

Planning Commission Agenda

CITY OF PERRIS

May 17, 2023

Item

6C

Development Plan Review

22-00008



CITY OF PERRIS

PLANNING COMMISSION AGENDA SUBMITTAL

MEETING DATE: May 17, 2023

SUBJECT: Development Plan Review 22-00008 – A proposal to consider a Development Plan Review for the construction of a 121,100 square foot industrial warehouse building on a 6.21-acre site located on the northeast corner of Redlands Avenue and Placentia Avenue, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCCSP) (APNs: 300-210-010 and 300-210-022). Applicant: Benjamin Horning of Dedeaux Properties.

REQUESTED ACTION: Adopt Resolution 23-12, adopting the Mitigated Negative Declaration No. 2380 and the Mitigation Monitoring and Reporting Program and approve Development Plan Review 22-00008 to facilitate the construction of a 121,100-square foot industrial warehouse building, based on the findings and subject to the Conditions of Approval.

CONTACT: Kenneth Phung, Director of Development Services

PROJECT SITE BACKGROUND:

The proposed project site consists of two vacant parcels totaling 6.21 acres located at the northeast corner of Redlands Avenue and Placentia Avenue. The site is generally flat with minimal vegetation and located in the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCCSP), surrounded by LI zoning designation to the west, north, and east, and R-20000 - Single-Family Residential to the south. Surrounding uses include a legal non-conforming single-family residence with an outdoor storage yard to the north, vacant undeveloped land to the east, single-family residences to the south across Placentia Avenue, and vacant undeveloped industrially zoned properties to the west across Redlands Avenue.

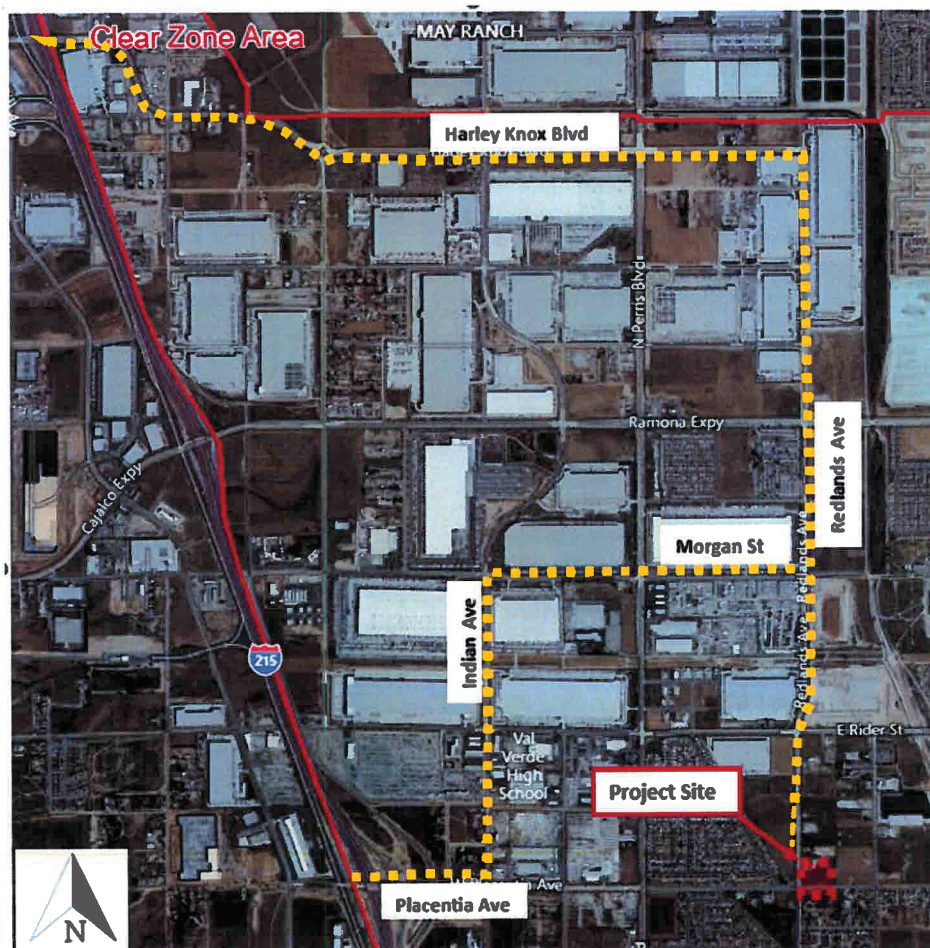
The site is also located in the B2 (High Noise) Zone of the March Air Force Base/Inland Port Airport Land Use Compatibility Plan (MARB/IPA ALUCP), which prohibits residential uses, children's schools, daycare centers, libraries, hospitals, congregate care facilities, hotels/motels, places of assembly, and limits the number of people per acre to an average of 100 people.

As a matter of information, this project was submitted on February 18, 2022, prior to the adoption of the Industrial Good Neighbor Guidelines in September 2022. Although the development is not subject to the provisions of the Industrial Good Neighbor Guidelines, the development does comply with the minimum 300-foot distance (i.e., 340 feet provided) from the

truck doors to the property line of the R20,000 Single-Family Residential Zone on the south side of Placentia Avenue and includes a minimum landscape buffer of 30-feet facing a residential area (i.e., 37-feet provided). Additionally, notices were sent to Riverside County Transportation Commission (RCTC), to ensure the proposed industrial project is not affected by the planned Mid County Parkway project alignment. However, as of the preparation of the staff report, a response letter from RCTC has not been received by staff.

PROJECT DESCRIPTION:

The applicant is requesting approval of a Development Plan Review for the construction of a 121,100-square foot industrial warehouse building on 6.21 acres. The proposed industrial warehouse building consists of 4,000 square feet of ground floor office area, 4,000 square feet of mezzanine office area, and 117,100 square feet of warehouse area. A total of 16 dock-high loading doors and one at grade loading area are located on the north side of the building. A total of 75 parking spaces are proposed for employees and visitors along the east side of the site and 27 parking spaces for semi-trucks are proposed on the northerly side of the site. Access to passenger vehicles is provided via a single driveway along Placentia Avenue. Truck access is provided via a single driveway along Redlands Avenue, which has been conditioned to be designed with a reversed southerly return. Thus, trucks access will be restricted to left-in and right-out only. Trucks are anticipated to access the I-215 Freeway by exiting the project site via Redlands Avenue, to Harley Knox Boulevard, or Redlands Avenue to Morgan Street, to Indian Avenue, to Placentia Avenue, consistent with the City's adopted truck route.



To facilitate this project, a Parcel Merger is required as a condition of approval to consolidate the two parcels into one 6.21-acre parcel.

PROJECT ANALYSIS:

The table below summarizes the project's consistency with the General Plan, PVCC Specific Plan, Zoning Code, and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan:

| | Consistent | Inconsistent |
|---|-------------------------------------|--------------------------|
| <p>Consistency with the General Plan</p> <p>The project is located in Planning Area 3 (Agricultural Conversion Area) of the General Plan, which allows for Agricultural Conversion Area for expansion of industrial and commercial opportunities due to the area's proximity to the I-215 freeway, the cargo airport, other industrial and commercial land uses, and an existing rail line along the western edge of the Planning Area. As proposed, the project will be consistent with the General Plan and will further the following General Plan Circulation Element goals:</p> <ul style="list-style-type: none"> ○ Goal II – A well planned, designed, constructed, and maintained street and highway system that facilitates the movement of vehicles and provides safe and convenient access to surrounding developments. ○ Goal V - Efficient goods movement. <ul style="list-style-type: none"> - V.A.8: Require streets abutting properties in Light Industrial and General Industrial zones to conform to standard specifications for industrial collector streets to accommodate the movement of heavy trucks. - V.A.8: Provide adequate off-street loading areas for all commercial and manufacturing land uses. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <p>Consistency with the Perris Valley Commerce Center (PVCC) Specific Plan and Zoning Code</p> <p>The project site has a General Plan land use designation of LI-Light Industrial, which is intended for manufacturing, research, warehouse, and distribution. The project proposes to develop the subject site with an industrial warehouse building, which will be consistent with the LI General Plan land use designation.</p> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <p>Consistency with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB/IPA ALUCP)</p> <p>The Project site is located within Zone B2 (High Noise Zone) of the MARB/IPA ALUCP. Compatibility Zone B2 is a high noise zone (Exhibit D). The proposed project was analyzed for consistency with the B2 Zone and was determined to be consistent with the Airport Plan.</p> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

The table below summarizes compliance with the PVCCSP Development Standards for the Light Industrial Zone and Chapter 19.69 – Parking Development Standards of the Zoning Code.

| Perris Valley Commerce Center Specific Plan Light Industrial Zone - Development Standards | | | | | |
|--|---|----------|--------------|-------------------------------------|--------------------------|
| Standard | | Proposed | Consistent | Inconsistent | |
| Lot Coverage | 50 percent maximum | | 43.6 percent | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| FAR (Floor Area Ratio) | 0.75 | | 0.45 | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Minimum Lot Size | 15,000 square feet (0.34 acres) | | 6.21 acres | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Building Height | 50 feet | | 55 feet* | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Setbacks | Front Yard: Redlands Ave (west) | 30 feet | 36 feet | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | Street Side Yard: Placentia Ave (south) | 30 feet | 34 feet | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | Interior Side Yard: East Side | 0 feet | 76 feet | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | Rear Yard (north) | 0 feet | 125 feet | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Landscape Coverage | 12 percent | | 19 percent | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

*The building's northeast side includes an architectural projection which is 55 feet tall. Per the PVCC structure heights may be increased to a maximum of 100-feet above grade, provided that the front and street side yards are increased at least (1) one-foot for every (1) one-foot of height increase beyond the standard.

| Parking Standards Chapter 19.69 – Parking Development Standards | | | | | |
|--|--|------------------|------------------|-------------------------------------|--------------------------|
| Use | Standard | Required | Proposed | Consistent | Inconsistent |
| Industrial | Warehouse: 20,000 s.f. (1 space/1000 s.f.) | 20 spaces | 75 spaces | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | 20,000 – and up (1 space /2000 s.f.) | 51 spaces | | | |
| Total Parking | | 71 spaces | 75 spaces | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Total Surplus Parking | | | 4 spaces | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS

- **Building Elevations/Architecture**

The proposed building elevations reflect the current industry standard and style for concrete tilt-up construction. It utilizes varying complementary colors and materials to

distinguish the building's base, body, and cap, as required by the PVCC-SP. The building's design elements include a combination of varying rooflines, decorative cornice (roof cap) treatment, window glazing, corrugated metal cladding, porcelain tile and recessed panels to create both horizontal and vertical variations for visual interest. The proposed color palette includes shades of grey, white, and blue. The combination of the proposed colors, articulated building elevations, varying roof height, enhanced corrugated metal panels and porcelain tile treatments provides visual interest to the building (Exhibit E).

- **Employee Amenity and Recreation area**

Buildings over 100,000 square feet must have at least one (1) indoor employee amenity and two (2) outdoor employee amenities. The proposed project includes two outdoor amenity areas consisting of a landscaped, concrete lunch patio with seating area covered with a trellis structure and a horseshoe pit on the northeast side of the site. In addition, an indoor unidentified amenity area is proposed on the northeast side of the building. As proposed, the project amenities comply with the requirements of the Code (Exhibit E).

- **Landscaping**

The proposed conceptual landscape plan has been designed to provide a mix of London Plane, Western Sycamore, Live Oak, and Afghan Pine trees along Redlands Avenue and Placentia Avenue frontages. Holly Oak trees are planned throughout the parking lot on the eastern site boundary. Live Oak trees will provide shade for the outdoor seating area and horseshoe pit.

Overall, the on-site landscaping area totals approximately 46,747 square feet or 19%, which exceeds the minimum landscape requirement of 12%. Therefore, the conceptual landscaping complies with the landscape requirements of the PVCC Specific Plan (Exhibit E).

- **Fencing/Walls**

A combination of decorative tilt-up screen walls and tubular steel fencing with decorative pilasters is proposed for screening, privacy, noise control, and security. Tubular steel fencing painted black 8 feet in height, is proposed along the interior sides of the site. Additionally, decorative pilasters 8 feet in height will be added every 100 feet to break up the massing of the steel fencing. Steel gates with obscure material are proposed to secure the truck loading and trailer parking area. A 14-foot-high decorative tilt-up wall is proposed along the north (rear), east and west sides of the loading area to screen the truck parking and loading area from public view (Exhibit E).

ENVIRONMENTAL CONSIDERATIONS AND CEQA PROCESS

An Initial Study was prepared for the project in accordance with the California Environmental Quality Act (CEQA), which concluded that all potential significant effects on the environment can be reduced to less than significant levels with mitigation measures. In accordance with the California Environmental Quality Act (CEQA), a Notice of Intent to adopt a Mitigated Negative Declaration (NOI) was published with a 30-day public review period starting on February 3, 2023,

and ending on March 6, 2023. The NOI was also posted on the City's website and at City Hall and sent to public agencies and property owners within a 300-foot radius of the Project site. The IS/MND 2380 has been available for public review at the Development Services public counter, and on the City's website.

During the thirty-day comment period, the City received five (5) comment letters from the following interested parties (Exhibit F):

1. South Coast Air Quality Management District (SCAQMD) – Commented on cumulative air quality impacts from increased concentrations of air toxins in the region and recommends a qualitative analysis to provide the potential cumulative impacts from air toxins to be included in the Final MND.
2. California Department of Fish and Wildlife (CDFW) – Commented on the project being within the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) area and provided information for required fees and permits.
3. Eastern Municipal Water District (EMWD) – Commented that the project proponent needs to consult with the EMWD's Development Services Department to compare proposed and existing water demands and sewer flows, and prepare a Design Conditions report (DC), prior to final design and plan check.
4. Golden State Environmental Justice Alliance (GSEJA) – Provided a general objection to the project. The letter has since been withdrawn.
5. Jonathan Montano from Mitchell M. Tsai law – Requested to be notified of hearing dates.

