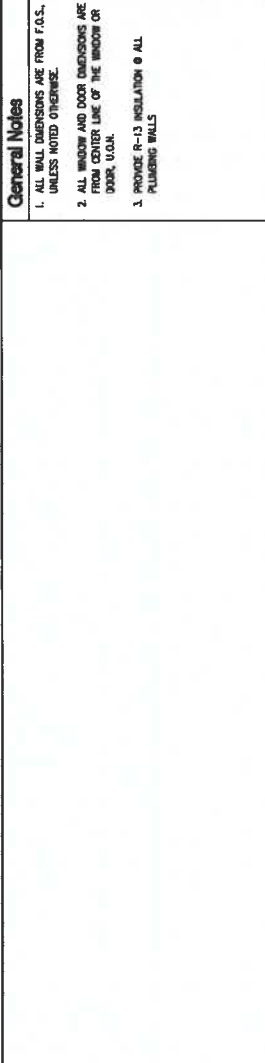


DATE: 11/27/2018
DRAWN BY: TL
CHECKED BY: TL
PLANNING DEPARTMENT
175 S 225 SOUTH G STREET
PERRIS, CA 92570

REVISIONS

NO.	DATE	DESCRIPTION
1	11/27/2018	ISSUED FOR PERMITS
2	12/11/2018	REVISIONS

A2.02
SHEETS OF SHEETS
SHEET NO.

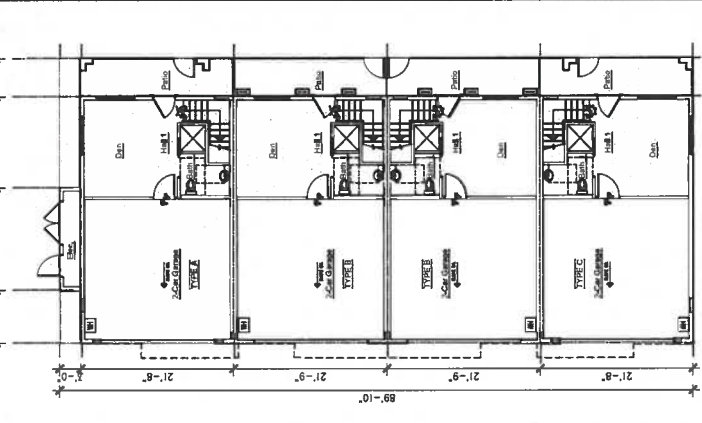
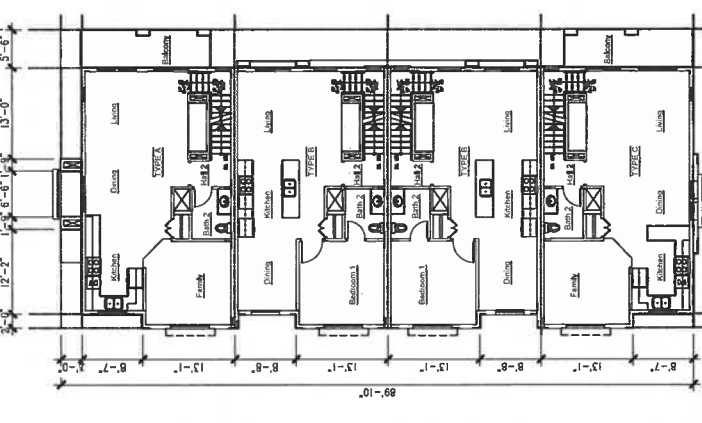
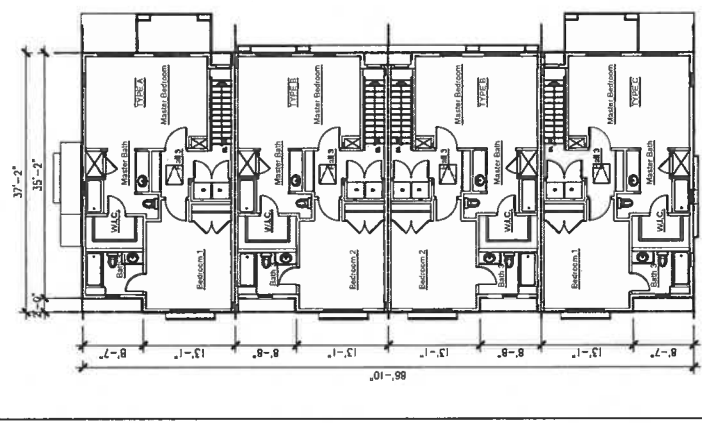
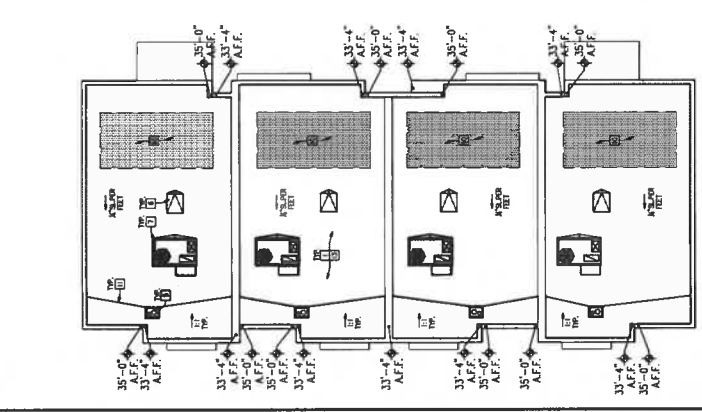



