RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

August 23, 2022

Matthew Evans, Project Planner

City of Perris Development Services Department – Planning Division

101 N. D Street CHAIR Perris CA 92570

Steve Manos Lake Elsinore

VICE CHAIR Russell Betts **Desert Hot Springs**

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW - DIRECTOR'S **DETERMINATION**

File No .: ZAP1538MA22 COMMISSIONERS

Related File No.: DPR21-00005 (Development Plan Review)

Airport Zone: Compatibility Zone B2

John Lvon Riverside

Vacant

Dear Mr. Evans:

Steven Stewart Palm Springs

Richard Stewart Moreno Valley

Michael Geller Riverside

STAFF

Director Paul Rull

Simon A. Housman Jaqueline Vega Barbara Santos

County Administrative Center 4080 Lemon St., 14th Floor. Riverside, CA 92501 (951) 955-5132

www.rcaluc.org

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Resolution No. 2020-02 of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Perris Case No. DPR21-00005 (Development Plan Review), a proposal to modify a previously reviewed 769,668 square foot warehouse building on 33.37 acres (ZAP1501MA21), increasing the first floor office area from 8,000 square feet to 10,000 square and reducing the warehouse area from 751,668 square feet to 749,668 square feet (the total square footage will remain the same), located northerly of Markham Street, westerly of Nevada Avenue, easterly of Patterson Avenue, and southerly of Harley Knox Boulevard.

The site is located within Airport Compatibility Zone B2 of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone B2 of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is restricted to 100 people per average acre, and 250 people per single acre. The project proposes a 769,668 square feet warehouse building, including 749,668 square feet of warehouse area, 10,000 square feet of first floor office area, and 10,000 square feet of second floor office mezzanines, accommodating 1,599 people, resulting in an average acre intensity of 48 people, and a single acre intensity of 117 people, both of which are consistent with zone B2 intensity criteria.

The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (AMSL). At a distance of approximately 2,524 feet from the project to the nearest point on the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1.513 feet AMSL. The site's finished floor elevation is 1.494 feet AMSL and proposed building height is 50 feet, resulting in a top point elevation of 1,544 feet AMSL. Therefore, review of the building for height/elevation reasons by the FAA Obstruction Evaluation Service (FAAOES) was required. The applicant submitted Form 7460-1 to the FAA OES previously(ZAP1501MA21). A "Determination of No Hazard to Air Navigation" letter for Aeronautical Study No. 2021-AWP-20728-OE was issued on January 31, 2022. The study revealed that the proposed facility would not exceed obstruction standards and would not be a hazard to air navigation provided conditions are met. These FAA OES conditions have been incorporated into this finding.

As ALUC Director, I hereby find the above-referenced project CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Perris applies the following recommended conditions:

CONDITIONS:

- Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight or circling climb following takeoff or toward an aircraft engaged in a straight or circling final approach toward a landing at an airport, other than a DOD or FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight or circling climb following takeoff or towards an aircraft engaged in a straight or circling final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly (including but not limited to places of worship and theaters), buildings with more than 3 aboveground habitable floors, and critical community infrastructure facilities.
 - (f) Highly noise-sensitive outdoor nonresidential uses. Examples of noise-sensitive outdoor nonresidential uses that are prohibited include, but are not limited to, major spectator-oriented sports stadiums, amphitheaters, concert halls and drive-in theaters.
 - (g) Other Hazards to flight.
- 3. Prior to issuance of building permits, the landowner shall convey an avigation easement to the March Inland Port Airport Authority or its successor in interest, or provide evidence that such easement has been previously conveyed. The Airport Authority may waive this requirement in the event that the Authority determines that pre-existing avigation easements dedicated to the United States of America are sufficient to address its needs. Contact the March Joint Powers Authority at (951) 656-7000 for additional information.
- 4. The attached "Notice of Airport in Vicinity" shall be provided to all prospective

purchasers and occupants of the property and be recorded as a deed notice.

5. The project has been conditioned to utilize underground detention systems, which shall not contain surface water or attract wildlife. Any other proposed basin would require review and approval by the ALUC. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at <u>RCALUC.ORG</u> which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

- 6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
- 7. Noise attenuation measures shall be incorporated into the design of the office areas of the building, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
- 8. The project has been evaluated for proposes a 769,668 square feet warehouse building, consistent of 749,668 square feet of warehouse area, 10,000 square feet of first floor office area, and 10,000 square feet of second floor office mezzanines. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.
- 9. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.
- 10. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study No. 2021-AWP-20728-OE) and has determined that neither marking nor lighting of the structure(s) is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a

voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 M and shall be maintained in accordance therewith for the life of the project.

- 11. The proposed structures shall not exceed a height of 45 feet above ground level and a maximum elevation at top point of 1,539 feet above mean sea level.
- 12. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission. The specific coordinates, frequencies, and power shall not be amended without further review by the Federal Aviation Administration
- 13. Temporary construction equipment used during actual construction of the structure(s) shall not exceed 45 feet in height and a maximum elevation of 1,539 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
- 14. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to https://oeaaa.faa.gov for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.

If you have any questions, please contact me at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

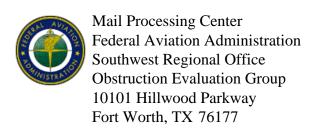
cc: Duke Realty, LP (applicant/representative/property owner)

Gary Gosliga, March Inland Port Airport Authority

Major. David Shaw, Base Civil Engineer, March Air Reserve Base

ALUC Case File

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Issued Date: 01/31/2022

Michael Weber Duke Realty 200 Spectrum Center Drive, Ste 1600 Irvine, CA 92618

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Patterson and Nance

Location: Perris, CA

Latitude: 33-51-26.93N NAD 83

Longitude: 117-14-56.96W

Heights: 1494 feet site elevation (SE)

45 feet above ground level (AGL)

1539 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

	At least 10 days prior to start of construction (7460-2, Part 1)
X	Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 07/31/2023 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (206) 231-2877, or Nicholas.Sanders@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-AWP-20728-OE.

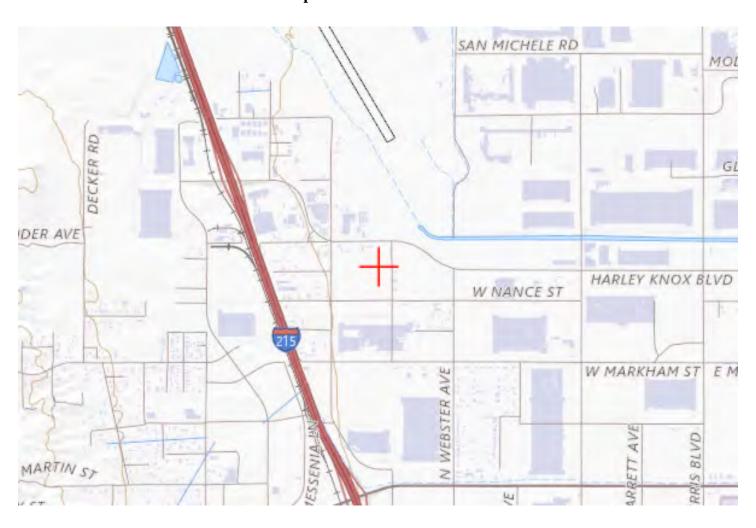
Signature Control No: 504281085-510035373

(DNE)

Nicholas Sanders Technician

Attachment(s) Map(s)

TOPO Map for ASN 2021-AWP-20728-OE



NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

NOTICE

THERE IS AN AIRPORT NEARBY. THIS STORM WATER BASIN IS DESIGNED TO HOLD STORM WATER FOR ONLY 48 HOURS AND NOT TO ATTRACT BIRDS

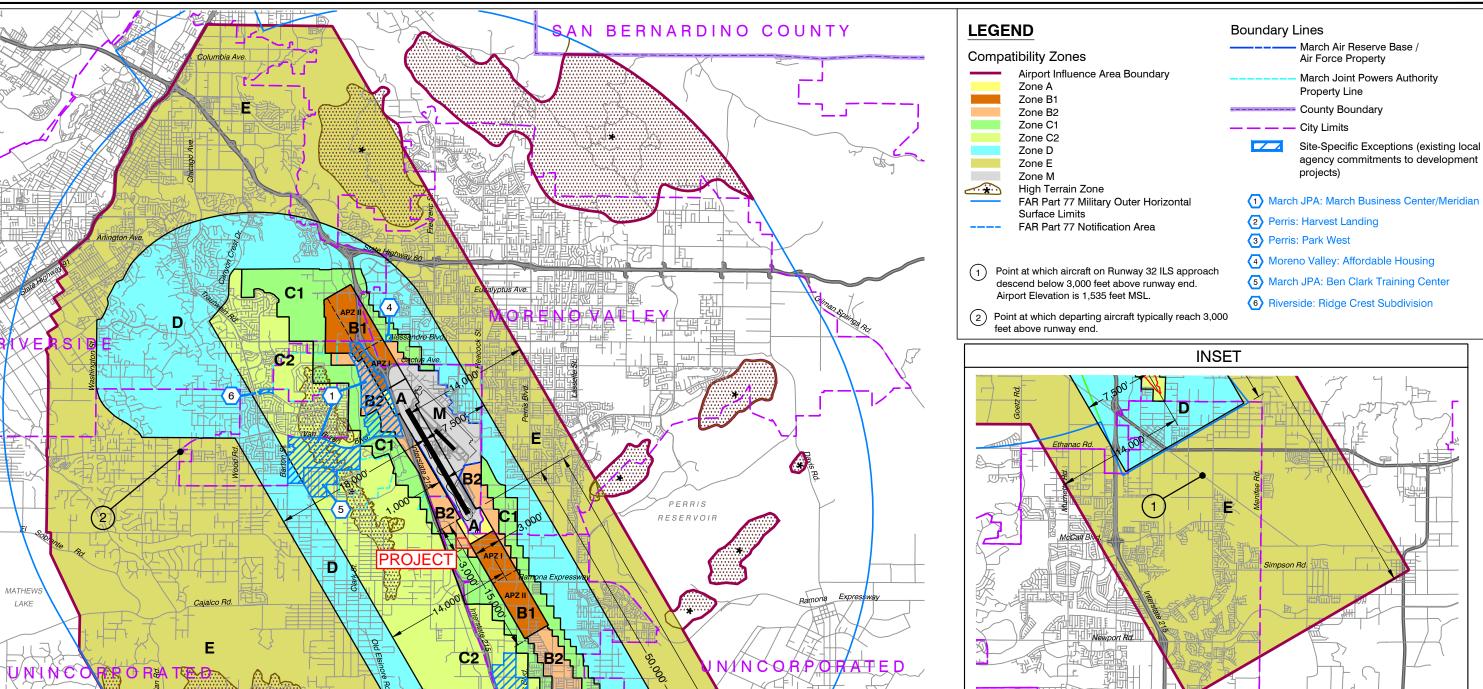
PROPER MAINTENANCE IS NECESSARY TO AVOID BIRD STRIKES



F 1	THIS	BASIN	IS OVERGROW	N. PLEASE	CONTACT:
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Name:	Phone:	
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- March JPA: March Business Center/Meridian
- Moreno Valley: Affordable Housing
- March JPA: Ben Clark Training Center



SEE INSET AT RIGHT

Prepared by Mead & Hunt, Inc. (June 2013)

Note:

All dimensions are measured from

Base map source: County of Riverside 2013

4 MILES

runway ends and centerlines.

Riverside County Airport Land Use Commission

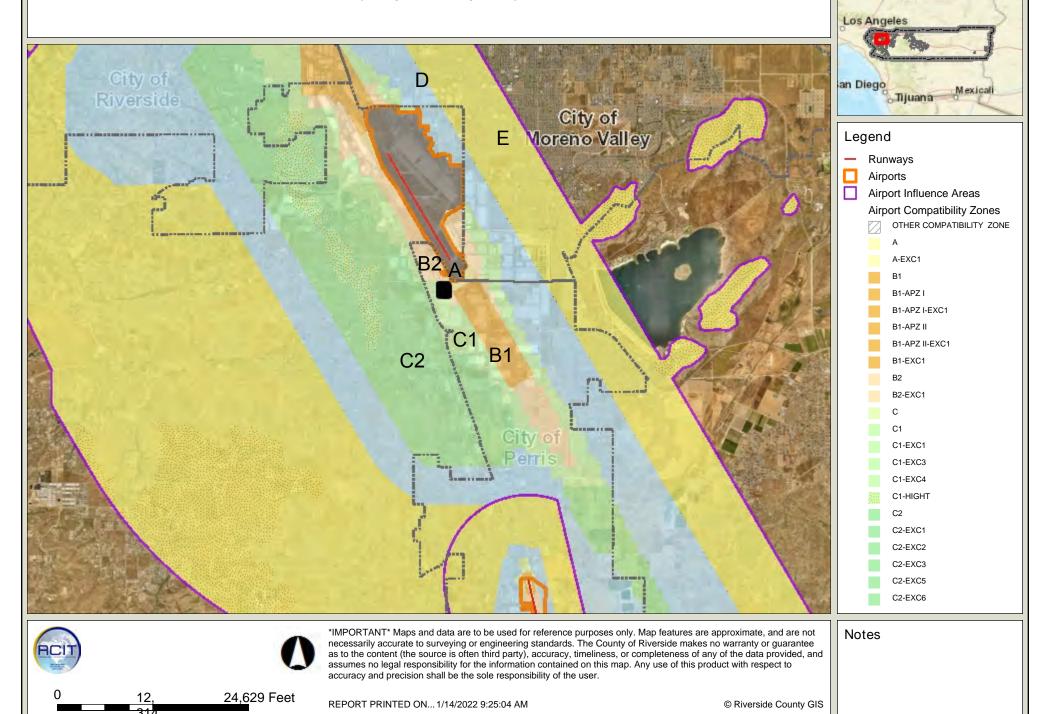
March Air Reserve Base / Inland Port Airport Land Use Compatibility Plan

(Adopted November 13, 2014)

Map MA-1

Compatibility Map

March Air Reserve Base / Inland Port Airport



Map My County Map Los Angeles an Diego Tijuana City of Legend Moreno Valley Runways Airports Airport Influence Areas Airport Compatibility Zones **B2** OTHER COMPATIBILITY ZONE A-EXC1 A B1-APZ I B1-APZ I-EXC1 B1-APZ II B1-APZ II-EXC1 B1-APZ-I B1-EXC1 B2-EXC1 C1 C1-EXC1 C1-EXC3 C1-EXC4 C1 C1-HIGHT C2 C2-EXC1 C2-EXC2 C2-EXC3 C2-EXC5 C2-EXC6 *IMPORTANT* Maps and data are to be used for reference purposes only. Map features are approximate, and are not Notes necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user. 3,079 Feet REPORT PRINTED ON... 1/14/2022 9:22:42 AM © Riverside County GIS