Responses to Comments were prepared and included in the Final MND 2380. None of the comments raised additional environmental concerns that have not already been addressed in the IS/MND 2380 or constitute "significant new information," or meet any of the conditions in Section 15088.5 of the State CEQA Guidelines that would require recirculation of the IS/MND 2380 (Exhibit G).

PUBLIC HEARING NOTICE:

A notice of public hearing for the Planning Commission meeting was published in the local newspaper and sent to agencies and property owners within 300 feet of the project site. As of the preparation of the staff report, no additional comments have been received by staff.

RECOMMENDATION:

The Planning Commission adopt Resolution 23-12 adopting Mitigated Negative Declaration No. 2380 and the Mitigation Monitoring and Reporting Program and approve Development Plan Review 22-00008 to facilitate the construction of a 121,100 square foot industrial warehouse building, based on the findings and the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: There is no fiscal impact associated with this project since all project costs are borne by the applicant.

Prepared by: Lupita Garcia, Associate Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Resolution 23-12 with Conditions of Approval (Planning, Engineering, Public Works, Community Services, and Building & Safety).
- B. Location/Aerial Map
- C. PVCCSP Land Use Map
- D. MARB/IPA ALUCP Map
- E. Project Plans (Site Plan, Floor Plan, Building Elevations, Fence and Wall Plan, Line of Sight Cross Sections, Conceptual Grading Plan, Grading Plan Cross Sections, Conceptual Utility Plan, Conceptual Landscape Plan, and Site Photometric Plan)
- F. Public Comments and Response to Comments
Due to the size of the file, the documents are available online at:
https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-348#docan1206_1313_479
- G. Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, Associated Technical Studies.
Due to the size of the files, the documents are available online at:
https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-348#docan1206_1313_479

Consent:
Public Hearing: x
Business Item:
Presentation:
Other:

EXHIBIT A

Resolution 23-12 with Conditions of
Approval (Planning, Engineering, Public
Works, and Building & Safety)

RESOLUTION NUMBER 23-12

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ADOPTING MITIGATED NEGATIVE DECLARATION 2380 AND APPROVING DEVELOPMENT PLAN REVIEW 22-00008 TO FACILITATE THE CONSTRUCTION OF A 121,100 SQUARE FOOT INDUSTRIAL BUILDING ON APPROXIMATELY 6.21 ACRES OF LAND LOCATED AT THE NORTHEAST CORNER OF REDLANDS AVENUE AND PLACENTIA AVENUE BASED UPON THE FINDINGS PROVIDED HEREIN AND SUBJECT TO CONDITIONS OF APPROVAL.

WHEREAS, the Project applicant, Benjamin Horning, of Dedeaux Properties proposes to construct a 121,100 square foot industrial building on approximately 6.21 acres of land located at the northeast corner of Redlands Avenue and Placentia Avenue and which is located in the Perris Valley Commerce Center Specific Plan ("PVCCSP") Light Industrial (LI) Zone ("Project"); and

WHEREAS, the applicant submitted a Development Plan Review application (DPR 22-00008) for the Project for consideration of architectural design and site layout; and

WHEREAS, proposed Development Plan Review 22-00008 ("DPR 22-00008") is considered a "project" as defined by the California Environmental Quality Act ("CEQA"); and

WHEREAS, pursuant to CEQA and State CEQA Guidelines, an Initial Study (IS) was prepared for the proposed Project and, based upon thereof, Mitigated Negative Declaration 2380 was prepared for the Project; and

WHEREAS, the Planning Commission held a duly noticed public hearing on May 17, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS does resolve as follows:

Section 1. Recitals. The above recitals are all true and correct and are incorporated herein by this reference.

Section 2. Environmental Analysis. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on May 17, 2023, the Planning Commission hereby determines pursuant to Section 15070 of the CEQA Guidelines that, based upon on the Initial Study prepared for the Project in accordance with City of Perris guidelines for implementing CEQA, all potential significant effects on the environment can be reduced to a less than significant level through mitigation measures, the design of the development, the Zoning Code, and standard requirements of the City; therefore Mitigated Negative Declaration No. 2380 has been prepared, with findings that:

- A. No significant environmental effects would occur, and there is no substantial evidence, in light of the whole record, that the Project as revised may have a significant effect on the environment if mitigation measures are implemented pursuant to Mitigated Negative Declaration No. 2380, which has been prepared for this Project.
- B. The City has complied with CEQA.
- C. Determinations of the Planning Commission reflects the independent judgment of the City.

Section 3. Development Plan Review 22-00008. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on May 17, 2023, the Planning Commission finds, with respect to Development Plan Review 22-00008, that:

1) The location, size, design, density, and intensity of the proposed development and improvements are consistent with the City's General Plan, the Perris Valley Commerce Center Specific Plan, the purposes and provisions of the Perris Municipal Code ("PMC"), the purposes of the Zone in which the site is located, and the development policies and standards of the City.

The Light Industrial land use designation provides for the development of basic industrial use, which may support a wide range of manufacturing and non -manufacturing uses, from large-scale warehouses and warehouse/distribution facilities to outdoor industrial activities. The proposed Project is consistent with the General Plan and Perris Valley Commerce Center Specific Plan ("PVCCSP"), the LI zoning designation on the site, and the existing land uses in the area. The Project, as conditioned, meets or exceeds all design and development criteria of the underlying LI Zone, which implements the development standards and policies of the City and the PVCCSP.

2) *The proposed Project site is physically suitable, including but not limited to parcel size, shape, access, and availability of utilities and services, for the type of development proposed.*

The proposed Project is physically suitable in terms of parcel size, shape, access, and availability to utilities and services, as the site is located at the northeast corner of Redlands Avenue and Placentia Avenue, which allows for adequate access and provides for the logical connection to infrastructure to service the site. Utility service connections are available to service the site.

3) *The proposed Project and the conditions under which it would be operated or maintained are compatible with abutting properties and will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.*

As conditioned, the proposed Project will not be detrimental to the public health, safety or welfare, or injurious to property and improvements in the vicinity or to the City's general welfare, in that the Project is designed in conformance with the City's Zoning Code. Further, the proposed Project meets or exceeds the design and development standards of the PVCCSP and, therefore, will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity. These standards include setbacks, building height, parking, and landscape and will integrate into the existing fabric of industrial development that is contemplated for the area.

4) *The proposed project's architecture includes updated and enhanced architecture that is compatible with community standards and protects the character of adjacent development.*

The proposed architecture meets PVCCSP design standards for Light Industrial development, and thereby protects the character of the overall development of the PVCCSP industrial zones and, therefore, is compatible with community standards and protects the character of adjacent development. Enhanced architecture, site design, and landscaping have been provided for the Project. The building design features symmetry and balance with enhanced architectural treatments at the corners of the building. The proposed color palette and materials provide a variety and interest through the use of color tones ranging from white and grey throughout the building wall surface and to further accentuate the corner and pop-out façade elements. Glazing treatments have been applied on all facade's windows, and the use of corrugated metal panels and porcelain tile provide additional texture along with the building entrance corners.

5) *The proposed Project's landscaping plan ensures visual relief and provides an attractive environment for the public's enjoyment.*

The proposed Project meets and exceeds the on-site and off-site landscape standards for the Light Industrial (LI) Zone as outlined in the PVCCSP. The requirements ask for 12% coverage, and the Project is proposing 19%. It provides a mix of native and drought-tolerant

trees, shrubs, ground cover, and annual color throughout the site to ensure visual relief and effectively frame, soften, and embellish access points, building entries, parking areas and trash enclosures.

6) The safeguards necessary to protect public health, safety, and general welfare have been required for the proposed Project.

The proposed Project provides the safeguards necessary to protect the public health, safety, and general welfare through the conditions of approval, which are attached hereto and incorporated herein by this reference as Attachment A, and mitigation measures found in Mitigated Negative Declaration No. 2380, which are incorporated herein by this reference, which will ensure that the Project is developed in compliance with City and affected service agency codes and policies and mitigates potential impacts to the environment.

Section 4. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on May 17, 2023, the Planning Commission adopts Mitigated Negative Declaration No. 2380 and Mitigation Monitoring and Reporting Program.

Section 5. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on May 17, 2023, the Planning Commission hereby determines that the Project is covered under Mitigated Negative Declaration No. 2380, as adopted, and hereby approves the Project (Development Plan Review 22-00008) to construct a 121,100 square foot industrial building on approximately 6.21 acres of land located at the northeast corner of Redlands Avenue and Placentia Avenue; subject to the Planning Division, Building, Fire, Public Works and Engineering Departments' Conditions of Approval (COA) and the Mitigation Monitoring and Reporting Program attached hereto as Attachments 1 and 2, and incorporated herein by this reference.

Section 6. The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 7. The Chairperson shall sign, and the Secretary shall certify to the passage and adoption of this Resolution.

ADOPTED, SIGNED, and APPROVED this 17th day of May 2023.

CHAIRPERSON, PLANNING COMMISSION

ATTEST:

Secretary, Planning Commission

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Kenneth Phung, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 23-12 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 17th day of May 2023, and that it was so adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Secretary, Planning Commission

- Attachments:
1. Conditions of Approval (Planning, Engineering, Public Works, and Building & Safety)
 2. Mitigation Monitoring and Reporting Program.
Due to the size of the files, the documents are available online at:
https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-348#docan1206_1313_479

ATTACHMENT 1

Conditions of Approval (Planning,
Engineering, Public Works, and Building &
Safety)

**CITY OF PERRIS
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

PLANNING COMMISSION CONDITIONS OF APPROVAL

Development Plan Review 22-00008

May 17, 2023

PROJECT: A proposal to construct a 121,100 square foot industrial building on 6.21 acres located at the northeast corner of Redlands Avenue and Placentia Avenue within the Light Industrial Zone of the Perris Valley Commerce Center Specific Plan. **Applicant:** Benjamin Horning, Dedeaux Properties

General Requirements:

1. **Municipal Code and Specific Plan Compliance.** The project shall conform to the standards of Light Industrial (LI) Zone of the *Perris Valley Commerce Center Specific Plan* (PVCCSP) and Chapter 19 of the Perris Municipal Code.
2. **Future Obligation of Buyers and Lessees.** All future buyers and lessees shall be informed of their obligation to comply with these Conditions of Approval. The applicant shall provide a copy of these conditions and inform the buyer or lessee of their obligation to maintain compliance with all local and City ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
3. **Expansion of Use.** No expansion of the site or the use shall occur without subsequent reviews and approvals from the Planning Division.
4. **Term of Approval.** This approval shall be implemented within three (3) years of the approval date; otherwise, it shall become null and void. By implemented is meant the beginning of substantial construction contemplated by this approval within the three (3) year period, which is thereafter diligently pursued to completion, or the beginning of substantial utilization contemplated by this approval. A maximum of three (3) one-year time extensions shall be permitted in accordance with the Zoning Code.
5. **City Ordinances and Business License.** The subject business shall maintain compliance with all local and City Ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
6. **Notice of Determination.** Within five (5) days of City approval, the applicant shall work with Planning Staff on filing the Notice of Determination and application fee for the project Mitigated Negative Declaration to the Riverside County Clerk Recorder.
7. **Conformance to Approved Plans.** The proposed use will operate in accordance with the May 17, 2023, Planning Commission meeting approval or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.
8. **Prior to occupancy.** Applicant shall work with staff to provide an electric vehicle charging station unit.

9. **Signage.** The applicant shall provide appropriate signage to direct passenger vehicles from entering the truck access drive aisle.
10. **Graffiti** located on-site shall be removed within 48 hours. The site shall be maintained in a graffiti-free state at all times. Graffiti shall be painted over in panels and not patches. In addition, paint shall match color of wall or material surface. Furthermore, the applicant shall apply an anti-graffiti coating on walls, including perimeter walls and fencing.
11. **Building & Safety Division.** The project shall comply with all Conditions of Approval by the Building and Safety Department dated March 2, 2022.
12. **ADA Compliance.** The project shall conform to all disabled access requirements in accordance with the State of California, Title 24, and the Federal Americans with Disabilities Act (ADA).
13. **Rooftop Solar.** The project does not propose rooftop solar panels at this time. However, suppose the project was to propose solar rooftop panels in the future. In that case, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and the Airport Land Use Commission shall review this study.
14. **Fire Department Conditions.** The project shall comply with all Conditions of Approval by the Fire Department dated June 23, 2022, consisting of the following requirements.
 - a. The project shall comply with all requirements set forth by the California Code of Regulations Title 24 Part 1-12 respectively.
 - b. The adopted edition of the California Code of Regulations, Title 24, Parts 1 through 12, and the Perris Municipal Code shall apply at the time the architectural plans are submitted for construction permits.
 - c. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
 - d. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
 - e. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
 - f. A minimum of two point of connection to the public water shall be provided for the private fire-line water.
 - g. The private underground fire-line system shall be looped design.

- h. The private underground fire-line system shall have indicating sectional valves for every five (5) appurtenances.
- i. The Fire Department Connection (FDC) shall be located within 150 feet of a public fire hydrant. The fire hydrant shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and fire hydrant.
- j. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
- k. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
- l. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation.
- m. The private underground fire-line system shall have indicating sectional valves for every five (5) appurtenances.
- n. The Fire Department Connection (FDC) shall be located within 150 feet of a public fire hydrant. The fire hydrant shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and fire hydrant.
- o. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven-feet above the finished surfaced and near the main entrance door.
- p. Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system. The emergency radio communication enhancement system shall meet the requirements of CFC § 510 and all applicable subsection. The system shall be installed and inspected by the City of Perris Building Department before the Certificate of Occupancy is issued. The requirement can be waived by the Fire Marshal if the building is evaluated by an Emergency Radio Communication Specialist license by FCC, who certifies the building meets the emergency communications capability as specified by the California Fire Code § 510. The certification shall be in the form of a written report which outlines the analysis used in determining the building meets the emergency communications without an enhancement system.
- q. City of Perris approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.

