



# CITY OF PERRIS PLANNING COMMISSION

## AGENDA

April 05, 2023

**City Council Chambers**  
Meeting to convene at 6:00 P.M.  
101 North "D" Street  
Perris, CA 92570

**1. CALL TO ORDER:**

**2. ROLL CALL:**

**Commissioners:** Gomez, Lopez, Jimenez,  
Chair Hammond, Vice-Chair Shively

**3. PLEDGE OF ALLEGIANCE:** Commissioner Gomez,

**4. PRESENTATION:**

**5. CONSENT CALENDAR:**

**A.** Planning Commission Minutes for March 15, 2023

**B.** Street Naming Review 23-05015 – A proposal to name two streets within Tentative Parcel Map No. 38375, located south of Nuevo Road, north of San Jacinto Avenue, and west of Dunlap Drive within the Park West Specific Plan. Applicant: PW Land Investments, LP.

**REQUESTED ACTION:** Approve Street Naming Review 23-05015

**6. PUBLIC HEARING:**

**A.** Tentative Tract Map No. 38308 (PLN21-05271) – A proposal for Tentative Tract Map No. 38308 to subdivide 1.82 vacant acres into one lot for condominium purposes to facilitate a 37-unit residential condominium development, located on the east side of G Street at the terminus of 2<sup>nd</sup> Street, in the Urban Village (UV) Zone of the Perris Downtown Specific Plan (DTSP) (APNs: 310-070-001 and 310-070-002). Applicant: Winston Liu of W&W Land Design Consultants, Inc.

**REQUESTED ACTION:** Adopt Resolution No. 23-10, recommending that the City Council find the project is Categorical Exempt from the California Environmental Quality Act (CEQA) review pursuant to Sections 15332 (In-fill Development Projects) and 15315 (Minor Land Divisions); and approving Tentative Tract Map No.

38308 (PLN21-05271), based on the findings contained in the resolution and subject to the Conditions of Approval.

- B.** Specific Plan Amendment (SPA) 21-05125 – A proposed Specific Plan Amendment to update the Green Valley Specific Plan (GVSP) for consistency with the Perris Valley Airport Land Use Compatibility Plan (PV ALUCP). Applicant: Matthew Villalobos, Raintree Investment Corporation.

**REQUESTED ACTION:** Adopt Resolution No. 23-09 recommending that the City Council Adopt the Third Addendum to the Final Environmental Impact Report (Final EIR) of the Green Valley Specific Plan (GVSP) and Approve Specific Plan Amendment (SPA) 21-05125, based on the findings contained in the Resolution and subject to the Conditions of Approval.

**7. BUSINESS ITEM:**

**8. PUBLIC COMMENTS:**

*Anyone who wishes to **address the Planning Commission** regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, and spell your last name and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.*

***LISTENING ASSISTIVE DEVICES** are available for the hearing impaired or language translation – please see the Commission Secretary. The City of Perris wishes to make all its public meetings accessible to the public. Upon request, this agenda will be made available in appropriate alternative formats to persons in need of language translation or disabilities as required by 42 U.S.C. 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requests a modification or accommodation in order to participate in a meeting should direct such request to 951-943-2003 x256 at least 72 hours before the meeting, if possible.*

***In compliance with the Americans with Disabilities Act and Government Code Section 54953(g)**, the City Council has adopted a reasonable accommodations policy to swiftly resolve accommodation requests. The policy can also be found on the City's website. Please contact the City Clerk's Office at (951) 943-6100 to make an accommodation request, or to obtain an electronic or printed copy of the policy.*

**9. COMMISSION MEMBERS ANNOUNCEMENTS OR REPORTS:**

**10. DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:**

**11. ADJOURNMENT**

# Planning Commission Agenda

**CITY OF PERRIS**

**April 05, 2023**

**Item**

**5A**

*Planning Commission Minutes for  
March 15, 2023*

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***CITY OF PERRIS***

**MINUTES:**

Date of Meeting: March 15, 2023

06:13 PM

Place of Meeting: City Council Chambers

**1. CALL TO ORDER:**

**2. ROLL CALL:** Commissioners: Jimenez, Gomez, Lopez, Vice-Chair Shively, Chair Hammond

**Commission Members Present:** Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez, Vice Chair Shively, and Chair Hammond.

**City Staff Present:** Director of Development Services Department Kenneth Phung, Planning Manager Patricia Brenes, Assistant City Attorney Yecenia Vargas, City John Engineer Pourkazemi, Senior Planner Nathan Perez, Contract Planner Chantal Powers, Associate Planner Alfredo Garcia, and Associate Planner Lupita Garcia

**3. PLEDGE OF ALLEGIANCE:** Commissioner Jimenez

**4. PRESENTATION:**

**5. CONSENT CALENDAR:**

**A. Planning Commission Minutes for February 15, 2023**

The Chair called for a motion.

M/S/C: Moved by Commissioner Lopez, seconded by Commissioner Jimenez to Approve Item 6A. with a recommendation to consider studying the addition of a 3 way stop sign at Morgan Street and Nevada Road for the Ramona Gateway Project, Planning Commission Minutes for February 15, 2023

**AYES:** Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez, Vice Chair Shively, Chair Hammond.

**NOES:**

**ABSENT:**

**ABSTAIN:**

**6. PUBLIC HEARING:**

- A. Conditional Use Permit (CUP) 22-05100 – A proposal to construct a 3,831 square-foot drive-through restaurant (Raising Cane’s) on 1.42 acres, located at the southeast corner of Nuevo Road and Old Nuevo Road within the Commercial Community Zone (APN:311-050-002). Applicant: John Pollock, Kimley-Horn Associates, Inc.  
REQUESTED ACTION: Adopt Resolution No. 23-05 finding the Project Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-Fill Development Projects); and approving CUP 22-05100 based on the findings and subject to the Conditions of Approval.  
(Continued from March 01, 2023)

Senior Planner Nathan Perez presented the Item.

The Following Commissioners Spoke:

Commissioner Lopez  
Commissioner Jimenez  
Commissioner Vice Chair Shively  
Commissioner Gomez  
Chair Hammond

**The Chair called for a motion.**

M/S/C: Moved by Commissioner Jimenez, seconded by Commissioner Lopez to Approve Item 6A. with the following changes to the conditions of approval: **35 h.** Replace the African Sumac tree with a different type of tree such as Crape Myrtle, or Drake Elm. **35 k.** Provide up-lighting for trees along Nuevo Road. **35 l.** The developer, shall coordinate with staff to ensure the plant palette is consistent with the In-N-Out Burger frontage; and **36 c.** The free-standing drive-thru canopy shall include industrial fans with misters.

Conditional Use Permit (CUP) 22-05100 – A proposal to construct a 3,831 square-foot drive-through restaurant (Raising Cane’s) on 1.42 acres, located at the southeast corner of Nuevo Road and Old Nuevo Road within the Commercial Community Zone (APN:311-050-002). Applicant: John Pollock, Kimley-Horn Associates, Inc.  
REQUESTED ACTION: Adopt Resolution No. 23-05 finding the Project Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-Fill Development Projects); and approving CUP 22-05100 based on the findings and subject to the Conditions of Approval. (Continued from March 01, 2023)

**AYES:** Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez, Vice Chair Shively, Chair Hammond.

**NOES:**

**ABSENT:**

**ABSTAIN:**

- B. Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), and Development Plan Review 20-00021 – A proposal to consider the following entitlements to

facilitate the construction of a 254,511-square-foot industrial warehouse building on a 12.60-acre site, located on the east side of Redlands Avenue between E. Rider Street and Placentia Avenue, in the Perris Valley Commerce Center Specific Plan (PVCCSP): 1) Specific Plan Amendment to remove a paper/unimproved street from the Circulation Plan of the PVCCSP; 2) Tentative Parcel Map to merge six (6) parcels into one (1) parcel; and 3) Development Plan Review for the site plan and building elevations. (APNs: 300-210-006, -007, -008, -026, -027 and -028). Applicant: Michael Johnson of Lake Creek Industrial, LLC.

REQUESTED ACTION: Adopt Resolution 23-07 recommending that the City Council adopt Mitigated Negative Declaration No. 2358 and the Mitigation Monitoring and Reporting Program, and approve Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), and Development Plan Review 20-00021 to facilitate the construction of a 254,511-square-foot industrial warehouse building, based on the findings and the Conditions of Approval. (Continued from March 01, 2023)

Contract Planner Chantal Powers presented the Item.

**The Following Commissioners Spoke:**

Commissioner Lopez  
Commissioner Jimenez  
Commissioner Gomez  
Commissioner Vice Chair Shively  
Chair Hammond

**The Chair called for a motion.**

M/S/C: Moved by Vice Chair Shively, seconded by Commissioner Gomez to Approve Item 6B with the following changes to the conditions of approval: 1) Provide a decorative outdoor cover over the outdoor amenities; 2) Increase the percentage of landscaping; 3) Enhance the entrance with additional landscaping; 4) Up light the trees along the main entrance; 5) Ensure screen walls are 14 feet high; 6) Operator shall provide truck routes approved by the city to truck drivers; and 7) The widths and length of the turn lane pockets shall be designed by a traffic Engineer, per Caltrans Standards and approved by the City Engineer, the Traffic Engineer shall provide a focused study for the U-turn movements at the median breaks on Redlands Avenue at the project site's truck access, U-turn movements shall be restricted if unsafe.

Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), and Development Plan Review 20-00021 – A proposal to consider the following entitlements to facilitate the construction of a 254,511-square-foot industrial warehouse building on a 12.60-acre site, located on the east side of Redlands Avenue between E. Rider Street and Placentia Avenue, in the Perris Valley Commerce Center Specific Plan (PVCCSP): 1) Specific Plan Amendment to remove a paper/unimproved street from the Circulation Plan of the PVCCSP; 2) Tentative Parcel Map to merge six (6) parcels into one (1) parcel; and 3) Development Plan Review for the site plan and building elevations. (APNs: 300-210-006, -007, -008, -026, -027 and -028). Applicant: Michael Johnson of Lake Creek Industrial, LLC.

REQUESTED ACTION: Adopt Resolution 23-07 recommending that the City Council adopt Mitigated Negative Declaration No. 2358 and the Mitigation Monitoring and Reporting Program, and approve Specific Plan Amendment 22-05053, Tentative Parcel Map 22-05028 (TPM 38385), and Development Plan Review 20-00021 to facilitate the construction of a 254,511-square-foot industrial warehouse building, based on the findings and the Conditions of Approval. (Continued from March 01, 2023)

**AYES:** Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez, Vice Chair Shively, Chair Hammond.

**NOES:**

**ABSENT:**

**ABSTAIN:**

- C. Tentative Parcel Map No. 38410 (PLN22-05124) – A proposal to subdivide 14.14 acres into three (3) lots for finance and conveyance purposes, located on the northeast corner of Goetz Road and Ethanac Road. Applicant: Matthew Villalobos, Green Valley Recovery Acquisition, LLC.

REQUESTED ACTION: Adopt Resolution No. 23-06, finding the project is consistent with the Second Addendum to the Final EIR of the Green Valley Specific Plan (GVSP), pursuant to Sections 15162 and 15315 (Minor Land Divisions) of the CEQA Guidelines; and approving Tentative Parcel Map No. 38410 (PLN22-05124), based on the findings and subject to the Conditions of Approval.

Senior Planner Nathan Perez presented the Item.

**The Following Commissioners Spoke:**

Commissioner Lopez  
Commissioner Jimenez  
Commissioner Vice Chair Shively  
Chair Hammond

**The Chair called for a motion.**

M/S/C: Moved by Commissioner Gomez, seconded by Commissioner Lopez to Approve Item 6C. Tentative Parcel Map No. 38410 (PLN22-05124) – A proposal to subdivide 14.14 acres into three (3) lots for finance and conveyance purposes, located on the northeast corner of Goetz Road and Ethanac Road. Applicant: Matthew Villalobos, Green Valley Recovery Acquisition, LLC.

REQUESTED ACTION: Adopt Resolution No. 23-06, finding the project is consistent with the Second Addendum to the Final EIR of the Green Valley Specific Plan (GVSP), pursuant to Sections 15162 and 15315 (Minor Land Divisions) of the CEQA Guidelines; and approving Tentative Parcel Map No. 38410 (PLN22-05124), based on the findings and subject to the Conditions of Approval.

**AYES:** Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez, Vice Chair Shively, Chair Hammond.

**NOES:**

**ABSENT:**

**ABSTAIN:**

- D.** Development Plan Review 21-00018 - A proposal to construct a 37-unit condominium community on 1.82 acres. The project site is located on the east side along G street at the terminus of E. 2nd Street, within the Urban Village (UV) Zone of the Perris Down Town Specific Plan (DTSP). APN: 310-070-001 and 002. Applicant: Winston Liu of W&W Land Design Consultants, Inc.

REQUESTED ACTION: Adopt Resolution No. 23-08, finding the project is Categorical Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-fill Development Projects); and approving DPR 21-00018, based on the findings and subject to the Conditions of Approval.

Associate Planner Garcia Presented the Item.

**The Following Commissioners Spoke:**

Commissioner Gomez  
Commissioner Jimenez  
Vice Chair Shively  
Commissioner Lopez  
Chair Hammond

**The Chair called for a motion.**

M/S/C: Moved by Commissioner Jimenez, seconded by Commissioner Lopez to Approve Item 7D, with the following changes to the Conditions of approval: **1)** The applicant shall explore securing the condominium development with decorative security fencing and pilasters; **2)** Add a shade structure over the playground area; **3)** Adjust the trash enclosure location; **4)** Add hose bibs inside the trash enclosure and provide connection to the drain; and **5)** Work with staff on an alternate accent color for the building elevations to replace the copper accent color.

Development Plan Review 21-00018 - A proposal to construct a 37-unit condominium community on 1.82 acres. The project site is located on the east side along G street at the terminus of E. 2nd Street, within the Urban Village (UV) Zone of the Perris Down Town Specific Plan (DTSP). APN: 310-070-001 and 002. Applicant: Winston Liu of W&W Land Design Consultants, Inc.

REQUESTED ACTION: Adopt Resolution No. 23-08, finding the project is Categorical Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-fill Development Projects); and approving DPR 21-00018, based on the findings and subject to the Conditions of Approval.

**AYES:** Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez,  
Vice Chair, Shively, Chair Hammond.

**NOES:**



**ABSENT:**  
**ABSTAIN:**

**7. BUSINESS ITEM:**

- 8. PUBLIC COMMENTS:** Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, and spell your last name and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.

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**9. COMMISSION MEMBERS ANNOUNCEMENTS OR REPORTS:**

Commissioner Lopez  
Commissioner Jimenez  
Commissioner Gomez  
Vice Chair Shively  
Chair Hammond

**10. DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:**

Planning Manager Brenes  
Director Phung

**11. ADJOURNMENT:**

Chair Hammond adjourned the regular planning commission meeting.

# Planning Commission Agenda

**CITY OF PERRIS**

**April 05, 2023**

Item

**5B**

*Street Naming Review 23-05015*

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# CITY OF PERRIS

## PLANNING COMMISSION

### AGENDA SUBMITTAL

**MEETING DATE:** April 5, 2023

**SUBJECT:** Street Naming Review 23-05015 – A proposal to name two streets within Tentative Parcel Map No. 38375, located south of Nuevo Road, north of San Jacinto Avenue, and west of Dunlap Drive within the Park West Specific Plan. Applicant: PW Land Investments, LP.

**REQUESTED ACTION:** Approve Street Naming Review 23-05015

**CONTACT:** Kenneth Phung, Director of Development Services

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#### **BACKGROUND/DISCUSSION:**

On June 15, 2022, the Planning Commission approved Tentative Parcel Map No. 38375 (PLN 22-05034) to subdivide 357.48 acres into nine (9) parcels for financing purposes to allow the applicant the flexibility to sell portions of the map to different merchant home builders. The applicant is now requesting approval of a Street Naming Review to name two streets within Tentative Parcel Map 38375, as it is required to process the final map.

Planning Staff reviewed the request and determined that the proposed street names do not conflict with any existing street names within the City of Perris. Also, the proposed street names have been reviewed by the GIS Division of the Riverside County Information Technology Department. County Staff determined the recommended street names are adequate and would not conflict with existing street names within the County of Riverside. Following are the proposed street names:

<b>Proposed Street Names for TM-37803</b>	
<b>Placeholder Street Names</b>	<b>Proposed Street Names</b>
A Street	Park West Drive
C Street	Tracy Street

Alternative street names, provided by the applicant, were reviewed by Planning Staff and the GIS Division of the Riverside County Information Technology Department, and determined the recommended alternate street names are adequate and would not conflict with existing street names within the City and County of Riverside (Exhibit C).

Pursuant to Perris Municipal Code 19.63.020, the Planning Commission is the approving authority for Street Naming Review proposal, if the Commission finds that it meets the following criteria:

- *Choice of Names.* The street names should be pleasant sounding, appropriate, and easy to read and should add to pride of home ownership.

- *Categories.* The street names should be homogeneous to the proposed or existing street names in the surrounding area.
- *Unacceptable Street Names.* The street names shall not include numerical and alphabetical letter names, surnames of living persons (pioneer families, etc. are excluded), or frivolous, complicated or undesirable words. The street names do not have an unconventional spelling.
- *Suffixes.* Unnecessary prefixes and suffixes should be avoided.
- *Name Duplication.* Similar sounding names are considered to be duplicative regardless of spelling. No duplication of existing street names is permitted within the City.
- *Continuation.* A continuous street, or one proposed to be made continuous, should bear the same name throughout, even though it changes directions. If interrupted by a channel, freeway, railroad, etc., and eventual connection is not probable, the segment may bear different names.

Based on Staff's analysis, the proposed street names meet the criteria established in Chapter 19.63 (Street Naming Review) of City's Municipal Code. Therefore, Staff recommends that the Planning Commission approve Street Naming Review 23-05015, based on the analysis contained in this staff report.

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**BUDGET (or FISCAL) IMPACT:** There is no fiscal impact associated with this project, since all project costs are borne by the applicant.

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Prepared by: Lupita Garcia, Associate Planner  
 Reviewed by: Patricia Brenes, Planning Manager

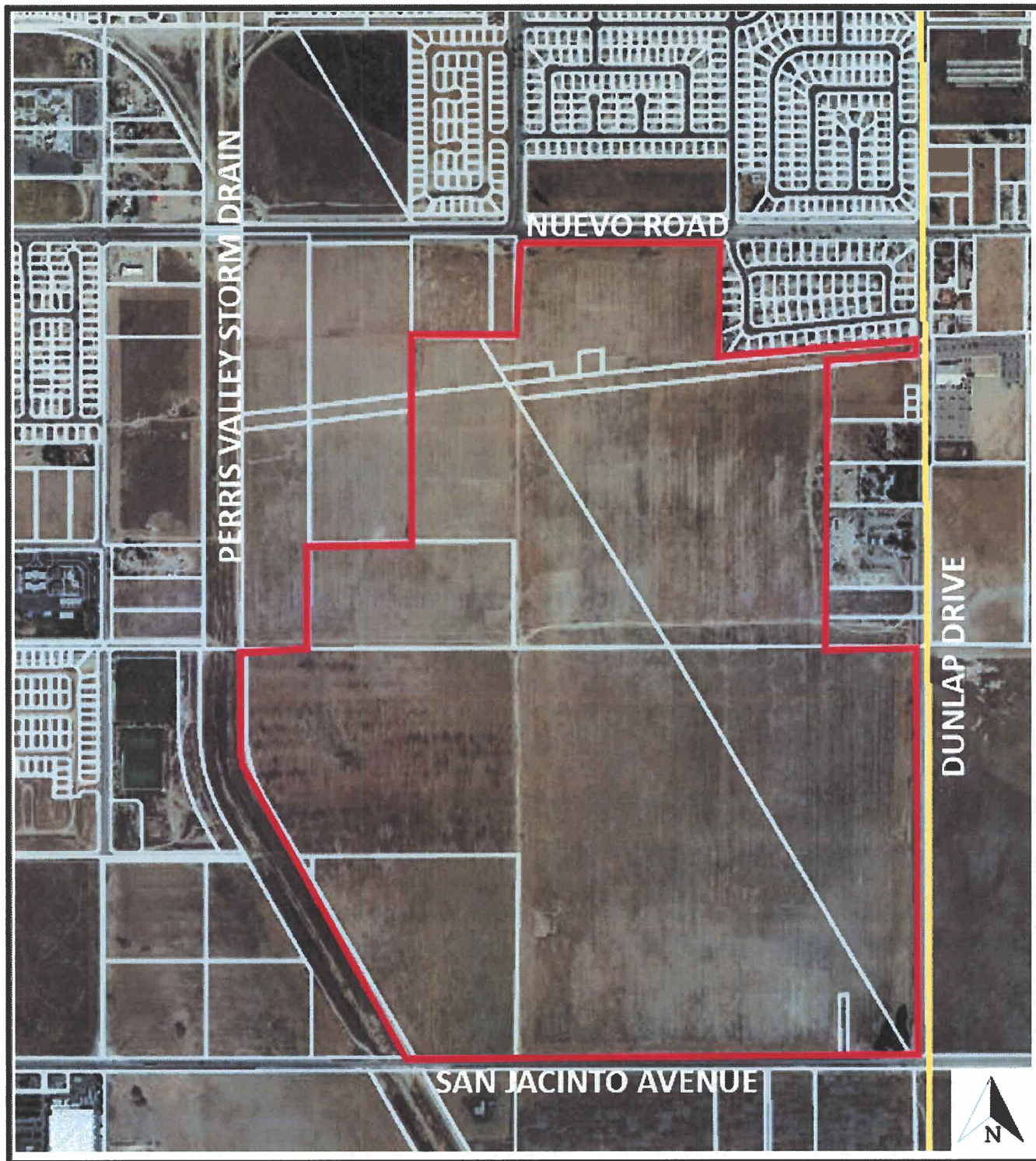
**EXHIBITS:**

- A. Vicinity Map
- B. Proposed Street Name Map
- C. Alternate Street Name List

Consent: X  
 Public Hearing:  
 Workshop:  
 Presentation:

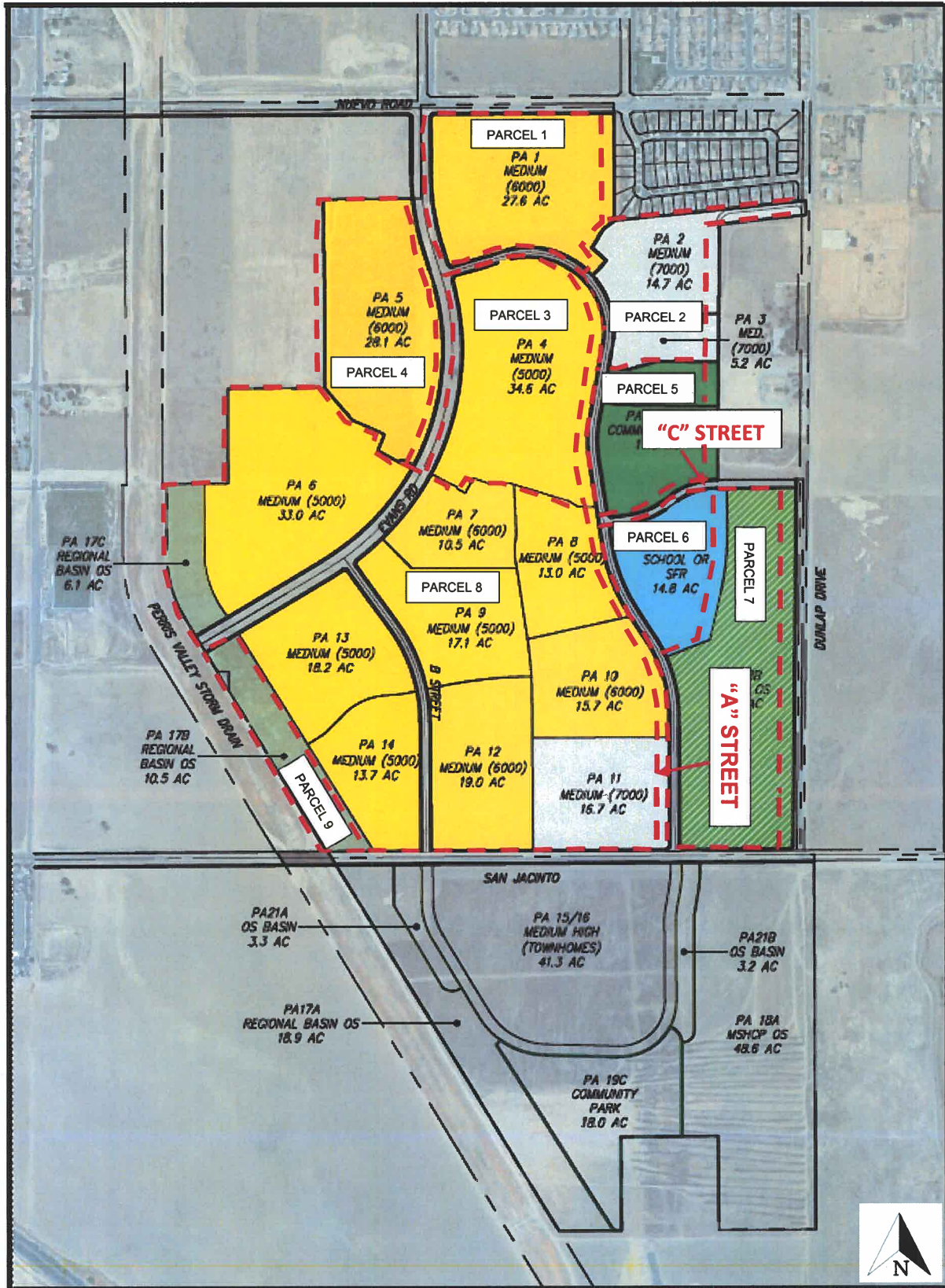
**EXHIBIT A**  
**VICINITY MAP**

# VICINITY MAP



**EXHIBIT B**  
**PROPOSED STREET NAME MAP**

# TENTATIVE PARCEL MAP 38375





**EXHIBIT C**  
**ALTERNATE STREET NAME LIST**

TRACT 38375

Street	Option 1	Option 2	Option 3
Street A	Park West Drive	Falconer Road	Knott Road
Street C	Tracy Street	Park Village Road	Gallatin Street

# Planning Commission Agenda

**CITY OF PERRIS**

**April 05, 2023**

**Item**

**6A**

***Tentative Tract Map No. 38308  
(PLN21-05271)***



# CITY OF PERRIS

## PLANNING COMMISSION

### AGENDA SUBMITTAL

**MEETING DATE:**

April 5, 2023

**SUBJECT:**

Tentative Tract Map No. 38308 (PLN21-05271) – A proposal for Tentative Tract Map No. 38308 to subdivide 1.82 vacant acres into one lot for condominium purposes to facilitate a 37-unit residential condominium development, located on the east side of G Street at the terminus of 2<sup>nd</sup> Street, in the Urban Village (UV) Zone of the Perris Downtown Specific Plan (DTSP) (APNs: 310-070-001 and 310-070-002). Applicant: Winston Liu of W&W Land Design Consultants, Inc.

**REQUESTED ACTION:**

Adopt Resolution No. 23-10, recommending that the City Council find the project is Categorically Exempt from the California Environmental Quality Act (CEQA) review pursuant to Sections 15332 (In-fill Development Projects) and 15315 (Minor Land Divisions); and approving Tentative Tract Map No. 38308 (PLN21-05271), based on the findings contained in the resolution and subject to the Conditions of Approval.

**CONTACT:**

Kenneth Phung, Director of Development Services

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#### BACKGROUND/PROJECT DESCRIPTION

On March 15, 2023, the Planning Commission unanimously approved Development Plan Review 21-00018 for the construction of a 37-unit condominium development on 1.82 acres, located on the east side of G Street at the terminus of 2nd Street, subject to modification of conditions of approval requiring the applicant to explore securing the condominium development with decorative security fencing and pilasters, adding a shade structure over the playground area, adjusting the trash enclosure location, adding hose bibs inside the trash enclosure and providing connection to the storm drain, and working with staff on an alternate accent color for the building elevations to replace the copper accent color.

As the project involves condominium units, the applicant is requesting approval of a Tentative Tract Map to subdivide 1.80 acres into one lot for condominium purposes to facilitate “airspace” ownership of the 37 residential units and common ownership of the common open space areas, including guest parking spaces and recreational areas, within the project site.

#### PROJECT ANALYSIS

The table below summarizes the Project’s consistency with the Subdivision Code, Title 18 of the Perris Municipal Code

	<b>Consistent</b>	<b>Inconsistent</b>
<p><b>Compliance with Title 18 - Subdivisions Code</b></p> <p>The project proposes a Tentative Tract Map (TPM 38380) to subdivide a vacant 1.80-acre site into one lot for condominium purposes. As proposed, the map meets the minimum standards of the Subdivision Code and lot standards of the Multi-Family Zone in the Downtown Specific Plan.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS**

The table below summarizes compliance with Section 5.4.7 – Courtyard Flat Building Development Standards of the Downtown Specific Plan.

<b>Development Standards</b>				
Downtown Specific Plan Section 5.4.7 – Courtyard Flat Building Development Standards				
	<b>Standard</b>	<b>Proposed</b>	<b>Consistent</b>	<b>Inconsistent</b>
<b>Minimum Lot Width</b>	75 feet	264 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Minimum Lot Depth</b>	100	300 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**ENVIRONMENTAL DETERMINATION**

The Project was determined to be Categorical Exempt from the California Environmental Quality Act (CEQA) review pursuant to Sections 15332 (In-Fill Development Projects) and 15315 (Minor Land Divisions); and approving Tentative Tract Map No. 38308 (PLN21-05271), as the project will not have a significant effect on the environment.

**PUBLIC HEARING NOTICE**

A notice of the public hearing for the Planning Commission meeting was published in the local newspaper and sent to agencies and property owners within 300 feet of the project site. As of the writing of this staff report, staff has not received any comments regarding this project.

**RECOMMENDATION**

The Planning Commission adopt Resolution No. 23-10, recommending that the City Council find the project is Categorical Exempt from the California Environmental Quality Act (CEQA) review pursuant to Sections 15332 (In-fill Development Projects) and 15315 (Minor Land Divisions); and approve Tentative Tract Map No. 38308 (PLN21-05271), based on the findings and subject to the Conditions of Approval.

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**BUDGET (or FISCAL) IMPACT:** There is no fiscal impact associated with this Project since all project costs are borne by the applicant.

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**Prepared by:** Patricia Brenes, Planning Manager  
**REVIEWED BY:** Kenneth Phung, Director of Development Services

**Exhibits:**

- A. Resolution 23-10 - TTM 38380, including Conditions of Approval (Planning and Engineering)
- B. Location/Aerial Photo
- C. Downtown Specific Plan Land Use Map
- D. Proposed TTM 38380
- E. Project Plans (Site Plan, Floor Plans, Building Elevations, Conceptual Landscape Plans) – Informational Purpose
- F. Planning Commission Staff Report (without exhibits) – Dated March 15, 2023  
*Due to the size of the document, only the staff report is included as a hard copy. The entire staff report packet is available online at:*  
[https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-361#docan1206\\_1313\\_479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-361#docan1206_1313_479)

Consent:  
Public Hearing: X  
Business Item:  
Presentation:  
Other:

# Exhibit A

Resolution 23-10 - TTM 38380, including  
Conditions of Approval  
(Planning and Engineering)

**RESOLUTION NUMBER NO. 23-10**

***A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL FIND THE PROPOSED PROJECT CATEGORICALLY EXEMPT FROM CEQA PURSUANT TO SECTIONS 15332 (IN-FILL DEVELOPMENT PROJECTS) AND 15315 (MINOR LAND DIVISIONS); AND APPROVE TENTATIVE TRACT MAP NO. 38308 (PLN21-05271) TO SUBDIVIDE A 1.82 ACRES INTO ONE LOT FOR CONDOMINIUM PURPOSES TO FACILITATE A 37-UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT, BASED ON THE FINDINGS AND SUBJECT TO THE CONDITIONS OF APPROVAL.***

***WHEREAS***, the applicant, Winston Liu, proposes Tentative Tract Map No. 38308 to subdivide 1.82 vacant acres (APNs: 310-070-001 and 310-070-002) into one lot for condominium purposes to facilitate a 37-unit residential condominium development located on the east side of G Street at the terminus of 2<sup>nd</sup> Street, in the Urban Village (UV) Zone of the Perris Downtown Specific Plan (PD SP) (“Project”); and

***WHEREAS***, the Project’s proposed use is in accordance with the objectives of the Downtown specific plan Urban Village zone; and

***WHEREAS***, the Project’s proposed use is consistent with the City’s General Plan and conforms to all zoning standards and other relevant ordinances and resolutions of the City; and

***WHEREAS***, On March 15, 2023, the Planning Commission unanimously approved Development Plan Review 21-00018 for the construction of a 37-unit condominium development on 1.82-acres, located on the east side of G Street at the terminus of 2nd Street, subject to modification of conditions of approval requiring the applicant to explore securing the condominium development with decorative security fencing, adding shade structure over the playground area, adjusting the trash enclosure location, and working with staff on an alternate accent color for the building elevations to replace the copper accent color; and

***WHEREAS***, Tentative Tract Map No. 38308 (PLN21-05271) has been duly noticed; and

***WHEREAS***, the City has complied with the California Environmental Quality Act in that the Project is categorically exempt from review under the California Environmental Quality Act (CEQA) under Section 15332, Class 32 In-Fill Development Projects and Section 15315 Class 15 Minor Land Divisions; and

***WHEREAS***, Section 66411 of the California Government Code (Subdivision Map Act) vests in the legislative bodies of local agencies the regulation and control of the design and improvement of subdivisions; and



**WHEREAS**, a duly noticed public hearing was held on April 5, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

**WHEREAS**, Chapter 19.54 of the City of Perris Municipal Code (Zoning Code, Authority and Review Procedures) authorizes the City to approve, conditionally approve, or deny requests for Tentative Tract Maps; and

**WHEREAS**, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

**WHEREAS**, all other legal prerequisites to the adoption of this Resolution have occurred.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS** does resolve as follows:

**Section 1.** The above recitals are all true and correct and incorporated herein by this reference.

**Section 2.** The Planning Commission has determined and recommends that the City Council find that the Project is Categorically Exempt from the California Environmental Quality Act (CEQA) review pursuant to Sections 15332 (In-Fill Development Projects) and 15315 (Minor Land Divisions).

**Section 3.** Based upon the forgoing, and all oral and written communication submitted by members of the public and City staff to the Planning Commission on April 5, 2023, public hearing (including, but not limited to, all staff reports and supporting exhibits), the Planning Commission further finds, with respect to the Project, the following regarding Tentative Tract Map 38308 (PLN21-05271).

- 1. *Tentative Tract Map is consistent with the General Plan and Downtown Perris Specific Plan underlying land use designation of Urban Village (UV), and all other applicable Specific Plan and General Plan policies; and***

The design and improvements required for TTM 38308 is consistent with the City General Plan and PD SP Urban Village zoning, with respect to the minimum required development standards, including lot width, depth, and size. The condominium lot created by TTM 38071 will provide an adequate building site, appropriate vehicular access, and recreational opportunities at a density that is compatible with existing surrounding residential uses to the east. Further, necessary water and sewer services are available to serve the site, and the development is required through conditions and approval and mitigation measures to pay its fair share and construct transportation, drainage, and other improvements to serve the site. Therefore, the Project is consistent with the City's General Plan, Specific Plan and Zoning Ordinance.

**2. *The site is suitable for the type of development:***

As designed and through the application of the conditions of approval, the proposed subdivision, TM38308, the site is suitable for the type of development. Also, the proposed condominium subdivision is compatible with the PD SP Urban Village, which provides opportunities for multi-family development. Therefore, the proposed subdivision is compatible with surrounding land uses and zoning designations.

**3. *The proposed Project will not result in a significant adverse effect on the environment:***

The proposed Tentative Tract Map will not significantly affect the environment since the project site is in an urbanized area surrounded by development. Also, adequate public services and facilities are available to serve the project. Potential impacts to parks and recreation and infrastructure are mitigated to an insignificant level through the requirement for on and off-site impacts, fair share payments, and participation in the City's impact fee programs. Furthermore, applying the City's standard project conditions (i.e., Erosion Control Best Management Practices, Storm Water Best Management Practices, etc.) will prevent the project from creating significant environmental impacts.

**4. *The proposed Project will not have a negative effect on the public's health, safety, or general welfare.***

The proposed Tentative Tract Map will not have a negative effect on public health, safety, or general welfare. The design of the subdivision is in conformance with the City's General Plan, Zoning Code, Downtown Perris Specific Plan, and Subdivision Ordinance. As conditioned, the developer is required to pay its fair share towards or construct improvements in order to comply with all applicable City ordinances, codes, and standards, which are intended to protect public safety, health, and welfare. Adequate services are available and in close proximity to serve the subdivision, and no hazardous situations are created through the subdivision. As such, TTM 38308 will not have a negative effect on public health, safety, or the general welfare of the City of Perris residents.

**5. *The Project is in compliance with the Subdivision Map Act.***

The design of subdivision TTM 38308 is in compliance with the Subdivision Map Act, as the lots created by the subdivision are of adequate size to support future residential condominium development as intended. The proposed subdivision is consistent with the standards outlined for the Urban Village (UV) Zoning District and all applicable provisions of the City's Subdivision and Zoning Codes Title 18 & 19). Therefore, TTM 38308 is in compliance with the Subdivision Map Act.

**Section 4.** Based upon the forgoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on

April 5, 2023, the Planning Commission hereby recommends that the City Council find the Project is Categorical Exempt from the California Environmental Quality Act (CEQA) review pursuant to Sections 15332 (In-fill Development Projects) and 15315 (Minor Land Divisions).

**Section 5.** Based upon the forgoing, all oral and written communication submitted by members of the public and City staff to the Planning Commission on April 5, 2023, public hearing (including, but not limited to, all staff reports and supporting exhibits), the Planning Commission hereby recommends that the City Council approves TTM 38308, subject to the attached Conditions of Approval which are attached hereto, and incorporated herein by this reference, as Attachment A.

**Section 6.** The Planning Commission declares that should include any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

**Section 7.** The Chairperson shall sign, and the Secretary shall certify the passage and adoption of this Resolution.

**ADOPTED, SIGNED, and APPROVED** this 5th day of April 2023.

---

CHAIRPERSON, PLANNING COMMISSION

ATTEST:

---

Secretary, Planning Commission

STATE OF CALIFORNIA     )  
 COUNTY OF RIVERSIDE    ) §  
 CITY OF PERRIS            )

I, Patricia Brenes, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 23-10 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 5th day of April 2023 and that it was so adopted by the following vote:

AYES:  
 NOES:  
 ABSTAIN:  
 ABSENT:

---

Secretary, Planning Commission

**Attachment:**    A. Conditions of Approval (Planning and Engineering)

**CITY OF PERRIS  
DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

**CONDITIONS OF APPROVAL**

**Tentative Tract Map 38308 (PLN21-05271)**

**April 5, 2023**

**PROJECT: Tentative Tract Map No. 38308 (PLN21-05271)** – A proposal for Tentative Tract Map No. 38308 to subdivide 1.82 vacant acres into one lot for condominium purposes to facilitate a 37-unit residential condominium development located on the east side of G Street at the terminus of 2<sup>nd</sup> Street, in the Urban Village (UV) Zone of the Perris Downtown Specific Plan (DT SP) (APNs: 310-070-001 and 310-070-002). **Applicant:** Winston Liu of W&W Land Design Consultants, Inc.

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**General Requirements:**

1. **Development Standards.** The project shall conform to all requirements of the Perris Downtown Specific Plan and City of Perris Municipal Code Title 19.
2. **Development Plan Review (DPR) 21-00018.** All previously approved conditions for DPR 21-00018 shall apply to this Tentative Tract Map.
3. **Tract Map Term of Approval.** In accordance with the Subdivision Map Act, the recordation of the final map shall occur within two (2) years from the approval date unless an extension is granted. The applicant may apply for a maximum of six (6) one-year extensions to permit additional time to record the final map. A written request for extension shall be submitted to the Development Services Department at least thirty (30) days prior to the expiration of Tentative Map approval.
4. **Perris Elementary School District and Perris Union High School District.** The proposed subdivision shall adhere to the standard requirements and mitigation fees established by the *Perris Elementary School District and Perris Union High School District*.
5. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance and Chapter 7.42 regarding Property Maintenance.
6. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless the City and any agency or instrumentality thereof, and/or any of its officers, employees, and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees, and agents, to attack, set aside, void, annul, or seek monetary damages resulting from approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City, concerning **TTM 38308 (PLN21-05271)**. The City shall promptly notify the developer/applicant of any claim, action, or proceeding for which indemnification is sought and shall further cooperate fully in defense of the action.

7. **Building Official/Fire Marshal.** The proposed project shall adhere to all requirements of the Building Official/Fire Marshal. Fire hydrants shall be located on the project site pursuant to the Building Official. The applicant shall submit a fire access and fire underground plan prior to construction drawings. Water, gas, sewer, electrical transformers, power vaults and separate fire/water supply lines (if applicable) must be shown on the final set of construction plans pursuant to the requirements of the Building Official. All Conditions of Approval shall be included on building plans.
8. **Engineering Conditions.** The project shall comply with all requirements of the City Engineer as indicated in the Conditions of Approval dated **February 10, 2023**.

**Prior to Final Tract Map Approval.**

9. **Final Tract Map Approval.** Prior to the issuance of grading permits, a final map application shall be submitted to the Planning Division with payment of appropriate fees for review and approval concurrently with the application to the City Engineer. The developer shall obtain the following clearances or approvals prior to Final Map Recordation:
  - a. Verification from the Planning Division that all pertinent conditions of approval have been met as mandated by the Perris Municipal Code.
  - a. Any other required approval from an outside agency.
  - b. **Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to the issuance of a Certificate of Occupancy. This condition shall apply only to districts existing at the time the project is approved (or all requirements have been met for a certificate of occupancy, as applicable). Such districts may include but are not limited to the following:
    - i. Landscape Maintenance District No. 1;
    - ii. Flood Control Maintenance District No. 1;
    - iii. Maintenance District No. 84-1;
    - iv. Perris South Public Safety Community Facilities District 2001-3; and
    - v. Community Facilities District No. 2018-02 (public services district)
    - vi. Any other pertinent district.
10. **CC&Rs.** Prior to the recordation of the Final Map, the developer shall submit and obtain approvals for any Covenants, Conditions, and Restrictions (CC&Rs) to set the rules for the Homeowner's Association (HOA), subject to the review and approval of the Department of Development Services and the City Attorney's office. The CC&Rs shall include:
  - a. Establishment of a Homeowner's Association for the residential development. The

association shall be responsible for the maintenance of all common facilities including but not limited to common open space areas and amenities therein, and guest parking spaces, security lighting, and security fencing and gates.

- b. Provision for mutual access for all owners.
- c. The prohibition of recreational vehicle parking within the project area.

The common usable space shall remain in common ownership of all property owners. The CC&Rs shall be recorded with the final map.

**Prior to Issuance of Occupancy Permits:**

- 11. **Disclosure Statements.** The developer shall record a disclosure on each lot and provide a disclosure to the purchaser of each lot for potential noise impacts from March Air Reserve Base and the aviation easement granted to the City of Perris and to the March Inland Port Airport Authority, and potential noise impacts from the Perris Valley Airport.

**End of conditions**



# CITY OF PERRIS

STUART E. MCKIBBIN, CONTRACT CITY ENGINEER

## CONDITIONS OF APPROVAL

P8-1502  
February 10, 2023  
DPR 21-00018 – TTM 38308  
Grace Su  
G St. at 2<sup>nd</sup> St.  
APNs 310-070-001 & -002  
Lots A & B – Blk 3 – MB 016/078

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer provide the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and that their omission may require resubmittal for further consideration. These Ordinances and the following conditions are essential parts and requirements occurring in one is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditions shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic Impact Analysis, the most stringent in the opinion of the City shall prevail.

### **General Conditions:**

1. The developer/property owner shall secure City's and appropriate agencies clearances and approvals of the improvement plans.
2. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and



City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.

3. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.

**Prior to Recordation of the Tract Map:**

4. The developer/property owner shall have approved improvement plans, executed subdivision agreement and posted securities.