Reference Notes

- 1 CLASS 'A' UL BARELY TPO (THERMOPLASTIC POLYOLEFIN) SINGLE-PLY ROOFING MEMBRANE BY FREESTONE BUILDING CORP (TPO & CORRO-ADHESION, ES-360)
- 2 INITIAL SOLAR REFLECTANCE: 0.79
- 3 3 YEAR SOLAR REFLECTANCE: 0.68
- 4 5 YEAR SOLAR REFLECTANCE: 0.55
- 5 3 YEAR INTERNAL EXHAUSTANCE: 0.83
- 6 5 YEAR SRC: 98
- 7 3 YEAR SRC: 83
- 8 NOT USE
- 9 ROOF DRAIN AND OVERFLOW OUTLET
- 10 30"x30" SQ. ROOF HATCH BY BILCO OR APPROVED EQUAL
- 11 A/C UNIT & EQUIPMENT PLATFORM
- 12 PROPOSED SOLAR ZONE (MIN. L50)
- 13 TOTAL ROOF AREA = 1,154 S.F.
- 14 REQUIRED ROOF AREA (MIN. L50)
- 15 EXCESS ROOF AREA = 1,154 S.F. - 1,154 S.F. = 0 S.F.
- 16 PARAPET BRACING, SEE STRL. PLAN.

General Notes

- 1. ALL WALL DIMENSIONS ARE FROM F.O.S., UNLESS NOTED OTHERWISE.
- 2. ALL WINDOW AND DOOR DIMENSIONS ARE FROM CENTER LINE OF THE WINDOW OR DOOR, U.O.M.
- 3. PROVIDE R-13 INSULATION @ ALL PLUMBING WALLS.





WILSON JONES CONSULTANTS INC.
ARCHITECTURAL, CIVIL, ENGINEERING & INTERIOR DESIGN
1000 BROADWAY, SUITE 1, NEW YORK, NY 10018
PHONE: (212) 692-7110 FAX: (212) 692-1117

PROJECT: A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)
ADDRESS: 175 & 225 SOUTH G STREET, PERRIS, CA 92570
CLIENT: GRACE SU, MEGUIO REALTY GROUP, INC., CHINO, CA 91715

PROPOSED FLOOR PLAN
(BUILDING #4, #6 REVERSED)
(BUILDING #2, #5, #7)