- r. City of Perris approval shall be obtained prior to any high pile storage (HPS) as defined by the CFC.
 - s. Prior to the issuance of building permits a City of Perris Chemical Classification Disclosure shall be submitted for review and approval. All hazardous materials as defined by the fire code that will either be stored or used at the facility shall be disclosed. The disclosure package can be obtained at <https://www.cityofperris.org/home/showpublisheddocument?id=2401>
15. **Public Works.** The project shall adhere to the requirements of the Public Works Department as indicated in the attached Conditions of Approval dated April 18, 2023.
16. **City Engineering.** The Project shall comply with all requirements of the City Engineer's Conditions of Approval dated April 20, 2023.
17. **Community Services.** The Project shall comply with all requirements of the City Community Services Conditions of Approval dated April 25, 2023.
18. **Sign Application.** A separate sign application will be required for any signs.
19. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City concerning **Development Review (DPR) 22-00008**. The City shall promptly notify the applicant of any claim, action, or proceeding for which indemnification is sought, and shall further cooperate fully in the defense of the action.
20. **Southern California Edison (SCE).** The developer/owner shall contact Southern California Edison SCE area service planner (951 928-8323) to complete the required forms prior to commencement of construction. No grading permits shall be issued until a letter from SCE is received by the City Engineer indicating electrical service will be placed underground.
21. **Waste Hauling and Disposal.** The project shall use only the City-approved waste hauler for all construction and other waste disposal.
22. **On-site & Off-site Utilities.** All utilities attached to buildings, including meters and utility boxes, shall be painted to match the wall of the building to which they are affixed. These facilities shall also be screened from the public right-of-way by landscaping or physical barrier such as a wall.
23. **Site Lighting Plan.** The photometric study shall conform to the requirements of the City's adopted Mount Palomar Ordinance and be submitted to the Planning Division for final

review and approval. Full cutoff fixtures shall be used to prevent light and glare above the horizontal plan of the bottom of the lighting fixture. A minimum of one (1) foot-candle of light shall be provided in parking and pedestrian areas. All lighting shall be shielded downward to prevent light pollution from spilling over onto adjacent parcels and public rights of way.

24. **Trash Enclosure.** The trash enclosure shall be constructed as presented in the development plans approved by the Planning Commission.
25. **Screening of Roof-Mounted Equipment.** Proper screening shall prevent public views of all HVAC equipment.
26. **Outstanding Fees.** Any outstanding processing fees due to the Planning Division shall be paid.
27. **Preliminary Water Quality Management Plan (PWQMP) .** A Preliminary WQMP was prepared for the proposed project site. All PWQMPs were determined to be in substantial compliance, in concept, with the Riverside County WQMP Manual requirements. The following conditions apply.
 - a. The development shall be subject to all provisions of City of Perris Ordinance Number 1194, which establishes stormwater/urban runoff management and discharge controls to improve water quality and comply with federal regulations, and any subsequent amendments, revisions, or ordinances pertaining thereto.
 - b. The structural BMPs selected for this project have been approved in concept. The owner shall submit a final WQMP including plans and details providing the elevations, slopes, and other details for the proposed structural BMPs including a CMP underground detention system and two biBio-clean modular wetland treatment units and seld retaining landscape. The Public Work Department shall review and approve the final WQMP text, plans and details.
28. **Construction Practices.** To reduce potential noise and air quality nuisances, the following items shall be listed as "General Notes" on the construction drawings:
 - a. Construction activity and equipment maintenance is limited to the hours between 7:00 a.m. and 7:00 p.m., on weekdays. Construction may not occur on weekends or State holidays, without prior consent of the Building Official. Non-noise generating activities (e.g., interior painting) are not subject to these restrictions.
 - b. Stationary construction equipment that generates noise in excess of 65 dBA at the project boundaries must be shielded and located at least 100 feet from occupied residences. The equipment area with appropriate acoustic shielding shall be designated on building and grading plans. Equipment and shielding shall remain in the designated location throughout construction activities.

- c. Construction routes are limited to City of Perris designated truck routes.
 - d. Water trucks or sprinkler systems shall be used during clearing, grading, earth moving, excavation, transportation of cut or fill materials and construction phases to prevent dust from leaving the site and to create a crust after each day's activities cease. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.
 - e. A person or persons shall be designated to monitor the dust control program and to order increased watering as necessary to prevent transport of dust off-site. The name and telephone number of such persons shall be provided to the City. Also, a board shall be placed at the subject site to include person and phone number for the public to call in case of dirt and dust issues.
 - f. Project applicants shall provide construction site electrical hook ups for electric hand tools such as saws, drills, and compressors, to eliminate the need for diesel powered electric generators or provide evidence that electrical hook ups at construction sites are not practical or prohibitively expensive.
29. **Voluntary Off-Site Tree Planting or Funding.** To promote the City's tree planting initiative currently underway to make Perris GREEN providing positive benefits to the local environment from air quality to shading, the developer will plant one tree per 5,000 square feet of building size to include irrigation lines and controllers at an off-site location to be determined by the City (i.e., City right-of-way, parks, etc.) or provide funding equivalent to such cost at the discretion of the City prior to issuance of the building permit.
30. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance and Chapter 7.42 regarding Property Maintenance. In addition, the project shall comply with the one-year landscape maintenance schedule identified in Public Works Department Condition of Approval No. 5, dated April 18, 2023.

Prior to Building Permit Issuance:

- a. **Parcel Merger.** The applicant shall submit a Parcel Merger application and applicable fees to the Planning Division. The Parcel Merger application shall be approved and recorded prior to the issuance of a building permit.
- b. **Fees.** The developer shall pay the following fees prior to the issuance of building permits:
 - i. Stephen's Kangaroo Rat Mitigation Fees of \$500.00 per acre;
 - ii. Multiple Species Habitat Conservation Plan fees currently in effect;
 - iii. Current statutory school fees to all appropriate school districts;
 - iv. Any outstanding liens and development processing fees owed to the City.

- v. Appropriate Road and Bridge Benefit District fees;
- vi. Appropriate City Development Impact Fees in effect at the time of development.

31. **Landscaping Plans.** Prior issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Division for approval, accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a California registered landscape architect and conformed to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. The landscaping shall be consistent with the conceptual landscape plan, except as required below.

- a. **Wall and Fence Plan.** A 14-foot high decorative block wall shall be provided to screen the truck loading area along the northely property line and the easterly and westerly sides of the loading area. The remainder of the property shall be screened by a 8 foot high tubular steel fence with decorative pilasters spaced every 100 feet.
- b. **Construction Plans.** All Planning Division and Engineering Department Conditions of Approval, proposed employee amenities, and the Mitigation Monitoring and Reporting Plan shall be reproduced in full on construction drawings and grading plans, immediately following the cover sheet of such plans. Each Condition of Approval shall be annotated on the construction plans for ease of reference (i.e., sheet and detail numbers).

Prior to Grading Permit Issuance:

- 32. **Precise Grading Plans.** Precise grading plans shall be submitted to the City Engineer for review and approval. Grading plans shall be consistent with approved development plans.
- 33. **Final Water Quality Management Plan (FWQMP).** Prior to issuance of grading permits a FWQMP is required to be submitted. To mitigate impacts related to pollutant loading to receiving waters and/or increased erosion/siltation resulting from the long-term operation of the project, the applicant shall develop, receive approval from the City, and implement a FWQMP. The FWQMP shall contain measures that will effectively treat all pollutants of concern and hydrologic conditions of concern, consistent with the Preliminary WQMP and developed in compliance with the MS4 permit. The FWQMP shall specifically identify pollution prevention, source control, treatment control measures, and other Best Management Practices (BMPs) that shall be used on site to control predictable pollutant runoff to reduce impacts to water quality to the maximum extent practicable. The FWQMP shall substantially comply with site design, source control and treatment control BMPs proposed in the approved Preliminary Water Quality Management Plan (PWQMP).

Prior to Issuance of Occupancy Permits:

- 34. **Business Operator.** Business operator shall be responsible for providing a copy of the

adopted truck routes to the truck drivers.

35. **Employee Amenities.** At least one (1) indoor employee amenity and two (2) outdoor employee amenities shall be provided as shown on the Project plans.
36. **Truck Routes.** Signs shall be provided on-site and within public rights of way to direct all trucks to use designated truck routes, only as approved by the Engineering and Planning Departments. Truck routes are restricted to the I-215 Freeway by exiting the project site via Redlands Avenue to Harley Knox Boulevard, or Redlands Avenue to Morgan Street to Indian Avenue to Placentia Avenue.
37. **Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to issuance of a Certificate of Occupancy. This condition shall apply only to districts existing at the time the project is approved (or all requirements have been met for a certificate of occupancy, as applicable). Such districts may include but are not limited to the following:
 - a. Landscape Maintenance District No. 1
 - b. Maintenance District No. 84-1
 - c. Flood Control Maintenance District No. 1
 - d. North Perris Public Safety Community Facilities Assessment District
38. **On-Site Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for final landscape inspection after all the landscaping and irrigation has been installed and is completely operational. Before calling for a final inspection, a "Certificate of Compliance" form shall be completed and signed by the designer/auditor responsible for the project, and submitted to the project planner for approval.
39. **Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-offs from the Building Division and Engineering Department. Planning Staff shall verify that all pertinent conditions of approval have been met. The applicant shall have all required paving, parking, walls, site lighting, landscaping and automatic irrigation installed and in good condition.

END OF CONDITIONS



CITY OF PERRIS

CONDITIONS OF APPROVAL

P8-1501
May 10, 2023
DPR 22-00008
Dedeaux Properties
NEC Placentia Av. & Redlands Av.
APNs 300-210-010 & -022
Pars 3 & 4 – PM 11104 – MB 047/062

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer/property owner provides the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and their omission may require the site plan to be resubmitted for further consideration. These ordinances and the following conditions are essential parts and requirement occurring in ONE is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditioned shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic impact Analysis, the most stringent in the opinion of the City shall prevail.

General Conditions:

1. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.

2. The developer/property shall secure City's and appropriate agencies clearances and approvals of the improvement plans.

3. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.

4. Site circulation shall be such that auto and truck access, circulation and parking are distinct and separate.

5. Truck access shall be from I-215/Harley Knox Boulevard Interchange, Harley Knox Boulevard and Redlands Avenue. Truck access may also be accommodated from I-215/Placentia Avenue Interchange, Placentia Avenue, Indian Avenue, Morgan Street and Redlands Avenue.

Truck access to and from Ramona Expressway and Perris Boulevard is prohibited.

Prior to Issuance of Grading Permit:

6. The developer/property owner shall submit the following to the City Engineer and Riverside County Flood Control and Water Conservation District (RCFCD) for review and approval:

- a. Onsite Precise Grading Plan and Erosion Control Plans; plans shall show the WDID No.
- b. Street Improvement Plans
- c. Storm Drain Improvement Plans
- d. Signing and Striping Plans
- e. Water and Sewer Improvement Plans
- f. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- g. Hydrology and Hydraulic Report
- h. Geotechnical Report
- i. Final WQMP (for reference)

The design shall be in conformance with Eastern Municipal Water District (EMWD), RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

7. The developer/property owner shall construct the Perris Valley Master Drainage Plan facility (PVMDP) Line H in Placentia Avenue along the southerly property frontage from a manhole at Redlands Avenue to a manhole at Wilson Avenue. The system's type, size, design, elevation and alignment shall be as approved by the City Engineer.

8. Tributary and treated onsite runoff shall be collected and connected via underground storm drain facility, to Perris Valley Master Drainage Facility (PVMDP) Line H as approved by the City Engineer.

9. Any connection to Line H will require an encroachment permit from RCFCD, as determined by the City Engineer.

10. Placentia Avenue is classified as Primary Arterial (128'/94') per the General Plan. A 58 foot wide half width right-of-way is currently dedicated on Placentia Avenue along the property frontage; the developer/property owner shall dedicate the required additional 6 feet of right-of-way to provide for a 64 foot half width dedicated right-of-way.

11. Redlands Avenue is classified as a Secondary Arterial (94'/70') per the General Plan. A 44 foot half width right-of-way is currently dedicated on Redlands Avenue along the property frontage; adequate right-of-way however shall be dedicated on Redlands Avenue along the property frontage to accommodate a 47 foot half width dedicated right-of-way. Additional 3 feet easement shall also be dedicated to accommodate a 15 foot wide parkway consisting of a 10 foot wide PCC sidewalk/Class I Shared Use Path, a 4.5 foot wide landscaped planter and a 6 inch top of curb, as approved by the Public Works Department.

12. Property line corner cutbacks shall be dedicated per County of Riverside Standard No. 805.

13. All rights-of-way and easements shall be offered for dedication to the public or other appropriate agencies and shall continue in force until the City or the appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer.

14. In the event that offsite property is required to complete the improvements, the developer/property owner shall make a good faith effort to acquire required offsite property interests, and if he or she should fail to do so, the developer/property owner shall, prior to submittal of the Final Map for recordation, enter into an agreement to complete the improvements. The agreement shall provide for payment by the developer/property owner of all costs incurred by the City to acquire the offsite property interests required in connection with the subdivision. Security of a portion of these costs shall be in the form of a cash deposit in the amount given in an appraisal report obtained by the developer/property owner (at developer/property owner cost). The appraiser shall be approved by the City prior to commencement of the appraisal.

15. The driveway on Placentia Avenue shall be designated to auto access only. The driveway shall not exceed 26 feet in width.

16. The driveway on Redlands Avenue shall be designated to truck access only and shall be limited to left-in/right-out only; the southerly return of the driveway shall be modified to a reduced radius.

17. The driveways shall be per County of Riverside Standard No. 207A and shall include wet set concrete truncated domes in compliance to ADA standards and requirements.