Legend

County Centerline Names

- County Centerlines
- Blueline Streams
- City Areas
 World Street Map





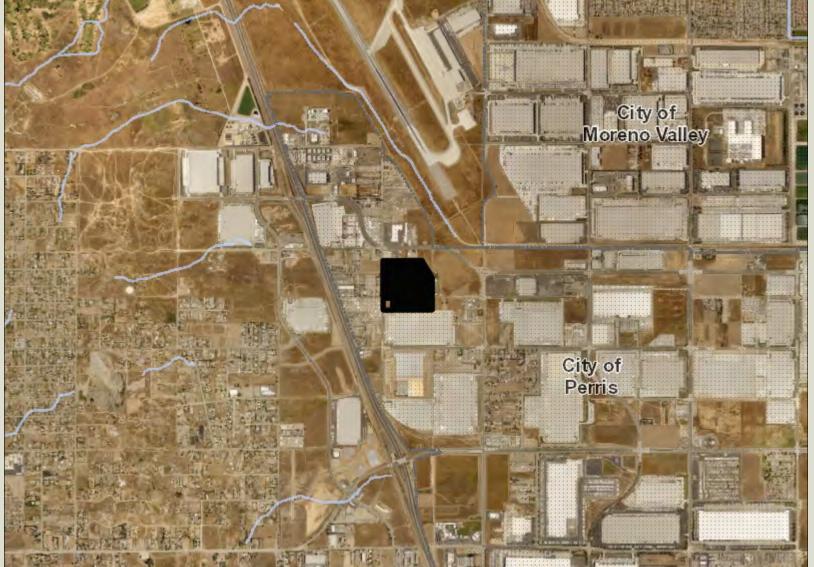
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

1, 3,079 Feet

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Notes





Legend

- Blueline Streams
- City Areas World Street Map





6,022 Feet

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Notes

3,011

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Legend

County Centerline Names

- County Centerlines
- Blueline Streams
- City Areas
 World Street Map





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Notes



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Legend

- Parcels
- County Centerline Names
- County Centerlines
- **Blueline Streams**
- City Areas
- World Street Map





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Notes



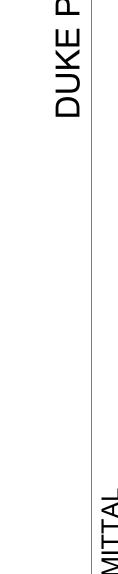
PERRIS, CA

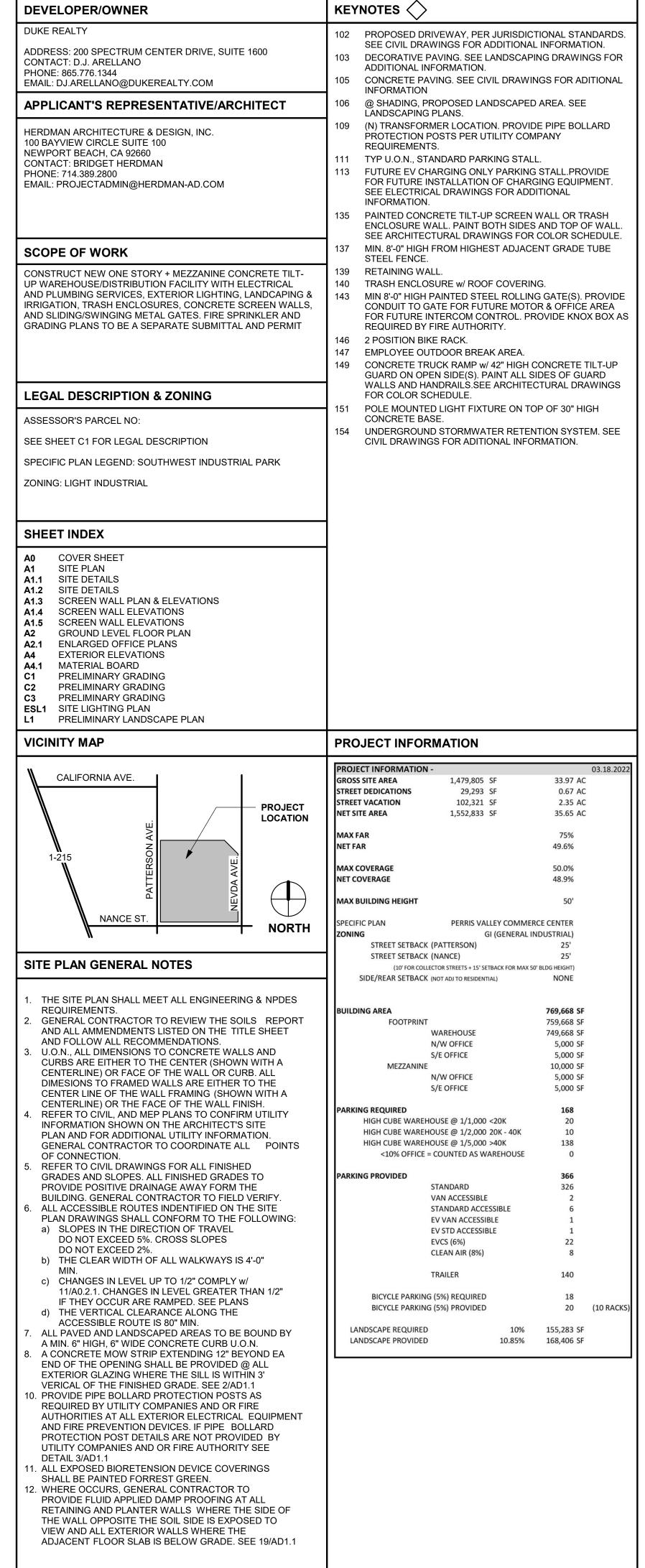






3D VIEW





SITE LEGEND

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LANDSCAPE AREA

CONCRETE PAVING. SEE CIVIL DRAWINGS FOR PAVING SECTIONS

FIRE HYDRANT. PROVIDE PIPE BOLLARD PROTECTION POSTS AS

INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY w/ SITE PLAN

REQUIRED. SEE 3/AD1.1

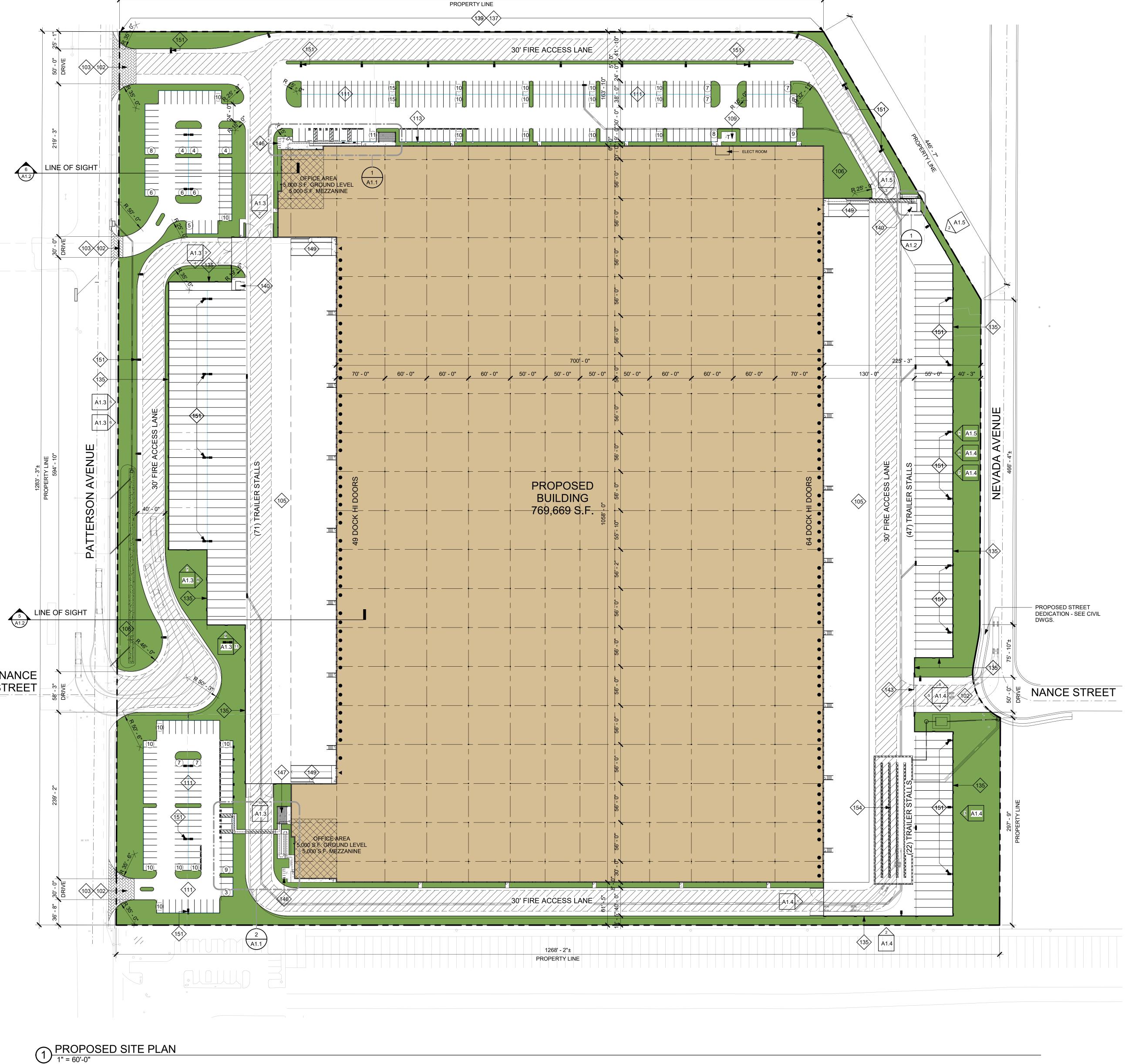
STREET LIGHT

GENERAL NOTE #6

PROPERTY LINE

DOCK HIGH DOOR

DRIVE THRU. DOOR

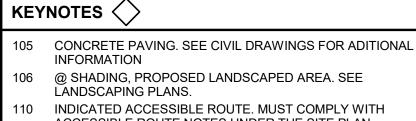


1010' - 8"





3/18/2022 1:41:04 PM



INFORMATION 106 @ SHADING, PROPOSED LANDSCAPED AREA. SEE LANDSCAPING PLANS.

110 INDICATED ACCESSIBLE ROUTE. MUST COMPLY WITH ACCESSIBLE ROUTE NOTES UNDER THE SITE PLAN GENERAL NOTES ON THE SITE PLAN SHEET(S).

113 FUTURE EV CHARGING ONLY PARKING STALL.PROVIDE FOR FUTURE INSTALLATION OF CHARGING EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL

INFORMATION. 15 STANDARD ACCESSIBLE PARKING STALL. 117 FUTURE STANDARD ACCESSIBLE EV CHARGING ONLY PARKING STALL. PROVIDE FOR FUTURE INSTALLATION OF

CHARGING EQUIPMENT. 118 FUTURE VAN ACCESSIBLE EV CHARGING ONLY PARKING STALL. PROVIDE FOR FUTURE INSTALLATION OF CHARGING EQUIPMENT.

120 TRUNCATED DOME DETECTABLE WARNING SURFACE 121 PRECAST CONCRETE WHEEL STOP. 122 ZERO CURB FACE. SEE CIVIL DRAWINGS FOR ADDITIONAL

INFORMATION. 123 CURB RAMP. 8.33% MAX SLOPE w/ 2% MAX CROSS SLOPE. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. 146 2 POSITION BIKE RACK.

EXTERIOR COLOR SCHEDULE

147 EMPLOYEE OUTDOOR BREAK AREA.



(F) ACM PANEL COLOR: MATCH STOREFRONT FRAMING

G EXPOSED STEEL BROW & CANOPY FRAMING & TRASH ENCLOSURE ROOF PAINT COLOR: MATCH STOREFRONT FRAMING.

(H) EXTERIOR STOREFRONT FRAMING BLACK ANODIZED ALUMINUM

(I) EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: SOLARCOOL, SOLARGRAY, SOLARBAN 60

(J) EXTERIOR GLASS COLOR FOR THE LAYER OF INSULATED GLASS: CLEAR

. PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, & LOUVERS TO MATCH ADJACENT BUILDING WALL COLOR, U.O.N.

U.O.N., EXTERIOR SIDE OF TRUCK DOORS TO BE PRE-FINISHED WITH MANUFACTURER'S WHITE. INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY. POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE

PAINT EXTERIOR WALLS w/ 1- COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. ALL PAINTS TO BE AS SPECIFIED BY THE MANUFACTURER FOR CONCRETE TILT UP WALL PANELS. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS

OF THE COLOR. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/AD4.1.

PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE ADJACENT WALL. @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.

ALL CONCRETE TILT-UP WALLS ARE REQUIRED TO PROVIDE ANTI-GRAFFITI COATING

SITE PLAN GENERAL NOTES

I. THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS. . GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT

AND ALL AMMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS. . U.O.N., ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMESIONS TO FRAMED WALLS ARE EITHER TO THE

CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH. REFER TO CIVIL, AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION.

GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION. REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FORM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY.