SHEET NO. 1
KEY MAP
SCALE: 1/8"=1'-0"

REVISIONS

NO.	DATE	BY	REVISION
1	09/20/08	TL	ISSUE FOR PERMITS
2	11/02/08	TL	ISSUE FOR PERMITS
3	11/02/08	TL	ISSUE FOR PERMITS
4	11/02/08	TL	ISSUE FOR PERMITS

A2.03

S H E E T
OF
S H E E T S

SCALE: 1/8"=1'-0" 1 | 1/F Floor Plan SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0" 2 | 2/F Floor Plan SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0" 3 | 3/F Floor Plan SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0" 4 | Roof Plan SCALE: 1/8"=1'-0"

Colors & Materials

- 1 ARTISAN SHIP LAP SIDING BY JAMES HARDIE W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET827 FEWTER PATTER
- 2 STONE BY CORONADO STONE
STYLE: ROMAN BRICK, COLOR: SORIANO
- 3 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
COLOR: DUNN EDWARDS, DET1455 COPPER MINING
- 4 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
COLOR: DUNN EDWARDS, DET680 ESPRESSO MACCHATO
- 5 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
COLOR: DUNN EDWARDS, DET1648 WHITE PICKET FENCE
- 6 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
COLOR: DUNN EDWARDS, DET1648 WHITE PICKET FENCE
- 7 NOT IN USE
- 8 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
COLOR: DUNN EDWARDS, DET1648 WHITE PICKET FENCE
- 9 FOAM MOULDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET1648 WHITE PICKET FENCE
- 10 NYLON WINDOW BY MUGGARD - DUAL GLAZING
COLOR: WHITE
- 11 NYLON SLIDING DOOR BY MUGGARD - DUAL GLAZING
COLOR: WHITE
- 12 STAINLESS STEEL CABLE RAILING
- 13 ENTRY DOOR W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET680 ESPRESSO MACCHATO
- 14 GARAGE DOOR
COLOR: DUNN EDWARDS, DET680 ESPRESSO MACCHATO
- 15 DOOR W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET680 ESPRESSO MACCHATO
- 16 EXTERIOR LED WALL LIGHTING
KICHLER, WALDEN 12" LED WALL LIGHT TEXTURED BLACK
- 17 EXTERIOR LED WALL LIGHTING
PASSERINI, CLOUTIER BLACK OUTDOOR LED WALL LIP AND DOWNLIGHT

- 1 ARTISAN SHIP LAP SIDING BY JAMES HARDIE W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET827 FEWTER PATTER
- 2 STONE BY CORONADO STONE
STYLE: ROMAN BRICK, COLOR: SORIANO
- 3 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH
COLOR: DUNN EDWARDS, DET1455 COPPER MINING
- 4 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH
COLOR: DUNN EDWARDS, DET680 ESPRESSO MACCHATO
- 5 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH
COLOR: DUNN EDWARDS, DET6216 BARREL STONE
- 6 EXTERIOR STUCCO W/ PAINTED FINISH
COLOR: DUNN EDWARDS, DET1648 WHITE PICKET FENCE

Color Legend

- 1 ARTISAN SHIP LAP SIDING BY JAMES HARDIE W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET827 FEWTER PATTER
- 2 STONE BY CORONADO STONE
STYLE: ROMAN BRICK, COLOR: SORIANO
- 3 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH
COLOR: DUNN EDWARDS, DET1455 COPPER MINING
- 4 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH
COLOR: DUNN EDWARDS, DET680 ESPRESSO MACCHATO
- 5 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH
COLOR: DUNN EDWARDS, DET6216 BARREL STONE
- 6 EXTERIOR STUCCO W/ PAINTED FINISH
COLOR: DUNN EDWARDS, DET1648 WHITE PICKET FENCE



3 Elevation C



4 Elevation D



1 Elevation A



2 Elevation B



WHEAT LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, ONE WILSONS BLVD., SUITE 200
200 WILSONS BLVD., SUITE 200, UPLAND, CA 91786
(909) 989-7815 FAX: (909) 989-1171