5. The developer/property owner shall submit the following to the City Engineer for review and approval:

- a. Onsite Precise Grading Plan and Erosion Control Plans; plans shall show the WDID No.
- b. Street Improvement Plans
- c. Storm Drain Improvement Plans
- d. Signing and Striping Plans
- e. Water and Sewer Improvement Plans
- f. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- g. Geotechnical Report
- h. Hydrology and Hydraulic Report
- i. Final WQMP (for reference)

The design shall be in conformance with Eastern Municipal Water District (EMWD), Riverside County Flood Control and Water Conservation District (RCFCD), Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

6. G Street is classified as a Collector (60'/40') per the General Plan. Adequate right-of-way shall be dedicated on G Street along the property frontage to accommodate a 30 foot half width dedicated right-of-way.

7. All rights-of-way and easements shall be offered for dedication to the public or other appropriate agencies and shall continue in force until the City or the appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer.

8. Relinquish and waive rights of access to and from G Street on the Map other than the access opening as shown on the tentative map.

9. In the event that offsite property is required to complete the improvements, the developer/property owner shall make a good faith effort to acquire required offsite property interests, and if he or she should fail to do so, the developer/property owner shall, prior to submittal of the Final Map for recordation, enter into an agreement to complete the improvements. The agreement shall provide for payment by the developer/property owner of all costs incurred by the City to acquire the offsite property interests required in connection with the subdivision. Security of a portion of these costs shall be in the form of a cash deposit in the amount given in an appraisal report obtained by the developer/property owner (at developer/property owner cost). The appraiser shall be approved by the City prior to commencement of the appraisal.

10. The developer/property owner shall sign the consent and waiver form to join the City's Lighting and Landscape Districts and City's Flood Control District as appropriate. The proposed and existing streetlights and traffic signals shall be maintained by the City and cost paid by the developer/property owner through the said annexation.

**Prior to Issuance of Grading Permit:**

11. The developer/property owner shall submit the following to the City Engineer for review and approval:

- a. Onsite Precise Grading Plan and Erosion Control Plans; plans shall show the WDID No.
- b. Street Improvement Plans
- c. Storm Drain Improvement Plans
- d. Signing and Striping Plans
- e. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- f. Geotechnical Report
- g. Hydrology and Hydraulic Report
- h. Final WQMP (for reference)

The design shall be in conformance with EMWD, RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

12. All generated onsite and offsite runoff shall be collected and conveyed via underground drainage facilities and shall be connected to the existing storm drain system in G Street.

13. The ramps at the driveway shall include wet set concrete truncated domes in compliance to ADA standards and requirements.

**Prior to Issuance of Building Permit:**

14. Water and sewer Improvement Plans, per Fire Department and EMWD standards, shall be submitted to the City Engineer for review and approval.

15. Fire Department approval of the Water Improvement Plan is required prior to City Engineer's approval.

16. Paved access shall be provided to the proposed buildings per the Precise Grading Plans.

17. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

**Prior to Issuance of Certificate of Occupancy:**

18. G Street (Collector – 60'/40') along the property frontage within the dedicated right-of-way shall be improved to provide for a 30 foot wide AC pavement (using a TI of 6.0 and PG 64-10), 6 inch curb and gutter generally located 18 feet east of street centerline, 6 foot wide sidewalk and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.

The street design, bulbouts, sidewalk extensions, crosswalks, and paving materials shall be per Downtown Specific Plan standards as approved by Planning Department, Public Works Department and the City Engineer.

19. The conditions of the existing pavement on G Street along the property frontage shall be evaluated by the developer/property owner to determine the extent of pavement rehabilitation as approved by City Engineer. If the existing pavement is in good condition, the developer/property owner may use grind and overlay technique as determined by the City Engineer.

20. The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.

21. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified

professional pursuant to the California Business and Professional Code  
8771.

Stuart E. McKibbin  
Contract City Engineer

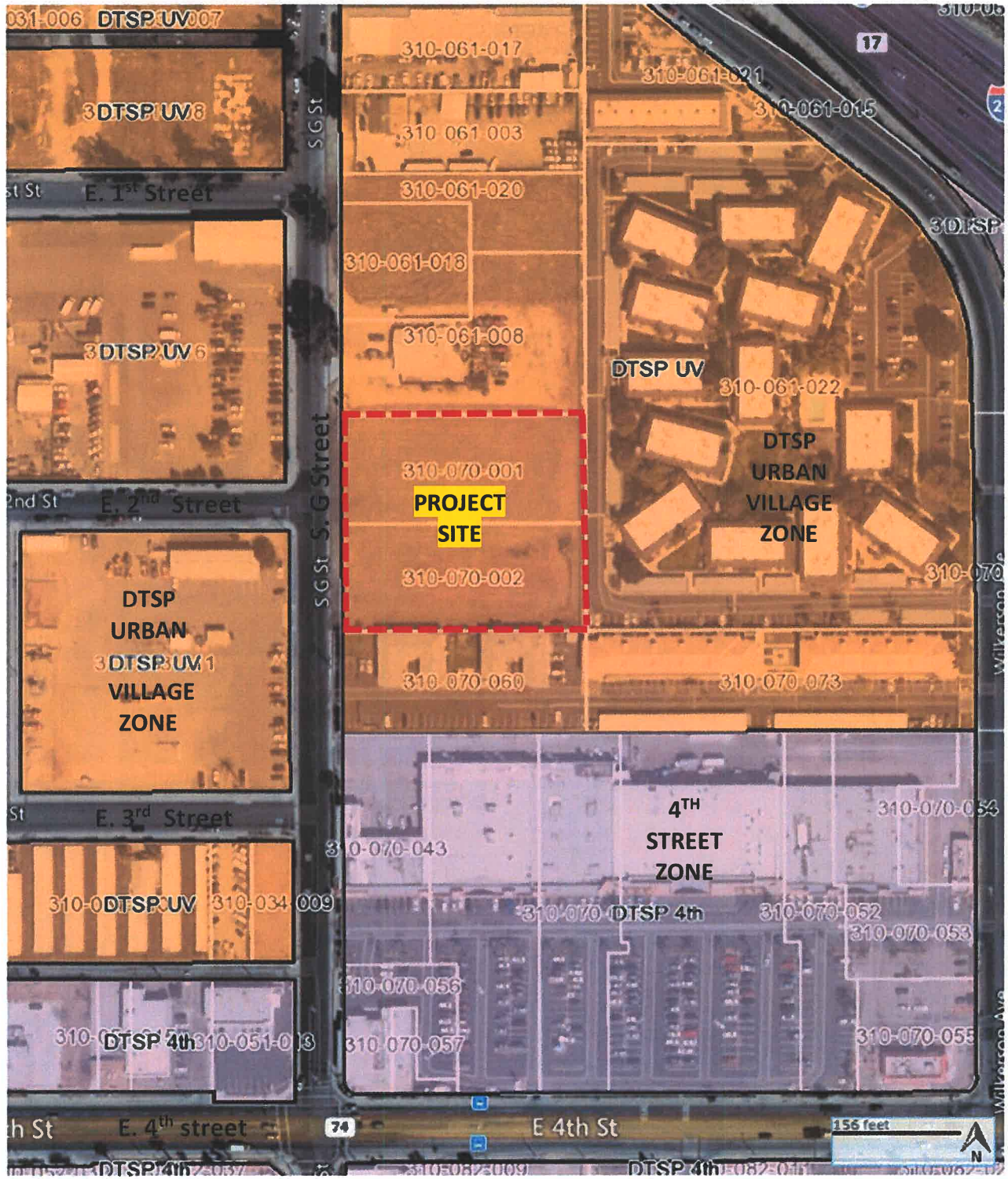
## **EXHIBIT B**

### **Location / Aerial Map**



# EXHIBIT C

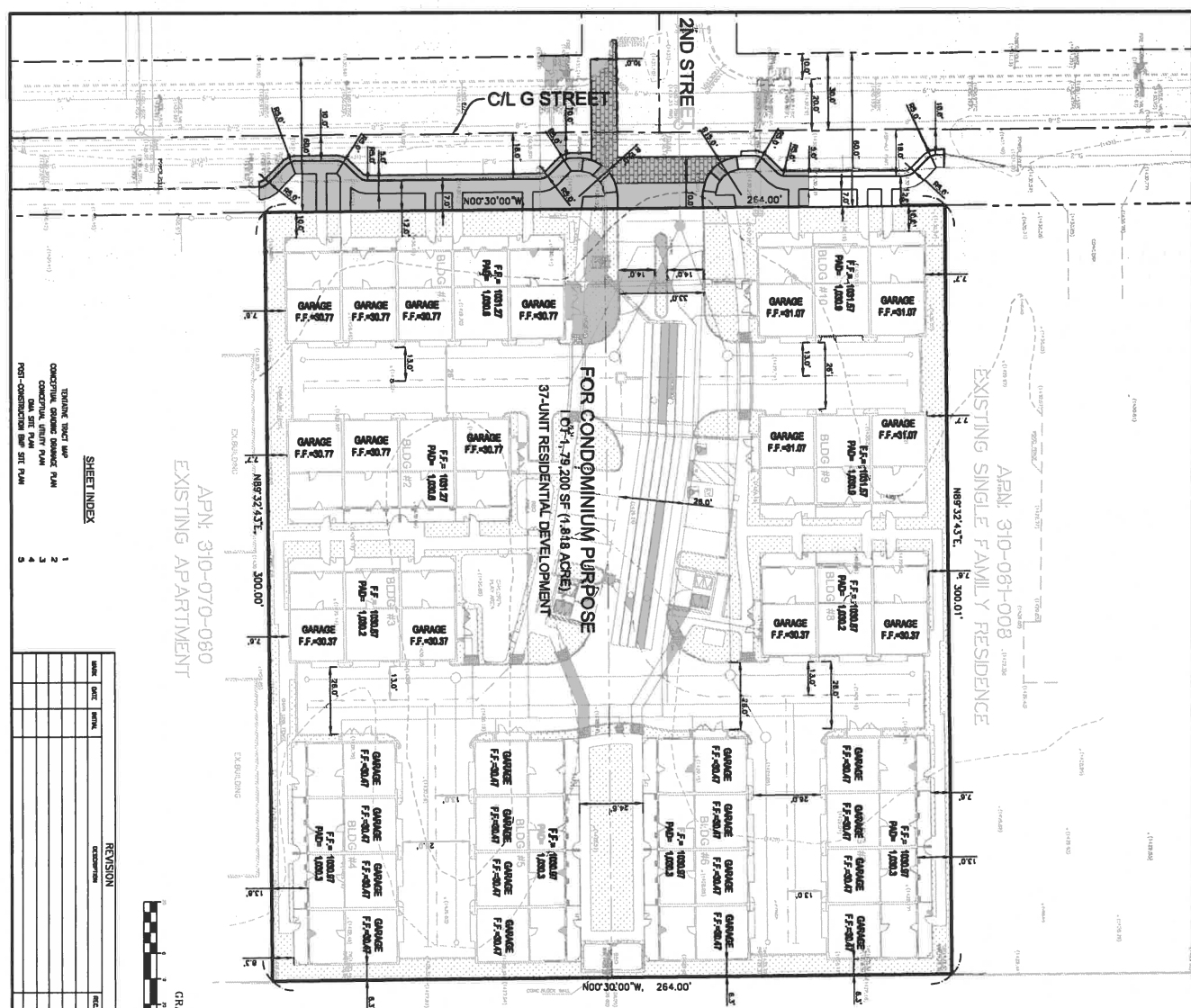
## Downtown Specific Plan Land Use Map





# Exhibit D

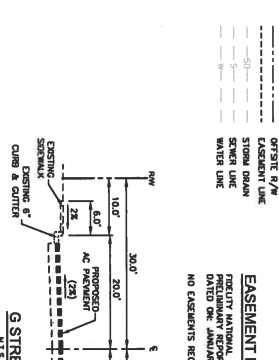
Proposed TTM 38380



APN: 310-070-080  
 APN: 310-061-008  
 APN: 317-061-022  
 COUNTRY HILLS APARTMENT

**REVISION**

NO.	DATE	DESCRIPTION
1		TRACING THIS MAP
2		CONCEPTUAL GARAGE DRIVEWAY PLAN
3		CONCEPTUAL UTILITY PLAN
4		CONCEPTUAL UNIT PLAN
5		PROG-DRAWING FOR SET PLAN



**BASIS OF BEARING:**  
 THE BASIS OF BEARING FOR THE CONTOUR OF ANY PROPERTY LINE IS THE MERIDIAN OF THE MERIDIAN IN BOOK 17 PAGE 78 IN THE OFFICE OF THE RECORDER OF RECORDS COUNTY OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGE 78 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RECORDS COUNTY OF CALIFORNIA.  
 APN: 310-070-080

**BENCHMARK:**  
 BENCHMARK COUNTY BENCH MARK: 11.28  
 G.A. NUMBER: 1438.24  
 IN THE INTERSECTION OF PERCH DRIVE AND HERSO DRIVE  
 MARKED COUNTY SURVEYOR

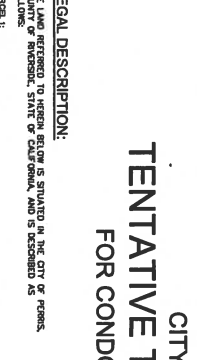
**UTILITY PURVEYORS**  
 WATER & SEWER: CITY OF PERRIS, DEPARTMENT OF PUBLIC WORKS (951) 991-3777  
 GAS: THE GAS DEPARTMENT (951) 991-3777  
 SANITARY CALIFORNIA UTILITY: (951) 991-3777  
 ELECTRIC: SOUTHERN CALIFORNIA Edison (951) 991-3777  
 TELEPHONE: TELCO TEL (951) 991-3777  
 CABLE/TELEVISION: THE CABLE COMPANY (951) 991-3777  
 TIRE SERVICE: TIRE SERVICE (951) 991-3777

**FLOOD ZONE**  
 ACCORDING TO THE CITY OF PERRIS WATER AND BASED UPON THE NATIONAL FLOOD INSURANCE PROGRAM MAPS THE SITE LIES WITHIN FLOOD ZONE 1. THE NATIONAL FLOOD INSURANCE PROGRAM MAPS ARE THE BASIS OF THE FEDERAL INSURANCE ADMINISTRATION.

**EASEMENT DESCRIPTIONS:**  
 FIDELITY NATIONAL TITLE COMPANY  
 PRELIMINARY REPORT NO. 00118731-81-61-SC1  
 DATED ON JANUARY 6, 2021  
 NO EASEMENTS RECORDS

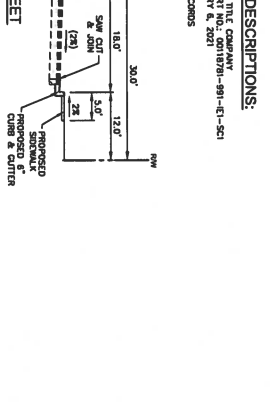
**LEGAL DESCRIPTION:**  
 THE LAND REFERRED TO HEREIN BEING IS SITUATED IN THE CITY OF PERRIS, CALIFORNIA, COUNTY OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
 PARCEL 1:  
 PART 1/4 ACRES 3/4 OF SECTION 18, T14N, R11E, S18E, AS PER MAP RECORDED IN BOOK 18, PAGE 78 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RECORDS COUNTY OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 78 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RECORDS COUNTY OF CALIFORNIA.  
 APN: 310-070-080

**GENERAL NOTES:**  
 PROJECT LOCATION:  
 EAST SIDE OF G STREET  
 PERRIS, CA 92570  
 310-070-001 & 310-070-002  
 URBAN WILDCAT  
 URBAN WILDCAT  
 SUBDIVISION ACQUIRE:  
 DATE MAP PREPARED:  
 NUMBERED LOTS/SELLING UNITS:  
 1 LOT, 37 UNIT RESIDENTIAL CONDOMINIUM



**REVISION**

NO.	DATE	DESCRIPTION
1		TRACING THIS MAP
2		CONCEPTUAL GARAGE DRIVEWAY PLAN
3		CONCEPTUAL UTILITY PLAN
4		CONCEPTUAL UNIT PLAN
5		PROG-DRAWING FOR SET PLAN



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 APN: 310-070-080

**BENCHMARK:**  
 BENCHMARK COUNTY BENCH MARK: 11.28  
 G.A. NUMBER: 1438.24  
 IN THE INTERSECTION OF PERCH DRIVE AND HERSO DRIVE  
 MARKED COUNTY SURVEYOR

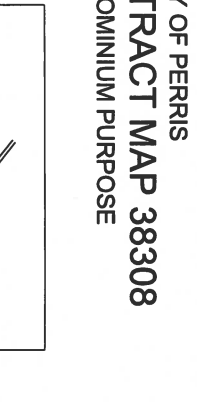
**UTILITY PURVEYORS**  
 WATER & SEWER: CITY OF PERRIS, DEPARTMENT OF PUBLIC WORKS (951) 991-3777  
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**FLOOD ZONE**  
 ACCORDING TO THE CITY OF PERRIS WATER AND BASED UPON THE NATIONAL FLOOD INSURANCE PROGRAM MAPS THE SITE LIES WITHIN FLOOD ZONE 1. THE NATIONAL FLOOD INSURANCE PROGRAM MAPS ARE THE BASIS OF THE FEDERAL INSURANCE ADMINISTRATION.

**EASEMENT DESCRIPTIONS:**  
 FIDELITY NATIONAL TITLE COMPANY  
 PRELIMINARY REPORT NO. 00118731-81-61-SC1  
 DATED ON JANUARY 6, 2021  
 NO EASEMENTS RECORDS

**LEGAL DESCRIPTION:**  
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 APN: 310-070-080

**GENERAL NOTES:**  
 PROJECT LOCATION:  
 EAST SIDE OF G STREET  
 PERRIS, CA 92570  
 310-070-001 & 310-070-002  
 URBAN WILDCAT  
 URBAN WILDCAT  
 SUBDIVISION ACQUIRE:  
 DATE MAP PREPARED:  
 NUMBERED LOTS/SELLING UNITS:  
 1 LOT, 37 UNIT RESIDENTIAL CONDOMINIUM



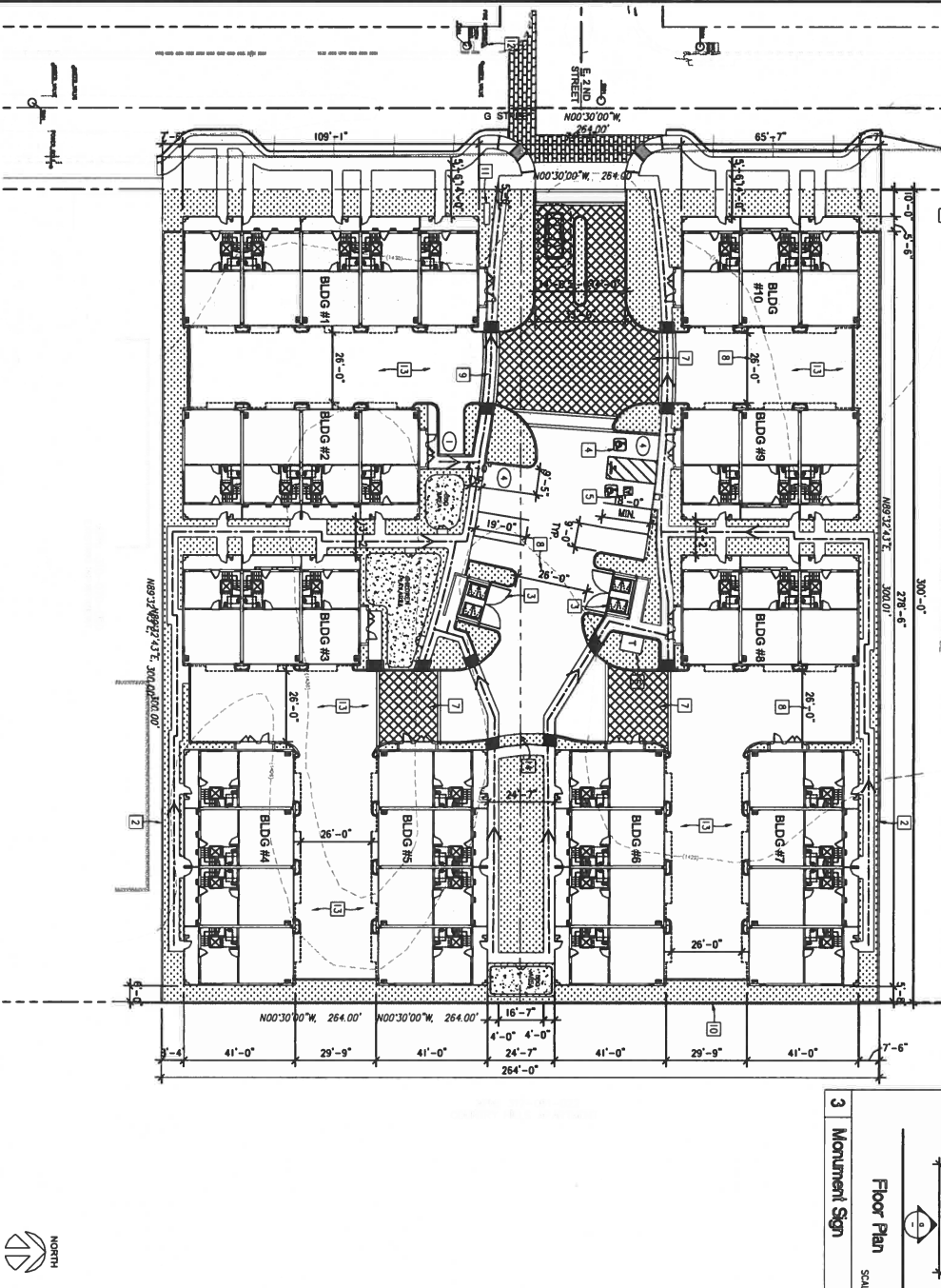
# Exhibit E

## Project Plans

(Site Plan, Floor Plans, Building Elevations,

Conceptual Landscape Plans)

Informational Purpose



APPLICABLE CODES:	REQUIRED: PARKING PROVIDED:
2019 CBC, CFC, OFC, OMC, OFC, CAC, GREEN RESIDENTIAL CODE, PERIS, CA 92570	2 SPACES 2-CAR GARAGE
175 & 225 SOUTH G STREET, PERRIS, CA 92570	2 SPACES 2-CAR GARAGE
310-070-001, 310-070-002, 310-070-003, 310-070-004, 310-070-005, 310-070-006, 310-070-007, 310-070-008, 310-070-009, 310-070-010	