18. To accommodate the trucks left turn movement from southbound Redlands Avenue into the site, a designated left turn lane shall be provided; the length of the left turn lane shall be determined by the project's Traffic Engineer as approved by the City Engineer; ensuing street improvements and pavement transitions to accommodate standard lane transitions shall be provided as approved by the City Engineer.

19. The developer/property owner shall sign the consent and waiver form to join the City's Lighting and Landscape Districts and City's Flood Control District as appropriate. The proposed streetlights and traffic signals shall be maintained by the City and cost paid by the developer/property owner through the said annexation.

20. The developer/property owner shall pay the City the infrastructure fee in the amount of \$100,000 for their contribution to I-215/Ramona Expressway Interchange and I-215/Harley Knox Boulevard Interchange and other improvements. This one-time contribution is above and beyond DIF, TUMF, RBBD and other City fees, and is not reimbursable.

Prior to Issuance of Building Permit:

21. A parcel merger consolidating the underlying lots/parcels along the with a certificate of compliance shall be filed with the City for review and approval and subsequent recordation.

22. The project site is located within the limits of Perris Valley Area Drainage Plan (ADP) for which drainage fees have been adopted by City. Drainage fees shall be set forth under the provisions of the "Rules and Regulations of Administration of Area Drainage Plan". Acreage for the project site's impervious area shall be provided.

23. Water and Sewer Improvement Plans, per Fire Department and EMWD standards, shall be submitted to the City Engineer for review and shall be approved.

24. Fire Department and EMWD approvals of the Water Improvement Plans are required prior to City Engineer's approval.

25. Paved access shall be provided to the proposed building per the Precise Grading Plan.

26. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report and the pad elevation certification from the Civil Engineer in compliance with the approved Precise Grading Plan.

Prior to Issuance of Certificate of Occupancy:

27. Placentia Avenue (Primary Arterial – 128'/94') along the property frontage within the dedicated right-of-way shall be improved to provide for a 54 foot wide asphalt pavement (using a TI of 10.0 and PG 70-10), a 14 foot wide painted center turn lane, 8 inch curb and gutter located 47 feet north of street centerline, 10 foot wide PCC sidewalk/Class I Shared Use Path per the Active Transportation Plan and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.

28. Placentia Avenue (Primary Arterial – 128'/94') within the dedicated right-of-way shall also be improved from easterly terminus of the project boundary to Wilson Avenue to provide for a 47 foot wide asphalt pavement (using a TI of 10.0 and PG 70-10) and 8 inch curb and gutter located 47 feet north of street centerline per City of Perris, County of Riverside and Caltrans standards.

29. A raised median/channelizer shall be installed on Placentia Avenue west of Redlands Avenue to establish a narrow width left turn lane to accommodate autos only, thus negating truck left turn movement from eastbound Placentia Avenue onto northbound Redlands Avenue. The length and width of the median/channelizer and lane shall be provided by the project's Traffic Engineer as approved by the City Engineer.

30. Redlands Avenue (Secondary Arterial - 94'/70') along the property frontage within the dedicated right-of-way shall be improved to provide for a 56 foot wide asphalt pavement (using a TI of 10.0 and PG 70-10), a 12 foot wide painted center turn lane, 8 inch curb and gutter located 35 feet east of street centerline, 10 foot wide PCC sidewalk/Class I Shared Use Path per the Active Transportation Plan and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.

31. The existing power poles on the west side of Redlands Avenue along the property frontage shall be relocated or removed and cables (under 66 kv) including the communication cables shall be undergrounded in the event that they are in conflict with the Redlands Avenue required improvements, as determined by the City Engineer. As applicable, the developer/property owner shall provide a power pole relocation study or

an undergrounding of utilities study prepared by a utility consultant/electrical engineer analyzing and determining the extent of conformance.

32. The existing pavement on Placentia Avenue and Redlands Avenue along the property frontage shall be removed and replaced. The pavement structural section shall be analyzed by the developer/property owner's Soils Engineer to determine the extent of pavement rehabilitation as approved by City Engineer.

33. The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.

34. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified professional pursuant to the California Business and Professional Code 8771.

John Pourkazemi
Interim City Engineer



CITY OF PERRIS

PUBLIC WORKS DEPARTMENT

Weed Abatement

NPDES Services

Flood Control and Landscape Districts

MEMORANDUM

Date: April 18, 2023

To: Lupita Garcia, Planner

From: Michael Morales, CIP Manager

By: Chris Baldino, Landscape Inspector **CB**

Subject: DPR 22-00008 & Parcel Merger 22-05056 – Conditions of Approval

Proposal to construct a 121,100 square foot industrial building on the northeast corner of Placentia Ave. and Redlands Ave. within the Perris Valley Commerce Center Specific Plan.

-
- Dedication and/or Landscape Maintenance Easement.** Offer of Dedication and Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:
 - **Placentia Ave** - Provide offer of dedication as needed to provide for full half width Street, (128' ROW, 64' halfwidth) curb gutter, sidewalk, Class 1 shared use path, and off-site landscaping requirements, per City General Plan, including minimum 17' public parkway from face of curb.
 - **Redlands Ave** - Provide offer of dedication as needed to provide for full half width Street, (94' ROW, 47' halfwidth) curb gutter, Class 1 share use path, sidewalk, and off-site landscaping requirements, per City General Plan, including minimum 15' public parkway from face of curb.
 - **Placentia Ave Line H** – As required by City Engineer's office construct Master Plan Line H including landscaping as required.
 - Landscape Maintenance Easement and Landscape Easement Agreement.** The developer shall provide, for review and approval, an Offer of Dedication and certificate of acceptance, complete with a legal plat map and legal description to the City of Perris. In addition, the Developer shall provide a Landscape easement agreement acceptable to the City of Perris. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
 - Landscaping Plans.** Three (3) copies of Construction Landscaping and Irrigation Plans for the off-site landscaping, including any medians or other landscape areas along the dedications shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. This landscape plan shall be titled "Off-site Landscape Plan for **DPR 22-00008**" and shall be exclusive of any private property, on-site landscaping. Elements of the Landscape Plan shall include but not be limited to:

- a. **Landscape Limits** – Limits of right-of-way areas or easement areas, defined by concrete a mow curb, fully dimensioned, that are to be annexed into the Landscape Maintenance District. A planting palette and hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; or if no such guidelines exist the design intent of neighboring development, as determined by the Engineering Administration and Special Districts Division, including:
- **Placentia Ave** - Per Section 6.0-14 Streetscape Landscape design guidelines and planting pallet for Arterial Roads, and figure 6.0-5 of the PVCCSP, for sizing and spacing. Primary Tree: Cinnamomum camphora, and secondary tree: Olea eropaea 'Mother' Majestic Beauty Fruitless Olive, Lagerstroemia indica fauriei 'Tuscarora'. Use of drought resistant shrubs and groundcover including but not limited to the following: Dietes fortnight lily, Lantana 'New Gold', Nandina domestica 'Wood's Dwarf', Officinalis Rosmarinus Hunting Carpet Rosemary, Tulbaghia violacea 'Tricolor', Tachelospermum jasminoides variegated Star Jasmine.
 - **Placentia Ave to Include Class 1 Shared Use Bicycle Path.** Provide a shared use path, in accordance with the Design Guidelines provided in Chapter 7, Section 7.1 design guidelines of the City of Perris Trail Master plan complete with concrete paving along roadway. The configuration will consist of a 10' wide concrete sidewalk/shared use path.
 - **Redlands Ave** - Per Section 6.0-16 Streetscape Landscape design guidelines and planting pallet for Secondary Arterial and figure 6.0-6of the PVCCSP, for sizing and spacing. Primary Tree: Plantanus Acerfoilia London Plane, Secondary Tree: Rhus Lancia African Sumac, Lagerstroemia indica fauriei 'tuscarora'. Use of drought resistant shrubs and groundcover including but not limited to the following: Lantana camara 'Robpatrai', Lantana 'New Gold', Rraphiolepis umbellate, Muhlenbergia lindheimeri Lindheimers's Muhly.
 - **Redlands Ave to Include Class 1 Shared Use Bicycle Path.** Provide a shared use path, in accordance with the Design Guidelines provided in Chapter 7, Section 7.1 design guidelines of the City of Perris Trail Master plan complete with concrete paving along roadway. The configuration will consist of a 10' wide concrete sidewalk/shared use path.
 - **Line H** – Any proposed open channel shall be landscaped to match existing landscape to the west along Placentia Ave and shall consist of the following: Trees to be Platanus Acerfolia London Plane, Cercis Eastern Red Bud. Use of drought resistant shrubs and groundcover including but not limited to the following: Myoporum puta creek, Dietes Fortnight lily, Star Jasmine, Deer Grass, Little John, and Trailing Gazania.
- b. **Irrigation** – A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas as determined by the Engineering Administration and Special Districts Division. Components shall include, but not be limited to Rainbird XBT-20PC w/ Diffuser or equal on flexible PVC risers, Sentry Guard Cable Guard and Union Guard, and backflow Wilkens Model 375 (or equal). Controller shall include an ET based controller with weather station that is centrally controlled capable and wi-fi ready (Weather Trak ET Pro3 Smart Controller, or equal, with Rain Sensor). At the discretion of the Engineering Administration and Special Districts Division public landscape areas utilizing no more than 6 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and wi-fi ready, such as the Weathermatic System or equal. The proposed system shall be complete with wireless weather station, aircard with flow, one year bundle service, blade antenna and flow sensor.

- c. **Benefit Zone Quantities** – Include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the district will be required to maintain.
- d. **Meters** – Each District is required to be metered separately. All electrical and water meters shall be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene and away from street intersections. Show location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for landscape district. Show location of water and electrical meter for flood control district. Show location of electrical meter for Traffic signal and street lighting district, on respective plans. Coordinate location of meters on landscape and civil engineering plan.
- e. **Controllers** - The off-site irrigation controllers are to be located within the right of way (preferably within the off-site landscape area). All point of connection equipment including irrigation controller pedestals, electrical meter pedestals, and backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Backflow preventers are to be screened on at least three sides with (5) gallon plant material. The fourth side shall be open to the back of the landscape area in order to allow the backflow cage to be opened without interference with plant materials. Backflow cages shall meet the required City of Perris Engineering Standards in effect at the time of approval.
- f. **Recycled Water** - If applicable. The project landscape architect shall coordinate with EMWD to verify if the site will be served with recycled water and design all irrigation and landscape plans to meet the requirements of EMWD and provide additional irrigation components as needed.
- g. **EMWD Landscape Plan Approval** – The project landscape architect shall submit a copy of all irrigation plans and specifications to EMWD for approval. The project landscape architect must confirm with EMWD that the plans have been approved by EMWD and submit written proof of approval by EMWD prior to the City approving the final Landscape Plans. Until the final landscape plan has been approved by the City of Perris, the maintenance areas depicted cannot be accepted by the City for maintenance. The developer shall coordinate both reviews to ensure acceptability of plans by both EMWD and the City of Perris, prior to approval by either agency.
- h. **Landscape Weed Barrier** - Weed cloth with a minimum expected life of 10-years shall be required under all gravel, rock, or cobble areas.
- i. **Wire Mesh and Gravel at Pull Boxes**- Provide wire mesh and gravel layer within valve boxes to prevent rodent intrusion.
- j. **Concrete Maintenance Band at Medians and Mortar Cobble turn Land** – Provide 12” wide concrete maintenance band (safety edge) around entire median. At turn pockets provide mortared cobble creek bed, round stone sized 6” to 12”.
- k. **Perimeter Walls Graffiti Coating** – Provide anti-graffiti coating at all perimeter walls. Acceptable products shall include Vitrocem Anti-Graffiti Coating or equal.

- 1. Slopes 3:1 Maximum** - Any proposed slope will not exceed a 3:1 ratio. Slopes exceeding a 3:1 ratio shall require construction of appropriate reinforcing garden walls.

4. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only "OFF-SITE" landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled at least two working days (Monday through Friday) prior to the actual inspection. Contact Public Works-Engineering Administration/Special Districts at (951) 657-3280 to schedule inspections.
 - **Inspection #1** - Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
 - **Inspection #2** - Soil prepared, and plant materials positioned and ready to plant.
 - **Inspection #3** - Landscaping installed, irrigation system fully operational, and request for "Start of 1 year Maintenance Period" submitted, with all required turnover submittal items provided to Public-Works Engineering Administration/Special Districts.
 - **Inspection #4** - A joint inspection with the Development Inspector and LMD Inspector and Applicant to request for "Start of 1 year Maintenance Period" submitted, with all required turn-over submittal items provided to Public-Works Special Districts and Storm Water Division.
 - **Turn-Over (Inspection #5)** – On or about the one-year anniversary of Inspection #4, Developer shall call for an inspection to allow the City to review and identify any potential irrigation system defects, dead plants, weed, debris or graffiti; stressed, diseased, or dead trees; mulch condition, hardscape or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At his sole expense, the Developer shall be responsible for rectifying system and installation deficiencies, and the one-year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City's Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the Inspector shall recommend to the City's Special District Coordinator to accept turn-over of water and electrical accounts, wi-fi communication contracts and the entire landscape installation.

5. **One Year Maintenance and Plant Establishment Period**-The applicant will be required to provide a minimum of a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one-year maintenance period commences upon the successful completion of Inspection #3 discussed above, and final approval by the City. During this one-year period the applicant shall be required to maintain all landscape areas free of weeds, debris, trash, and graffiti; and keep all plants, trees, and shrubs in a viable growth condition. Prior to the start of the one-year maintenance period, the Developer shall submit a weekly Landscape Maintenance Schedule for review and approval by the City's Special Districts Division. City shall perform periodic site inspections during the one-year maintenance period. The purpose of these periodic inspections is to identify any and all items needing correction prior to acceptance by the City at the conclusion of the one-year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials, weeding, replenishment of mulches, repair of damaged or non-functioning irrigation components, test of irrigation controller communications, etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turnover to City maintenance staff.