PROJECT: A37-UNIT RESIDENTIAL (CONDO)
DEVELOPER: (CPRS) 21-50018
ADDRESS: 175 & 225 SOUTH G STREET, PERRIS, CA 92570
CLIENT: GRACE SU
MIDCO REALTY GROUP, INC.
12409 CENTRAL AVE., #610
CHINO, CA 91710

BUILDING #1
ELEVATIONS



DATE: 08/17/2021
BY: [Signature]
CHECKED BY: [Signature]
SUPERVISOR BY: [Signature]
SCALE: 1/8"=1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	08/17/2021	ISSUE SET
2	08/17/2021	ISSUE SET

A3.01
OF SHEETS
S H E E T

Colors & Materials

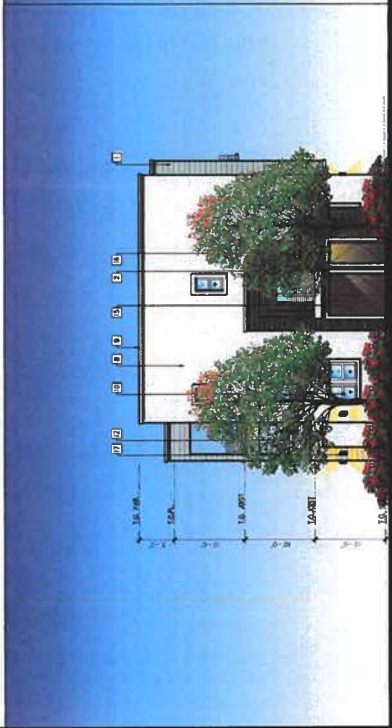
- 1 ARTISAN SHIPLAP SIDING BY JAMES HARDE W/ PAINT FINISH
COLOR: DUINN EDWARDS, DETE27 PEWTER PATTERN
- 2 STONE BY COROMADO STONE
STYLE: ROMAN BROOK, COLOR: SORIANO
- 3 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
COLOR: DUINN EDWARDS, DETE145 COPPER MINING
SANTA BARBARA MISSION FINISH
COLOR: DUINN EDWARDS, DETE145 COPPER MINING
- 4 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
COLOR: DUINN EDWARDS, DETE80 ESPRESSO MACCHIATO
- 5 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
COLOR: DUINN EDWARDS, DETE80 ESPRESSO MACCHIATO
- 6 ENTRY DOOR W/ PAINT FINISH,
SANTA BARBARA MISSION FINISH
COLOR: DUINN EDWARDS, DETE216 BARREL STONE
- 7 NOT IN USE
- 8 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
COLOR: DUINN EDWARDS, DETE145 COPPER MINING
- 9 FOAM MOLDING W/ PAINT FINISH
COLOR: DUINN EDWARDS, DETE145 COPPER MINING
- 10 WYLL WINDOW BY MILGARD - DUAL GLAZING,
COLOR: WHITE
- 11 WYLL SLIDING DOOR BY MILGARD - DUAL GLAZING,
COLOR: WHITE
- 12 STAINLESS STEEL CABLE RAILING
- 13 ENTRY DOOR W/ PAINT FINISH,
SANTA BARBARA MISSION FINISH
COLOR: DUINN EDWARDS, DETE80 ESPRESSO MACCHIATO

- 14 GARAGE DOOR
COLOR: DUINN EDWARDS, DETE80 ESPRESSO MACCHIATO
- 15 DOOR W/ PAINT FINISH
COLOR: DUINN EDWARDS, DETE80 ESPRESSO MACCHIATO
- 16 EXTERIOR LED WALL LIGHTING,
KICHLER, WALDEN 12" LED WALL LIGHT TEXTURED BLACK
- 17 EXTERIOR LED WALL LIGHTING,
POSSINI LIGHTING, STANFORD BLACK OUTDOOR
LED WALL LIP AND DOWNLIGHT