ALL ACCESSIBLE ROUTES INDENTIFIED ON THE SITE PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING: a) SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5%. CROSS SLOPES DO NOT EXCEED 2%.

b) THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0"

c) CHANGES IN LEVEL UP TO 1/2" COMPLY w/ 11/A0.2.1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS d) THE VERTICAL CLEARANCE ALONG THE

ACCESSIBLE ROUTE IS 80" MIN. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 6" WIDE CONCRETE CURB U.O.N. . A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA

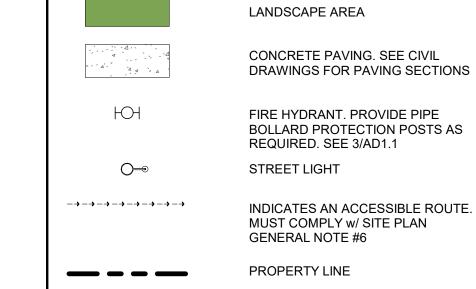
END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERICAL OF THE FINISHED GRADE, SEE 2/AD1.1 10. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3/AD1.1

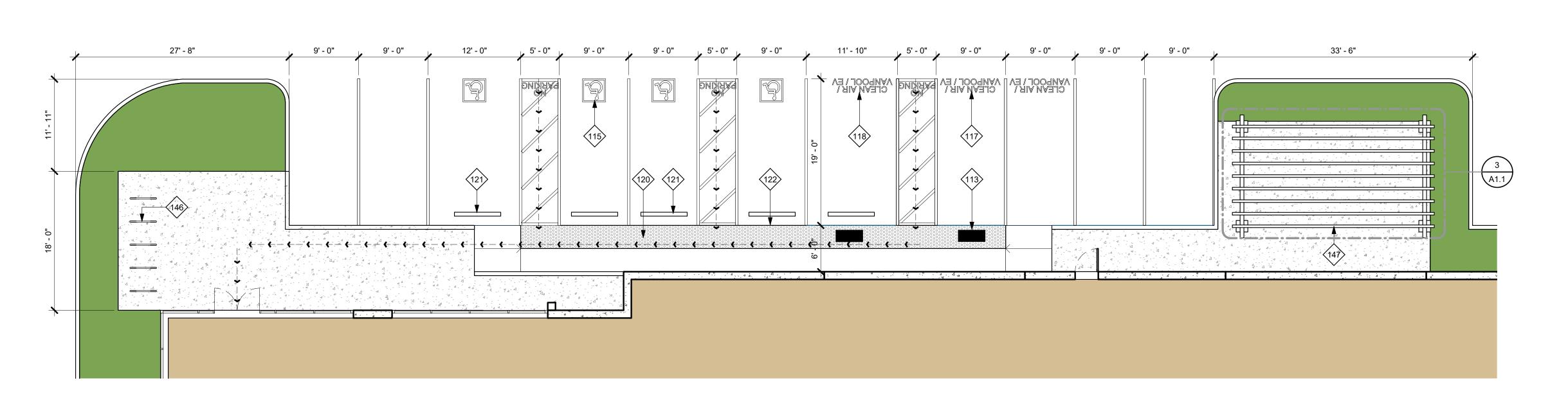
11. ALL EXPOSED BIORETENSION DEVICE COVERINGS SHALL BE PAINTED FORREST GREEN. 12. WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO

VIEW AND ALL EXTERIOR WALLS WHERE THE

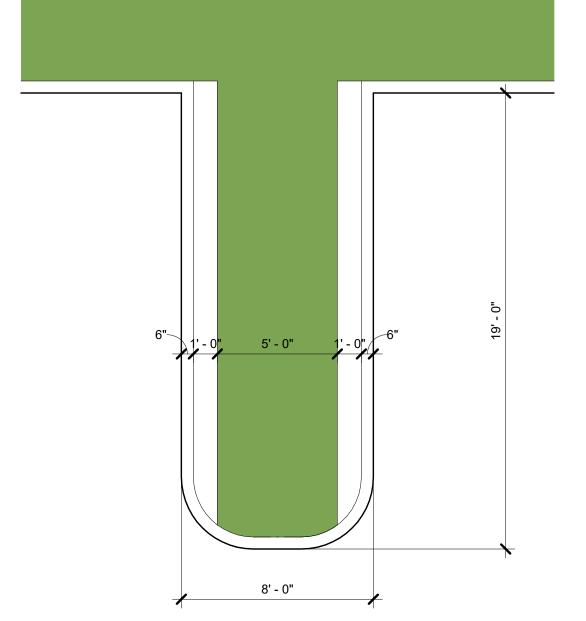
ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 19/AD1.1







30' - 0"



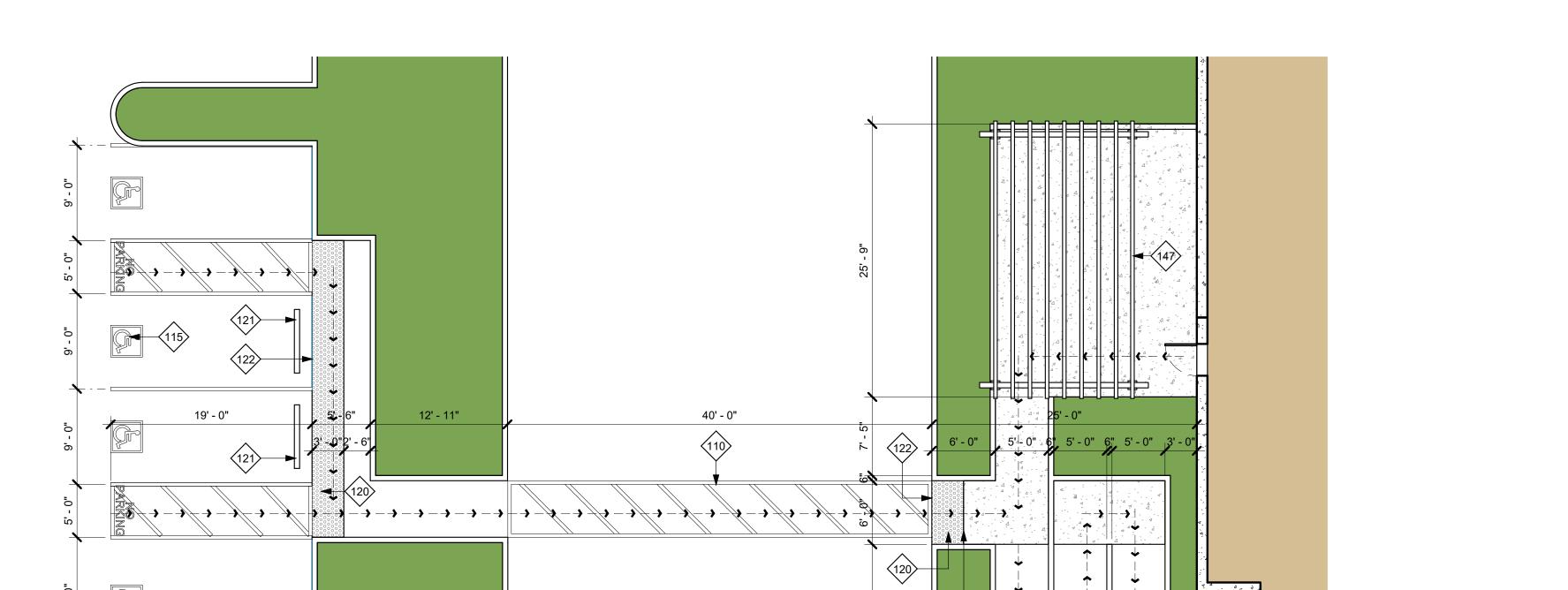
6 TYPICAL LANDSCAPE FINGER DETAIL

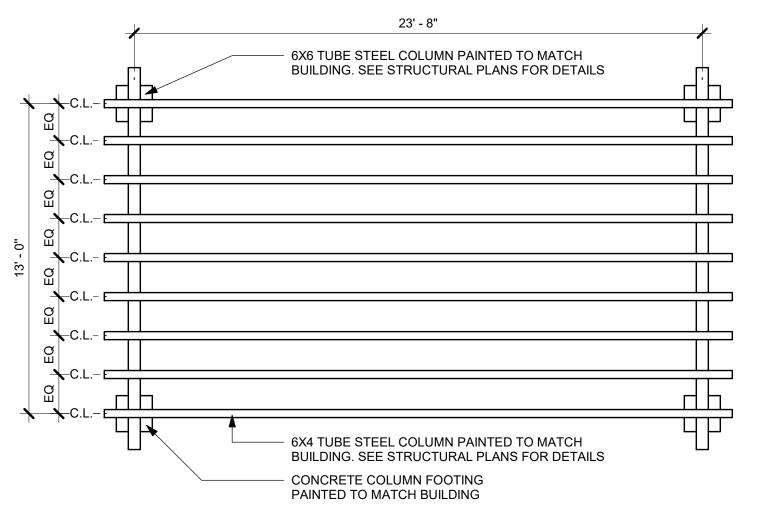
1/4" = 1'-0"



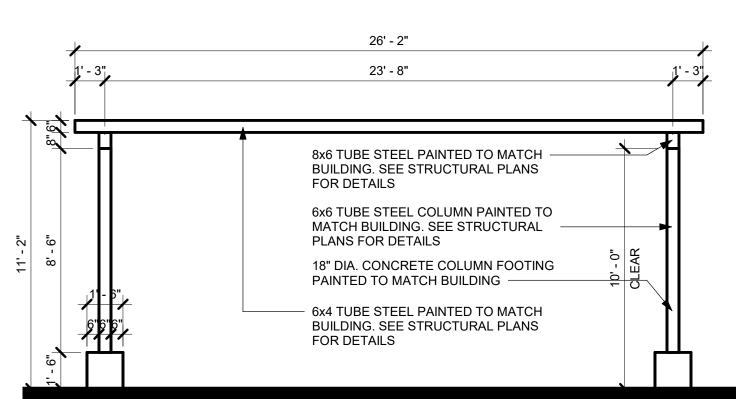
106

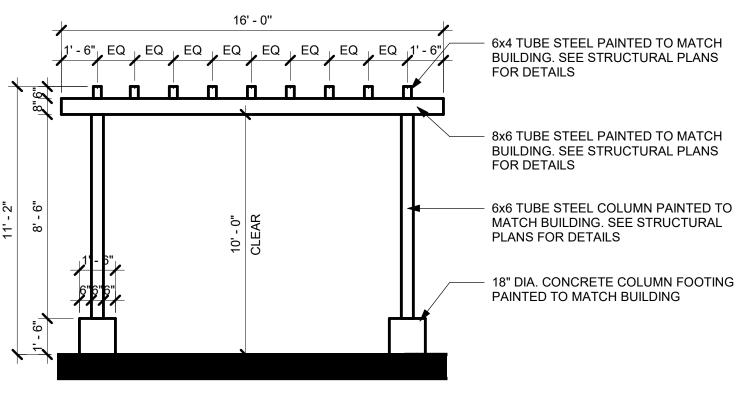
2 ENLARGED SOUTHWEST ACCESSIBLE PARKING
1/8" = 1'-0"





3 TRELLIS PLAN VIEW 1/4" = 1'-0"





5 TRELLIS ELEVATION 2

TRELLIS ELEVATION 1 1/4" = 1'-0"