6. **Street/Off-Site Improvements.** The applicant shall submit street improvement plans, accompanied by the

appropriate filing fee to the City Engineering Department. Details of treatments off-site improvements, including lighting, shall meet both the City Engineer's Design Guidelines, and the additional requirements of the Engineering and Special Districts Division. Components shall include, but not be limited to:

- a. **Street Lighting**-If Street lighting is required, lighting shall meet the type, style, color and durability requirements necessary for energy efficiency goals, maintenance and longevity of improvements of the City Engineer's Office. . Streetlights will be owned by City of Perris and not SCE. Streetlights shall be constructed per LS-3 account billing standard, which shall include an individually metered pedestal for streetlights.
- b. **Acceptance By Public Works/Special Districts**- Lighting District facilities required by the City Engineer's Office shall be installed and fully operational and approved by final inspection by the City Engineer's Office, and the City's Consulting Traffic Signal Inspection Team (Riverside County TLMA) at (951) 955-6815. Prior to acceptance for maintenance of "Off-site" traffic signal and lighting facilities by the Public Works-Engineering and Administration Division/Special Districts, the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items. Prior to acceptance into Lighting District 84-1, coordinate turnover information pertaining to Street Lights, and Traffic Signal Electrical/SCE Service Meters with Wildan Financial Services, the City's Special Districts Consulting Firm at (951) 587-3564. (i.e. Provide electrical meter number, photo of pedestal, and coordinate "request for transfer of billing information" with SCE and City for all new service meters). Developers shall pay 18-month energy charges to the City of Perris for all off-site street lighting. Call Wildan Financial Services, Inc. for the amount due, and to obtain receipt for payment. Obtain and provide a clearance form from Riverside County TLMA indicating completion of all punch list items from traffic signal construction. Submit one large format photocopy of Traffic Signal as-built plans and timing sheets.

7. **Water Quality Management Plans.** The applicant shall submit a Preliminary and Final WQMP, accompanied by the appropriate filing fee to the Planning Department and City Engineering Department, respectively. Details for treatment control facilities shall meet both the Riverside County WQMP Design Guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce long term maintenance costs and longevity of improvements. Components shall include, but not be limited to:
 - **Storm Drain Screens**-If off-site catch basins are required by the City Engineer's Office, connector pipe screens shall be included in new catch basins to reduce sediment and trash loading within storm pipe. Connector pipe screens shall the type, style, and durability requirements of the Public Work's Engineering Administration and Special Districts Division.
 - **WQMP Inspections**- The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both "ON-SITE" and OFF-SITE" WQMP Inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.
 - **Acceptance By Public Works/Special Districts**-Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the Final WQMP, shall be installed and fully operational, and approved by final inspection by the City's WQMP Consultant, CGRM. The Developer shall obtain a final Clearance Letter from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The developer shall deliver the same to the Public Works-Engineering and Administration Division/Special Districts. In addition, prior to acceptance by the City, the developer shall submit a Covenant and Agreement describing on-going maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works Engineering Administration and Special Districts

Division. The Public Works Engineering Administration and Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.

8. **Flood Control District #1 Maintenance Acceptance.** Flood Control District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office. Prior to acceptance for maintenance of "Off-site" flood control facilities by the Public Works-Engineering and Administration Division/Special Districts the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items including as-built storm drain plans in electronic PDF format, one large format photo-copy of as-built plans, storm drain video report in electronic format, and hardcopy of video report with industry standard notations and still photos made during video runs (i.e. facilities sizes, off-sets or damage, facility type, dirt and debris, etc.). The flood control facilities shall be turned over in a condition acceptable to the City, and the developer shall make all necessary repairs and perform initial maintenance to the satisfaction of the City.
9. **Assessment Districts.** Prior to permit issuance, developer shall deposit \$5,250 per district, \$15,750 total due. Payment is to be made to the City of Perris, and the check delivered to the City Engineer's Office. Payment shall be accompanied by the appropriate document for each district indicating intent and understanding of annexation, to be notarized by property owner(s):
 - **Consent and Waiver for Maintenance District No. 84-1-New Street** lighting proposed by the project, as determined by the City Engineer
 - **Consent and Waiver for Landscape Maintenance District No. 1** – New off-site parkway landscape proposed by the project on Placentia Ave and Redlands Ave.
 - **Petition for Flood Control Maintenance District No. 1** -For Off-site Flood Control Facilities proposed by the project, as determined by the City Engineer.
 - Original notarized document(s) to be sent to:
Daniel Louie
Wildan Financial Services
27368 Via Industria, #200
Temecula, CA 92590
 - a. Prior to final map recordation or final certificate of occupancy the developer shall annex into the aforementioned districts, posting an adequate maintenance performance bond to be retained by the City as required by the City Engineer. Upon receipt of deposit and Consent and Waiver Forms, the developer shall work with City to meet all required milestones for annexations.
 - i. City prepares the Engineer's Reports which includes a description of the improvements to be maintained, an annual cost estimate and annual assessment amounts.
 - ii. Reports are reviewed and approved by the property owner. The assessment ballots will be based on these Reports.
 - iii. The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting

Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no sooner than 45 days. Property owner attendance at this City Council Meeting is not required.

- iv. The assessment ballots are sent to the property owner and are opened by the City Clerk at the close of the Public Hearing. With a "YES" vote by the property owner the City Council can move forward with the Resolution that Confirms the Annexation. Property owner attendance at this Public Hearing is not required.
- v. Confirmation by the City Council completes the annexation process, and the condition of approval has been met.



CITY OF PERRIS
COMMUNITY SERVICES

MEMO

Date: April 26, 2023

To: Lupita Garcia, Project Planner

From: Sabrina Chavez, Director of Community Services

Cc: Arcenio Ramirez, Community Services Manager
Arturo Garcia, Parks Supervisor
Joshua Estrada, Parks Coordinator

Subject: **DPR 22-00008 & Parcel Merger 22-05056** – A proposal to consolidate two parcels to construct a 121,100 square foot industrial building on 5.74 acres within the Perris Valley Commerce Center Specific Plan Light Industrial (LI) zone – Comments

Community Services Staff reviewed DPR 22-00008 / PM 22-05056 and offer the following comment(s):

Development Impact Fees

- The Project is subject to payment of Industrial Park Development Impact Fees.
- The Project is subject to payment of Residential Park Development Impact Fees.
- This Project is subject to payment of Public Art Development Impact Fees.

Special Districts

- The project shall annex into the Community Facilities District No. 2018-02 (Public Services)



CITY OF PERRIS

COMMUNITY SERVICES

Trails

- Provide a Class I Shared bicycle lane on Redlands Avenue and a Class II lane on Placentia Avenue as identified in the Active Transportation Plan, refer to Engineering for comments and standard requirements.

SRC COMMENTS
***** BUILDING & SAFETY *****

Planning Case File No(s): DEVELOPMENT PLAN REVIEW #22-00008

Case Planner: LUPITA Garcia 951-943-5003 ext. 236

Applicant: Benjamin Horning

Location: Northeast corner of Placentia Ave and Redlands Ave.

Project: Proposal to consolidate two parcels to construct a 121,100 SF industrial building

APN(s): 311-502-001

Reviewed By: David J. Martinez, CBO

Date: 03-2-2022

BUILDING AND SAFETY CONDITIONS

1. Shall comply with the latest adopted State of California 2019 editions of the following codes as applicable:
 - A. 2019 California Building Code
 - B. 2019 California Electrical Code
 - C. 2019 California Mechanical Code
 - D. 2019 California Plumbing Code
 - E. 2019 California Energy Code.
 - F. 2019 California Fire Code
 - G. 2019 California Green Building Standards Code.
2. You will be required to provide proper fire access to the entire site.
3. The proposed development will have to comply with the new EV charging station regulations.
4. You will have to comply with the Title 24 and ADA Access regulations for the complex, and the entire site.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

1. The following items shall be completed and/or submitted as applicable – prior to the

issuance of building permits for this project:

- A. Precise grading plans shall be approved
- B. Rough grading completed
- C. Compaction certification
- D. Pad elevation certification
- E. Rough grade inspection signed off

FIRE CONDITIONS: To Be provided by Dennis Grubb

ATTACHMENT 2

Mitigation Monitoring and Reporting Program

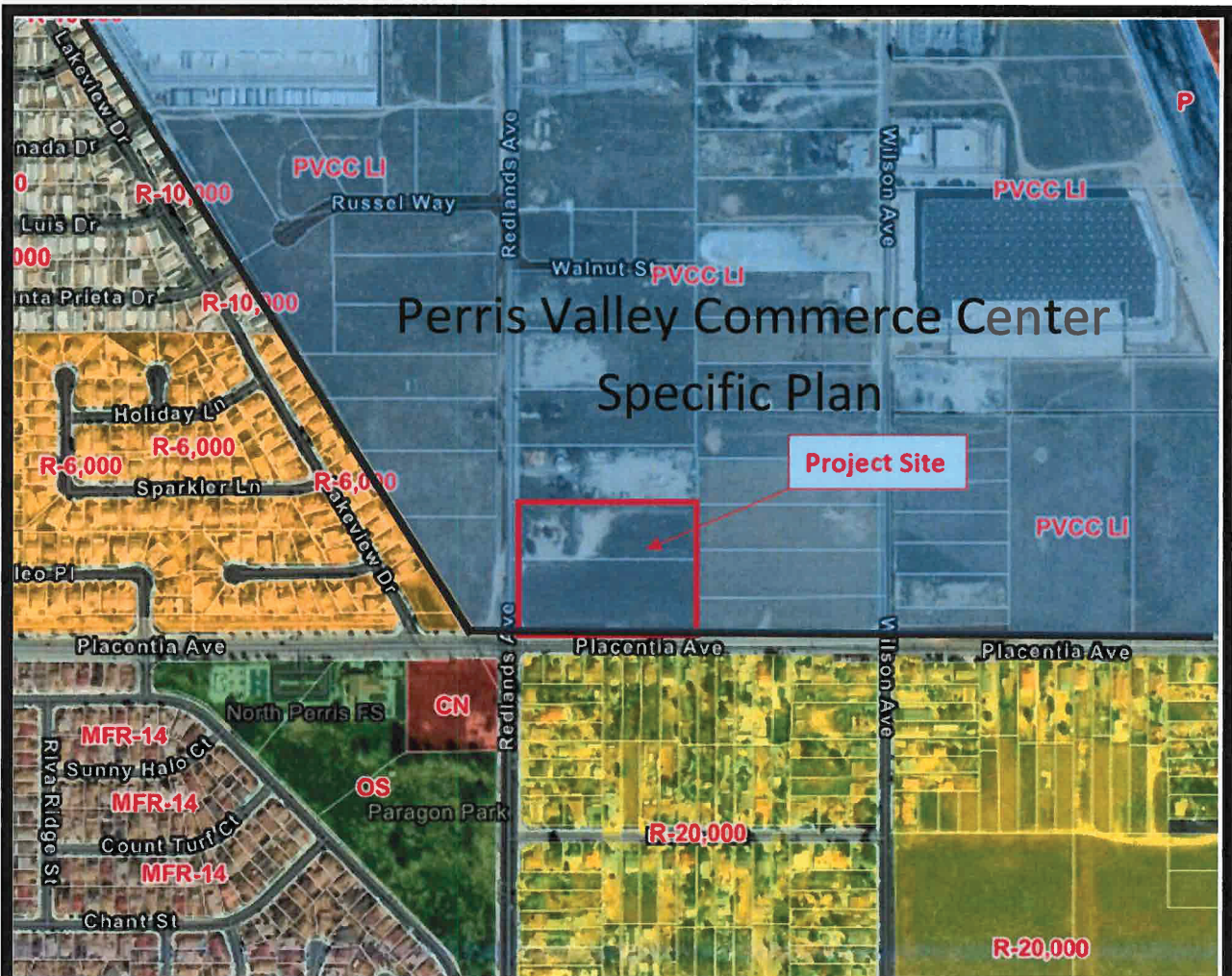
Due to the size of the files, the documents
are available online at:

[https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
348#docan1206 1313 479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-348#docan1206_1313_479)