**Project Data**

APPLICABLE CODES: 2019 CBC, CFC, OFC, OMC, OFC, CAC, GREEN RESIDENTIAL CODE, PERIS, CA 92570

PROJECT ADDRESS: 175 & 225 SOUTH G STREET, PERRIS, CA 92570

APPLICABLE ZONING: 310-070-001, 310-070-002, 310-070-003, 310-070-004, 310-070-005, 310-070-006, 310-070-007, 310-070-008, 310-070-009, 310-070-010

GENERAL PLAN: M2 (RESIDENTIAL)

CONSTRUCTION TYPE: CONCRETE

FIRE ALARM: YES WFA 1.1

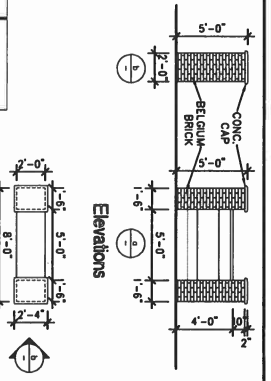
FIRE SPRINKLER: YES WFA 7.2

LANDSCAPE PERCENTAGE: 13.268 SF / 79,200 SF = 16.88%

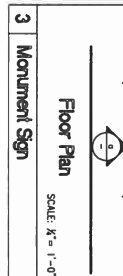
LOT COVERAGE: 85,974 SF / 79,200 SF = 10.8%

LANDSCAPE PERCENTAGE: 31,403 SF / 79,200 SF = 39.65%

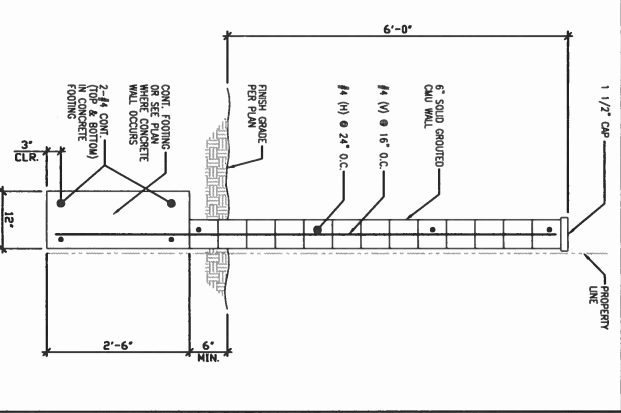
LANDSCAPE PERCENTAGE: 13,268 SF / 79,200 SF = 16.88%



- Reference Notes**
- (E) PROPERTY LINES
  - (N) FENCE WALL, SEE (1)
  - TRASH ENCLOSURE W/ ROOF, SEE (XII)
  - HANDICAP PARKING
  - EV PARKING
  - TRANSPORTER PAD
  - DECORATION PAINTING
  - 26'-0" WIRE FIRE LANE, SEE A1.02 FIRE ACCESS PLAN
  - (N) 4'-0" WIRE CONC. GRADED AREA OF TRAIL, FROM PUBLIC SIDEWALK TO PROPOSED BUILDING ENTRY AND SLOPE PROVE MIN 3'-0" TRUNCATED DOWNS AT ANY DRAINAGE CROSSING, SEE CIVIL PLAN
  - EXISTING WALL
  - MONUMENT SIGN, SEE (3)
  - (E) FIRE HYDRANT, SEE CIVIL PLAN
  - ASPHALT PAVING, TYP.
  - (P) FIRE HYDRANT LOCATION



- Legend**
- PATH OF TRAVEL
  - LANDSCAPE AREA
  - 26'-0" FIRE LANE
  - PARKING SPACES
  - FIRE HYDRANT



NO.	DATE	BY	REVISIONS
1	08/12/2021	WLD	ISSUED FOR PERMITS
2	08/12/2021	WLD	REVISED PER COMMENTS
3	08/12/2021	WLD	REVISED PER COMMENTS
4	08/12/2021	WLD	REVISED PER COMMENTS
5	08/12/2021	WLD	REVISED PER COMMENTS
6	08/12/2021	WLD	REVISED PER COMMENTS
7	08/12/2021	WLD	REVISED PER COMMENTS
8	08/12/2021	WLD	REVISED PER COMMENTS
9	08/12/2021	WLD	REVISED PER COMMENTS
10	08/12/2021	WLD	REVISED PER COMMENTS

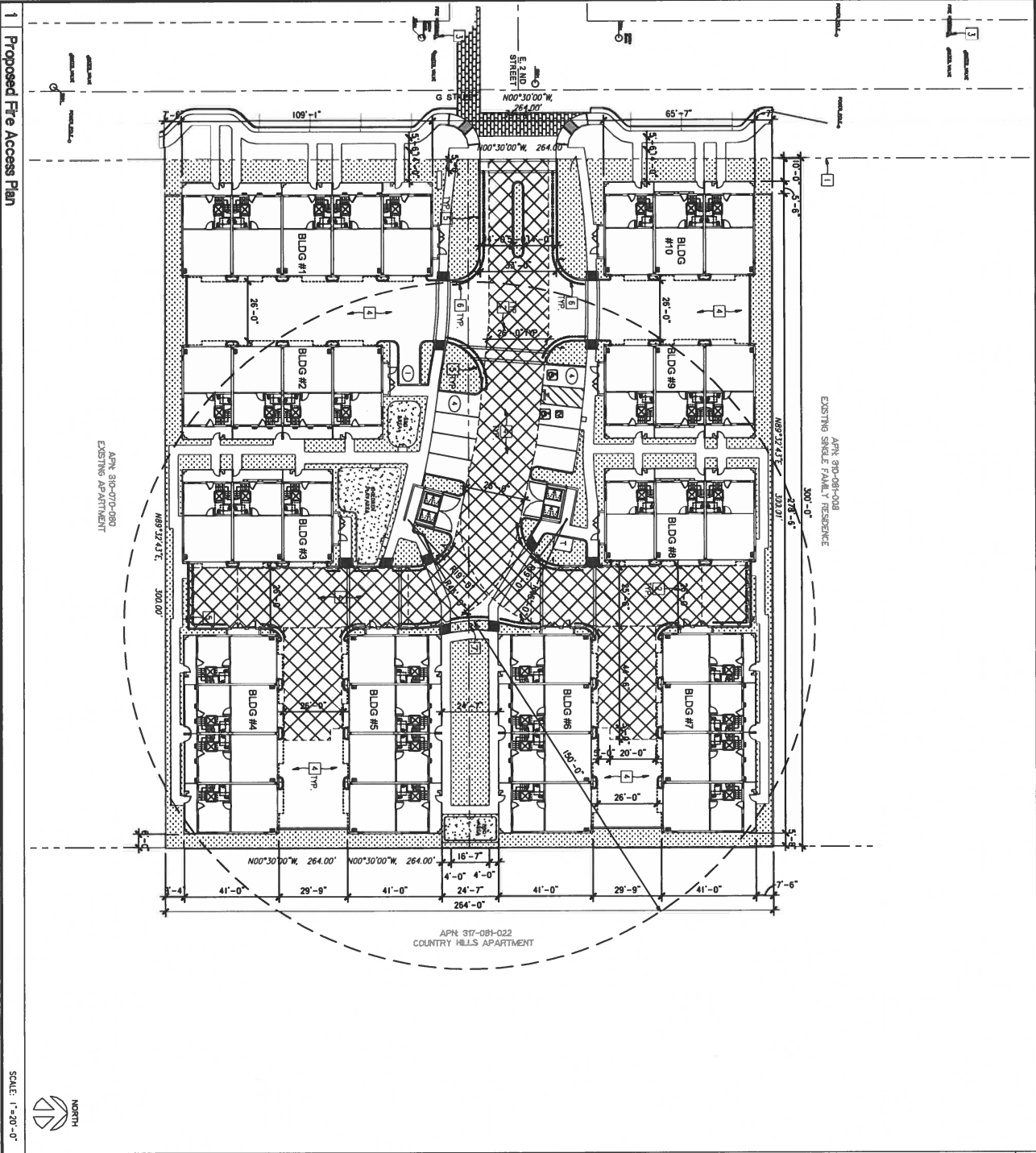
**PROPOSED SITE PLAN & REFERENCE NOTES**

PROJECT: A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)

ADDRESS: 175 & 225 SOUTH G STREET, PERRIS, CA 92570

CLIENT: GRACE SU  
HEIGLO REALTY GROUP, INC.  
12403 CENTRAL AVE., #510  
CHINO, CA 91710

WORLD DESIGN CONSULTANTS, INC.  
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR DESIGN  
2325 W. FERNWOOD BLVD., STE. 1, UPLAND, CA 91786  
PHONE: (909) 998-7118 FAX: (909) 998-1107



**Reference Notes**

- 1 (E) PROPERTY LINES.
- 2 (N) 20' WIDE FIRE LANE FOR MIN. 60,000 LBS VEHICLE BEARING CAPACITY
- 3 (E) FIRE HYDRANT, SEE OML PLAN
- 4 ASPHALT PAVING, TYP.
- 5 POST MOUNTED FIRE LANE NO PARKING SIGN WITHIN 3'-0" OF THE END OF EACH DESIGNATED FIRE LANE AND SPACED MAX. 20' ON FIRE LANE. SEE FIRE DEPT. ATTACHMENT 14 ON SHEET 201 OF
- 6 FIRE LANE RED CURB.
- 7 (P) FIRE HYDRANT LOCATION

**Legend**

- - - FIRE LANE RED CURB
- LANDSCAPE AREA
- 20'-0" FIRE LANE
- △ FIRE HYDRANT
- △ POST MOUNTED FIRE LANE NO PARKING SIGN

**KEY PLAN**

SCALE: 1"=20'-0"

**PROJECT:** A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)  
**ADDRESS:** 175 & 225 SOUTH G STREET, FERRIS, CA 92570  
**CLIENT:** GRACE SU  
 MEIGUO REALTY GROUP, INC.  
 12403 CENTRAL AVE., #610  
 CHINO, CA 91710

**DATE:** 12/15/22  
**BY:** [Signature]  
**CHECKED BY:** [Signature]  
**SCALE:** 1"=20'-0"

**REVISIONS**

NO.	DATE	DESCRIPTION
1	12/15/22	ISSUED FOR PERMIT

**KEY PLAN**

SCALE: 1"=20'-0"

**PROPOSED FIRE ACCESS PLAN**

**DATE:** 12/15/22  
**BY:** [Signature]  
**CHECKED BY:** [Signature]  
**SCALE:** 1"=20'-0"

**PROJECT:** A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)  
**ADDRESS:** 175 & 225 SOUTH G STREET, FERRIS, CA 92570  
**CLIENT:** GRACE SU  
 MEIGUO REALTY GROUP, INC.  
 12403 CENTRAL AVE., #610  
 CHINO, CA 91710

**DATE:** 12/15/22  
**BY:** [Signature]  
**CHECKED BY:** [Signature]  
**SCALE:** 1"=20'-0"

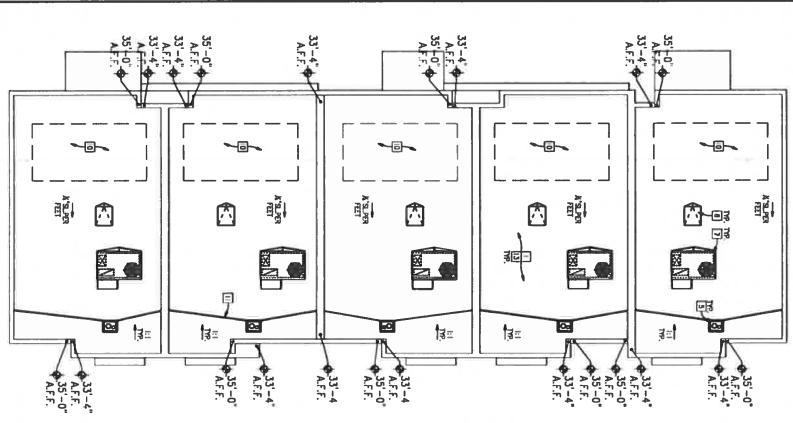
**Reference Notes**

- 1. GLASS V. U. WITH Y TPO (MINIMUM 45% POLYURETHANE) SHOWN BY ROOFING MANUFACTURER'S SPECIFICATIONS. BUILDING PRODUCTS OR APPROVED EQUIVALENT. (ESP-283)
- 2. CIRC. PROD. ID. 0808-0008
- 3. MIN. SOLAR REFLECTANCE: 0.79
- 4. MIN. SOLAR HEAT GAIN COEFFICIENT: 0.27
- 5. THERMAL EMITTANCE: 0.85
- 6. 3 YEAR THERMAL EMITTANCE: 0.83
- 7. MIN. SFR: 0.05
- 8. 3 YEAR SFR: 0.05
- 9. NOT USE
- 10. ROOF DRAIN AND OVERFLOW OUTLET
- 11. 30"x36" SQ. ROOF HATCH BY BLDG OR APPROVED EQUAL
- 12. A/C UNIT & EQUIPMENT PLATFORM

PROPOSED SOLAR ZONE (MIN. 15%)  
 TOTAL ROOF AREA = 3,943 S.F.  
 REQUIRED SOLAR ZONE (MIN. 15%)  
 = 3,943 S.F. x .15 = 591 S.F.  
 PROVIDED AREA = 640 S.F.  
 PARAPET BRACKETS, SEE STR. PLAN.

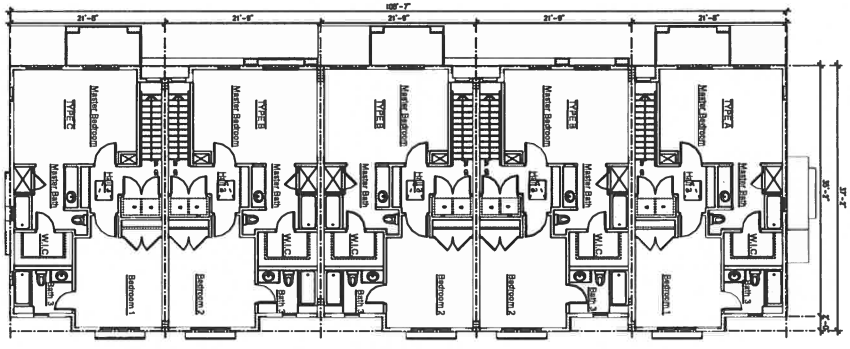
**General Notes**

- 1. ALL WALL DIMENSIONS ARE FROM F.O.S., UNLESS NOTED OTHERWISE.
- 2. ALL WINDOW AND DOOR DIMENSIONS ARE LISTED CENTER LINE OF THE WINDOW OR DOOR, UNLESS NOTED OTHERWISE.
- 3. PROVIDE R-13 INSULATION @ ALL PLUMBING WALLS



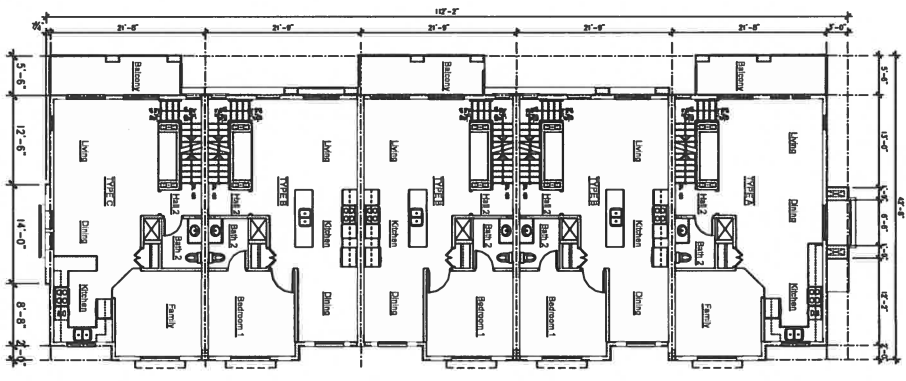
4 Roof Plan

SCALE: 1/8" = 0'-0"



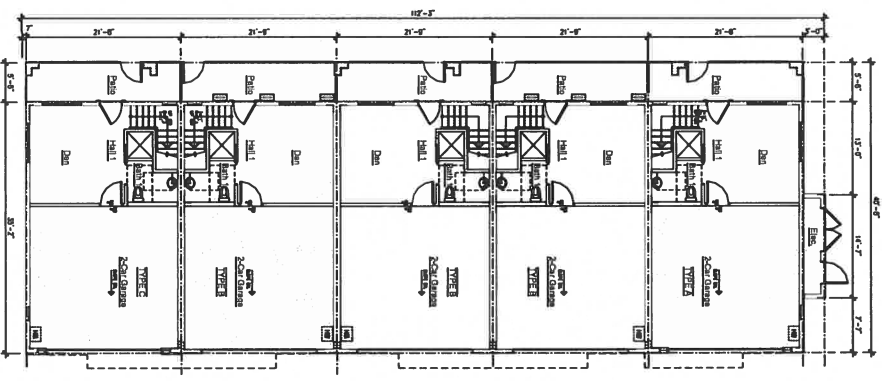
3 3/F Floor Plan

SCALE: 1/8" = 1'-0"



2 2/F Floor Plan

SCALE: 1/8" = 1'-0"



1 1/F Floor Plan

SCALE: 1/8" = 1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY, AND THE PROPERTY OF W&L DESIGN CONSULTANTS INC. AND PROTECTED BY THE CURRENT ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT, AND OTHER APPLICABLE LAWS. THESE DRAWINGS WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT; NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED OR REPRODUCED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF W&L DESIGN CONSULTANTS INC. THESE DRAWINGS ARE NOT VALID FOR CONSTRUCTION PURPOSES UNLESS EXPRESSEDLY CERTIFIED BY W&L DESIGN CONSULTANTS INC. FOR CONSTRUCTION ONLY. COPYRIGHT © 2023 W&L DESIGN CONSULTANTS INC.

**PROJECT:** A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)  
**ADDRESS:** 175 & 225 SOUTH G STREET, PERRIS, CA 92570  
**CLIENT:** GRACE SU, MEGUO REALTY GROUP, INC., 12405 CENTRAL AVE., #610 CHINO, CA 91710

**PROPOSED FLOOR PLAN BUILDING #1**

**REVISIONS:**

NO.	DATE	BY	REVISIONS
1	10/2/2023	ALZL	ISSUED FOR PERMITS
2	10/2/2023	ALZL	ISSUED FOR PERMITS
3	10/2/2023	ALZL	ISSUED FOR PERMITS

**KEY:** 1/8" = 1'-0" (SCALE)

**DATE:** 10/2/2023

**PROJECT:** A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT

**ADDRESS:** 175 & 225 SOUTH G STREET, PERRIS, CA 92570

**CLIENT:** GRACE SU, MEGUO REALTY GROUP, INC., 12405 CENTRAL AVE., #610 CHINO, CA 91710

**W&L DESIGN CONSULTANTS INC.**  
 ARCHITECTURAL, CIVIL, CONCRETE, & INTERIOR  
 175 & 225 SOUTH G STREET, PERRIS, CA 92570  
 (951) 299-7119 FAX: (951) 299-7110

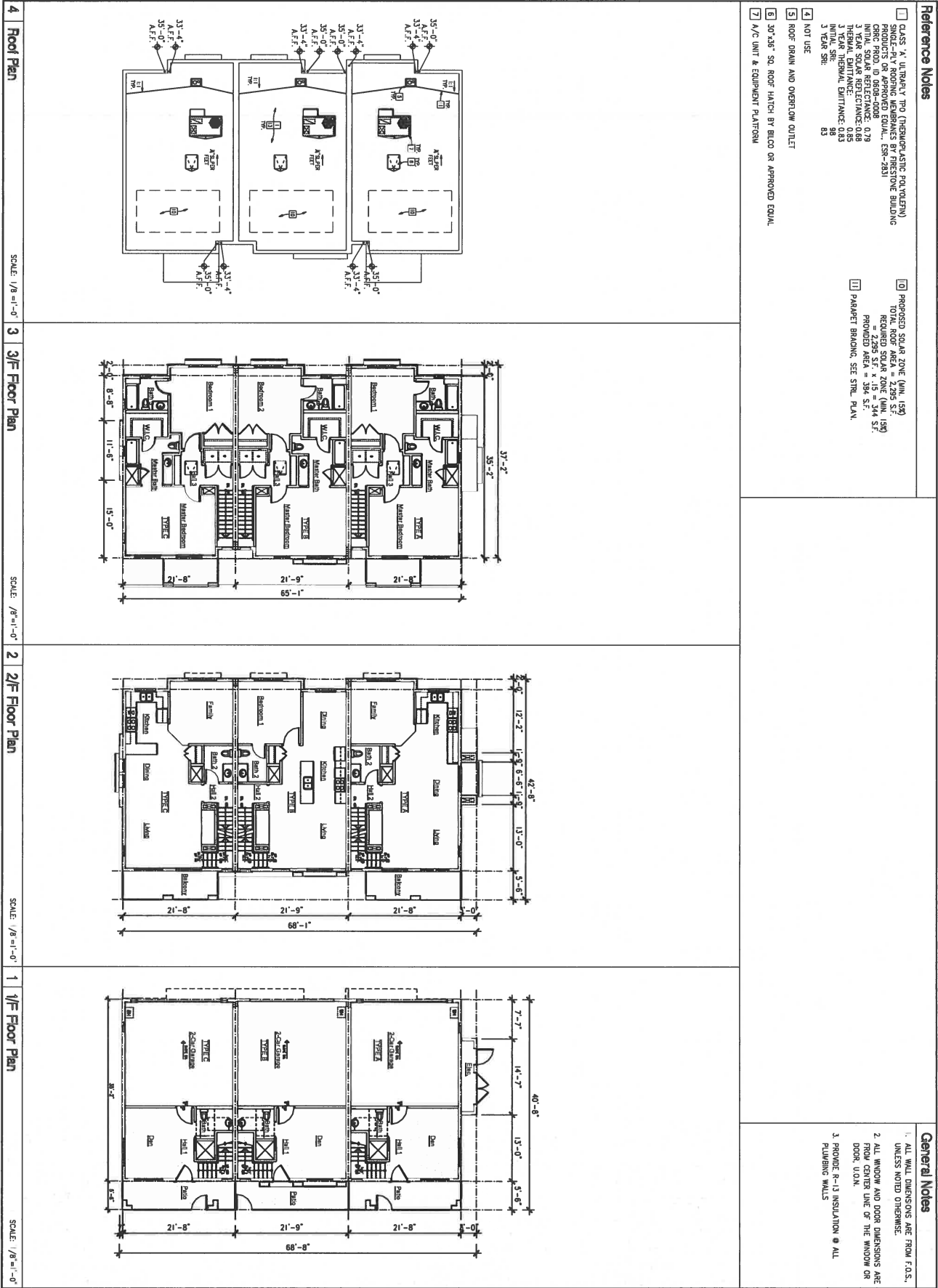
**Reference Notes**

- 1 GLASS 'A' ULTRALIGHT TPO (THERMOPLASTIC POLYOLEFIN) SINGLE-PLY ROOFING MEMBRANE BY PRESTONE BUILDING PRODUCTS OR APPROVED EQUAL, ESR-2831
- 2 INITIAL SOLAR REFLECTANCE: 0.79
- 3 1 YEAR SOLAR REFLECTANCE: 0.88
- 4 THERMAL EMITTANCE: 0.85
- 5 INITIAL SRI: 98
- 6 3 YEAR SRI: 83
- 7 NOT USE
- 8 ROOF DRAIN AND OVERFLOW OUTLET
- 9 30" SQ. ROOF HATCH BY BUCO OR APPROVED EQUAL
- 10 A/C UNIT & EQUIPMENT PLATFORM

PROPOSED SOLAR ZONE (MIN. 15%)  
 TOTAL ROOF AREA = 2,285 S.F.  
 REQUIRED SOLAR ZONE (MIN. 15%)  
 PROPOSED SOLAR ZONE = 185 S.F. (8.1%)  
 PARAPET BRACING, SEE STRL. PLAN.