DOCK HIGH DOOR DRIVE THRU. DOOR

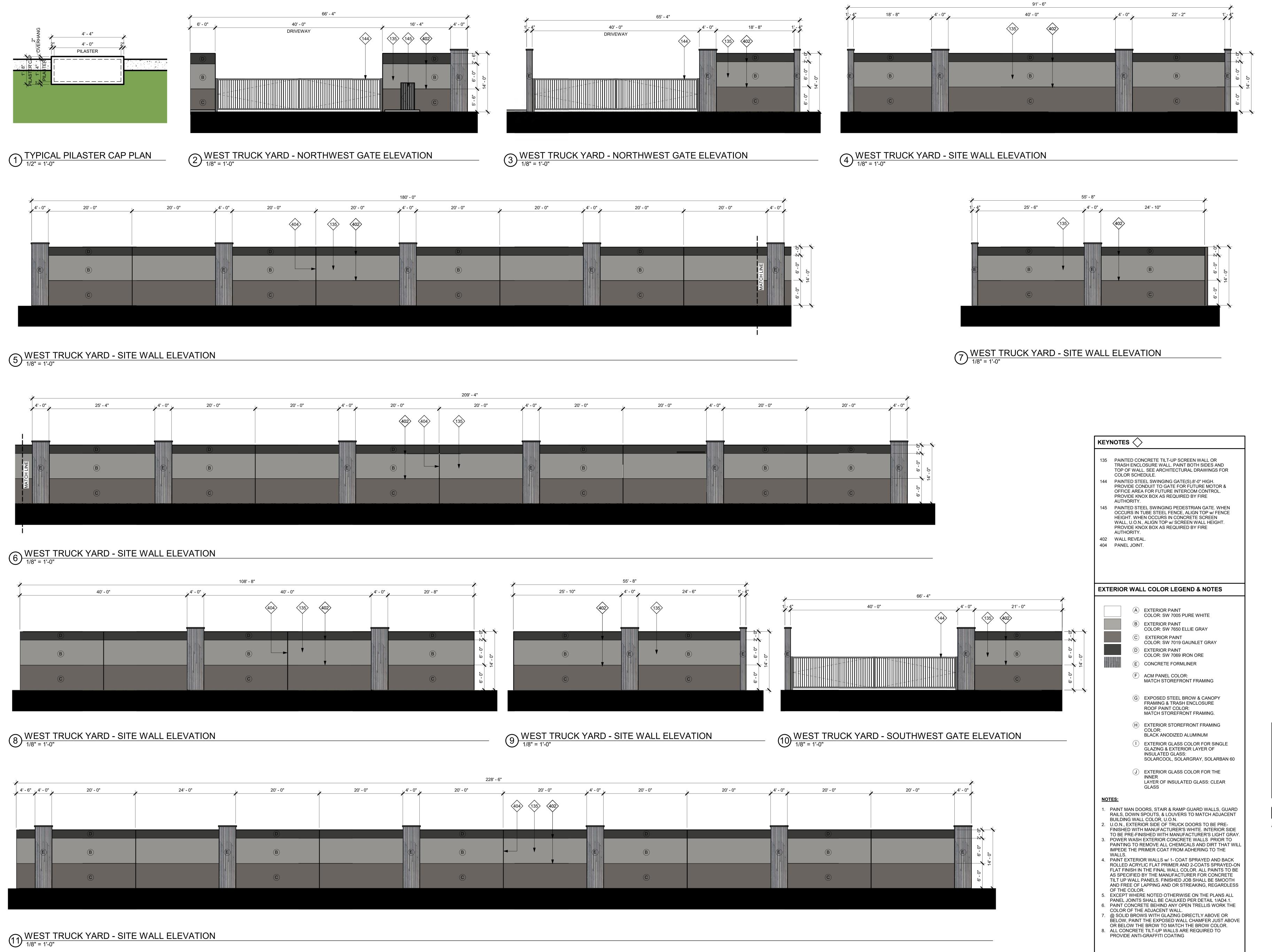
SITE DETAILS

HERDMAN

ARCHITECTURE + DESIGN

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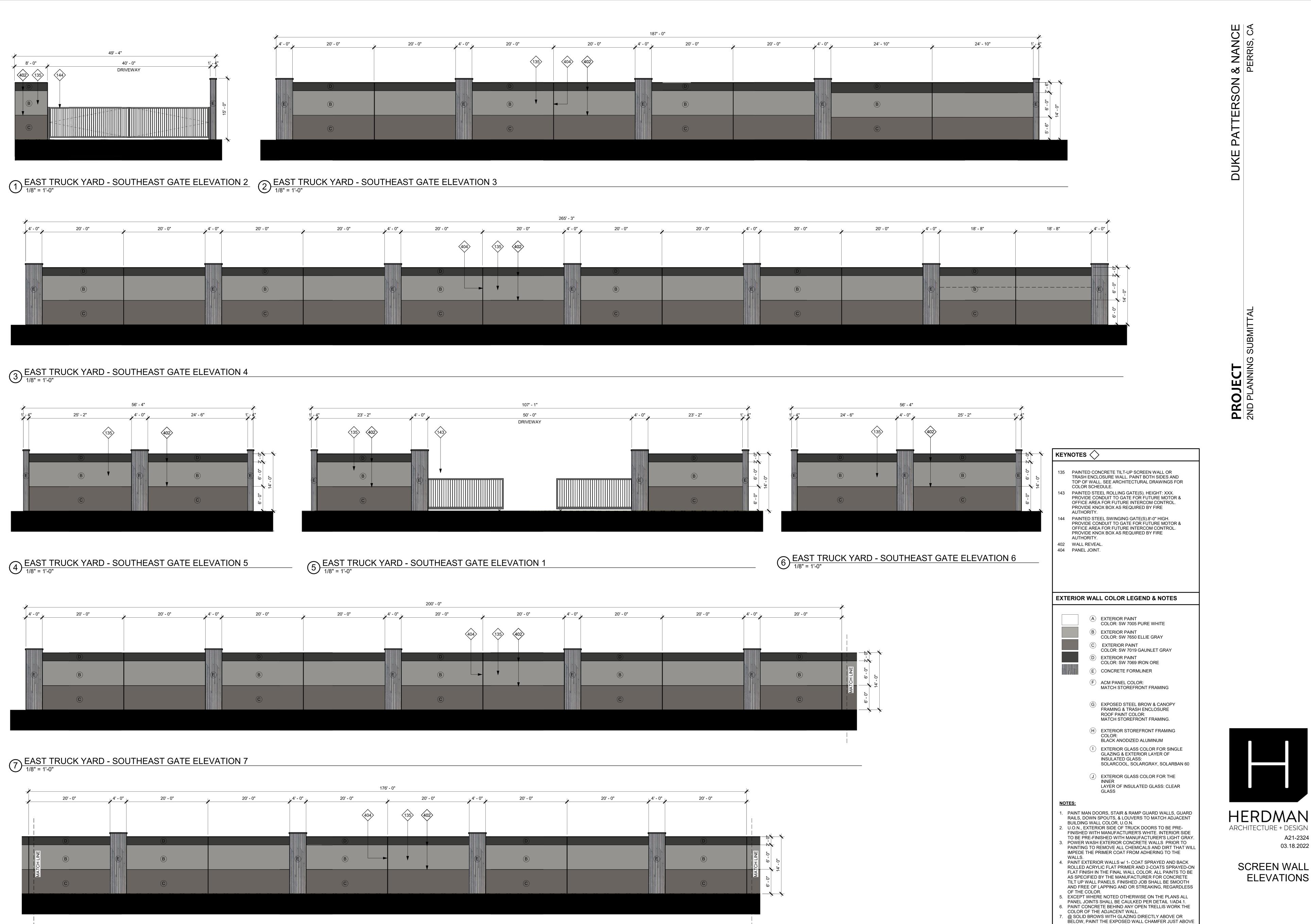


HERDMAN ARCHITECTURE + DESIGN A21-2324 03.18.2022 **SCREEN WALL**

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PLAN &

ELEVATIONS



8 EAST TRUCK YARD - SOUTHEAST GATE ELEVATION 11

OR BELOW THE BROW TO MATCH THE BROW COLOR. 8. ALL CONCRETE TILT-UP WALLS ARE REQUIRED TO

PROVIDE ANTI-GRAFFITI COATING

ARCHITECTURE + DESIGN

SCREEN WALL

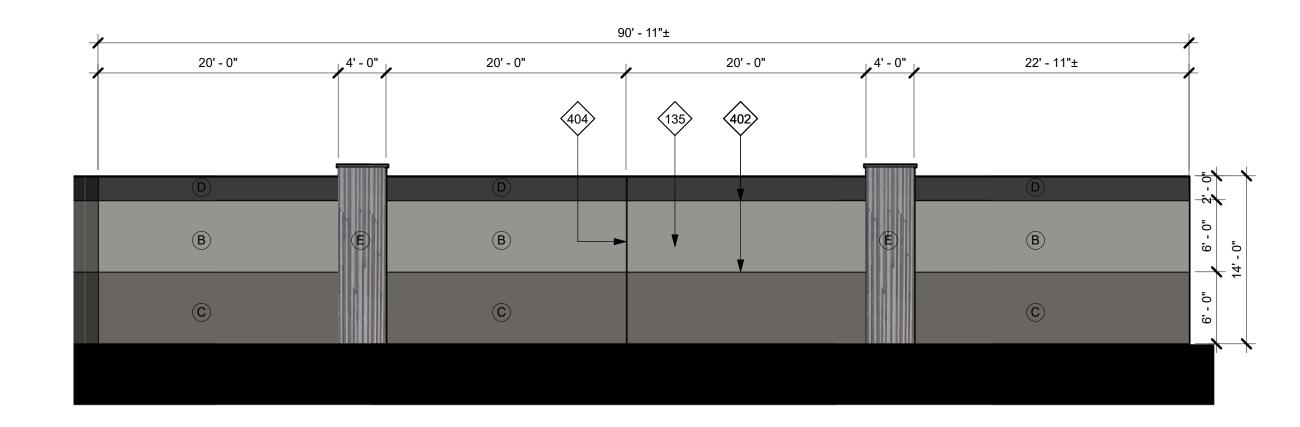
ELEVATIONS

A21-2324

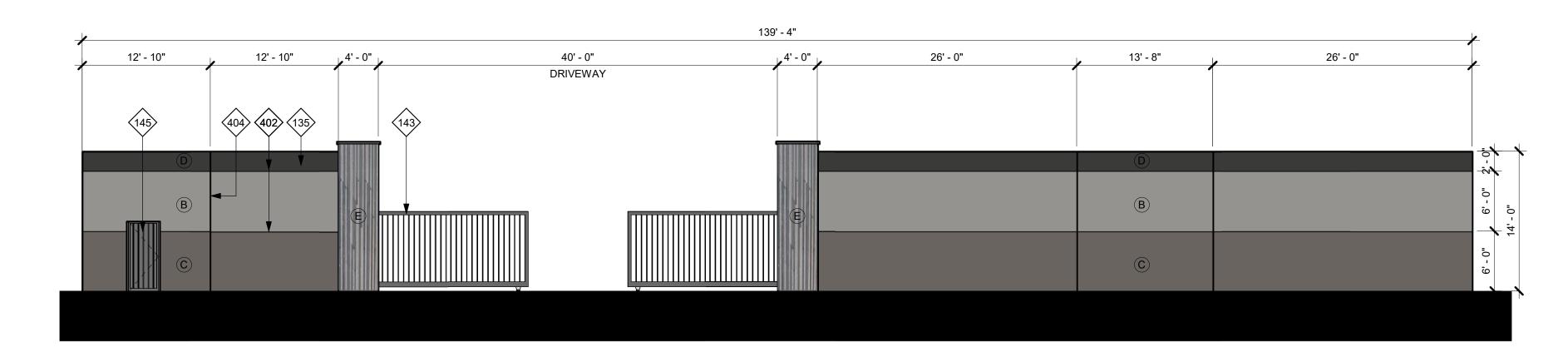
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1 EAST TRUCK YARD - SOUTHEAST GATE ELEVATION



2 EAST TRUCK YARD - SOUTHEAST GATE ELEVATION



3 EAST TRCUK YARD - NORTHEAST GATE ELEVATION

KEYNOTES 🔷

- 135 PAINTED CONCRETE TILT-UP SCREEN WALL OR TRASH ENCLOSURE WALL. PAINT BOTH SIDES AND TOP OF WALL. SEE ARCHITECTURAL DRAWINGS FOR
- COLOR SCHEDULE. 143 PAINTED STEEL ROLLING GATE(S). HEIGHT: XXX. PROVIDE CONDUIT TO GATE FOR FUTURE MOTOR & OFFICE AREA FOR FUTURE INTERCOM CONTROL. PROVIDE KNOX BOX AS REQUIRED BY FIRE
- AUTHORITY. 145 PAINTED STEEL SWINGING PEDESTRIAN GATE. WHEN OCCURS IN TUBE STEEL FENCE, ALIGN TOP w/ FENCE HEIGHT, WHEN OCCURS IN CONCRETE SCREEN WALL, U.O.N., ALIGN TOP w/ SCREEN WALL HEIGHT. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
- 402 WALL REVEAL. 404 PANEL JOINT.

EXTERIOR WALL COLOR LEGEND & NOTES



- (D) EXTERIOR PAINT
- COLOR: SW 7069 IRON ORE
- (E) CONCRETE FORMLINER
- (F) ACM PANEL COLOR: MATCH STOREFRONT FRAMING

(G) EXPOSED STEEL BROW & CANOPY

- FRAMING & TRASH ENCLOSURE ROOF PAINT COLOR: MATCH STOREFRONT FRAMING.
- (H) EXTERIOR STOREFRONT FRAMING BLACK ANODIZED ALUMINUM
- (I) EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS:

SOLARCOOL, SOLARGRAY, SOLARBAN 60

(J) EXTERIOR GLASS COLOR FOR THE LAYER OF INSULATED GLASS: CLEAR GLASS

- 1. PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, & LOUVERS TO MATCH ADJACENT
- BUILDING WALL COLOR, U.O.N. 2. U.O.N., EXTERIOR SIDE OF TRUCK DOORS TO BE PRE-
- FINISHED WITH MANUFACTURER'S WHITE. INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY. 3. POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE
- 4. PAINT EXTERIOR WALLS w/ 1- COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. ALL PAINTS TO BE AS SPECIFIED BY THE MANUFACTURER FOR CONCRETE TILT UP WALL PANELS. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS
- OF THE COLOR. 5. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/AD4.1.
- 6. PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE
- COLOR OF THE ADJACENT WALL.
 7. @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE
- OR BELOW THE BROW TO MATCH THE BROW COLOR.