EXHIBIT B
Location/Aerial Map



EXHIBIT C
PVCCSP/LAND USE MAP



PVCC-SP BOUNDARY LINE
 PVCC-SP



EXHIBIT D
MARB/IPA ALUCP MAP

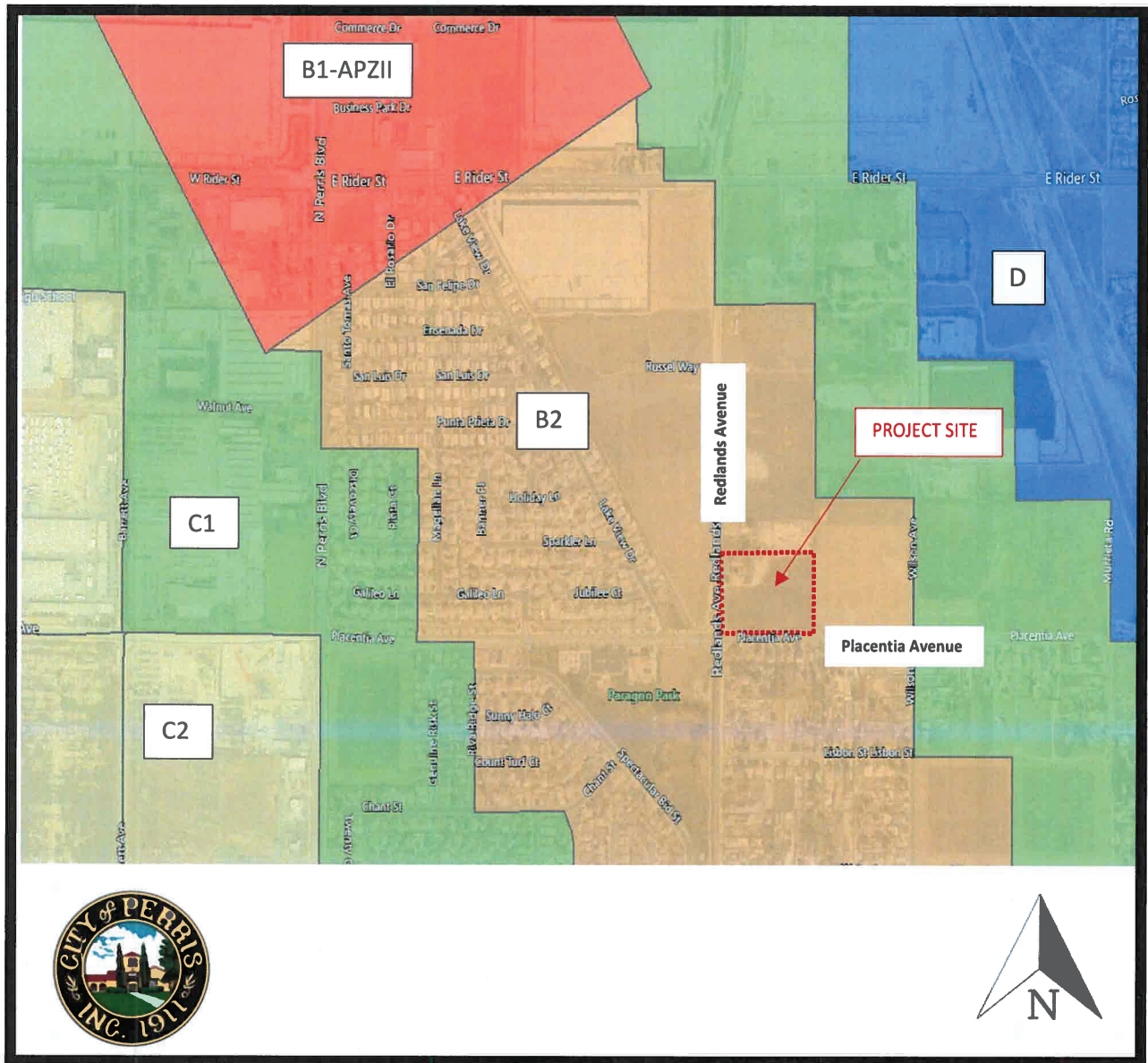
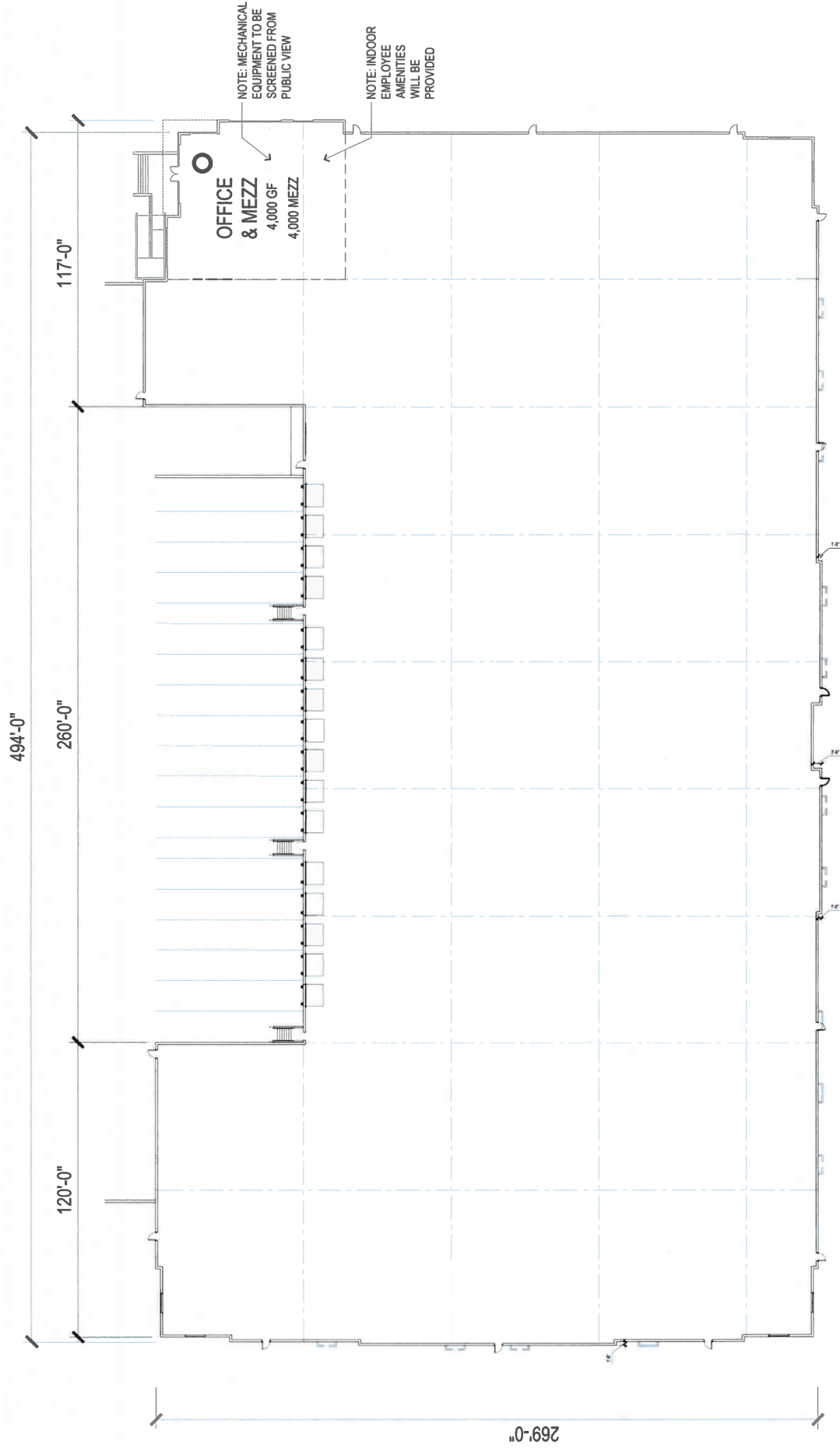


EXHIBIT E
PROJECT PLANS



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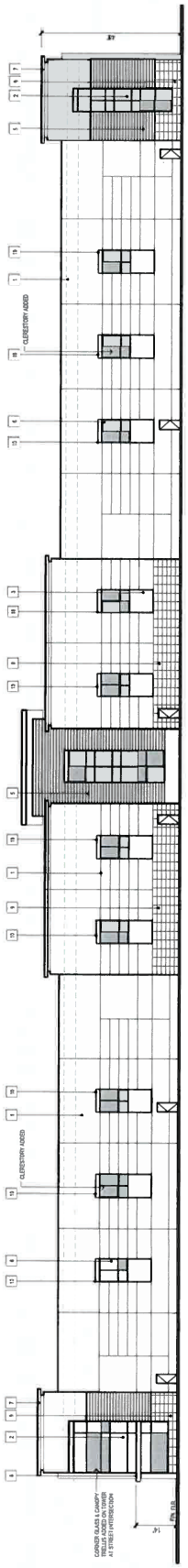


REDLANDS INDUSTRIAL FACILITY
DEDIC

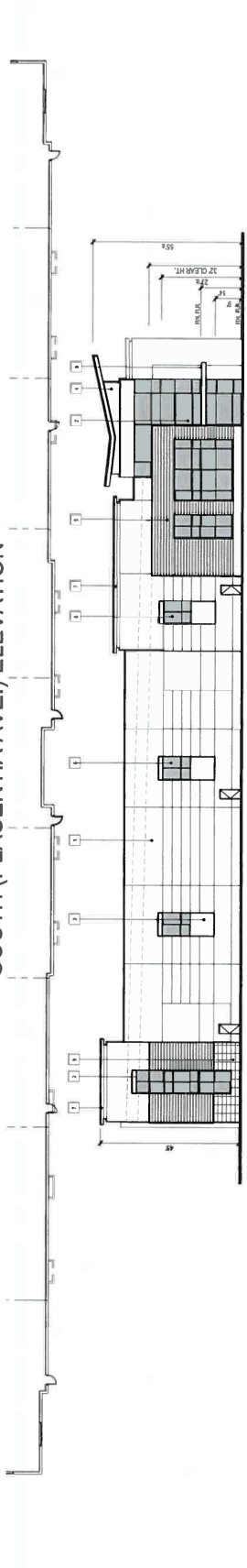
CONCEPTUAL FLOOR PLAN
DEVELOPMENT FOR ENTRY 2E-0000 AND PARCEL INTEREST 0526



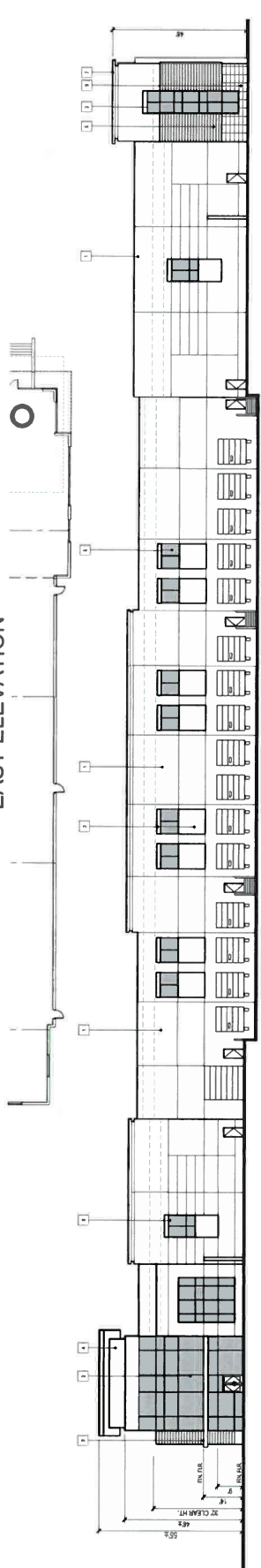
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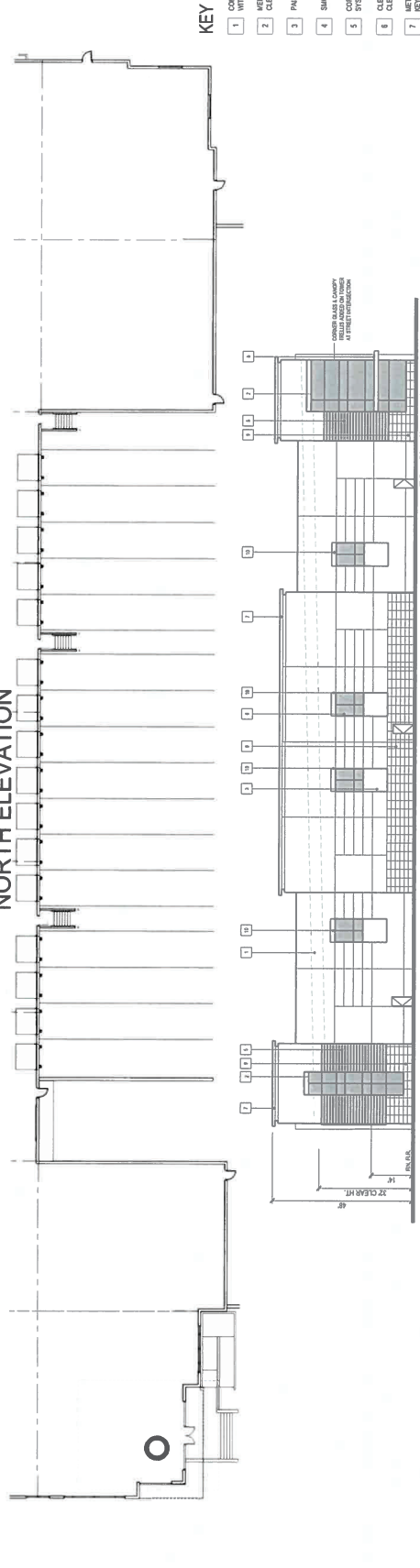
SOUTH (PLACENTIA AVE.) ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST (REDLANDS AVE.) ELEVATION

KEY NOTES:

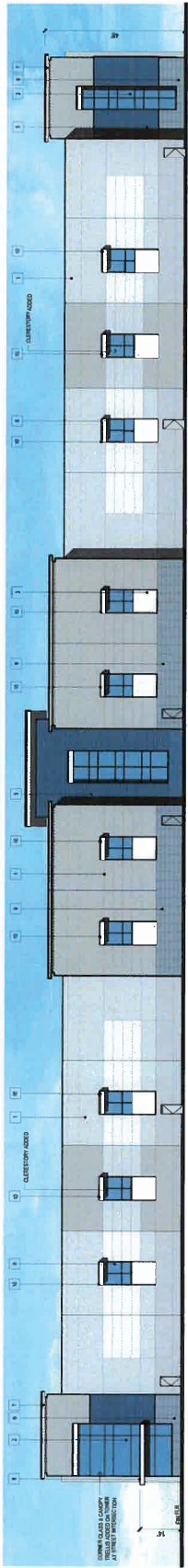
- 1 CONCRETE TILT-UP PANEL WITH FINISH
- 2 METAL PERFORMANCE GLASS IN CLEAR ANODIZED ALUMINUM MILLION SYSTEM
- 3 PAINTED ACCEPT INSET
- 4 SMOOTH METAL PANEL SYSTEM
- 5 CORRUGATED METAL PANEL SYSTEM
- 6 CLEARESTORY METAL PERFORMANCE GLASS IN CLEAR ANODIZED ALUMINUM MILLION SYSTEM
- 7 METAL CORNICE - COLOR TO MATCH ABOVE
- 8 METAL CANOPY WITH TRIGLUS WELL
- 9 PORCELAIN TILE
- 10 METAL CANOPY WITH PROJECTION

REDLANDS INDUSTRIAL FACILITY
PERRIS, CA

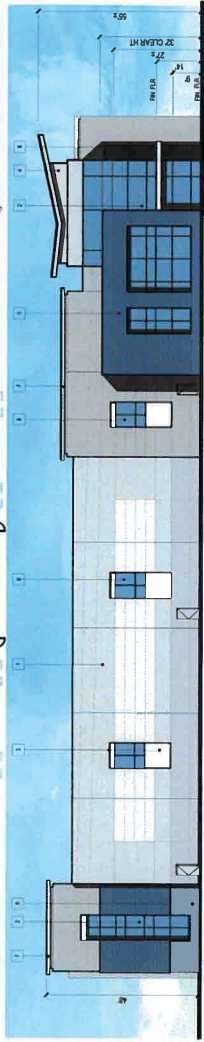
CONCEPTUAL ALTERNATE ELEVATIONS
DEVELOPMENT PLAN REVIEW 22-0088 AND PANEL NUMBER 22-0055



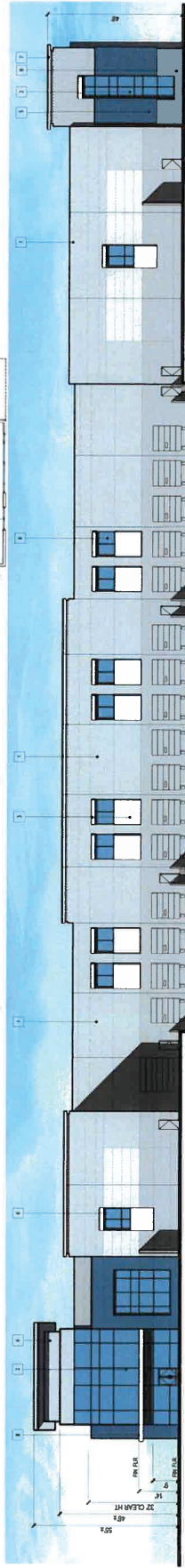
DISCLAIMER: THESE DRAWINGS ARE THE PROPERTY OF DEDEAUX PROPERTIES AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF DEDEAUX PROPERTIES. © 2022 DEDEAUX PROPERTIES. ALL RIGHTS RESERVED.