**General Notes**

1. ALL WALL DIMENSIONS ARE FROM F.O.S., UNLESS NOTED OTHERWISE.
2. ALL WINDOW AND DOOR DIMENSIONS ARE FROM CENTER LINE OF THE WINDOW OR DOOR, U.O.N.
3. PROVIDE R-13 INSULATION @ ALL PLUMBING WALLS



4 Roof Plan SCALE: 1/8"=1'-0"  
 3 3/F Floor Plan SCALE: 1/8"=1'-0"  
 2 2/F Floor Plan SCALE: 1/8"=1'-0"  
 1 1/F Floor Plan SCALE: 1/8"=1'-0"

<p><b>PROPOSED FLOOR PLAN</b>                  BUILDING #8, #10                  (BUILDING #3, #9 REVERSED)</p> <p>DATE: 11/15/2011                  SCALE: 1/8"=1'-0"</p>	<p>PROJECT: A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)                  ADDRESS: 175 &amp; 225 SOUTH G STREET, PERRIS, CA 92570</p> <p>CLIENT: GRACE SU                  MEIGUO REALTY GROUP, INC.                  12403 CENTRAL AVE., #510                  CHINO, CA 91710</p>	<p><b>W&amp;L DESIGN CONSULTANTS, INC.</b>                  12403 CENTRAL AVE., #510                  CHINO, CA 91710                  TEL: (909) 592-1111                  FAX: (909) 592-1112</p>																																																														
<p>JOB NO. 210443                  DRAWN BY: AZL                  SUPERVISED BY: TL                  CHECKED BY: JLD                  PLAN CHECK: JLD                  PROJECT: 175 &amp; 225 SOUTH G STREET, PERRIS, CA 92570</p> <p><b>REVISIONS</b></p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>1</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>2</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>3</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>4</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>5</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>6</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>7</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>8</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>9</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>10</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>11</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>12</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>13</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>14</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>15</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>16</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>17</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>18</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>19</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> <tr><td>20</td><td>11/15/2011</td><td>ISSUE FOR PERMITS</td></tr> </table>	NO.	DATE	DESCRIPTION	1	11/15/2011	ISSUE FOR PERMITS	2	11/15/2011	ISSUE FOR PERMITS	3	11/15/2011	ISSUE FOR PERMITS	4	11/15/2011	ISSUE FOR PERMITS	5	11/15/2011	ISSUE FOR PERMITS	6	11/15/2011	ISSUE FOR PERMITS	7	11/15/2011	ISSUE FOR PERMITS	8	11/15/2011	ISSUE FOR PERMITS	9	11/15/2011	ISSUE FOR PERMITS	10	11/15/2011	ISSUE FOR PERMITS	11	11/15/2011	ISSUE FOR PERMITS	12	11/15/2011	ISSUE FOR PERMITS	13	11/15/2011	ISSUE FOR PERMITS	14	11/15/2011	ISSUE FOR PERMITS	15	11/15/2011	ISSUE FOR PERMITS	16	11/15/2011	ISSUE FOR PERMITS	17	11/15/2011	ISSUE FOR PERMITS	18	11/15/2011	ISSUE FOR PERMITS	19	11/15/2011	ISSUE FOR PERMITS	20	11/15/2011	ISSUE FOR PERMITS	<p>ALL DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY, AND THE PROPERTY OF W&amp;L DESIGN CONSULTANTS, INC. AND PROTECTED BY THE CURRENT ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT AND OTHER APPLICABLE LAWS. THESE DRAWINGS WERE CREATED, INVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF W&amp;L DESIGN CONSULTANTS, INC. THESE DRAWINGS ARE NOT VALID FOR CONSTRUCTION PURPOSES UNLESS EXPRESSEDLY CERTIFIED BY W&amp;L DESIGN CONSULTANTS, INC. FOR CONSTRUCTION ONLY.</p>
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19	11/15/2011	ISSUE FOR PERMITS																																																														
20	11/15/2011	ISSUE FOR PERMITS																																																														

**Reference Notes**

- 1 CLASS "A, ULTRABARY TPO (THERMOPLASTIC POLYOLEFIN) SINGLE-PLY ROOFING MEMBRANES BY FRESTONE BUILDING PRODUCTS OR APPROVED EQUAL., ESR-2831
- 2 DARK PIGMENT, 10 DROPS-PER-GAL
- 3 3 YEAR SOLAR REFLECTANCE: 0.79
- 4 THERMAL EMITTANCE: 0.85
- 5 3 YEAR THERMAL EMITTANCE: 0.83
- 6 3 YEAR SHR: 85
- 7 11 PARAPET BRACKING, SEE STR. PLAN.

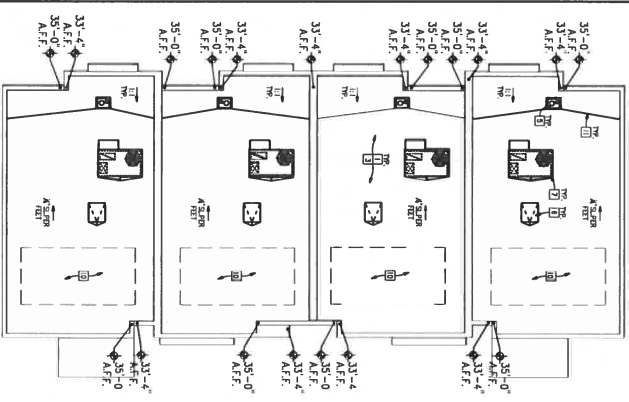
- 8 PROPOSED SOLAR ZONE (MIN. 15%) TOTAL ROOF AREA = 3,154 S.F. REQUIRED SOLAR ZONE (MIN. 15%) = 3,54 S.F. x .15 = 474 S.F. PROVIDED AREA = 512 S.F.
- 9 NOT USE
- 10 ROOF DRAIN AND OVERFLOW OUTLET
- 11 30" SQ. ROOF HATCH BY BALCO OR APPROVED EQUAL
- 12 4" C UNIT & EQUIPMENT PLATFORM

**General Notes**

- 1 ALL WALL DIMENSIONS ARE FROM F.O.S., UNLESS NOTED OTHERWISE.
- 2 ALL WINDOW AND DOOR DIMENSIONS ARE FROM CENTER LINE OF THE WINDOW OR DOOR, U.O.N.
- 3 PROVIDE R-13 INSULATION @ ALL PLUMBING WALLS

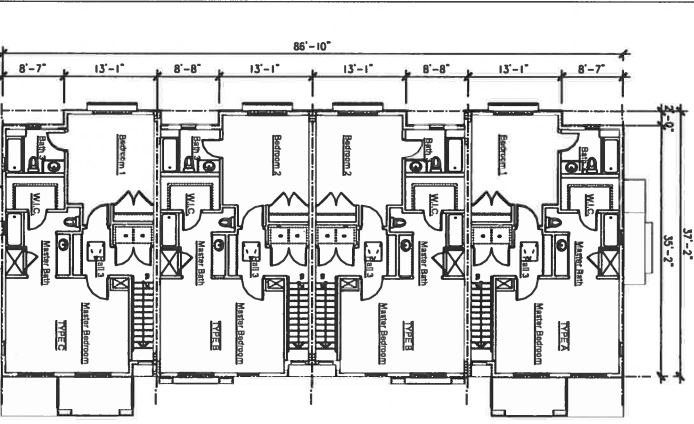
4 Roof Plan

SCALE: 1/8" = 1'-0"



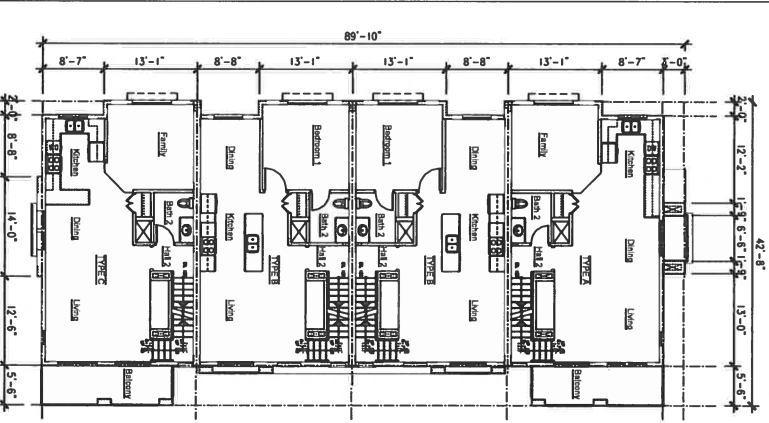
3 3/F Floor Plan

SCALE: 7/8" = 1'-0"



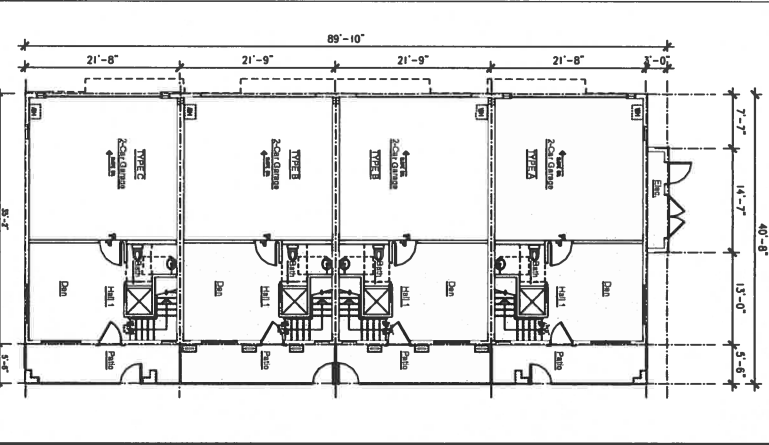
2 2/F Floor Plan

SCALE: 7/8" = 1'-0"



1 1/F Floor Plan

SCALE: 7/8" = 1'-0"



S H E E T  
OF  
S H E E T S

**A2.03**

NO.	DATE	DESCRIPTION
1	10/20/23	REVISED PER COMMENTS
2	10/20/23	REVISED PER COMMENTS
3	10/20/23	REVISED PER COMMENTS
4	10/20/23	REVISED PER COMMENTS
5	10/20/23	REVISED PER COMMENTS



SHEET TITLE:  
**PROPOSED FLOOR PLAN  
BUILDING #2, #5, #7  
(BUILDING #4, #6 REVERSED)**

PROJECT: **A 37-UNIT RESIDENTIAL (CONDO)  
DEVELOPMENT  
(DPR 21-00018)**  
ADDRESS: **175 & 225 SOUTH G STREET,  
PERRIS, CA 92570**  
CLIENT: **GRACE SU  
MIGUO REALTY GROUP, INC.  
1262 CENTRAL AVE., #610  
CHINO, CA 91710**

**W&L LAND DESIGN CONSULTANTS, INC.**  
ARCHITECTS, CIVIL ENGINEERS & INTERIOR DESIGNERS  
2255 N. Foothill Blvd., Ste. 1, Pomona, CA 91768  
PHONE: (909) 896-7710 FAX: (909) 896-7110



**Colors & Materials**

- 1 ARTISAN SHIP-LAP SIDING BY JAMES HARDIE W/ PAINT FINISH  
COLOR: DUNN EDWARDS, DET827 PEPPER PATTER
- 2 STONE BY CORONADO STONE  
STYLE: ROMAN BRICK, COLOR: SORANO
- 3 LAHARRA STUCCO W/ PAINT FINISH OR EQ.  
COLOR: DUNN EDWARDS, DET845 COPPER MANNING
- 4 LAHARRA STUCCO W/ PAINT FINISH OR EQ.  
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 5 LAHARRA STUCCO W/ PAINT FINISH OR EQ.  
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 6 LAHARRA STUCCO W/ PAINT FINISH OR EQ.  
COLOR: DUNN EDWARDS, DET826 BARREL STOVE
- 7 NOT IN USE
- 8 LAHARRA STUCCO W/ PAINT FINISH OR EQ.  
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 9 FOAM MOLDING W/ PAINT FINISH  
COLOR: DUNN EDWARDS, DET868 WHITE PICKET FENCE
- 10 VINYL WINDOW BY MILGARD - DUAL GLAZING, COLOR: WHITE
- 11 VINYL SLIDING DOOR BY MILGARD - DUAL GLAZING, COLOR: WHITE
- 12 STAINLESS STEEL CABLE RAILING
- 13 ENTRY DOOR W/ PAINT FINISH, COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 14 GARAGE DOOR  
COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 15 DOOR W/ PAINT FINISH, COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO
- 16 EXTERIOR LED WALL LIGHTING, MOCHER, WALDORF 12" LED WALL LIGHT TEXTURED BLACK
- 17 EXTERIOR LED WALL LIGHTING, POSSINI LIGHTING, STAMBERG BLACK OUTDOOR LED WALL UP AND DOWNLIGHT

**Color Legend**

- ARTISAN SHIP-LAP SIDING BY JAMES HARDIE W/ PAINT FINISH  
COLOR: DUNN EDWARDS, DET827 PEPPER PATTER 1
- STONE BY CORONADO STONE  
STYLE: ROMAN BRICK 2
- EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUNN EDWARDS, DET845 COPPER MANNING 3
- EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO 4
- EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUNN EDWARDS, DET845 COPPER MANNING 5
- EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO 6
- EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUNN EDWARDS, DET826 BARREL STOVE 7
- EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUNN EDWARDS, DET880 ESPRESSO MACCHIATO 8



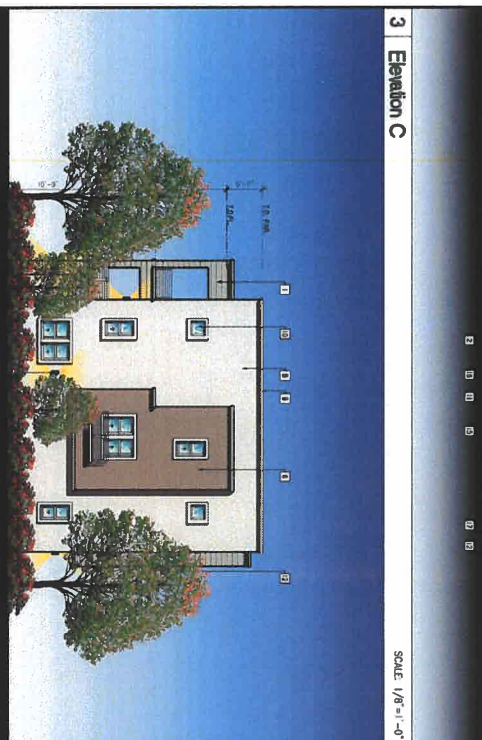
1 Elevation A

SCALE: 1/8"=1'-0"



2 Elevation B

SCALE: 1/8"=1'-0"



3 Elevation C

SCALE: 1/8"=1'-0"



4 Elevation D

SCALE: 1/8"=1'-0"

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/20/22	ISSUED FOR PERMIT
2	10/20/22	ISSUED FOR PERMIT
3	10/20/22	ISSUED FOR PERMIT
4	10/20/22	ISSUED FOR PERMIT
5	10/20/22	ISSUED FOR PERMIT
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17	10/20/22	ISSUED FOR PERMIT
18	10/20/22	ISSUED FOR PERMIT
19	10/20/22	ISSUED FOR PERMIT
20	10/20/22	ISSUED FOR PERMIT

**PROJECT: A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)**

ADDRESS: 175 & 225 SOUTH G STREET, PERRIS, CA 92570

CLIENT: GRACE SU MEIGUO REALTY GROUP, INC. 12403 CENTRAL AVE., #610 CHINO, CA 91710

DATE: 10/20/22

SCALE: 1/8"=1'-0"

SHEET NO. **A3.01** OF SHEETS **15**

**Colors & Materials**

- 1 ARTISAN SHIP-LAP SIDING BY JAMES HANQUE  
W/ PAINT FINISH  
COLOR: DUNN EDWARDS, DET1827 PEPPER PRINTER
- 2 STONE BY CORONADO STONE  
STYLE: ROMAN BRICK, COLOR: SOPRANO
- 3 LAHARA STUCCO W/ PAINT FINISH OR EQ  
SANTA BARBARA MISSION FINISH  
COLOR: DUNN EDWARDS, DET1455 COPPER MINING
- 4 LAHARA STUCCO W/ PAINT FINISH OR EQ  
SANTA BARBARA MISSION FINISH  
COLOR: DUNN EDWARDS, DET1800 ESPRESSO MACCHIATO
- 5 LAHARA STUCCO W/ PAINT FINISH OR EQ  
SANTA BARBARA MISSION FINISH  
COLOR: DUNN EDWARDS, DET1800 ESPRESSO MACCHIATO
- 6 LAHARA STUCCO W/ PAINT FINISH OR EQ  
SANTA BARBARA MISSION FINISH  
COLOR: DUNN EDWARDS, DET1800 ESPRESSO MACCHIATO
- 7 NOT IN USE
- 8 LAHARA STUCCO W/ PAINT FINISH OR EQ  
SANTA BARBARA MISSION FINISH  
COLOR: DUNN EDWARDS, DET1800 ESPRESSO MACCHIATO
- 9 FOAM MOLDING W/ PAINT FINISH  
COLOR: DUNN EDWARDS, DET1848 WHITE POCKET FENCE
- 10 W/NT, WINDOW BY MILGARD - DUAL GLAZING,  
COLOR: WHITE
- 11 W/NT, SLIDING DOOR BY MILGARD - DUAL GLAZING,  
COLOR: WHITE
- 12 STAINLESS STEEL CABLE RAILING
- 13 ENTRY DOOR W/ PAINT FINISH,  
SANTA BARBARA MISSION FINISH  
COLOR: DUNN EDWARDS, DET1800 ESPRESSO MACCHIATO

- 4 GARAGE DOOR  
COLOR: DUNN EDWARDS, DET1800 ESPRESSO MACCHIATO
- 5 DOOR W/ PAINT FINISH,  
COLOR: DUNN EDWARDS, DET1800 ESPRESSO MACCHIATO
- 6 EXTERIOR LED WALL LIGHTING,  
MOCHLA, WALDEN 12' LED WALL LIGHT TEXTURED BLACK  
POSSIBLE LIGHTING, STANFORD BLACK OUTDOOR  
LED WALL UP AND DOWNLIGHT

**Color Legend**

	ARTISAN SHIP-LAP SIDING BY JAMES HANQUE W/ PAINT FINISH COLOR: DUNN EDWARDS, DET1827 PEPPER PRINTER
	STONE BY CORONADO STONE STYLE: ROMAN BRICK COLOR: SOPRANO
	EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUNN EDWARDS, DET1455 COPPER MINING
	EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUNN EDWARDS, DET1800 ESPRESSO MACCHIATO
	EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUNN EDWARDS, DET1800 ESPRESSO MACCHIATO
	EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUNN EDWARDS, DET1800 ESPRESSO MACCHIATO



**3 Elevation C**



**4 Elevation D**



**1 Elevation A**



**2 Elevation B**

**REVISIONS**

NO.	DATE	DESCRIPTION

**KEY MAP**

**SHEET TITLE**

**ELEVATIONS  
BUILDING #8 & #10  
(BUILDING #3, #9 REVERSED)**

**PROJECT:** A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)  
ADDRESS: 175 & 225 SOUTH G STREET, PERRIS, CA 92570

**CLIENT:** GRACE SU  
MEIGLO REALTY GROUP, INC.  
12403 CENTRAL AVE., #610  
CHINO, CA 91710

**WEYLAND DESIGN CONSULTANTS, INC.**  
1155 N. FORTMILL BLVD., STE. 1100, CHINO, CA 91710  
PHONE: (909) 896-7100 FAX: (909) 896-4127  
COPYRIGHT © 2021 WEYLAND DESIGN CONSULTANTS

**Colors & Materials**

- 1 ARTISAN SHIP-LAP SIDING BY JAMES HARDIE  
W/ PAINT FINISH  
COLOR: DUINN EDWARDS, DET18Z FEWTER PATTERN
- 2 STONE BY CORONADO STONE  
STYLE: ROMAN BRICK, COLOR: SOPRANO
- 3 LAHARRA STUCCO W/ PAINT FINISH OR EQ.  
COLOR: DUINN EDWARDS, DE1455 COPPER MINING
- 4 LAHARRA STUCCO W/ PAINT FINISH OR EQ.  
COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO
- 5 LAHARRA STUCCO W/ PAINT FINISH OR EQ.  
COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO
- 6 SANTA BARBARA MISSION FINISH  
COLOR: DUINN EDWARDS, DE1826 BARREL STOVE
- 7 HOT IN USE
- 8 LAHARRA STUCCO W/ PAINT FINISH OR EQ.  
COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO
- 9 FOAM MOLDING W/ PAINT FINISH  
COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO
- 10 VINYL WINDOW BY MILGARD - DUAL GLAZING,  
COLOR: WHITE
- 11 VINYL SLIDING DOOR BY MILGARD - DUAL GLAZING,  
COLOR: WHITE
- 12 STAINLESS STEEL CABLE RAILING
- 13 ENTRY DOOR W/ PAINT FINISH,  
COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO

- 14 GARAGE DOOR  
COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO
- 15 DOOR W/ PAINT FINISH,  
COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO
- 16 EXTERIOR LED WALL LIGHTING,  
MICHELE WALDEN 12" LED WALL LIGHT TEXTURED BLACK
- 17 EXTERIOR LED WALL LIGHTING,  
FRONSONI LUMINANCE STAINLESS BLACK OUTDOOR  
LED WALL UP AND DOWNLIGHT

**Color Legend**

	ARTISAN SHIP-LAP SIDING BY JAMES HARDIE W/ PAINT FINISH COLOR: DUINN EDWARDS, DE182Z FEWTER PATTERN		EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUINN EDWARDS, DE1455 COPPER MINING
	STONE BY CORONADO STONE STYLE: ROMAN BRICK COLOR: SOPRANO		EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO
	LAHARRA STUCCO W/ PAINTED FINISH, COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO		EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO
	LAHARRA STUCCO W/ PAINTED FINISH, COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO		EXTERIOR SMOOTH STUCCO W/ PAINTED FINISH, COLOR: DUINN EDWARDS, DE1880 ESPRESSO MACCHIATO



3 Elevation C  
SCALE: 1/8"=1'-0"



4 Elevation D  
SCALE: 1/8"=1'-0"



1 Elevation A  
SCALE: 1/8"=1'-0"



2 Elevation B  
SCALE: 1/8"=1'-0"



WAVE CONSULTANTS INC.  
ARCHITECTS, CIVIL ENGINEERS & DESIGNERS  
2100 S. FORT VALLEY BLVD., STE. 100  
CHINO, CA 91710  
TEL: (909) 398-1110 FAX: (909) 398-1111

PROJECT: A 37-UNIT RESIDENTIAL (CONDO) DEVELOPMENT (DPR 21-00018)  
ADDRESS: 175 & 225 SOUTH G STREET, PERRIS, CA 92570  
CLIENT: GRACE SU MEIGUO REALTY GROUP, INC. 12403 CENTRAL AVE., #610 CHINO, CA 91710

SHEET TITLE:  
**ELEVATIONS  
BUILDING #2, #5, & #7  
(BUILDING #4, #6 REVERSED)**



JOB NO.	21044
DRAWN BY	MZA
SUPERVISED BY	TL
CHECKED BY	TL
PLAN CHECK	
REVISION SET	
DATE	11/06/2022
SCALE	1/8"=1'-0"
SHEET NO.	1

**A3.03**  
OF SHEETS  
S H E E T

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# PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME
<b>TREES</b>		
	Abutilon 'Merino'	NCN
	Gelera parvifolia	Australian Willow
	Lagostroemia l. 'Tuscadero'	Crope Myrtle
	Lophostemon confertus	Biscayne box
	Chilopsis kashkentensis	Chitappa
<b>SHRUBS</b>		
	Agave attenuata	Foxtail Agave
	Callistemon 'Little John'	Dwarf Bottlebrush
	Ligustrum l. 'Teakum'	Texas Privet
	Sakha g. 'Novogjo Bright Red'	Bright Red Autumn Sage
	Westringia frutescens 'Smoky'	Dwarf Coastal Rosemary
	Westringia frutescens 'Mundi'	Mundi Coastal Rosemary
	Grevillea Noellii	Noellii Silk Oak
<b>PERENNIALS</b>		
	Aloe striata	Carol Aloe
	Dianella revoluta 'Little Rav'	Fox Lily
	Dianella l. 'Vordango'	Voranged Fox Lily
	Bulbine frutescens 'Orange'	Orange Stalked Bulbine
	Dialia riddolides 'Orange Drop'	Orange Drop Lily
	Kipholia uvaria	Red Hot Poker
<b>GROUNDCOVER</b>		
	Rosmarinus o. 'Hunt. Carpet'	Hunt. Carpet Rosemary
	Festuca arundinacea	Tall Fescue
	Moporum parvifolium	Prostrate Moporum
<b>CHILDREN PLAY AREA</b>		



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<b>PHIL MAY LANDSCAPE ARCHITECTURE</b> 2323 Wilshire Ave. Redwood City, CA 94061 Phone: 909.373.1959 <a href="http://www.philmaylandscape.com">www.philmaylandscape.com</a> <a href="mailto:pmay@philmaylandscape.com">pmay@philmaylandscape.com</a>	<b>37-UNIT RESIDENTIAL CONDO DEVELOPMENT</b> 175&225 SOUTH G ST. PERRIS, CA 92570	<b>PLANTING PLAN</b>	REVISIONS BY
---	---	----------------------	--------------

DRAWN BY CHECKED BY DATE SHEET	<b>L-2</b> OF 3 SHEETS 2/11/12
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## Exhibit F

Planning Commission Staff Report  
(without exhibits)  
Dated March 15, 2023

*Due to the size of the document, only the staff report is included as a hard copy. The entire staff report is available online at:*

[https://www.cityofperris.org/departments/  
development-  
services/planning/environmental-  
documents-for-public-review/-folder-  
361#docan1206\\_1313\\_479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-361#docan1206_1313_479)



# CITY OF PERRIS

## PLANNING COMMISSION

### AGENDA SUBMITTAL

- MEETING DATE:** March 15, 2023
- SUBJECT:** Development Plan Review 21-00018 - A proposal to construct a 37-unit condominium development on 1.82 acres located on the east side along G street at the terminus of E. 2<sup>nd</sup> Street, within the Urban Village (UV) Zone of the Perris Downtown Specific Plan (DTSP) (APN: 310-070-001 and 310-070-002). Applicant: Winston Liu of W&W Land Design Consultants, Inc.
- REQUESTED ACTION:** Adopt Resolution No. 23-08, finding the project is Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-fill Development Projects); and approving DPR 21-00018, based on the findings and subject to the Conditions of Approval.
- CONTACT:** Kenneth Phung, Director of Development Services

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#### BACKGROUND

The subject site is vacant and has a relatively flat terrain totaling approximately 1.8 acres. The site has never been developed or utilized for residential or commercial purposes. Surrounding uses include Perris Villas Apartments to the south, Diamond Environmental Services to the west across across G Street, County Hills Apartments to the west, and an existing single-family residence to the north. All the surrounding properties and the project site are zoned Urban Village, which allows 3 to 5-story stacked flats, rowhouses, courtyard housing, live-work, and mixed-use commercial block buildings. The proposed development follows the courtyard housing concept.

As a matter of information, staff conducted an Ad Hoc Committee for this Project on June 8, 2022. The Ad Hoc Committee expressed concerns related to architectural enhancements, color palette, walkability, and outdoor amenities. The applicant has revised the project plans to address the Ad Hoc Committee's concerns by modifying the architectural treatment to have a more traditional downtown architecture with additional veneer treatment with a contemporary flair to reflect the market demand for a modern downtown. Also, walkways have been incorporated to connect all the units to the street and to the outdoor amenities, which have been enhanced to include picnic benches, barbeque grills, and a tot lot. The Downtown Specific Plan does not have specified requirements for on-site recreational amenities for multi-family development, as it is anticipated that as the downtown develops, additional entertainment, recreational and cultural amenities will be close to those who reside in the downtown area. But outdoor amenities have been provided on the project site in response to the Ad Hoc Committee to afford the future residents of the project site recreational amenities as the City develops.

**PROJECT DESCRIPTION**

The applicant requests a Development Plan Review approval to construct a 37-unit condominium development on 1.82 acres. The proposed condominium development comprises 10 detached buildings containing 3 to 5 attached units.

Each unit has three levels; the ground level includes the main door, private patio, and a two-car garage; the second floor includes living areas, and the third floor includes bedrooms. A 33-foot-wide decorative driveway proposed along S. G street provides the main access to the site and is enhanced with a raised plant median. The project also includes centrally located common open space, parallel parking between curb bulb-outs, and a 10-foot landscape buffer for neighborhood character along the G street frontage. This development is not proposed to be gated, but the tot-lot will be gated for the residents' use only.

**PROJECT ANALYSIS**

The table below summarizes the project's consistency with the General Plan, DTSP Specific Plan, Zoning Code, Title 18 Subdivision Code, and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.

	<b>Consistent</b>	<b>Inconsistent</b>
<p><b>Consistency with the General Plan</b></p> <p>The project site has a General Plan land use designation of UV – Urban Village. The intent of the Urban Village is to allow for mixed-use and multi-family residential buildings within walking distance of Downtown and the MetroLink Station. The Urban Village is envisioned to include an interior pedestrian paseo that provides access to downtown and the adjacent commercial district. Building heights may range from three to five stories, with parking provided on the streets as well as in parking structures and surface lots behind buildings. The proposed condominium development as conditioned, will be consistent with the General Plan.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>Consistency with the Perris Downtown (DTSP) Specific Plan</b></p> <p>The project site is in the Urban Village Zone of the Downtown Specific Plan, which is intended for residential development that supports 3 to 5-story stacked flats, rowhouses, courtyards housing, live-work, and mixed uses. (Exhibit C). This project includes attached condominiums, and ancillary open space (courtyards) uses; therefore, it is consistent with the DTSP Specific Plan.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>Consistency with the March Air Reserve Base/Inland Port Airport</b></p> <p>The proposed project is located within the March Air Reserve Base/Inland Port Airport Influence Area (March AIA.) Zone E (other Airport Environs). Zone E has no residential development restrictions. As the project is located in the downtown, consistency</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	<b>Consistent</b>	<b>Inconsistent</b>
<p>with the with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB ALUCP), and the 2010/2011 Perris Valley Land Use Compatibility Plan is not required.</p> <p>On February 23, 2023, the Riverside County Airport Land Use Commission (ALUC) considered and determined that the Project is "Conditionally Consistent" with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB ALUCP).</p>		

**COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS**

The table below summarizes compliance with the Downtown Specific Plan development standards.

<b>Perris Downtown Specific Plan Urban Village Zone – Courtyard Flat Building Development Standards Development Standards</b>					
<b>Standard</b>		<b>Proposed</b>	<b>Consistent</b>	<b>Inconsistent</b>	
<b>Number of Stories</b>	2 to 3 stories	1.0	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<b>Building Height</b>	75 -100 feet	35 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<b>Setbacks</b>	Front Yard:	5 feet	10 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Side Yards: - North - South	5 feet 5 feet	7 feet - 6 inches 8 feet- 4 inches	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rear Yard (east)	5 feet	5 feet - 8 inches	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<b>Parking Standards Downtown Specific Plan – Parking Standards</b>					
<b>Use</b>	<b>Standard</b>	<b>Required</b>	<b>Proposed</b>	<b>Consistent</b>	<b>Inconsistent</b>
<b>Multi-Family</b>	2 spaces/2 or more bedroom unit	74 spaces	74 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	- 20 2-bedroom units - 17 3-bedroom units		8 guest spaces (not required)		
<b>Total Parking</b>		<b>74 spaces</b>	<b>82 spaces</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Total Surplus Parking</b>			<b>8 spaces</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

The project complies with the development standards for Courtyard Flat Building in the Urban Village Zone. It proposes 74 spaces in garages and 8 guest parking spaces, which exceed the minimum parking requirement of the Downtown Specific Plan for multi family residential, which is intended to provide an urban nature in the downtown, where retail businesses and offices are



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located within walking distance, public transportation is more accessible than in suburban areas, and higher density residential development is promoted. Thus, as proposed, the project complies with the Downtown Specific Plan.

## **COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS**

- **Building Elevations/Architecture**

The proposed building elevations reflect a contemporary architecture that emphasizes vertical elements contrasted by alternate decorative materials and colors. The design incorporates a combination of varying rooflines, vertical and horizontal windows, horizontal faux wood shiplap, brick veneer, and intermittent recessed panels to create a contrasting aesthetic design for compliance with the Perris Downtown Specific Plan design standards. The entry areas of the buildings are recessed to provide additional articulation in the vertical plane and covered entry ways. The proposed color palette combines warm shades of tans, white and copper to complement the buildings. The combination of varying colors, articulating footprint, variable roof height, enhanced cornice treatments, windows, etc., provides visual interest to the building.

- **Landscaping**

The applicant has submitted a conceptual landscape plan conforming to the Landscaping Ordinance's requirements. The proposed on-site landscaping area totals approximately 13,326 square feet or approximately 16.8% of the site. There is no minimum landscaping requirement in the Downtown Specific Plan; instead landscaping in the Downtown area is required to be provided in all setbacks to soften the street edge and large buildings, create a sense of place, screen parking areas and mechanical equipment, and enhance the pedestrian environment. The project proposes landscaping and decomposed granite along the street frontage. Additional landscaping is proposed along the perimeter of the site, guest parking area, common open space areas, and adjacent to the buildings. Staff is

The decomposed granite proposed along the street frontage and at the main entrance is recommended to be enhanced with plant materials to provide visual interest from the public right of way for compliance with the Downtown Specific Plan.

- **Fencing and Screening**

The project is required to construct a decorative 6-foot-high split-face concrete wall with a trim cap at the north and south sides of the property to buffer adjacent residential homes from noise and views associated with the residential project. The existing 6-foot-high block wall along the east property line will remain. A low decorative fence will be provided around the private patios for privacy.

- **Lighting**

All exterior lighting will provide one (1) foot-candle of illumination for pedestrian safety and security along all parking lots and pedestrian areas. All exterior lighting shall provide cut-off fixtures and will be downward facing away from the neighboring properties per City standards.

- **Amenity and Recreation area**

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The applicant proposes common open space areas furnished with outdoor amenities including picnic benches, barbecue grills, and a tot lot.

**ENVIRONMENTAL DETERMINATION**

The Project is Categorically Exempt from California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-Fill Development Projects), as the project constitutes an infill development project within city limits on less than five acres of land in compliance with the applicable General Plan and Zoning Code and has no habitat value for biological resources.

**RECOMMENDATION:**

**Adopt Resolution No. 23-08** finding the project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332, Class 32 In-Fill Development Projects, and approving DPR 21-00018 to construct a 37-unit condominium community on 1.82 acres, based on the findings and subject to the Conditions of Approval.

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**BUDGET (or FISCAL) IMPACT:** There is no fiscal impact associated with this project since all project costs are borne by the applicant.

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Prepared by: Alfredo Garcia, Associate Planner  
Reviewed by: Patricia Brenes, Planning Manager

**EXHIBITS:**

- A. Resolution 23-08 Approving Conditions of Approval (Planning, Engineering, Public Works, Fire, Community Services and Building & Safety)
- B. Location/Aerial Map
- C. Downtown Specific Plan Land Use Map
- D. Project Plans (Site, Floor, Elevations and Conceptual Landscape Plans)

Consent:  
Public Hearing: X  
Business Item:  
Presentation:  
Other:

# **Planning Commission Agenda**

**CITY OF PERRIS**

**April 05, 2023**

**Item**

**6B**

***Specific Plan Amendment (SPA) 21-05125***



# CITY OF PERRIS

## PLANNING COMMISSION

### AGENDA SUBMITTAL

**MEETING DATE:**

April 5, 2023

**SUBJECT:**

Specific Plan Amendment (SPA) 21-05125 – A proposed Specific Plan Amendment to update the Green Valley Specific Plan (GVSP) for consistency with the Perris Valley Airport Land Use Compatibility Plan (PV ALUCP). Applicant: Matthew Villalobos, Raintree Investment Corporation.

**REQUESTED ACTION:**

Adopt Resolution No. 23-09 recommending that the City Council Adopt the Third Addendum to the Final Environmental Impact Report (Final EIR) of the Green Valley Specific Plan (GVSP) and Approve Specific Plan Amendment (SPA) 21-05125, based on the findings contained in the Resolution and subject to the Conditions of Approval.

**CONTACT:**

Kenneth Phung, Director of Development Services

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**PROJECT BACKGROUND:**

The Green Valley Specific Plan (GVSP), adopted in 1990, is a master-planned community encompassing 1,269 acres of land envisioned to be developed with 4,210 dwelling units, 42.3 acres of business and professional office space, 72.7 acres of commercial retail, 108.7 acres of industrial, 24 acres for three school sites, and 51.1 acres of public parks. The GVSP was envisioned to be developed in three phases.

In 2017, the City Council approved Phase 1A to update the *Commercial and Residential Design Guidelines* of the GVSP, Tentative Tract Map 36988 to subdivide 37.65 acres into 169 single-family residential lots, and Tentative Tract Map 36989 to subdivide 37.09 acres into 145 single-family lots generally located north of Ethanac Road and west of Murrieta Road.

In 2020, the City Council approved Phase 1B, which included Tentative Tract Maps No. 37223, 37262, 37722, 37816, 37817, and 37818, totaling 1,240 dwelling units on 348 acres, located within the southern portion of the GVSP. Pursuant to Senate Bill (SB) 330, the project was conditioned to provide a no net loss in the total number of residences by increasing residential density north of Watson, south of Case Road, and east of Murrieta Road through a future Specific Plan Amendment.

The overall dwelling unit change from the approved 1990 GVSP and subsequent amendments are summarized in the table on the following page.

	<i>Specific Plan Amendment Phase 1A unit count</i>	<i>Specific Plan Amendment Phase 1B unit count</i>	<i>Total Units Loss</i>
Existing Units	4,210	3,974	236
Amended Units	3,974	3,851	123
<b>Total Unit Loss</b>			359

Phases 1A and 1B removed 359 residential dwelling units in the southerly portion of the GVSP area, which per SB 330, are required to be provided elsewhere within the GVSP. Phase 1B was conditioned to achieve a no net loss in residential capacity by increasing residential density to PA (Planning Area) 30, located at the east side of Murrieta Road north of Watson Road, when the remainder of the Specific Plan is updated.

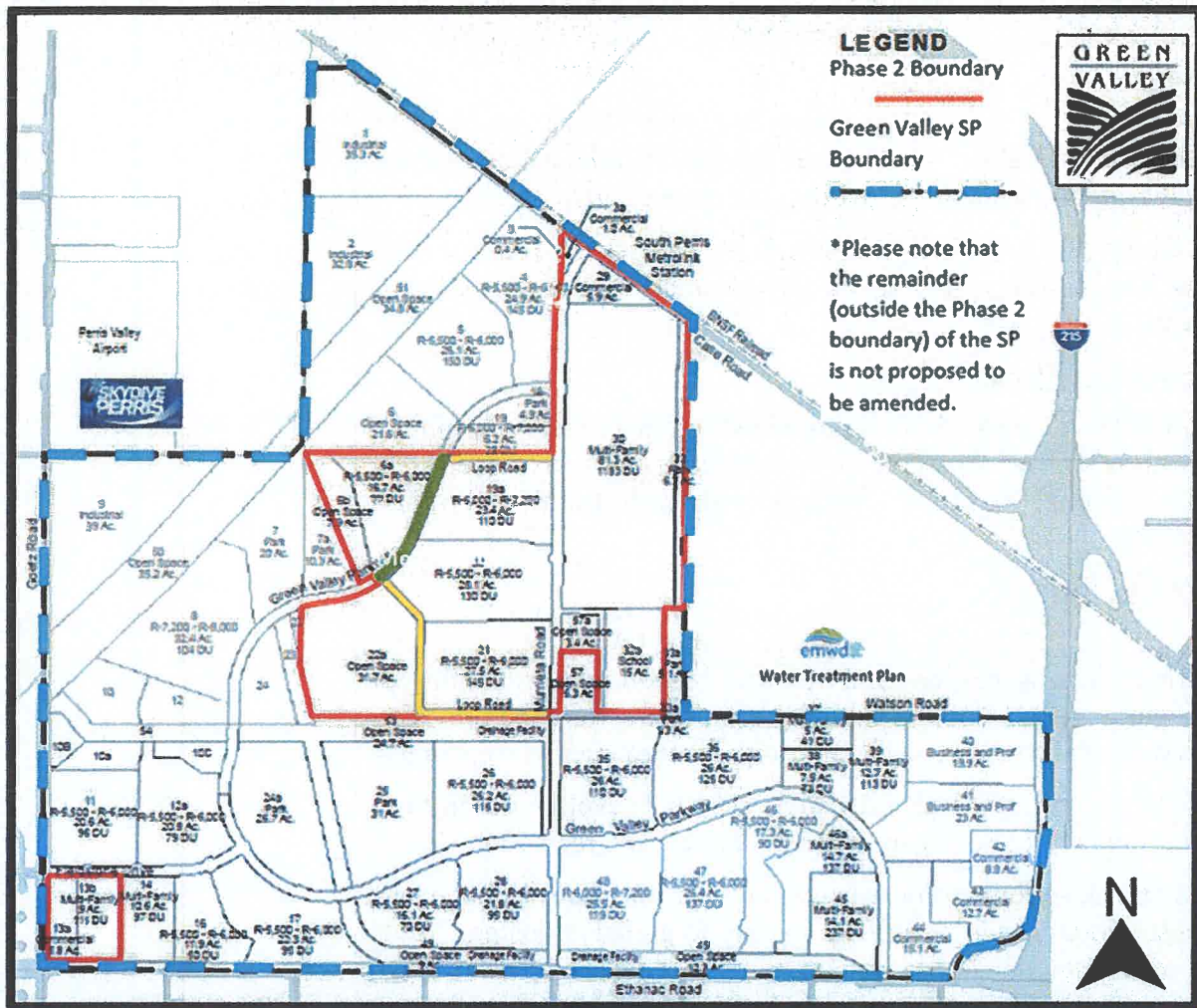
This Project proposes to update the Land Use Map to increase the residential units within PA30 by 359 units for a total of 4,210 dwelling units as envisioned in the GVSP.

**PROJECT DESCRIPTION**

The applicant is proposing to amend Phase 2 of the GVSP encompassing 253.6 acres, generally located north of Watson Road, east of the San Jacinto River, and south of Case Road, west of the Eastern Municipal Water District (EMWD) treatment facility also herein referred to as “the Project.” This request is the second amendment to the GVSP and includes the following objectives:

- *Land Use Map Update.* Update the Land Use map to 1) redesignate residentially zoned areas to Open Space for consistency with the 2010 Perris Valley Airport Land Use Compatibility Plan (PV ALUCP), 2) include 359 dwelling units lost from previous entitlements (i.e., Phase 1A and Phase 1B) to comply with Senate Bill 330 (Housing Crisis Act of 2019) (Exhibit C), 3) to transfer 24 dwelling units lost from PA13b (reduced units from 135 units to 111 units) to PA30 and re-align zoning boundaries of PA 13a and PA13b to be consistent with Tentative Parcel Map (TPM) 38410 financing map lot lines; and
- *Circulation Element Update.* Update the Circulation Element to include Loop Road; and
- *Pedestrian/Bicycle Lanes and Trails.* Update the pedestrian walkways and bicycle lanes within the GVSP to maximize connectivity and to comply with the 2013 Perris Trails Master Plan (PTMP) and Perris Active Transportation Plan (ATP).