 8. ALL CONCRETE TILT-UP WALLS ARE REQUIRED TO PROVIDE ANTI-GRAFFITI COATING

PATTERSON

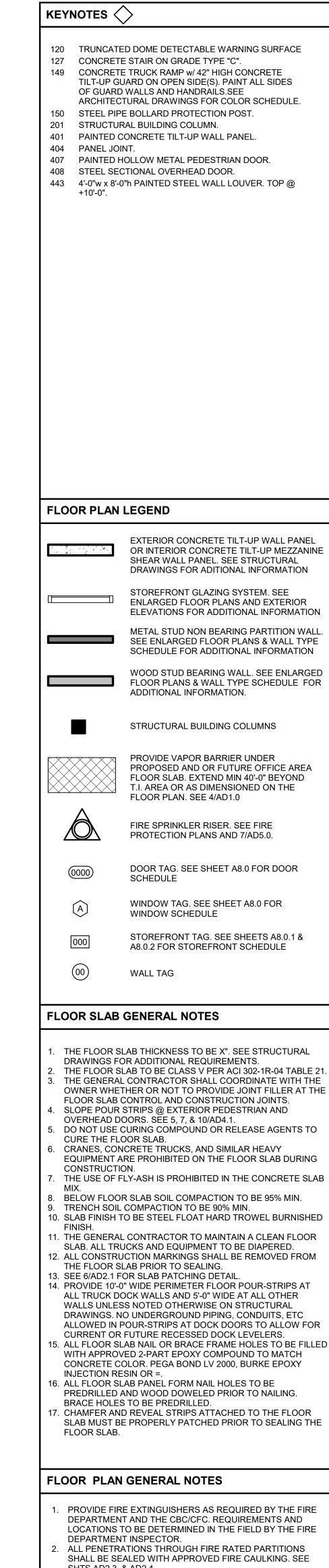


SCREEN WALL **ELEVATIONS**

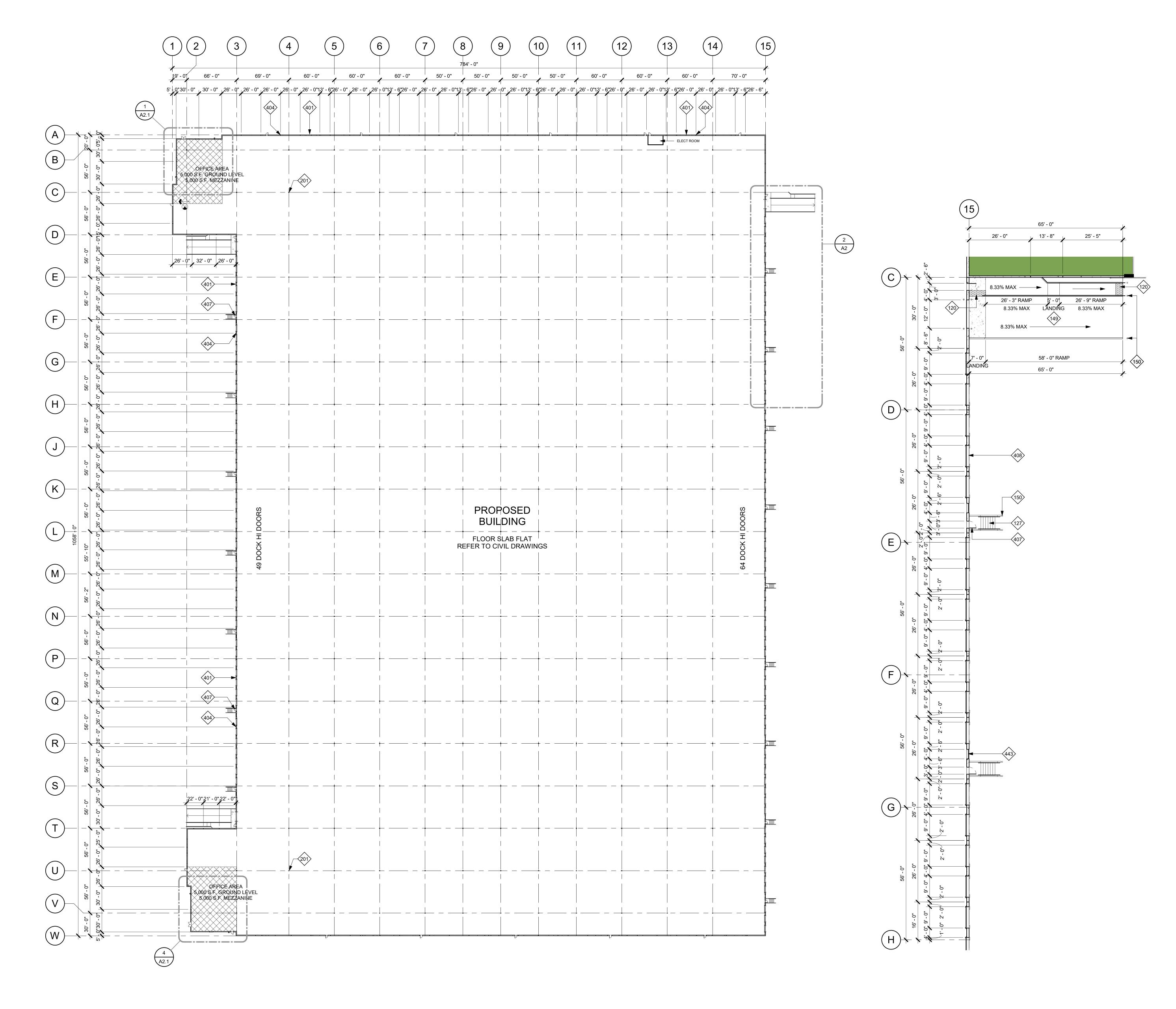


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- PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT AND THE CBC/CFC. REQUIREMENTS AND LOCATIONS TO BE DETERMINED IN THE FIELD BY THE FIRE DEPARTMENT INSPECTOR.
- . ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE SEALED WITH APPROVED FIRE CAULKING. SEE SHTS AD2.3. & AD2.4.
- U.O.N., ALL DIMENSIONS TO CONCRETE WALLS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL FINISH.
- PROVIDE ILLUMINATÉD AND TACTILE EXIT SIGNAGE. SEE EXITING & SIGNAGE PLANS. SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF CONNECTION. GENERAL CONTRACTOR TO VERIFY
- LOCATIONS. PROVIDE PIPE BOLLARD PROTECTION POSTS @ FIRE RISERS & ELECTRICAL GEAR AS REQUIRED BY THE ELECTRICAL AND FIRE PROTECTION PLANS. SEE 7/AD5.0 FOR ADDITIONAL INFORMATION. . FOR REQUIRED LANDINGS @ ACCESSIBLE DOORS, SEE
- . NO SMOKING IS ALLOWED WITIHN 25' OF ALL BUILDING ENTRANCES, PER GREEN BUILDING STANDARD CODE DIVISION 5.504.7. POST REQUIRED SIGNAGE. D. U.O.N @ INTERIOR PARTITIONS, FINISHED HINGE SIDE OF JAMB TO BE 6" FROM FINISHED SURFACE OF INTERSECTING



PROPOSED FLOOR PLAN

1" = 50'-0"

2 TYPICAL DOCK DOOR SPACING

1/16" = 1'-0"

HERDMAN

ARCHITECTURE + DESIGN A21-2324 03.18.2022 GROUND

LEVEL FLOOR

PLAN

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SCHEDULE FOR ADDITIONAL INFORMATION WOOD STUD BEARING WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.

PROVIDE VAPOR BARRIER UNDER PROPOSED AND OR FUTURE OFFICE AREA FLOOR SLAB. EXTEND MIN 40'-0" BEYOND T.I. AREA OR AS DIMENSIONED ON THE

FLOOR PLAN. SEE 4/AD1.0

STRUCTURAL BUILDING COLUMNS

FIRE SPRINKLER RISER. SEE FIRE PROTECTION PLANS AND 7/AD5.0.

KEYNOTES \Diamond

201 STRUCTURAL BUILDING COLUMN.

401 PAINTED CONCRETE TILT-UP WALL PANEL.

DOOR TAG. SEE SHEET A8.0 FOR DOOR

WINDOW TAG. SEE SHEET A8.0 FOR WINDOW SCHEDULE STOREFRONT TAG. SEE SHEETS A8.0.1 &

A8.0.2 FOR STOREFRONT SCHEDULE WALL TAG

FLOOR SLAB GENERAL NOTES

- THE FLOOR SLAB THICKNESS TO BE X". SEE STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS. THE FLOOR SLAB TO BE CLASS V PER ACI 302-1R-04 TABLE 2 THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER WHETHER OR NOT TO PROVIDE JOINT FILLER AT THE FLOOR SLAB CONTROL AND CONSTRUCTION JOINTS. . SLOPE POUR STRIPS @ EXTERIOR PEDESTRIAN AND
- OVERHEAD DOORS. SEE 5, 7, & 10/AD4.1. . DO NOT USE CURING COMPOUND OR RELEASE AGENTS TO CURE THE FLOOR SLAB.
- CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT ARE PROHIBITED ON THE FLOOR SLAB DURING CONSTRUCTION. THE USE OF FLY-ASH IS PROHIBITED IN THE CONCRETE SLAB
- . BELOW FLOOR SLAB SOIL COMPACTION TO BE 95% MIN. TRENCH SOIL COMPACTION TO BE 90% MIN. 10. SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED 11. THE GENERAL CONTRACTOR TO MAINTAIN A CLEAN FLOOR
- SLAB. ALL TRUCKS AND EQUIPMENT TO BE DIAPERED. 12. ALL CONSTRUCTION MARKINGS SHALL BE REMOVED FROM THE FLOOR SLAB PRIOR TO SEALING. 13. SEE 6/AD2.1 FOR SLAB PATCHING DETAIL. 14. PROVIDE 10'-0" WIDE PERIMETER FLOOR POUR-STRIPS AT
- ALL TRUCK DOCK WALLS AND 5'-0" WIDE AT ALL OTHER WALLS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. NO UNDERGROUND PIPING, CONDUITS, ETC ALLOWED IN POUR-STRIPS AT DOCK DOORS TO ALLOW FOR CURRENT OR FUTURE RECESSED DOCK LEVELERS.
- 15. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES TO BE FILLED WITH APPROVED 2-PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR =.
- 16. ALL FLOOR SLAB PANEL FORM NAIL HOLES TO BE PREDRILLED AND WOOD DOWELED PRIOR TO NAILING. BRACE HOLES TO BE PREDRILLED. 7. CHAMFER AND REVEAL STRIPS ATTACHED TO THE FLOOR SLAB MUST BE PROPERLY PATCHED PRIOR TO SEALING THE

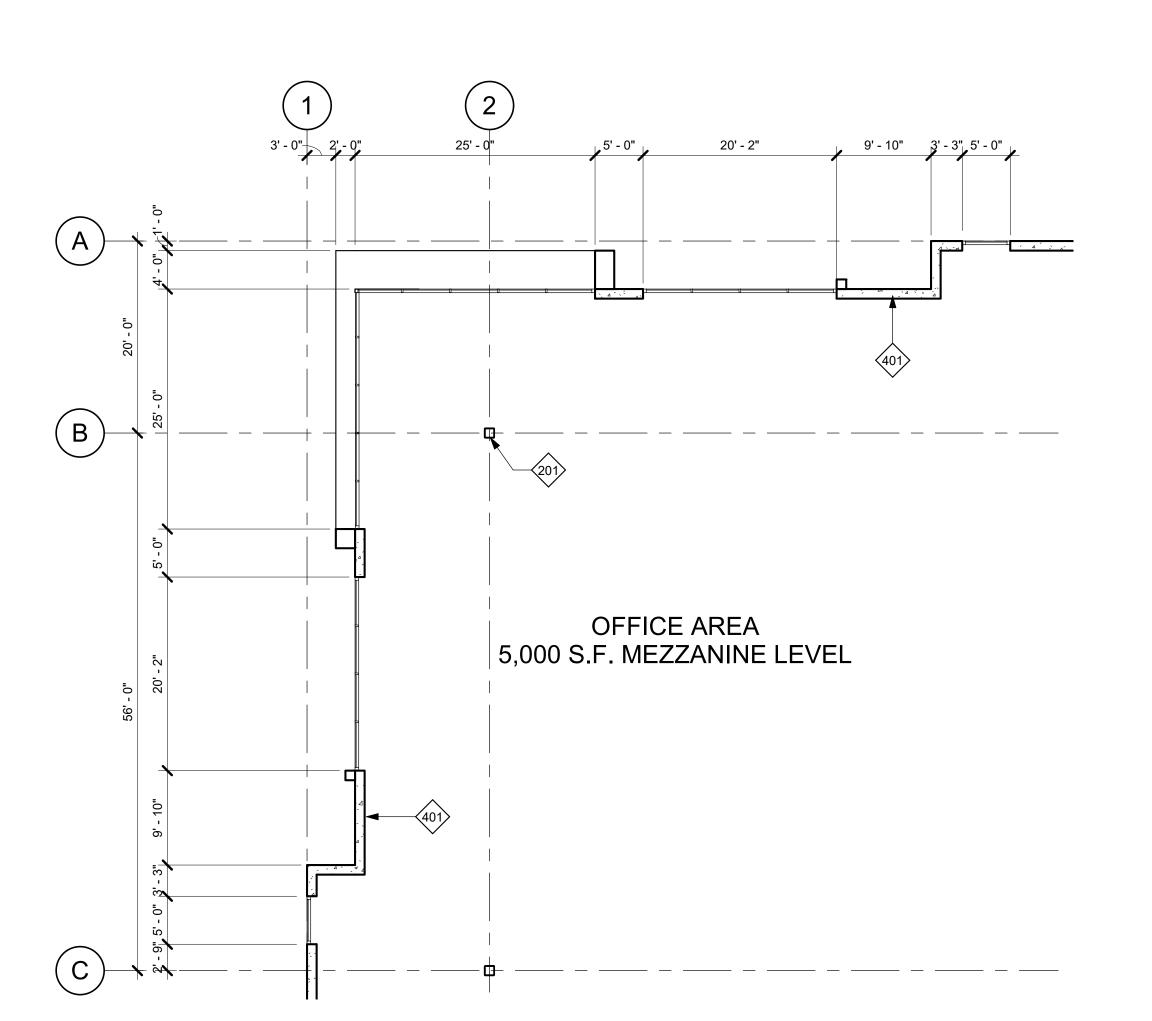
FLOOR PLAN GENERAL NOTES

FLOOR SLAB.

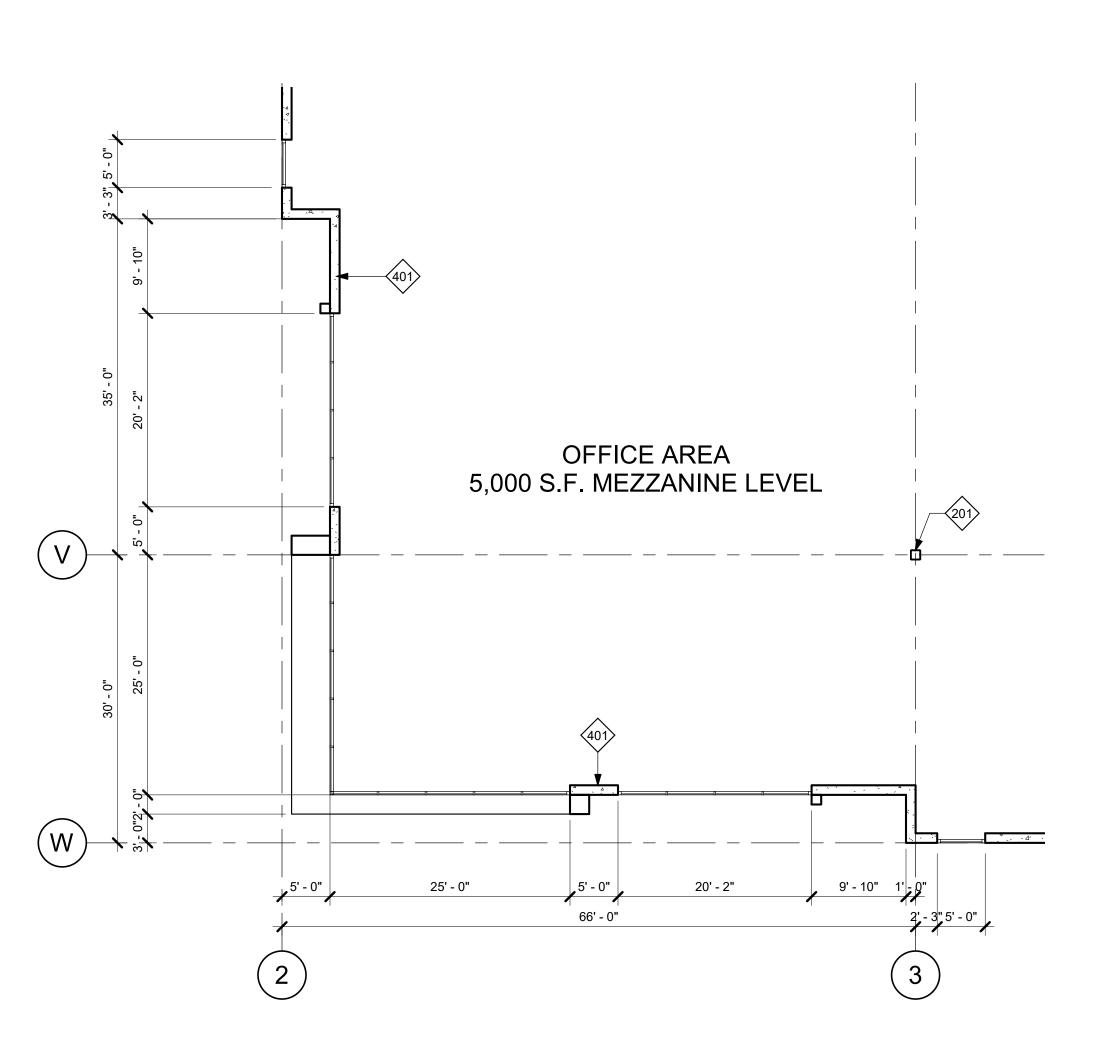
- PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT AND THE CBC/CFC. REQUIREMENTS AND LOCATIONS TO BE DETERMINED IN THE FIELD BY THE FIRE
- DEPARTMENT INSPECTOR. ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE SEALED WITH APPROVED FIRE CAULKING. SEE SHTS AD2.3, & AD2.4. U.O.N., ALL DIMENSIONS TO CONCRETE WALLS ARE EITHER
- THE WALL. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL FINISH. PROVIDE ILLUMINATED AND TACTILE EXIT SIGNAGE. SEE EXITING & SIGNAGE PLANS.

TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF

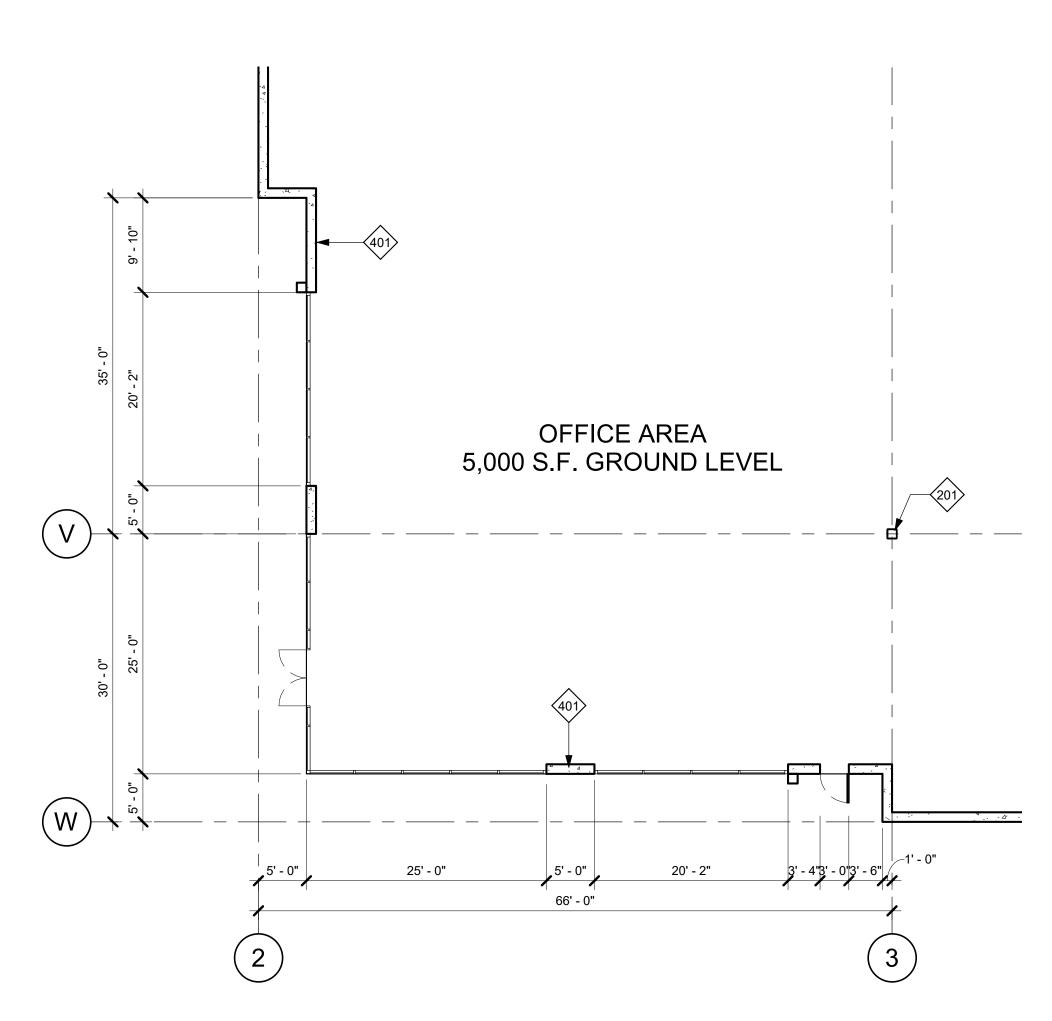
- SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF CONNECTION. GENERAL CONTRACTOR TO VERIFY LOCATIONS.
- . PROVIDE PIPE BOLLARD PROTECTION POSTS @ FIRE RISERS & ELECTRICAL GEAR AS REQUIRED BY THE ELECTRICAL AND FIRE PROTECTION PLANS. SEE 7/AD5.0 FOR ADDITIONAL INFORMATION. . FOR REQUIRED LANDINGS @ ACCESSIBLE DOORS, SEE
- 8. NO SMOKING IS ALLOWED WITHN 25' OF ALL BUILDING ENTRANCES, PER GREEN BUILDING STANDARD CODE DIVISION 5.504.7. POST REQUIRED SIGNAGE. 9. U.O.N @ INTERIOR PARTITIONS, FINISHED HINGE SIDE OF JAMB TO BE 6" FROM FINISHED SURFACE OF INTERSECTING



2 ENLARGED MEZZANINE LEVEL NORTHWEST OFFICE PLAN
1" = 10'-0"



3 ENLARGED MEZZANINE LEVEL SOUTHWEST OFFICE PLAN 1" = 10'-0"



1 ENLARGED GROUND LEVEL NORTHWEST OFFICE PLAN
1" = 10'-0"

20' - 2"

OFFICE AREA

5,000 S.F. GROUND LEVEL

(B)

4 ENLARGED GROUND LEVEL SOUTHWEST OFFICE PLAN
1" = 10'-0"



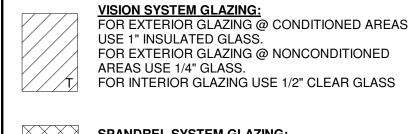
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ENLARGED

OFFICE PLANS

GLAZING LEGEND & NOTES

STOREFRONT FRAMING: U.O.N @ VISION SYSTEM, MIN 2"x4 1/2" OFFSET SYSTEM. U.O.N. @ SPANDREL SYSTEM, 2"x1 3/4" OFFSET SYSTEM. STOREFRONT SYSTEM TO BE DESIGN BUILD BY THE GENERAL CONTRACTOR. DESIGN SHALL COMPLY WITH ALL RELEVANT CODE & WIND LOADING REQUIREMENTS.



KEYNOTES 🔷

402 WALL REVEAL. 404 PANEL JOINT.

PANEL U.N.O.

BUILDING.

437 DOCK BUMPER.

401 PAINTED CONCRETE TILT-UP WALL PANEL.

409 BUILDING ADDRESS NUMERALS PER FIRE DEPARTMENT AND OR PLANNING DEPARTMENT REQUIREMENTS.

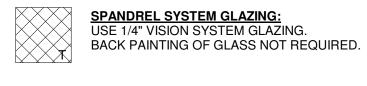
418 WALL MOUNTED LIGHT FIXTURE. CENTER IN WALL

419 DECORATIVE SOLID BROW WRAPPED IN ALUMINUM

PANELS. NOMINAL 8" THKNS. MAX 24" PROJECTION FROM

408 STEEL SECTIONAL OVERHEAD DOOR.

FOR EXTERIOR GLAZING @ NONCONDITIONED AREAS USE 1/4" GLASS. FOR INTERIOR GLAZING USE 1/2" CLEAR GLASS



1. FOR GLASS AND MULLION COLORS, SEE EXTERIOR COLORS, LEGEND & NOTES, THIS SHEET. 2. PROVIDE TEMPERED GLASS @ THE FOLLOWING: A. ALL SPANDREL SYSTEM GLAZING IN FRONT OF CONCRETE WALL PANELS

B. ALL GLAZING WITHIN 18" OF AN ADJACENT WALKING SURFACE. C. ALL GLAZING WITH 24" OF ANY PORTION OF A DOOR. . @ SPANDREL SYSTEM GLAZING IN FRONT OF CONCRETE WALL PANELS, PROVIDE 1" DIA. VENTILLATION HOLES IN THE CONCRETE A MAX OF 5'-0" O.C. CONTRACTOR TO PROVIDE A SMOOTH FINISH ON THE GLASS FACING CONCRETE SURFACES AND TO PAINT THEM IN A COLOR SELECTED BY THE ARCHITECT.

. @ SPANDREL SYSTEM GLAZING NOT IN FRONT OF A CONCRETE WALL PANEL, PROVIDE TENCATE MIRAFI 140N FILTER FABRIC SHADE CLOTH.

EXTERIOR WALL COLOR LEGEND & NOTES

(A) EXTERIOR PAINT COLOR: SW 7005 PURE WHITE (B) EXTERIOR PAINT COLOR: SW 7650 ELLIE GRAY

EXTERIOR PAINT COLOR: SW 7019 GAUNLET GRAY (D) EXTERIOR PAINT

COLOR: SW 7069 IRON ORE (E) CONCRETE FORMLINER (F) ACM PANEL COLOR:

(G) EXPOSED STEEL BROW & CANOPY FRAMING & TRASH ENCLOSURE ROOF PAINT COLOR: MATCH STOREFRONT FRAMING.

MATCH STOREFRONT FRAMING

(H) EXTERIOR STOREFRONT FRAMING COLOR: BLACK ANODIZED ALUMINUM

(I) EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: SOLARCOOL, SOLARGRAY, SOLARBAN 60

(J) EXTERIOR GLASS COLOR FOR THE LAYER OF INSULATED GLASS: CLEAR GLASS

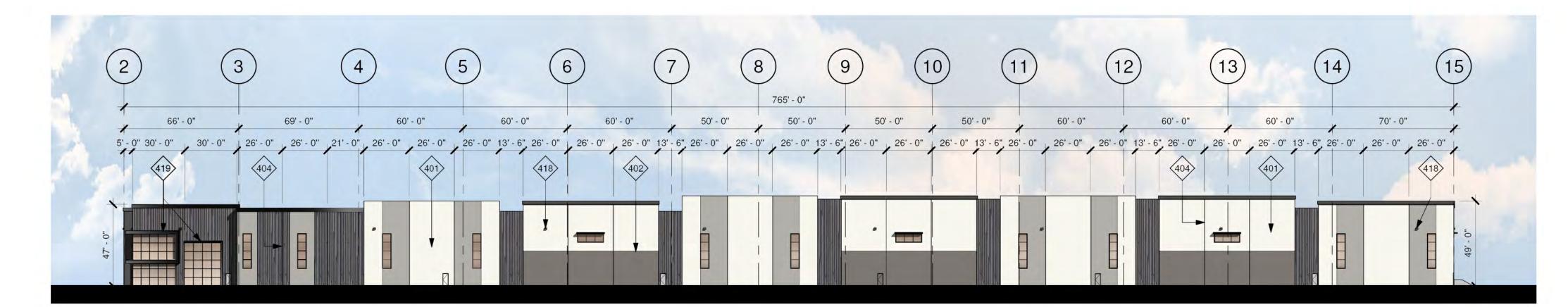
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- 4. PAINT EXTERIOR WALLS w/ 1- COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. ALL PAINTS TO BE AS SPECIFIED BY THE MANUFACTURER FOR CONCRETE TILT UP WALL PANELS. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS

PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE

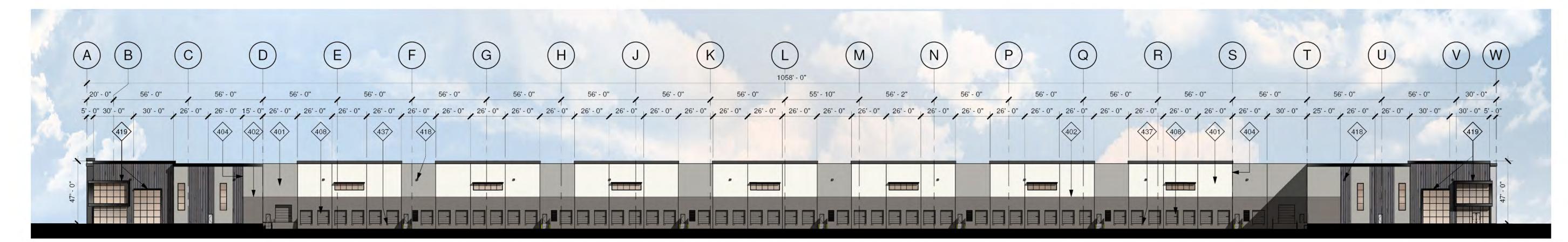
- OF THE COLOR. 5. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/AD4.1. 6. PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE
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- 3. ALL CONCRETE TILT-UP WALLS ARE REQUIRED TO PROVIDE ANTI-GRAFFITI COATING



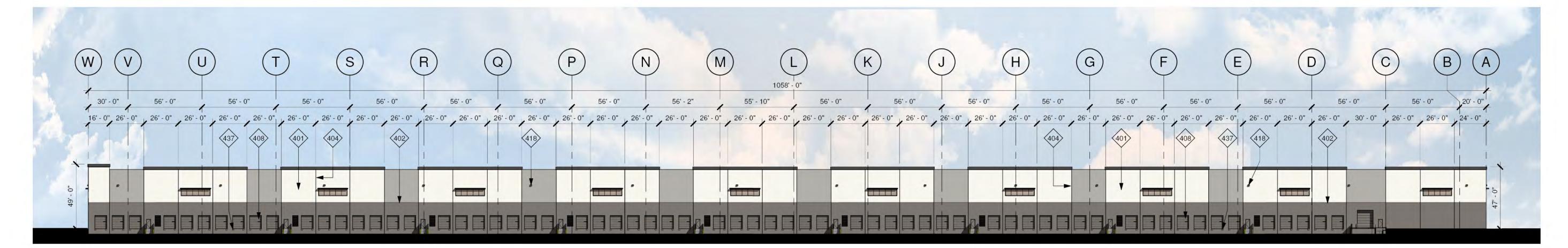
NORTH ELEVATION



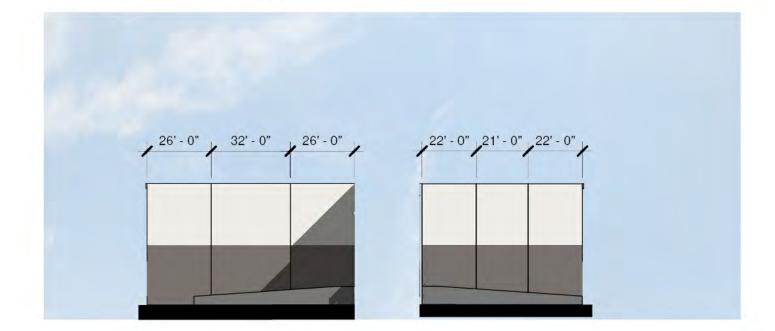
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