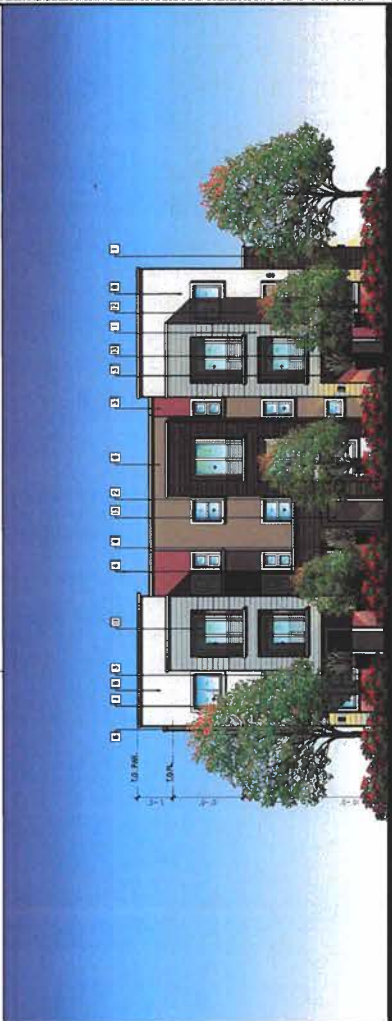
- 1 ARTISAN SHIPLAP SIDING BY JAMES HARDE W/ PAINT FINISH
COLOR: DUINN EDWARDS, DETE27 PEWTER PATTERN
- 2 STONE BY COROMADO STONE
STYLE: ROMAN BROOK, COLOR: SORIANO

- 3 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR:DUINN EDWARDS, DETE145 COPPER MINING
- 4 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR:DUINN EDWARDS, DETE80 ESPRESSO MACCHIATO
- 5 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR:DUINN EDWARDS, DETE216 BARREL STONE
- 6 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR:DUINN EDWARDS, DETE80 ESPRESSO MACCHIATO
- 7 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR:DUINN EDWARDS, DETE80 ESPRESSO MACCHIATO
- 8 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR:DUINN EDWARDS, DETE80 ESPRESSO MACCHIATO

Color Legend



3 Elevation C



4 Elevation D



1 Elevation A



2 Elevation B



W ARCHITECTURE
175 S. CENTRAL AVE. SUITE 200
SANTA ANA, CA 92701
TEL: (714) 941-1177
WWW.WARCHITECTURE.COM

PROJECT: A 27-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)
ADDRESS: 175 S. CENTRAL AVE., #S10
PERMITS: CA 92770
CLIENT: GRACE SU
MEDCO REALTY GROUP, INC.
12409 CENTRAL AVE., #S10
CHINO, CA 91710

SHEET TITLE: ELEVATIONS (BUILDING #3, #9 REVERSED)
KEY MAP: [Map showing building location]