SOUTH (PLACENTIA AVE.) ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST (REDLANDS AVE.) ELEVATION

KEY NOTES:

- 1 CONCRETE TILT UP PANEL WITH REVEALS
- 2 MEDIUM PERFORMANCE GLASS IN CLEAR AND ALUM. MULLION SYSTEM
- 3 PAINTED ACCEPT INSET
- 4 SMOOTH METAL PANEL SYSTEM
- 5 CORRUGATED METAL PANEL SYSTEM
- 6 CLEARSTOREY MEDIUM PERFORMANCE GLASS IN CLEAR AND ALUM. MULLION SYSTEM
- 7 METAL CORNICE - COLOR TO MATCH KEYNOTE #4
- 8 METAL CANOPY WITH TRUSS WALL
- 9 PORCELAIN TILE
- 10 METAL CANOPY 24' PROJECTION

REDLANDS INDUSTRIAL FACILITY
PERRIS, CA

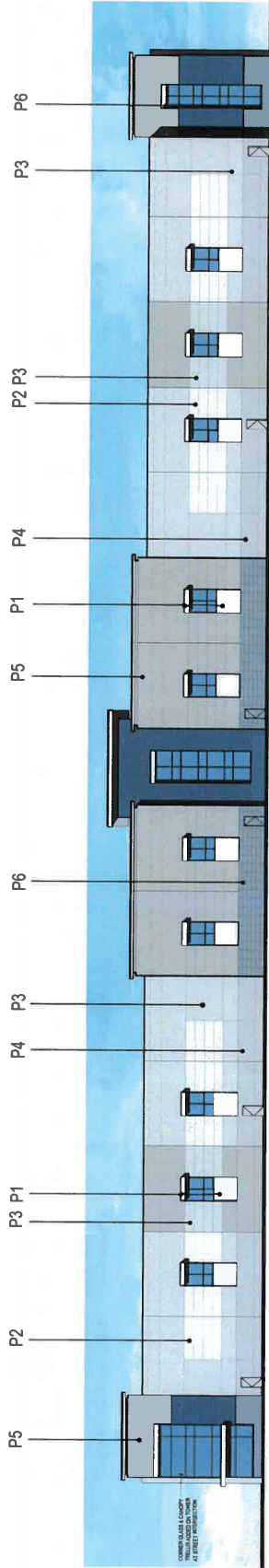
CONCEPTUAL ALTERNATE ELEVATIONS



A4

2021.55
2022.11.11





SOUTH (PLACENTIA AVE.) ELEVATION

**P1- SW 7005
PURE WHITE
BY SHERWIN WILLIAMS**

**P2- SW 7566
WEST HIGHLAND WHITE
BY SHERWIN WILLIAMS**

**P3- SW 7570
EGRET WHITE
BY SHERWIN WILLIAMS**

**P4- SW 7634
PENDIMENT WHITE
BY SHERWIN WILLIAMS**

**P5- SW 7649
SILVER PLATE
BY SHERWIN WILLIAMS**

**P6- PORCELAIN TILE
TO MATCH SW7649
BY SHERWIN WILLIAMS**

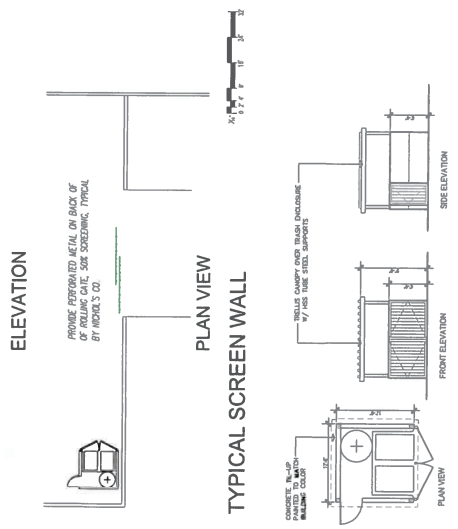
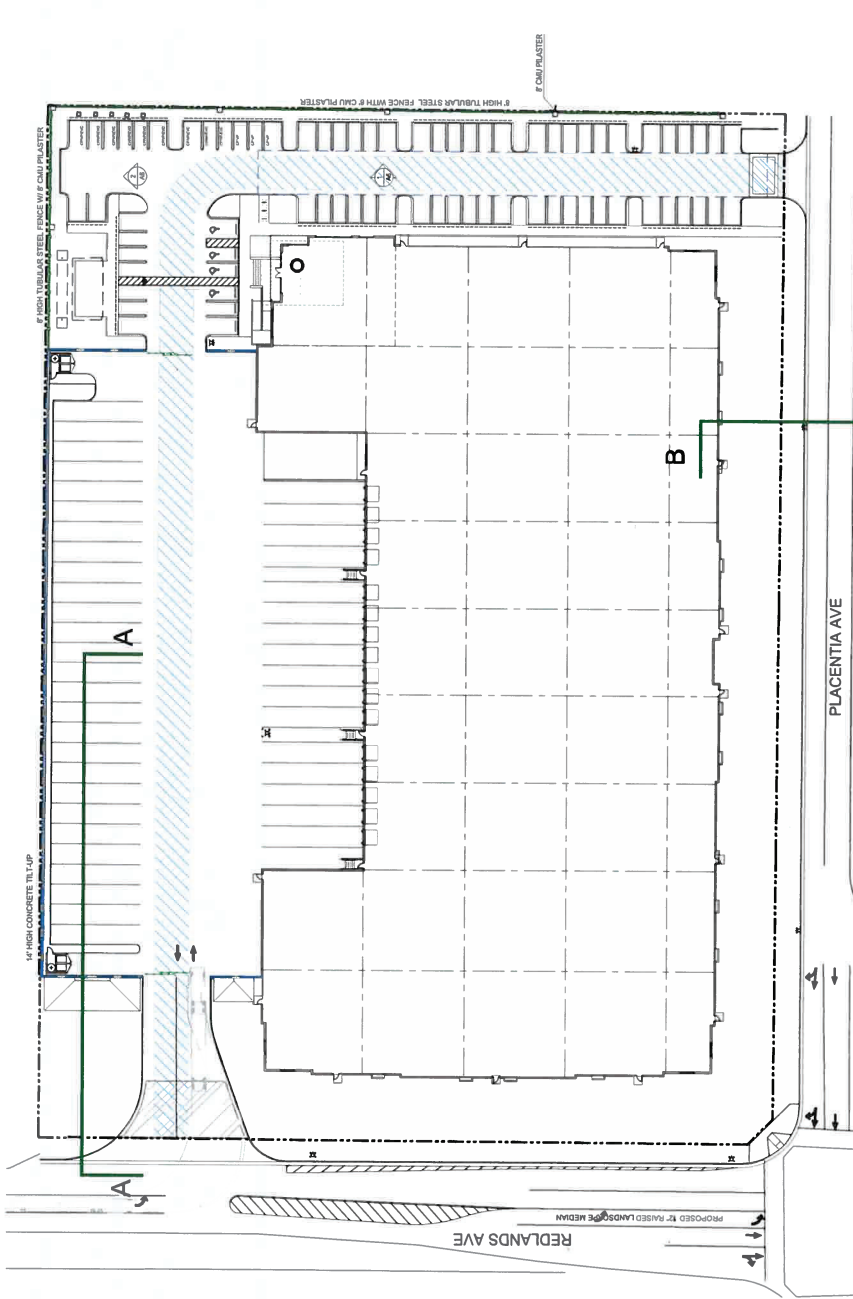
M1- CLEAR ANODIZED

**G- MEDIUM PERFORMANCE
REFLECTIVE GLAZING BLUE**

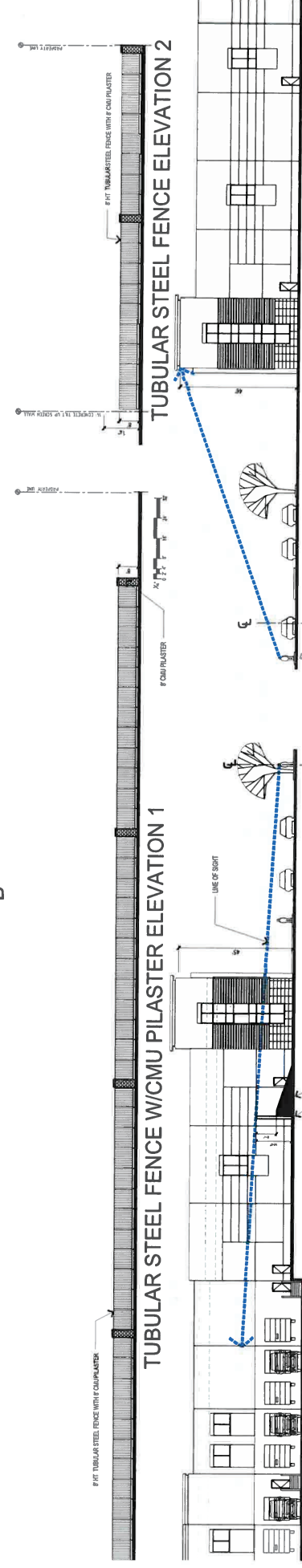


LEGEND:

- 14' HIGH CONCRETE TILT UP WALL
- 12' HEIGHT TUBE STEEL GATES (PAINTED BLACK)
- 8' HT. TUBULAR STEEL FENCE WITH 8' HT. CMU PILASTER



TRASH ENCLOSURE



LINE OF SIGHT CROSS SECTIONS

REDLANDS INDUSTRIAL FACILITY

PERRIS, CA



WALL & FENCE PLAN AND ELEVATIONS
LINE OF SIGHT CROSS SECTION
DEVELOPMENT FOR REDLANDS INDUSTRIAL FACILITY



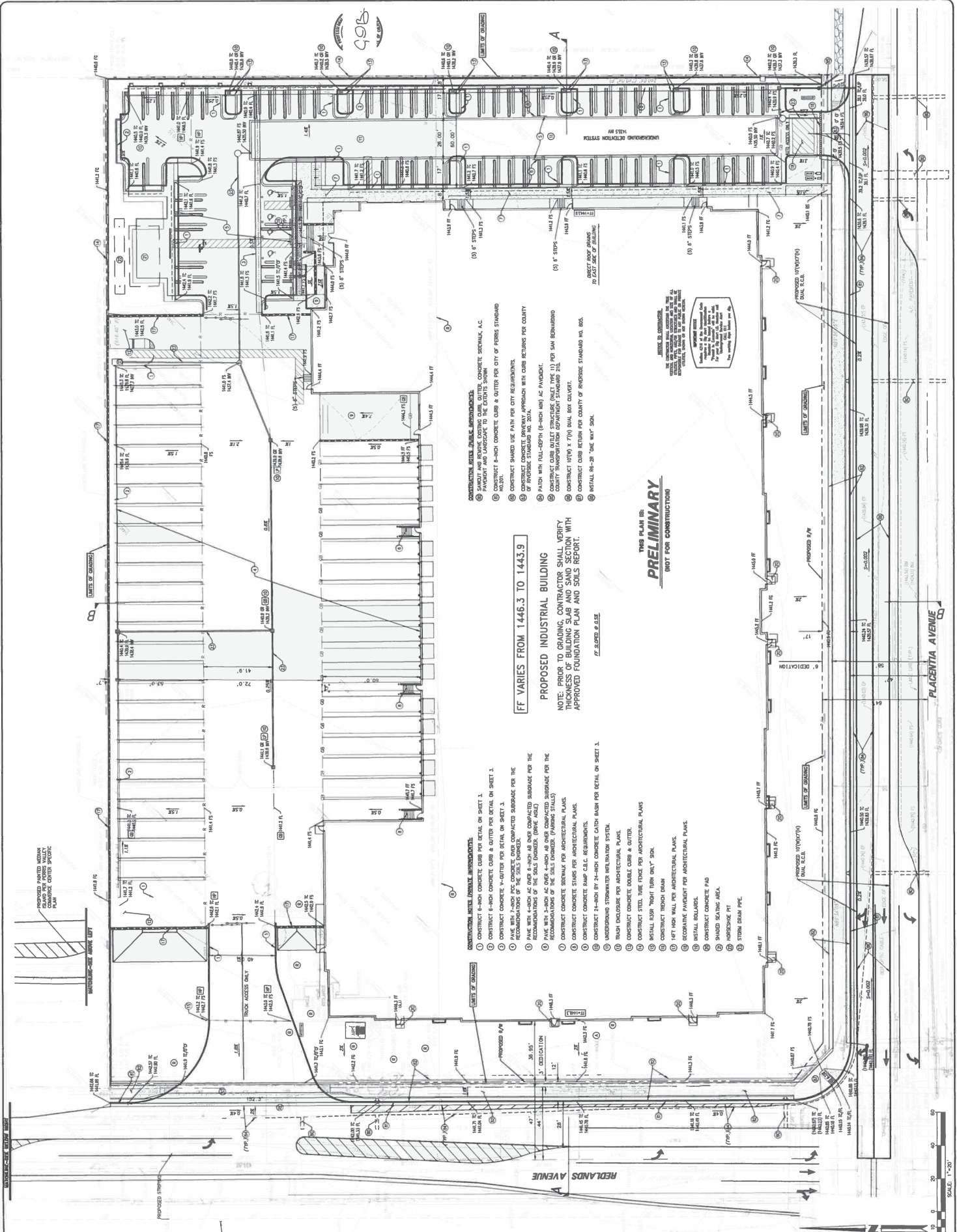
| | | |
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| NO. | REVISIONS | DATE |
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Prepared by: Joseph C. Turkaw and Associates, Inc.
 Civil Engineers and Land Surveyors
 1115 N. Grandwood Ave., Suite 101, Orem, UT 84057 (719) 531-0263