DOCK SIDE RETURN ELEVATION



EXTERIOR

ELEVATION

PAINTED CONCRETE

PURE WHITE

PAINTED CONCRETE

ELLIE GRAY

PANEL

PANEL

B. SW 7650

A. SW 7005

IRON ORE

E. CONCRETE **FORMLINER**



F. BLACK ANODIZED **DECORATIVE METAL**

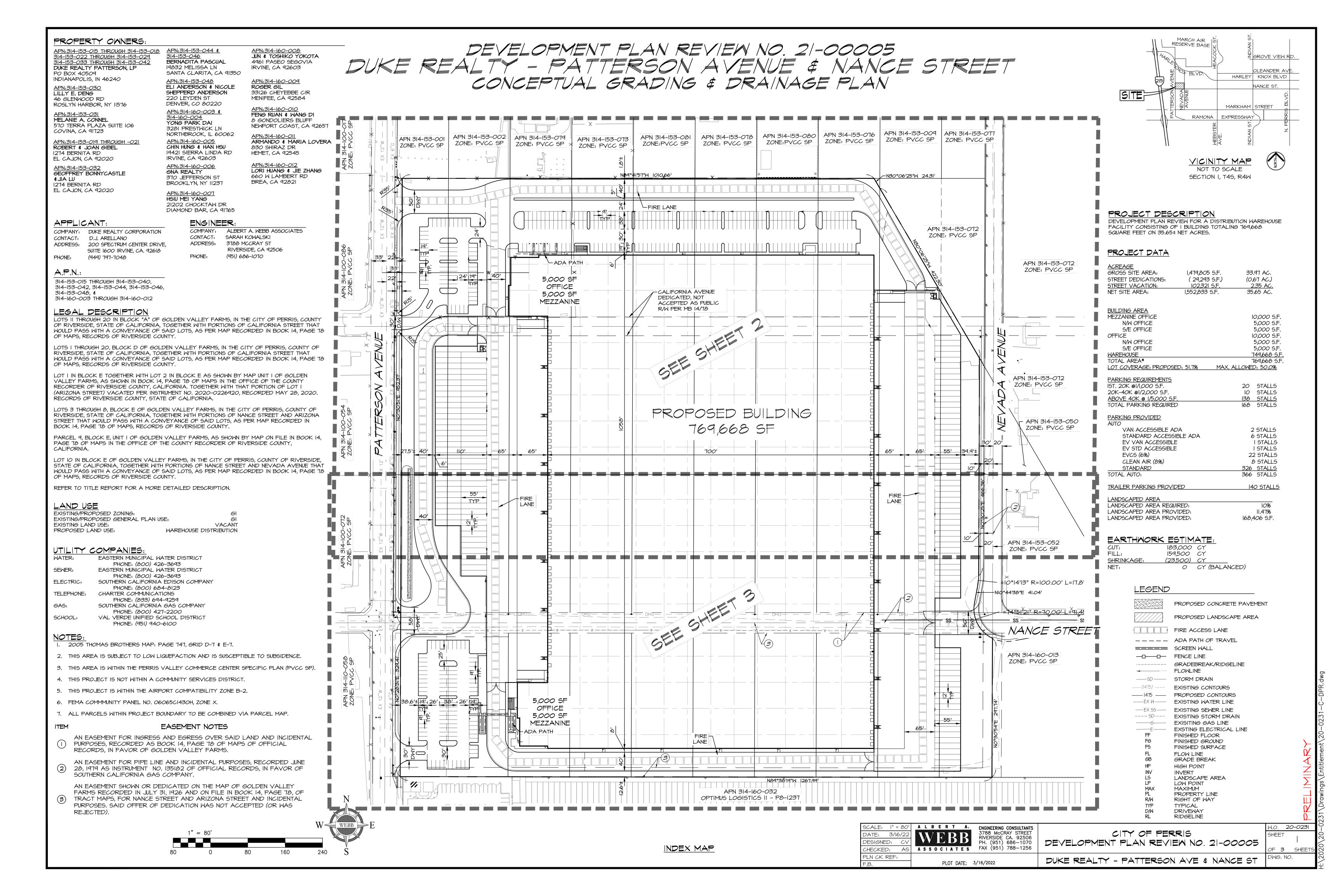


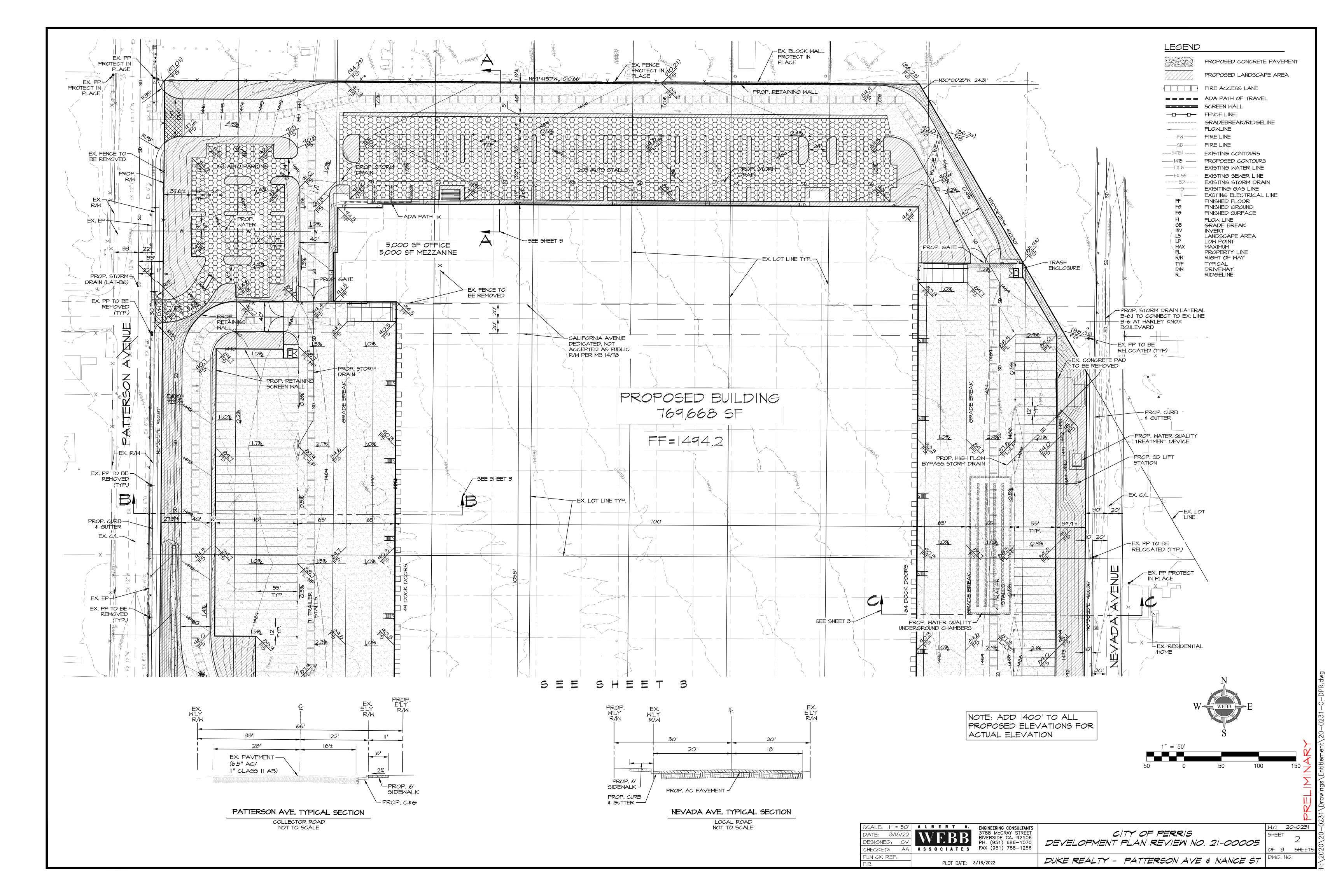
G. STOREFRONT MEDIUM PERFORMANCE **BRONZE REFLECTIVE GLAZING & BLACK** ANODIZED MULLIONS