There are no proposed changes to the development standards, development regulations, or design guidelines. Also, no physical development is proposed for this Project. The following exhibit below depicts the Phase 2 Boundaries.



**PROJECT ANALYSIS**

**Compliance Summary**

The table below summarizes the Project’s consistency with the General Plan, Green Valley Specific Plan (GVSP), Senate Bill (SB) 330, Perris Trails Master Plan (PTMP) and Perris Active Transportation Plan (ATP), March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and Perris Valley Airport Land Use Compatibility Plan.

	Consistent	Inconsistent
<p><b>General Plan</b></p> <p>The proposed Project is consistent with the following City of Perris General Plan Safety, Circulation, and Housing Element Policies:</p> <p><u>Safety Element :</u></p> <p>Policy S-6.1 – Ensure new development complies with the development requirements of the AICUZ Land Use Compatibility</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<p>Guidelines and ALUP Airport Influence Areas for March Air Reserve Base.</p> <p>Policy S-6.2 – Effectively coordinate with March Air Reserve Base, Perris Valley Airport, and the March Inland Port Airport Authority on development within its influence areas.</p> <p>Policy S-6.3 - Effectively coordinate with March Air Reserve Base and Perris Valley Airport on development within its influence areas.</p> <p><u>Circulation Element:</u></p> <p>Policy IV.A - Provide non-motorized alternatives for commuter travel as well as recreational opportunities that maximize safety and minimize potential conflicts with pedestrians and motor vehicles.</p> <p><u>Housing Element:</u></p> <p>Policy 1.2: - Promote development within GVSP that provide a variety of housing types and densities based on the suitability of the land, including the availability of infrastructure, the provision of adequate services, and recognition of environmental constraints.</p> <p>Policy 1.4: - Locate higher density residential development in close proximity to public transportation, services, and recreation.</p> <p>Policy 1.5: - Promote construction of units consistent with the new construction needs identified in the Regional Housing Needs Assessment (RHNA).</p>		
<p><b>Specific Plan</b></p> <p>The proposed Specific Plan Amendment within Phase 2 will redesignate the land use in specific Planning Areas outside of the Airport restricted zones and is consistent with the goals and policies of the GVSP.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>Zoning Code Land Use Consistency (Title 19)</b></p> <p>There are no proposed changes to the development standards, development regulations, or design guidelines. Therefore, the proposed Specific Plan Amendment is consistent with the Zoning Code.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>Compliance with MARCH ALUCP and Perris Valley Airport Land Use Compatibility Plan (PV ALUCP)</b></p> <p>The proposed Project area is located within the March Air Reserve Base/Inland Port Airport Influence Area (March AIA.) Zone E (other Airport Environs) which has no residential development restrictions subject to a deed notice and disclosure of an avigation easement and notice of "airport in the vicinity" to future property owners.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<p>The project is located within Zones B1, C, D, and E of the PV ALUCP. The GVSP was adopted before the adoption of PV ALUCP, which includes residential restrictions within zone B1 (Nonresidential Intensities) and C (Open Space). The proposed second amendment proposes to update the land use map to comply with the PV ALUCP by redesignating residential zoning from the B1 and C Zones to avoid aircraft noise and flight path hazards.</p> <p>On August 11, 2022, the Riverside County Airport Land Use Commission (ALUC) considered and determined that the Project is "Consistent" with the 2014 March Air Reserve Base Land Use Compatibility Plan (MARB ALUCP) and 2011 Perris Valley Land Use Compatibility Plan.</p>		
<p><b>Compliance with Senate Bill (SB) 330</b></p> <p>In late 2019, the State of California passed SB 330 (i.e., Housing Crisis Act of 2019) to prohibit jurisdictions from changing residential zoning to a "less intensive use," without increasing residential density elsewhere in the City to account for the loss of density.</p> <p>In compliance with SB 330, the Project will update the land use map of the GVSP to redesignate residential zoning out of airport restricted areas to increase the number of residential units within PA30 to meet the overall 4,210 dwelling units envisioned in the GVSP.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>Compliance with the Perris Trails Master Plan (PTMP) and Perris Active Transportation Plan (ATP)</b></p> <p>The Project will implement the PTMP and Perris ATP by extending the San Jacinto Trail from Case Road to Goetz Road, and adding a Class 1 bike lane and a decomposed granite trail. The GVSP will be updated to include the ATP cross sections for all internal streets within Phase 2 to include bike lanes, striping, and multi-purpose trails along the right-of-way.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**PROJECT CIRCULATION PLAN**

The Project area includes the following two noteworthy street segments, Green Valley Parkway, a 128-foot Secondary Arterial, and Murrieta Road, a 136-foot Secondary Arterial.

- Green Valley Parkway

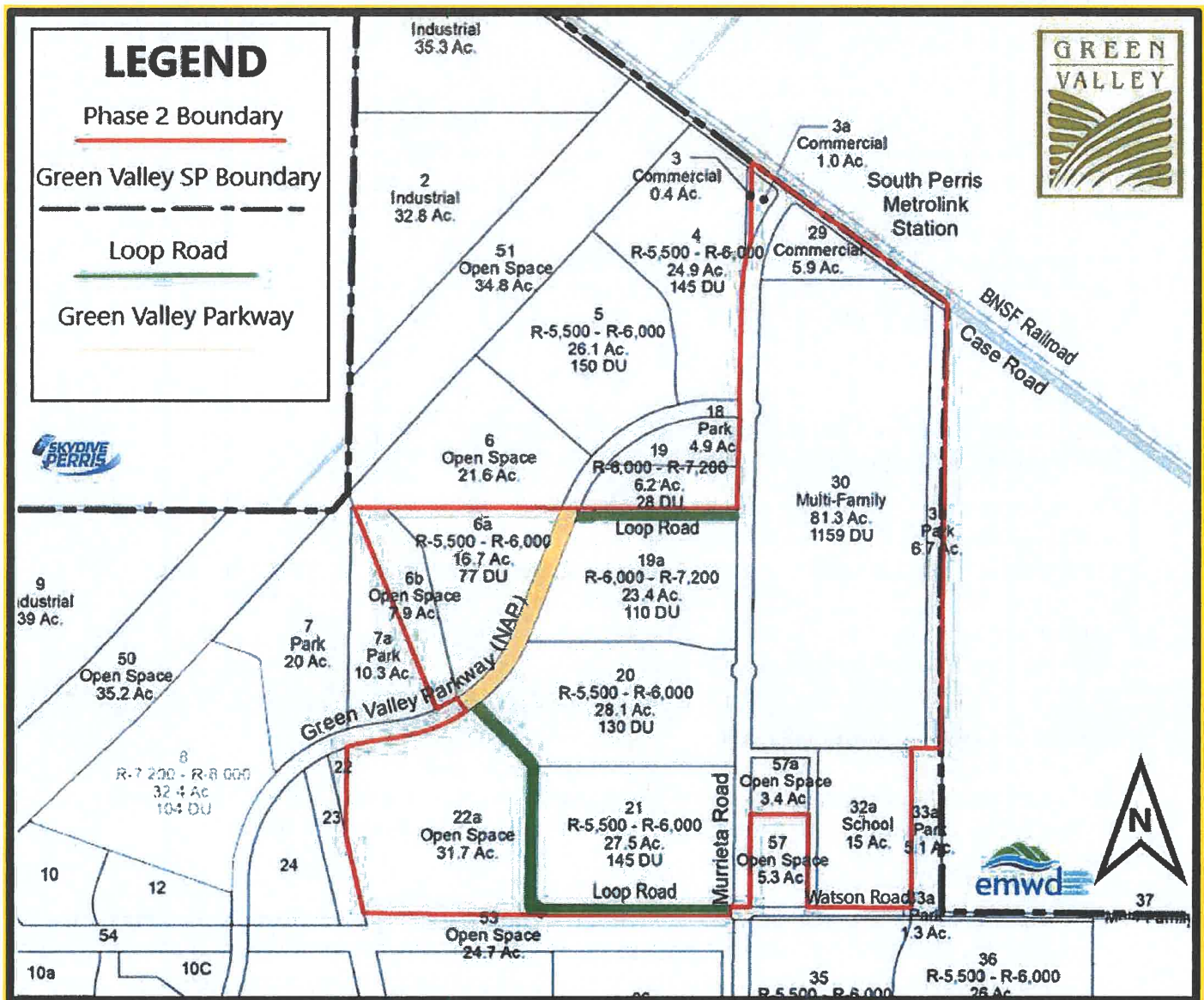
There are several constraints that inhibit the complete extension of Green Valley Parkway outside the Phase 2 boundaries based on significant grade elevation differences, flood plain requirements, airport restrictions, and MSCHP criteria cell requirements. Based on these constraints, only a portion of Green Valley Parkway is viable by creating a Loop Road.



- Loop Road

The Project includes amending the Circulation Plan to include Loop Road (66-foot Local Street) to provide access to all the Planning Areas located west of Murrieta Road within the Phase 2 boundary. Loop Road will also implement the Perris ATP pedestrian/trail system as development occurs for each segment of street frontage during the construction of Planning Areas (PA) located west of Murrieta Road. Loop Road improvements would include a 6-foot-wide pedestrian sidewalk and a 6-foot-wide decomposed granite trail with a split-rail fence. Overall, Loop Road will improve and enhance the circulation within the Phase 2 area.

The map below illustrates the connection of Loop Road to Green Valley Parkway.



## **PUBLIC/AGENCY COMMENTS**

A public hearing notice was sent to property owners within 300 feet of the project site. As of the writing of this report, no comments have been received by staff.

## **ENVIRONMENTAL DETERMINATION**

The GVSP EIR approved for the Project in 1990 considered the effects of a buildout of the overall specific plan. Because subsequent discretionary actions by the City are required, including consideration of future tentative maps for the various phases of the GVSP, the EIR acknowledged that the GVSP may require additional environmental analysis.

A third Addendum to the Final Environmental Impact Report (Final EIR) of the GVSP has been prepared as part of this Project. The analysis concluded that the amendment would not result in any new or more significant impacts than were previously disclosed and analyzed in the Final EIR for the GVSP. As the lead agency under the California Environmental Quality Act (CEQA), the City of Perris has determined that, in accordance with Sections 15162 and 15164 of the State CEQA Guidelines, the proposed changes to the development pattern and other minor changes from the development scenario described in the 1990 Final EIR for the adopted GVSP warrant the preparation of an Addendum to the EIR. However, the changes do not warrant the preparation of a subsequent or supplemental EIR because the amendments do not result in any new or more severe significant impacts than previously disclosed.

## **RECOMMENDATION**

Adopt Resolution No. 23-09 recommending that the City Council Adopt the Third Addendum to the Final Environmental Impact Report (Final EIR) for the Green Valley Specific Plan (GVSP) and Approve Specific Plan Amendment (SPA) 21-05125, based on the findings contained in the Resolution and subject to the Conditions of Approval.

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**BUDGET (or FISCAL) IMPACT:** The cost of processing this application is paid by the applicant.

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Prepared by: Nathan Perez, Senior Planner  
 Reviewed by: Patricia Brenes, Planning Manager

### Exhibits:

- A. Aerial Photo
- B. Existing and Proposed Green Valley Land Use Maps
- C. Proposed Planning Areas Amendment Table
- D. Perris Valley Airport Land Use Compatibility Plan/  
MARB Airport Land Use Compatibility Plan
- E. PC Resolution 23-09 – Specific Plan Amendment
- F. Green Valley Specific Plan, Addendum EIR with Associated  
Studies

– Due to the size of the document files, the documents are on File with the Planning Department and available online at:

<https://www.cityofperris.org/departments/development->

[services/planning/environmental-documents-for-public-review/-folder-323#docan1206\\_1313\\_479](#)

Consent:

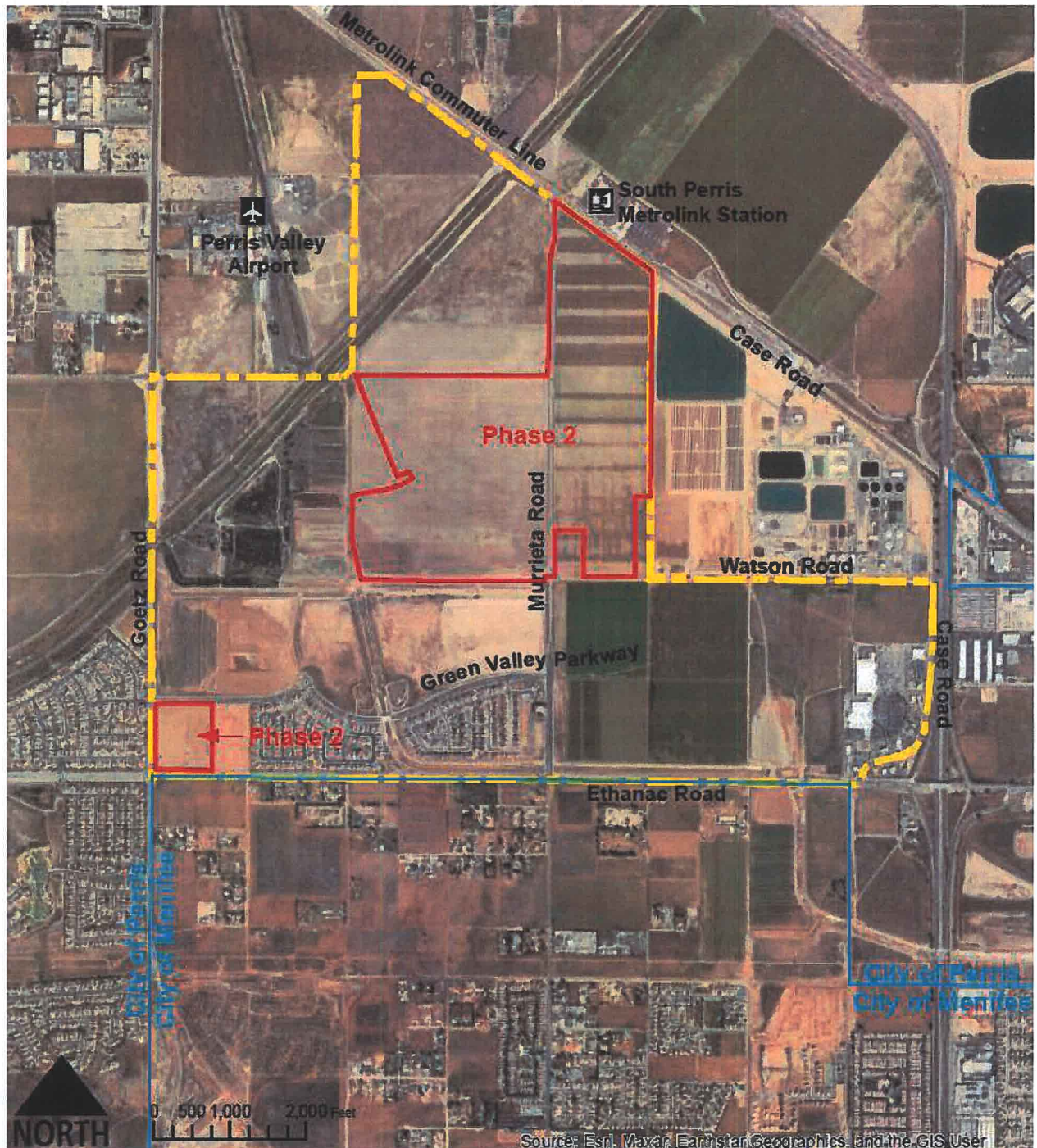
Public Hearing: x

Business Item:

Presentation:

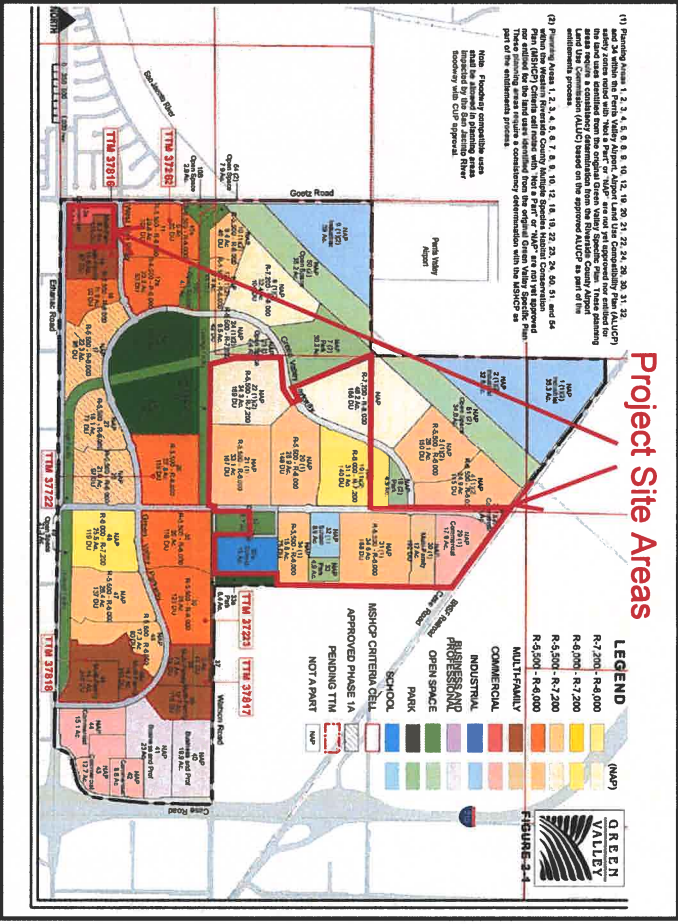
Other:

**EXHIBIT A**  
**Aerial Photo**

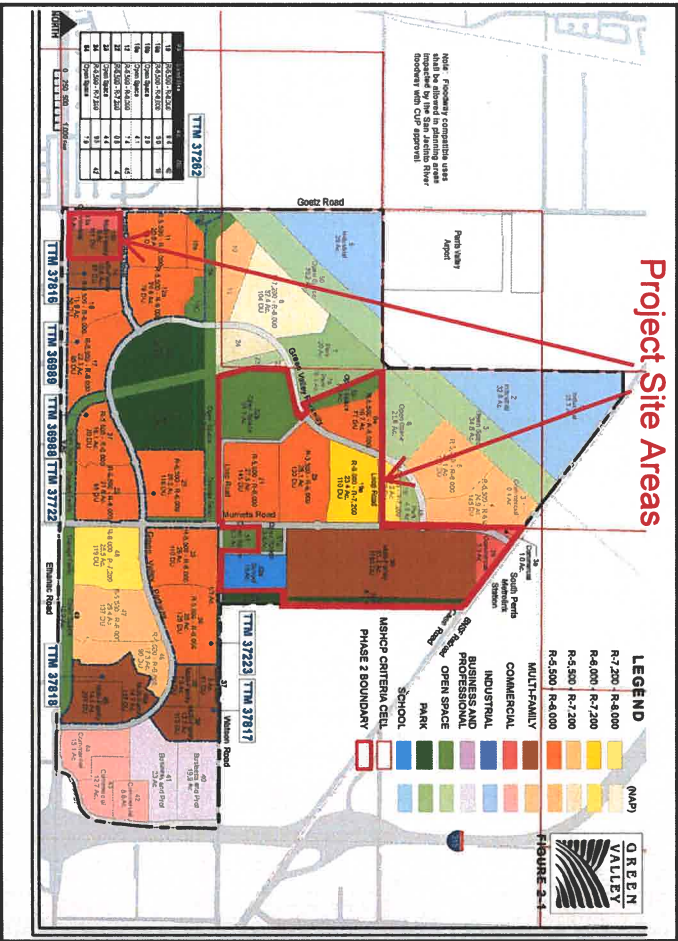


## EXHIBIT B

# Existing and Proposed Green Valley Land Use Map



2021 APPROVED LAND USE PLAN



2022 PROPOSED LAND USE PLAN



Not to Scale

**EXHIBIT C**  
**PROPOSED PLANNING AREAS AMENDMENT**  
**TABLE**



**Proposed Planning Area Amendment Table**

Planning Area (PA)	Adopted Green Valley Specific Plan	2023 Proposed Green Valley Specific Plan
<p><u>Planning Area 6</u> (PA 6)</p>	<p><u>PA 6:</u> Zoning: R-7,200 – R-8,000 Dwelling Units: 168 Acreage: 46.2</p>	<p><u>PA 6:</u> Zoning: Open Space Dwelling Units: 0. Acreage: 21.6</p> <p><u>PA 6a:</u> Zoning: R-5,500 – R-6,000 Dwelling Units: 77 Acreage: 16.7</p> <p><u>PA 6b:</u> Zoning: Open Space Dwelling Units: 0 Acreage: 7.9</p>
<p><u>Planning Area 22</u> (PA 22)</p>	<p><u>PA 22:</u> Zoning: R-5,500 – R-7,200 Dwelling Units: 169 Acreage: 34.3 acres</p>	<p><u>PA 22a:</u> Zoning: Open space Dwelling Units: 0 Acreage: 31.7 acres</p> <p>Loop Road Dedication: 2.6 acres</p>
<p><u>Planning Area 19</u> (PA 19)</p>	<p><u>PA 19:</u> Zoning: R-6,000 – R-7,200 Dwelling Units: 140 Acreage: 31.1</p>	<p><u>PA 19a:</u> Zoning: R-6,000 – R-7,200 Dwelling Units: 110 Acreage: 23.4</p> <p><u>PA 19b (Not Part of this Project):</u> Acreage: 6.2</p> <p>Loop Road Dedication: 1.3 acres</p>
<p><u>Planning Area 20</u> (PA 20)</p>	<p><u>PA 20:</u> Zoning: R-5,500 – R-6,000 Dwelling Units: 148 Acreage: 28.9</p>	<p><u>PA 20:</u> Zoning: R-5,500 – R-6,000 Dwelling Units: 130 Acreage: 28.1</p> <p>Loop Road Dedication: 0.80 acres</p>
<p><u>Planning Area 21</u> (PA 21)</p>	<p><u>PA 21:</u> Zoning: R-5,500 – R-6,000 Dwelling Units: 167 Acreage: 33.1</p>	<p><u>PA 21:</u> Zoning: R-5,500 – R-6,000 Dwelling Units: 145 Acreage: 27.5</p> <p>Loop Road Dedication: 5.6 acres</p>
<p><u>Planning Area 3</u> (PA 3)</p>	<p><u>PA 3:</u> Zoning: Commercial Acreage: 1.4</p>	<p><u>PA 3a:</u> Zoning: Commercial Acreage: 1.0</p> <p><u>PA 3 (Not Part of this Project):</u> Acreage: 0.40</p>
<p><u>Planning Area 29</u> (PA 29)</p>	<p><u>PA 29(1):</u> Zoning: Commercial Acreage: 17.9</p>	<p><u>PA 29:</u> Zoning: Commercial Acreage: 5.9</p>