REVISIONS
NO. DESCRIPTION DATE
1. [Blank] [Blank] [Blank]
2. [Blank] [Blank] [Blank]
3. [Blank] [Blank] [Blank]
4. [Blank] [Blank] [Blank]
5. [Blank] [Blank] [Blank]
6. [Blank] [Blank] [Blank]
7. [Blank] [Blank] [Blank]
8. [Blank] [Blank] [Blank]
9. [Blank] [Blank] [Blank]
10. [Blank] [Blank] [Blank]
11. [Blank] [Blank] [Blank]
12. [Blank] [Blank] [Blank]
13. [Blank] [Blank] [Blank]
14. [Blank] [Blank] [Blank]
15. [Blank] [Blank] [Blank]
16. [Blank] [Blank] [Blank]
17. [Blank] [Blank] [Blank]
18. [Blank] [Blank] [Blank]
19. [Blank] [Blank] [Blank]
20. [Blank] [Blank] [Blank]
21. [Blank] [Blank] [Blank]
22. [Blank] [Blank] [Blank]
23. [Blank] [Blank] [Blank]
24. [Blank] [Blank] [Blank]
25. [Blank] [Blank] [Blank]
26. [Blank] [Blank] [Blank]
27. [Blank] [Blank] [Blank]
28. [Blank] [Blank] [Blank]
29. [Blank] [Blank] [Blank]
30. [Blank] [Blank] [Blank]
31. [Blank] [Blank] [Blank]
32. [Blank] [Blank] [Blank]
33. [Blank] [Blank] [Blank]
34. [Blank] [Blank] [Blank]
35. [Blank] [Blank] [Blank]
36. [Blank] [Blank] [Blank]
37. [Blank] [Blank] [Blank]
38. [Blank] [Blank] [Blank]
39. [Blank] [Blank] [Blank]
40. [Blank] [Blank] [Blank]
41. [Blank] [Blank] [Blank]
42. [Blank] [Blank] [Blank]
43. [Blank] [Blank] [Blank]
44. [Blank] [Blank] [Blank]
45. [Blank] [Blank] [Blank]
46. [Blank] [Blank] [Blank]
47. [Blank] [Blank] [Blank]
48. [Blank] [Blank] [Blank]
49. [Blank] [Blank] [Blank]
50. [Blank] [Blank] [Blank]

SCALE: 1/8"=1'-0"
SHEET NO.: [Blank]

Colors & Materials

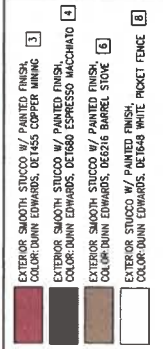
- 1 ARTISAN SHIP LAP SIDING BY JAMES HARDIE W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET627 FEWFER PATTER
- 2 STONE BY CORONADO STONE
STYLE: ROMAN BRICK, COLOR: SORANO
- 3 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
COLOR: DUNN EDWARDS, DET1455 COPPER MINING
- 4 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 5 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 6 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 7 NOT IN USE
- 8 LAHABRA STUCCO W/ PAINT FINISH OR EQ.
SANTA BARBARA MISSION FINISH
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 9 FOAM MOLDING W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 10 WYLL WINDOW BY MILGARD - DUAL GLAZING,
COLOR: WHITE
- 11 WYLL SLIDING DOOR BY MILGARD - DUAL GLAZING,
COLOR: WHITE
- 12 STAINLESS STEEL CABLE RAILING
- 13 ENTRY DOOR W/ PAINT FINISH,
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO

- 14 GARAGE DOOR
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 15 DOOR W/ PAINT FINISH,
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 16 EXTERIOR LED WALL LIGHTING,
KICHLER, WALDEN 12" LED WALL LIGHT TEXTURED BLACK
POSSIBLE LIGHTING: STANBORO BLACK OUTDOOR
LED WALL UP AND DOWNLIGHT

- 1 ARTISAN SHIP LAP SIDING BY JAMES HARDIE W/ PAINT FINISH
COLOR: DUNN EDWARDS, DET627 FEWFER PATTER
- 2 STONE BY CORONADO STONE
STYLE: ROMAN BRICK, COLOR: SORANO

- 3 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR: DUNN EDWARDS, DET1455 COPPER MINING
- 4 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 5 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 6 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 7 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 8 EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH,
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO

Color Legend



3 Elevation C

SCALE: 1/8"=1'-0"