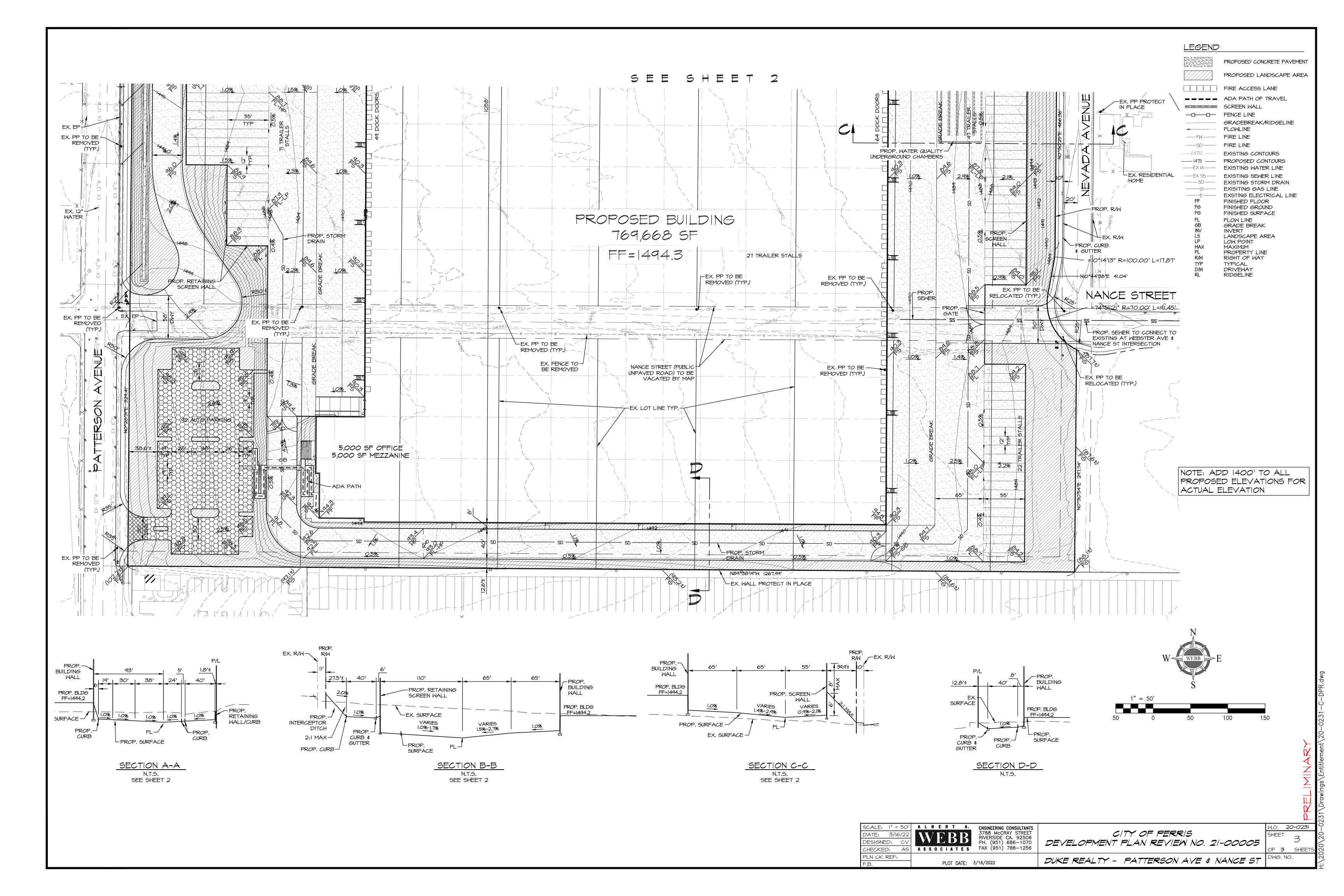




BOARD

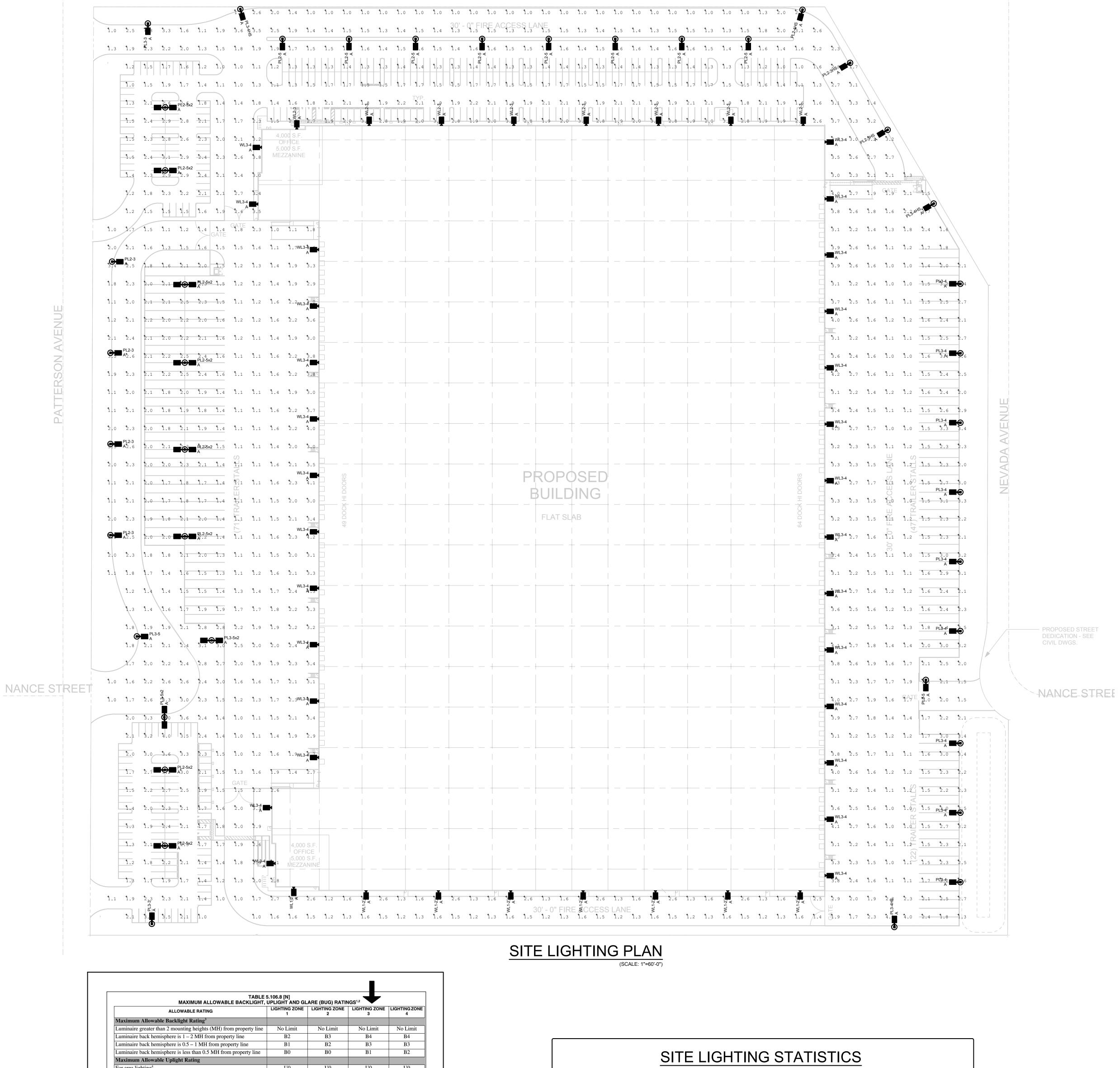








SYMBOL	DESCRIPTION	BUG RATING	COMPLIES WITH CAL GREEN 5.106.8
PL2-3	TYPE 3 (RSX2-LED-P2-30K-R3) LED CUT-OFF ON 25' SQUARE STEEL POLE ON 2'-6" HIGH CONC BASE IN AUTO PARKING & 4' HIGH CONC BASE IN TRUCK YARD AND NO UPTILT*	B2-UO-G3	YES
PL2-3HS	TYPE 3 (RSX2-LED-P2-30K-R3-HS) LED CUT-OFF W/HOUSE SIDE SHIELD ON 25' SQUARE STEEL POLE ON 2'-6" HIGH CONC BASE IN AUTO PARKING & 4' HIGH CONC BASE IN TRUCK YARD AND NO UPTILT*	B1-UO-G2	YES
PL2-4HS	TYPE 4 (RSX2-LED-P2-30K-R4-HS) LED CUT-OFF W/HOUSE SIDE SHIELD ON 25' SQUARE STEEL POLE ON 2'-6" HIGH CONC BASE IN AUTO PARKING & 4' HIGH CONC BASE IN TRUCK YARD AND NO UPTILT*	B1-UO-G2	YES
PL2-5	TYPE 5 (RSX2-LED-P2-30K-R5) LED CUT-OFF ON 25' SQUARE STEEL POLE ON 2'-6" HIGH CONC BASE IN AUTO PARKING & 4' HIGH CONC BASE IN TRUCK YARD AND NO UPTILT*	B4-UO-G2	YES
PL2-5x2	TWIN TYPE 5 (RSX2-LED-P2-30K-R5) LED CUT-OFF ON 25' SQUARE STEEL POLE ON 2'-6" HIGH CONC BASE IN AUTO PARKING & 4' HIGH CONC BASE IN TRUCK YARD AND NO UPTILT*	B4-UO-G2	YES
PL3-3	TYPE 3 (RSX2-LED-P3-30K-R3) LED CUT-OFF ON 25' SQUARE STEEL POLE ON 2'-6" HIGH CONC BASE IN AUTO PARKING & 4' HIGH CONC BASE IN TRUCK YARD AND NO UPTILT*	B3-UO-G3	YES
PL3-4	TYPE 4 (RSX2-LED-P3-30K-R4) LED CUT-OFF ON 25' SQUARE STEEL POLE ON 2'-6" HIGH CONC BASE IN AUTO PARKING & 4' HIGH CONC BASE IN TRUCK YARD AND NO UPTILT*	B3-UO-G3	YES
PL3-4HS	TYPE 4 (RSX2-LED-P3-30K-R4-HS) LED CUT-OFF W/HOUSE SIDE SHIELD ON 25' SQUARE STEEL POLE ON 2'-6" HIGH CONC BASE IN AUTO PARKING & 4' HIGH CONC BASE IN TRUCK YARD AND NO UPTILT*	B1-UO-G2	YES
PL3-5	TYPE 5 (RSX2-LED-P3-30K-R5) LED CUT-OFF ON 25' SQUARE STEEL POLE ON 2'-6" HIGH CONC BASE IN AUTO PARKING & 4' HIGH CONC BASE IN TRUCK YARD AND NO UPTILT*	B5-UO-G3	YES
PL3-5x2	TWIN TYPE 5 (RSX2-LED-P3-30K-R5) LED CUT-OFF ON 25' SQUARE STEEL POLE ON 2'-6" HIGH CONC BASE IN AUTO PARKING & 4' HIGH CONC BASE IN TRUCK YARD AND NO UPTILT*	B5-UO-G3	YES
WL1-2	TYPE 2 (RSX2-LED-P1-30K-R2) LED CUT-OFF AT 32' AFF	B2-UO-G2	YES
WL2-3	TYPE 3 (RSX2-LED-P2-30K-R3) LED CUT-OFF AT 32' AFF	B2-UO-G3	YES
WL3-4	TYPE 4 (RSX2-LED-P3-30K-R4) LED CUT-OFF AT 32' AFF	B3-UO-G3	YES



ALLOWABLE RATING	LIGHTING ZONE 1	LIGHTING ZONE 2	LIGHTING ZONE 3	LIGHTING ZON
Maximum Allowable Backlight Rating ³				
Luminaire greater than 2 mounting heights (MH) from property line	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1 – 2 MH from property line	B2	В3	B4	B4
Luminaire back hemisphere is 0.5 – 1 MH from property line	B1	B2	В3	В3
Luminaire back hemisphere is less than 0.5 MH from property line	В0	В0	B1	B2
Maximum Allowable Uplight Rating				
For area lighting ⁴	U0	U0	U0	U0
For all other outdoor lighting, including decorative luminaires	U1	U2	U3	U4
Maximum Allowable Glare Rating ⁵				
Luminaire greater than 2 MH from property line	G1	G2	G3	G4
Luminaire front hemisphere is 1 – 2 MH from property line	G0	G1	G1	G2
Luminaire front hemisphere is 0.5 – 1 MH from property line	G0	G0	G1	G1
Luminaire back hemisphere is less than 0.5 MH from property line	G0	G0	G0	G1
 Administrative Code. 2. For property lines that abut public walkways, bikeways, plazas and parking line for purpose of determining compliance with this section. For property li considered to be the centerline of the public roadway or public transit corrid. 3. If the nearest property line is less than or equal to two mounting heights Backlight rating shall be met. 4. General lighting luminaires in areas such as outdoor parking, sales or storage shall meet <i>U</i>-value limits for "all other outdoor lighting." 	nes that abut public ro or for the purpose of from the back hemis	padways and public tr determining complia sphere of the lumina reduced ratings. Dec	ansit corridors, the p nce with this section ire distribution, the	roperty line may l . applicable reduce cated in these are

SITE LIGHTING STATISTICS

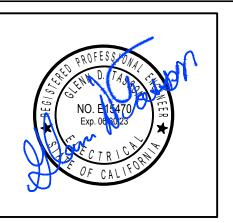
Calculation Summary
Label CalcType Units Avg Max Min Avg/Min Max/Min Site Illuminance Fc 1.98 4.8 1.0 1.98 4.80

RACTORS

CONTRACTORS ENGINEERS Lic No. 201042

> Gregg Electric Inc.

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PROJECT:

DUKE NANCE &
PATTERSON

TITLE: SITE LIGHTING PLAN

DUKE & PATTERSON PERRIS,CA

DRAWN BY: GT/SL
DATE: 2/22/22
SCALE: 1"=60'-0"

 REVISION:
 BY
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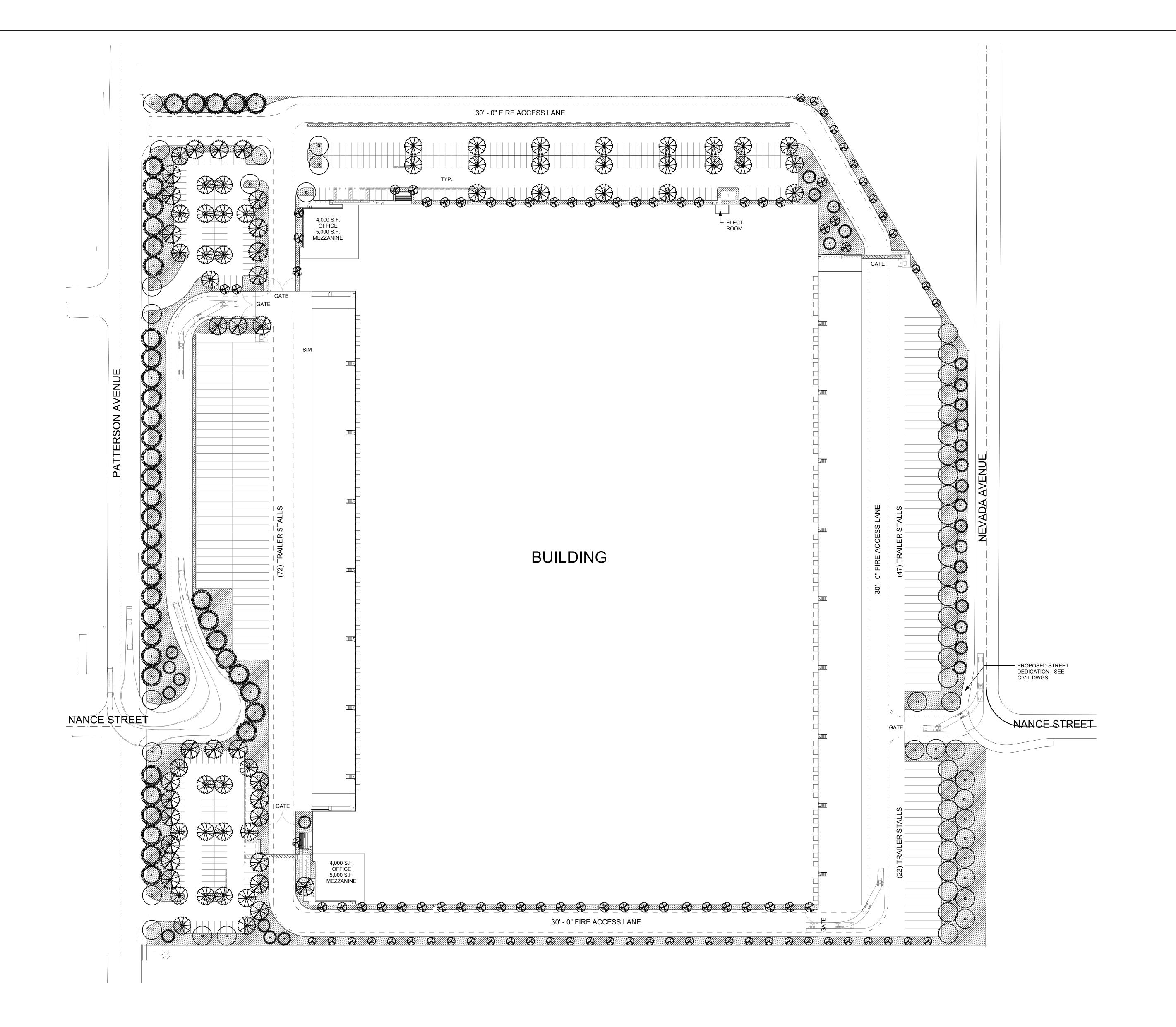
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ESL1



PLANTING LEGEND

TREES					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS
· HANNEY	Chilopsis linearis Desert Willow	24" Box	30	L	
	Ulmus parvifolia Chinese Elm	36" Box 24" Box	29 17	L	Parking Standard
\otimes	Lagerstroemia i 'Tuscarora' Crape Myrtle	24" Box	45	М	Street Tree
\bigcirc	Pinus eldarica Afghan Pine	24" Box	27	L	Standard
· Marian · M	Platanus acerifolia London Plane Tree	24" Box	43	М	Street Tree
	Prosopis chilensis Chilean Mesquite	24" Box 24" Box	29	М	Multi
8	Tristania conferta Brisbane Box	24" Box	54	М	Standard
<u> </u>	Rhus lancea African Sumac	36" Box	28	L	Parking Standard

SHRUBS					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS
	Callistemon 'Little John' Dwarf Callistemon	5 Gal	0	L	
	Cistus 'Sunset' Rockrose	5 Gal	0	L	
	Dietes bicolor Fortnight Lily	5 Gal	0	L	
	Dodonaea viscosa 'Purpurea' Hop Bush	5 Gal	0	М	
	Euphorbia rigida Euphoria	5 Gal	0	L	
	<u>Fiejoa sellowiana</u> Pineapple Guava	5 Gal	0	L	
	Helictotrichon sempervirens Blue Oat Grass	5 Gal	0	М	
	Heteromeles arbutifolia Toyon	5 Gal	0	L	
	Leucophyllum f. 'Green Cloud' Texas Ranger	5 Gal	0	L	
	Olea 'Little Ollie' Dwarf Olive	5 Gal	0	L	
	Pennisetum c. 'Rubrum' Purple Fountain Grass	5 Gal	0	L	
	Salvia greggii Autumn Sage	5 Gal	0	L	
	Senna artemisioides Feathery Cassia	5 Gal	0	L	
	Westingia fruticosa Coast Rosemary	5 Gal	0	L	

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARK
	Agave americana Century Plant	5 Gal	0	L	Hedge
	Agave 'Blue Glow' Blue glow Agave	5 Gal	0	L	
	Echiveria 'Afterglow Echiveria	1 Gal	0	L	
	Agave villmoriniana Agave	5 Gal	0	L	
	Dasylerion wheeleri Desert Spoon	5 Gal	0	L	
	Hesperaloe parviflora Red Yucca	5 Gal	0	L	
	Yucca 'Color Guard" Color Guard Yucca	1 Gal	0	L	

SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS	REMAR
	Acacia redolens Acacia	1 Gal	5' O.C.	L	
	Baccharis pilularis Coyote Bush	1 Gal	36" O.C.	L	
	Carex pansa Berkley Sedge	1 Gal	12" O.C.	М	
	Dalea greggii Indego Bush	1 Gal	36" O.C.	L	
	Festuca mairei Atlas Fescue	1 Gal	18" O.C.	L	
	Festuca o. 'Glauca' Blue Fescue	1 Gal	12" O.C.	L	
	Pennisetum orientale Oriental fountain Grass	! Gal	3' O.C.	М	
	Rosmarinus o. 'Prostratus' Prostrate Rosemary	1 Gal	30" O.C.	L	
	Senecio mandraliscae Senecio	1 Gal	24" O.C.	L	

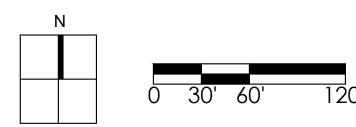
1. ALL TREES WITHIN 5' OF HARDSCAPE SHALL BE IN A SHAWTOWN OR EQUAL

- CONTRACTOR TO INSTALL CONCRETE MOW CURB BETWEEN PLANTERS AND GRAVEL AREAS. SEE PLANTING DETAIL SHEET.
- A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- ORDINANCE 823 5. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING STREET TREES, SHALL BE INSTALLED PER THE PUBLIC IMPROVEMENT PLANS,
- 6. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A
 MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE

4. THESE PLANS WILL COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE

- AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTRO THE SOIL. 7. ENTRY DRIVES SHALL BE ENHANCED BY CONCENTRATED, HIGH QUALITY LANDSCAPING AND SPECIAL PAVEMENT TREATMENT DURING THE
- 8. LANDSCAPING SHALL COMPLY WITH THE CITY WATER CONSERVATION REQUIREMENTS IN CHAPTER 10.70 OF THE ZONING CODE.

CONSTRUCTION DOCUMENT PHASE.



DUKE PATTERSON & NANCE

Duke Realty



21-031 02.08.21 03.17.22 11.09.21 03.01.22

Perris, California