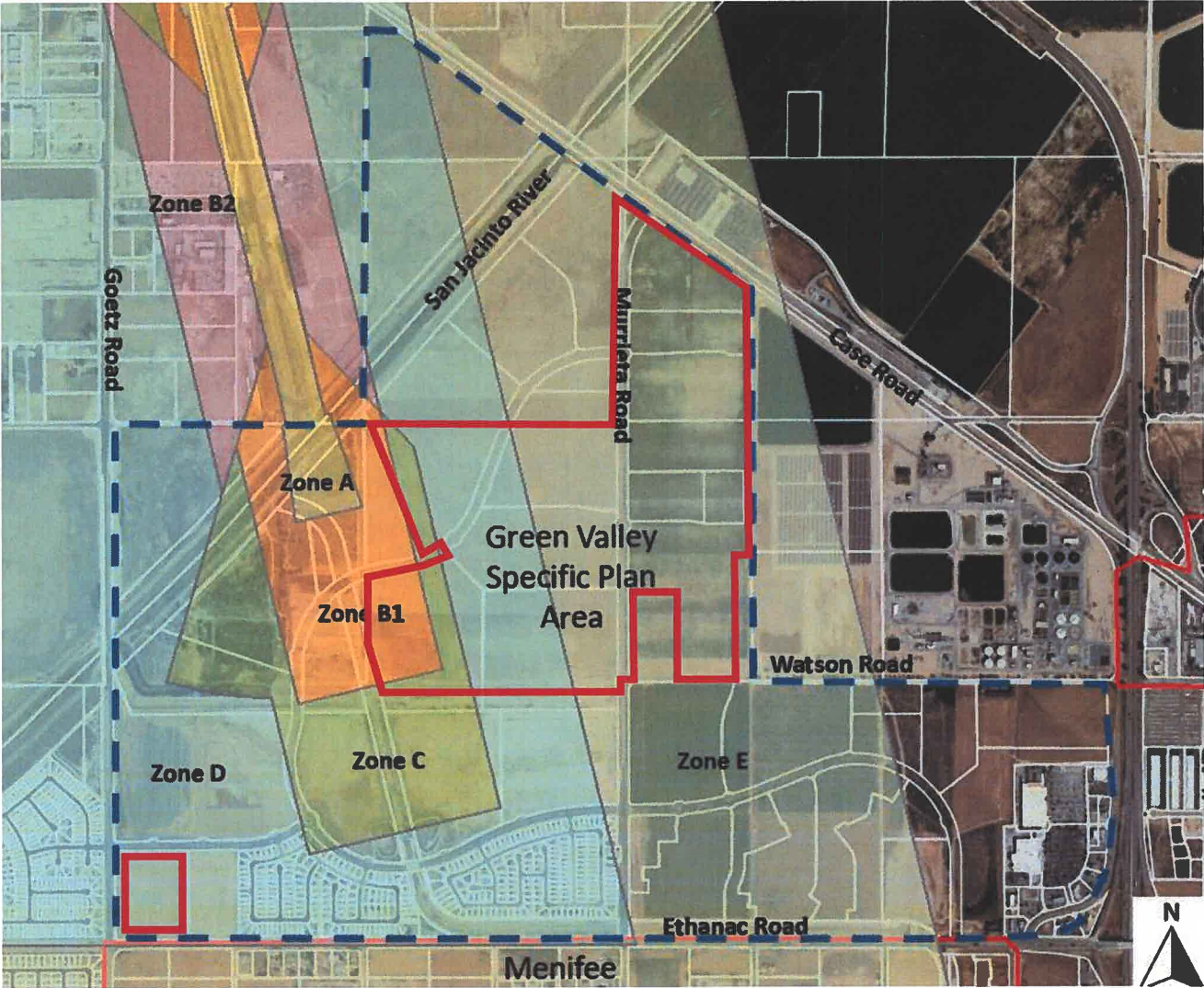
**Proposed Planning Area Amendment Table**

Planning Area (PA)	Adopted Green Valley Specific Plan	2023 Proposed Green Valley Specific Plan
		<p><u>Transferred to PA 30</u> Acreage: 12</p>
<p><u>Planning Areas 29, 30, 31, 32, 33, and 34</u> (PA 30, PA31, PA 32, PA33, PA 34)</p>	<p><u>PA 29:</u> Zoning: Commercial Acreage: 12.0</p> <p><u>PA 30:</u> Zoning: Multi-Family Dwelling Units: 192 Acreage: 12.0</p> <p><u>PA 31(1):</u> Zoning: R-5,500 – R-6,000 Dwelling Units: 168 Acreage: 34.6</p> <p><u>PA 32(1):</u> Zoning: School Acreage: 8.9</p> <p><u>PA 33:</u> Zoning: Park Acreage: 4.9</p> <p><u>PA 34(1):</u> Zoning: R-5,500 – R-6,000 Dwelling Units: 75 Acreage: 15.6</p>	<p><u>PA 30:</u> Zoning: Multi-Family Dwelling Units: 1,183 Acreage: 81.3</p> <p><u>PA 33:</u> Zoning: HOA Park Acreage: 6.7</p>
<p><u>Planning Area 57</u> (PA57)</p>	<p><u>PA 57:</u> Zoning: Open Space Acreage: 8.7</p>	<p><u>PA 57a:</u> Zoning: Open Space Dwelling Units: 0 Acreage: 3.4</p> <p><u>PA 57 (Not Part of this Project):</u> Acreage: 5.3</p>
<p><u>Planning Area 32a</u> (PA32a.)</p>	<p><u>PA 32a:</u> Zoning: School Acreage: 15.0</p>	<p><u>PA 32a:</u> Zoning: School Acreage: 15.0</p>
<p><u>Planning Area 13a</u> (PA13a.)</p>	<p><u>PA 13a</u> Zoning: Commercial Acreage: 5.5</p>	<p><u>PA 13a</u> Zoning: Commercial Acreage: 5.8</p>
<p><u>Planning Area 13b</u> (PA13b.)</p>	<p><u>PA 13b</u> Zoning: Multi-Family Dwelling Units: 135 Acreage: 9.3</p>	<p><u>PA 13b</u> Zoning: Multi-Family Dwelling Units: 111 Acreage: 9.0</p>

**EXHIBIT D**

**PERRIS VALLEY AIRPORT LAND USE  
COMPATIBILITY PLAN/MARB AIRPORT LAND  
USE COMPATIBILITY PLAN**

# Perris Valley Airport Zones



## LEGEND

- Green Valley Specific Plan boundary
- Project Sites

**EXHIBIT E**  
**PC Resolution 23-09**

**RESOLUTION NUMBER NO. 23-09**

***A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE THE THIRD ADDENDUM TO THE FINAL ENVIRONMENTAL IMPACT REPORT FOR THE GREEN VALLEY SPECIFIC PLAN (GVSP), SPECIFIC PLAN AMENDMENT (SPA) 21-05125 TO UPDATE THE GVSP FOR CONSISTENCY WITH THE PERRIS VALLEY AIRPORT LAND USE COMPATIBILITY PLAN (PV ALUCP) AND COMPLIANCE WITH SENATE BILL 330, GENERALLY LOCATED NORTH OF WATSON ROAD, EAST OF THE SAN JACINTO RIVER, AND SOUTH OF CASE ROAD SUBJECT TO CONDITIONS OF APPROVAL AND BASED UPON THE FINDINGS NOTED HEREIN.***

***WHEREAS***, the applicant, *Raintree Investment Corporation* filed Specific Plan Amendment (SPA) 21-05125, incorporated herein by this reference, a second amendment to the Green Valley Specific Plan (GVSP) and includes the following project-specific objectives:

- *Land Use Map Update*. Update the Land Use map to: 1) redesignate residentially zoned areas to Open Space for consistency with the 2010 Perris Valley Airport Land Use Compatibility Plan (PV ALUCP), 2) include 359 dwelling units lost from previous entitlements (i.e., Phase 1A and Phase 1B) to comply with Senate Bill 330 (Housing Crisis Act of 2019) (Exhibit C), 3) to transfer 24 dwelling units lost from PA13b (reduced units from 135 units to 111 units) to PA30 and re-align zoning boundaries of PA 13a and PA13b to be consistent with Tentative Parcel Map (TPM) 38410 financing map lot lines; and
- *Circulation Element Update*. Update the Circulation Element to include Loop Road; and
- *Pedestrian/Bicycle Lanes and Trails*. Update the pedestrian walkways and bicycle lanes within the GVSP to maximize connectivity and to comply with the 2013 Perris Trails Master Plan (PTMP) and Perris Active Transportation Plan (ATP).

***WHEREAS***, SPA 21-05125 (collectively the “the Project”) has been duly noticed; and

***WHEREAS***, from August 26, 2022, through September 6, 2022, the Third Addendum to the 1990 GVSP Final Environmental Impact Report (Final EIR) was made available for public review and comment prior to the Planning Commission’s consideration of the above-referenced applications; and

***WHEREAS***, the duly noticed September 7, 2022, Planning Commission public hearing was continued to September 21, 2022, and subsequently continued to October 5, 2022, then continued again to October 19, 2022 and again to November 2, 2022, all at applicant’s request, and at which times all interested persons were given full opportunity to be heard and to present evidence; and

**WHEREAS**, the November 2, 2022, Planning Commission public hearing was continued off calendar, at which time all interested persons were given full opportunity to be heard and to present evidence; and

**WHEREAS**, a Planning Commission public hearing was held on March 1, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

**WHEREAS**, on August 11, 2022, Riverside County Airport Land Use Commission (ALUC) determined that SPA 21-05125, is consistent with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB ALUCP) and the 2011 Perris Valley Airport ALUCP based on findings and conditions (attached and incorporated into the Planning Conditions of Approval); and

**WHEREAS**, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

**WHEREAS**, Chapter 19.54 of the City of Perris Municipal Code (Zoning Code, Authority and Review Procedures) authorizes the City to approve, conditionally approve, or deny requests for a Specific Plan Amendment; and

**WHEREAS**, all other legal prerequisites to the adoption of this Resolution have occurred.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS** does resolve as follows:

**Section 1.** The above recitals are all true and correct and incorporated herein by reference.

**Section 2.** The Planning Commission has reviewed and considered the environmental documentation for the Project prior to taking action on the applications. Based on the forgoing, the Third Addendum to the Final Environmental Impact Report (Final EIR for the GVSP for the proposed SPA 21-05125, it was determined that the project will not result in any new or more severe significant environmental impacts than were previously disclosed and analyzed in the Final EIR. Specifically, based upon the above and the staff report, supporting exhibits, and all written and oral testimony presented at the April 5, 2023, public hearing, the Planning Commission finds that:

- A. As the lead agency under the California Environmental Quality Act (CEQA), the City of Perris has determined that, in accordance with Sections 15162 and 15164 of the State CEQA Guidelines, the proposed changes to the development pattern and other minor changes from the development scenario described in the Final EIR for the GVSP warrant the preparation of a Third Addendum to update the analysis provided in the 1990 Final EIR, but do not warrant the preparation of a subsequent or supplemental EIR, because the

amendments do not result in any new or more severe significant impacts than previously evaluated and disclosed in the 1990 Final EIR. This determination is evidenced in detail throughout Chapter 4 of the Third Addendum and supporting technical appendices.

Because no subsequent or supplemental EIR was required or prepared, the City need not make full CEQA findings with respect to impacts resulting from the SPA 21-05125. While all effects will remain at their same respective levels of impact as they were determined in the certified 1990 Final EIR, mitigation measures have been updated in the Third Addendum to account for more modern data, methodology, changes in rules and regulations, and physical improvements and infrastructure that have been completed since 1990.

- B. The City has complied with the California Environmental Quality Act (CEQA).
- C. Determinations of the Planning Commission reflect the independent judgment of the City.

**Section 3.** The Planning Commission further finds, based upon the forgoing, the Third Addendum to the Final Green Valley Specific Plan Environmental Impact Report (Final EIR for the GVSP and supplemental Mitigation Monitoring and Reporting Program (MMRP), staff report, supporting exhibits, and all written and oral testimony presented at the April 5, 2023, public hearing, with respect to the Green Valley Specific Plan (GVSP), and pursuant to Municipal Code Section 19.54.040, the following regarding SPA 21-05125:

- A. ***The Specific Plan Amendment is consistent with the General Plan Land Use Map and applicable General Plan objectives, policies, and programs.***

The GVSP is located in City Wide Planning Area (PA) 8 as designated in the City of Perris General Plan. As characterized in the General Plan (2030), there are key elements in PA 8 that affect the planning of Green Valley: Perris Airport, San Jacinto River Study, the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) areas, the Romoland Master Drainage Plan, and floodplain regulations.

- **Balanced Land Uses**

Responding to the constraints and restriction of developable land due to the Airport, San Jacinto River Study, Romoland Drainage Plan, floodplain regulations, and the Western Riverside County MSHCP has resulted in a reduction of the acres previously designated residential. This has increased the amount of open space and parks since those are allowable uses within the restrictions placed by the Airport zones and the other plans and projects. The residential density within the remaining developable area of the Plan area has been increased to take advantage of the proximity to park and open space, while still providing a range of housing types from traditional single-family, single-family court, townhomes, and apartments. The amount of park acreage provided exceeds the amount of park required by the City of Perris Park Master Plan. In the General Plan, there are three designated school sites in the GVSP area. Due to the constraints of the Perris Airport ALUCP and Western Riverside County MSHCP, only one school location is feasible. With the approval of the Romoland School



District, this site has been expanded to accommodate both elementary and intermediate students.

- **Regional Circulation**

The GVSP implements the General Plan Circulation Plan with the extension of Murrieta Road north of Ethanac Road, the alignment of Green Valley Parkway and the extension of Watson Road thru the GVSP area. Murrieta Road extends beyond Ethanac Road south into the City of Menifee.

- **Conservation and Sustainability**

To conserve water, the GVSP will have a dual system to provide potable water and reclaimed water for landscaping. In addition, the landscape palette is designed to be low water use or drought tolerant to reduce water usage. Location of neighborhood commercial and extensive parks, trails, and recreational systems within the community of GVSP will help reduce vehicle miles traveled, therefore reducing greenhouse gas emissions.

- **Complete Community**

In meeting the Goals and Objectives of the City of Perris General Plan, GVSP is a complete community providing a variety of homes responding to different lifestyles, providing new commercial and employment areas, in addition to the existing commercial and business centers. The plan provides a full array of private recreation facilities, neighborhood parks, a regional park, community and regional trails, and community and regional open space. A comprehensive Design Guidelines Chapter is provided in SPA 21-05125 to ensure that GVSP community is a quality place to live, work and play.

B. *The Specific Plan Amendment provides adequate text and diagrams to adequately address the following issues in detail.*

a. *The distribution, location, and extent of the uses of land, including open space, within the area covered by the GVSP.*

As stated in Section 2.1 – Land Use Plan, SPA 21-05125 provides for development of the 360.5-acres consisting of 211.9 acres of residential, 5.5 acres of commercial, 64.1 acres of public parks, a 15.0-acre public school site, and 64.0 acres of open space land uses. The mix of land uses proposed in the GVSP community will serve to create a dynamic full-service community with residents, shopping and recreation areas closely linked together, thereby reducing the need to commute out of the area, with all the inherent environmental and safety implications. The planned community approach to development assures the project will function properly in respect to land use, circulation, drainage, and water and sewer issues. A comprehensive master plan, such as proposed in the GVSP, provides the opportunity to create unifying design themes in the land use distribution through implementation of common streetscape and landscape elements, fencing and wall designs, colors and textures, cohesive signage, common architectural objectives and appropriately scaled street furnishings. These are described and depicted in detail in the Design Guidelines.

Also included in Section 2.1 is Figure 2-1, Conceptual Land Use Plan, and Table 2-1, Green Valley Statistical Summary, of SPA 21-05125 for a 2<sup>nd</sup> amendment to update the GVSP to be consistent with the Perris Valley Airport Land Use Compatibility Plan and comply with Senate Bill 330.

***b. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the Specific Plan Amendment and needed to support the land uses described in the GVSP.***

Section 2.6 – Circulation Plan, of SPA 21-05125 describes the Approach, Plan Description, and Development Standards for vehicular and non-vehicular circulation within the Specific Plan area. Figures 2-9 – Circulation Plan and 2-10 – Pedestrian Circulation depict locations for the circulation improvements. Figure 2-11 depicts the proposed street cross-sections within the Specific Plan area.

Section 2.5 – Water and Sewer Plan, of SPA 21-05125 describes the Approach, Plan Description, and Development Standards for water, sewer, and reclaimed wastewater facilities within the Specific Plan area. Figures 2-6 – Water Plan, 2-7 – Sewer Plan, and 2-8 – Reclaimed Water Plan depicts locations for these infrastructure improvements.

Section 2.4 – Drainage Plan, of SPA 21-05125 describes the Approach, Plan Description, and Development Standards for drainage facilities within the Specific Plan Area. Figure 2-4 – Drainage Plan, depicts locations for the drainage improvements. Figure 2-5 depicts the proposed swale cross-sections within the Specific Plan area.

Section 2.3 – Comprehensive Grading Plan, of SPA 21-05125 describes the Approach, Plan Description, and Development Standards for grading within the Specific Plan area. Figure 2-3 – Grading Plan, depicts the proposed grading in the Specific Plan area.

***c. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.***

Chapter 3 – Specific Plan Zoning, of SPA 21-05125, provides the development regulations for each of the nine zoning districts within the Specific Plan area:

- Section 3-1 – R-7,200 – R-8,000 Residential Standards
- Section 3-2 – R-6,000 – R-7,200 Residential Standards
- Section 3-3 – R-5,500 – R-6,000 Residential Standards
- Section 3-4 – Multi-Family Residential Standards
- Section 3-5 – Retail Commercial Standards
- Section 3-6 – Business/Professional Standards
- Section 3-7 – Light Industrial Standards
- Section 3-8 – Public Facilities Standards

- Section 3-9 – Open Space Standards

Lotting diagrams depicting development standards are also included. Section 1.4.4 – Conservation and Sustainability, of SPA 21-05125 describes the techniques utilized for the conservation of natural resources.

Chapter 4 – Design Guidelines provides guiding principles, guidelines and architectural styles for the residential development within the Specific Plan area. Also included are site planning, lot coverage, and architectural guidelines for the commercial, business and professional, and light industrial uses. A comprehensive landscape plan is provided that addresses community design, entries, monumentation, streetscapes, walls and fences, and street furniture guidelines. A Landscape Master Community Plant Matrix is included that assures common landscape themes throughout the Specific Plan area.

***d. A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the provisions contained in paragraphs a, b, and c above.***

Section 2.2 – Phasing Plan, of SPA 21-05125 describes how the infrastructure detailed in Chapter 2 is required to assure that development proceeds in a logical manner and all facilities are in place. Chapter 3 – Specific Plan Zoning assures quality and consistent development throughout the Specific Plan area. Section 4.5 – Design Review Process of Chapter 4 – Design Guidelines details a Design Review process that will assure quality development within Green Valley is consistent with the standards and guidelines described in the GVSP.

***Section 4.*** The Planning Commission further finds, based upon the forgoing, the Third Addendum to the Final Green Valley Specific Plan Environmental Impact Report (Final EIR for the GVSP and supplemental Mitigation Monitoring and Reporting Program (MMRP), staff report, supporting exhibits, and all written and oral testimony presented at the April 5, 2023, public hearing, with respect to the Green Valley Specific Plan (GVSP), and pursuant to Municipal Code Section 19.54.040, the following regarding SPA 21-05125:

***A. The Specific Plan Amendment is consistent with the General Plan Land Use Map and applicable General Plan objectives, policies, and programs.***

The GVSP is located in City Wide Planning Area (PA) 8 as designated in the City of Perris General Plan. As characterized in the General Plan (2030), there are key elements in PA 8 that affect the planning of Green Valley: Perris Airport, San Jacinto River Study, the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) areas, the Romoland Master Drainage Plan, and floodplain regulations.

***Section 5.*** Based upon the forgoing, the staff report, supporting exhibits, and all written and oral testimony presented at the April 5, 2023, public hearing, the Planning Commission has considered and hereby recommends that the City Council approve the Third Addendum to the 1990 Final Green Valley Specific Plan Environmental Impact Report and supplemental Mitigation Monitoring and Reporting Program (MMRP).

**Section 6.** Based upon the forgoing, the staff report, supporting exhibits, and all written and oral testimony presented at the April 5, 2023, public hearing, the Planning Commission hereby recommends that the City Council approve SPA 21-05125 and Tentative Parcel Map No. 38600 (PLN22-05328), based on the information and findings presented and supporting exhibits, as well as all written and oral testimony presented at the April 5, 2023, public hearing, and subject to the attached Conditions of Approval.

**Section 7.** The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

**Section 8.** The Chairperson shall sign, and the Secretary shall certify to the passage and adoption of this Resolution.

**ADOPTED, SIGNED** and **APPROVED** this 5th day of April 2023.

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CHAIRPERSON, PLANNING COMMISSION

ATTEST:

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Secretary, Planning Commission

STATE OF CALIFORNIA )  
COUNTY OF RIVERSIDE ) §  
CITY OF PERRIS )

I, Patricia Brenes, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 23-09 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 5th day of April 2023, and that it was so adopted by the following vote:

AYES:  
NOES:  
ABSTAIN:  
ABSENT:

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Secretary, Planning Commission

**Attachments:** General Construction Guidelines (Planning, Engineering, Public Works, and Community Services)

## EXHIBIT F

Green Valley Specific Plan, Addendum EIR with associated studies – Due to the size of the document files, the documents are on File with the Planning Department and available online at:

[https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-323#docan1206 1313 479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-323#docan1206_1313_479)