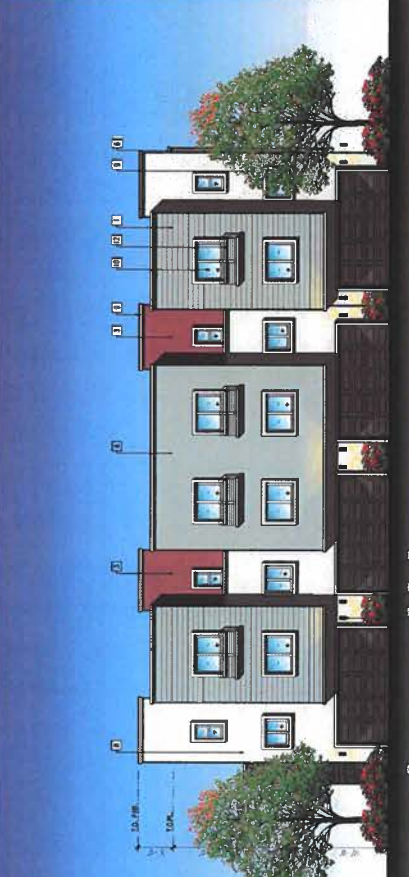
4 Elevation D

SCALE: 1/8"=1'-0"



1 Elevation A

SCALE: 1/8"=1'-0"



2 Elevation B

SCALE: 1/8"=1'-0"



NEW LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL, LANDSCAPE & INTERIOR
2333 N. FORTWORTH BLVD. STE. 1, FORTWORTH, TX 76108
TEL: (817) 342-1127

PROJECT: A 37-UNIT RESIDENTIAL (CONDO)
DEVELOPER: (DPR 21-00018)
ADDRESS: 175 & 225 SOUTH G STREET,
PERMITS: PERMITS, CA 02570
CLIENT: GRACE SU
12409 CENTRAL AVE, #810
CHINO, CA 91710



SHEET TITLE: ELEVATIONS
(BUILDING #4, #6 REVERSED)
(BUILDING #2, #5, & #7)

A3.03
OF SHEETS
S H E E T

NO.	DATE	BY	REVISIONS



**PHIL MAY
LANDSCAPE
ARCHITECTURE**
2532 Wilshire Ave.
Fulshear, CA 92831
Phone: 909 373 1199
pmay@philmaylandscape.com
www.philmaylandscape.com



PLANTING PLAN

37-UNIT RESIDENTIAL CONDO
DEVELOPMENT
175&225 SOUTH G ST.
PERRIS, CA 92570

DRAWN BY: []
CHECKED BY: []
DATE: 04/10/22
SHEET: L-2
OF 3 SHEETS
JOB NO: 21123



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME
	TREES	
	<i>Arbutus 'Marino'</i>	MCN
	<i>Geijera parvifolia</i>	Australian Willow
	<i>Lagostroemia l. 'Tuscarora'</i>	Grape Myrtle
	<i>Lophoslemon confertus</i>	Brisbane box
	<i>Chitalpa laskhentensis</i>	Chitalpa
	SHRUBS	
	<i>Agave attenuata</i>	Foxtail Agave
	<i>Callistemon 'Little John'</i>	Dwarf Bottlebrush
	<i>Ligustrum j. 'Texanum'</i>	Texas Privet
	<i>Salvia g. 'Navajo Bright Red'</i>	Bright Red Autumn Sage
	<i>Westringia fruticosa 'Smoky'</i>	Dwarf Coastal Rosemary
	<i>Murali fruticosa 'Murali'</i>	Murali Coastal Rosemary
	<i>Grevillea 'Noelii'</i>	Noelii Silk Oak
	PERENNIALS	
	<i>Aloe striata</i>	Coral Aloe
	<i>Dianella revoluta 'Little Rev'</i>	Flax Lily
	<i>Dianella l. 'Variegata'</i>	Variegated Flax Lily
	<i>Bulbine frutescens 'Orange'</i>	Orange Stalked Bulbine
	<i>Dietsia iridioides 'Orange Drop'</i>	Orange Drop Lily
	<i>Kniphofia uvaria</i>	Red Hot Poker
	GROUNDCOVER	
	<i>Rosa 'Hunt. Carpet'</i>	Hunt. Carpet Rosemary
	<i>Festuca arundinacea</i>	Tall Fescue
	<i>Myoporum panicifolium</i>	Prostrate Myoporum
		Children play area