CONCEPTUAL GRADING PLAN
 NW CORNER OF PLACENTIA AVENUE AND REDLANDS AVENUE
 CITY OF PROBLE COUNTY OF ILLINOIS STATE OF ILLINOIS

DATE: 1-9-23
 DRAWN BY: CDB
 CHECKED BY: CDB
 SHEET NO.: C-2
 OF 4 SHEETS



FF VARIES FROM 1446.3 TO 1443.9

PROPOSED INDUSTRIAL BUILDING
 NOTE: PRIOR TO GRADING, CONTRACTOR SHALL VERIFY THICKNESS OF BUILDING SLAB AND SAND SECTION WITH APPROVED FOUNDATION PLAN AND SOILS REPORT.

THIS PLAN IS:
PRELIMINARY
 NOT FOR CONSTRUCTION

- CONSTRUCTION NOTES - GENERAL REQUIREMENTS:**
- CONSTRUCT 6-INCH CONCRETE CURB & GUTTER PER CITY REQUIREMENTS.
 - CONSTRUCT 24-INCH BY 24-INCH CONCRETE CATCH BASIN PER DETAIL ON SHEET 1.
 - CONSTRUCT CONCRETE 14-INCH PER DETAIL ON SHEET 1.
 - CONSTRUCT 4-INCH COMPACTED SUBGRADE FOR THE RECOMMENDATIONS OF THE SOILS ENGINEER.
 - PAVE WITH 4-INCH AC OVER 4-INCH AS OVER COMPACTED SUBGRADE PER THE RECOMMENDATIONS OF THE SOILS ENGINEER (BANK AREA).
 - PAVE WITH 3-INCH AC OVER 4-INCH AS OVER COMPACTED SUBGRADE PER THE RECOMMENDATIONS OF THE SOILS ENGINEER (PARKING STALLS).
 - CONSTRUCT CONCRETE DETAIL PER ARCHITECTURAL PLANS.
 - CONSTRUCT CONCRETE STAIR PER ARCHITECTURAL PLANS.
 - CONSTRUCT CONCRETE RAMP PER ARCHITECTURAL PLANS.
 - CONSTRUCT 24-INCH BY 24-INCH CONCRETE CATCH BASIN PER DETAIL ON SHEET 1.
 - UNDERGROUND STORMWATER INFILTRATION SYSTEM.
 - TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
 - CONSTRUCT CONCRETE DOUBLE CURB & GUTTER.
 - CONSTRUCT STEEL TUBE FENCE PER ARCHITECTURAL PLANS.
 - INSTALL RSLR "TIGHT TURN ONLY" SIGN.
 - CONSTRUCT TRENCH DRAIN.
 - 18" HIGH WOOD WALL PER ARCHITECTURAL PLANS.
 - INSTALL BOLLARDS.
 - CONSTRUCT CONCRETE PAD.
 - SHADE SCALING AREA.
 - WATERSCAPE PER ARCHITECTURAL PLANS.
 - STORM DRAIN PER ARCHITECTURAL PLANS.

CONSTRUCTION NOTES - PUBLIC IMPROVEMENTS:

- PAVEMENT AND LANDSCAPE TO THE EXTENTS SHOWN.
- CONSTRUCT 8-INCH CONCRETE CURB & GUTTER PER CITY OF PEORIS STANDARD.
- CONSTRUCT SHARED USE PAVE PER CITY REQUIREMENTS.
- CONSTRUCT 6-INCH CONCRETE CURB & GUTTER PER CITY REQUIREMENTS.
- CONSTRUCT 4-INCH COMPACTED SUBGRADE FOR THE RECOMMENDATIONS OF THE SOILS ENGINEER.
- PAVE WITH FULL-DEPTH (4-INCH MIN) AS PAVEMENT.
- CONSTRUCT CURB DILET EXPANSION (MIN. 1") PER SAN BERNARDINO COUNTY INFILTRATION APPLICANT STANDARD 21L.
- CONSTRUCT 18" (X 7") DUAL BOX CULVERT.
- CONSTRUCT CURB RETURN PER COUNTY OF ROSSIERE STANDARD NO. 80A.
- INSTALL 18"-26" "ONE WAY" SIGN.



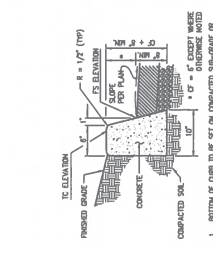
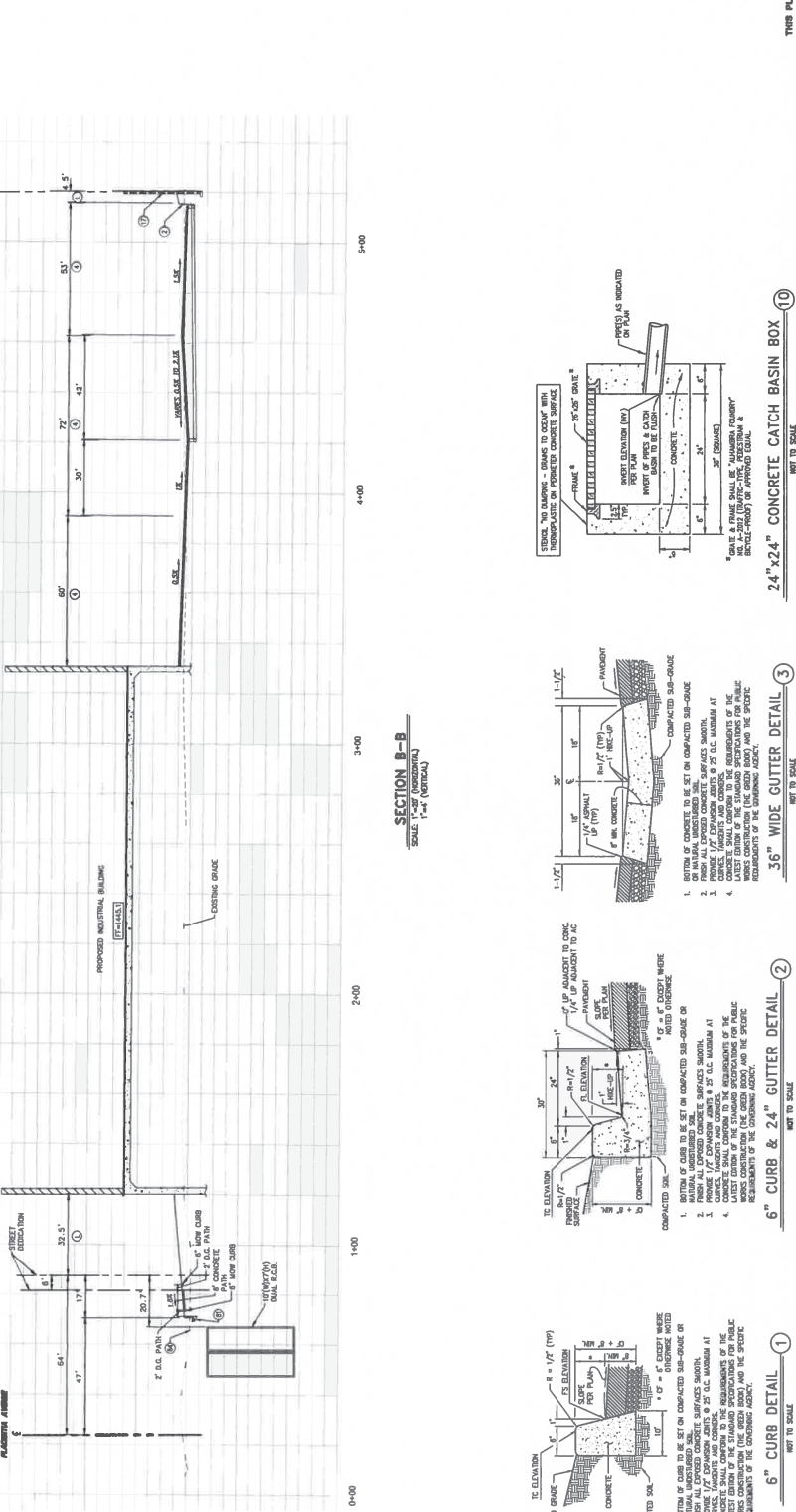
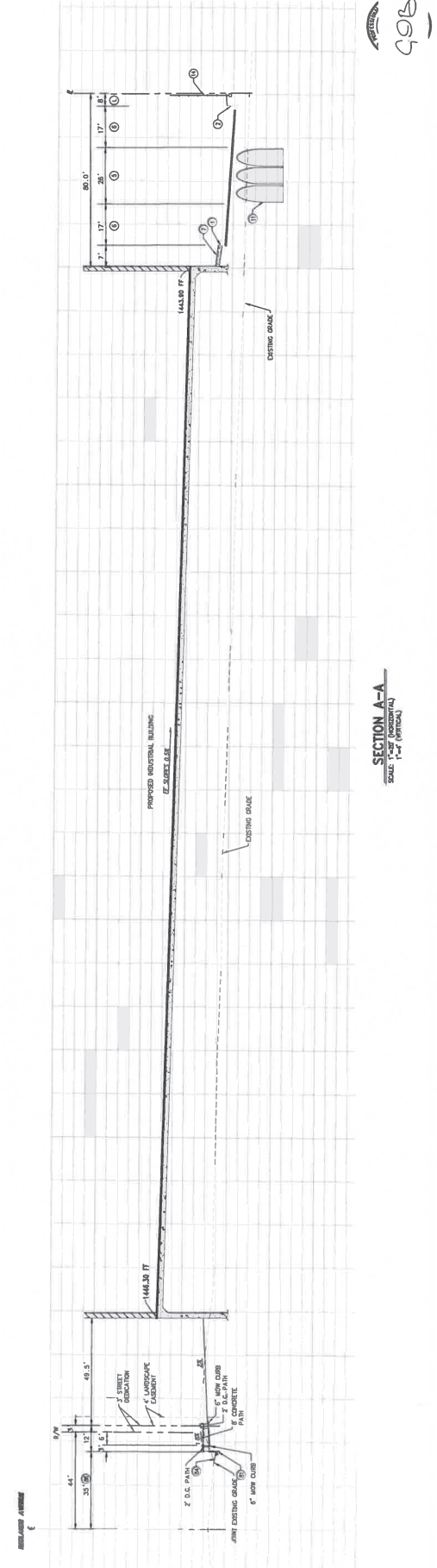
| NO. | REVISIONS | DATE |
|-----|-----------|------|
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1915 W. Broadway Ave. Suite 101, Orange, CA 92668 (714) 535-0355 turk.com
Civil Engineers and Land Surveyors
Joseph C. Turkaw and Associates, Inc.
 Prepared by: _____
 Date: _____



CONCEPTUAL GRADING PLAN
 NW CORNER OF PLACENTIA AVENUE AND REDLANDS AVENUE
 IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

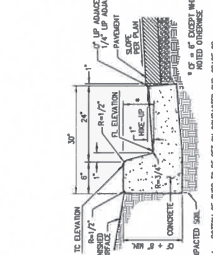
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 DRAWN BY: [Name]
 CHECKED BY: [Name]
 JOB NO.: [Number]
 SHEET NO.: [Number]
 TOTAL SHEETS: 4
C-3
 OF 4 SHEETS



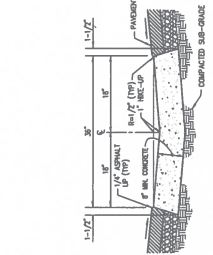
6" CURB DETAIL
 NOT TO SCALE

- BOTTOM OF CURB TO BE SET ON COMPACTED SUB-GRADE OR NATURAL UNDISTURBED SOIL.
- PROVIDE ALL EXPOSED CONCRETE SURFACES SMOOTH, CURVED, FINISHED AND CORNERED.
- CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS FOR PORTLAND-CEMENT CONCRETE, AND THE SPECIFIC REQUIREMENTS OF THE CONTRACTING AGENCY.
- MINIMUM CURB HEIGHT SHALL BE 25" O.C. MINIMUM AT ALL POINTS.

COMPACTED SOIL
 CONCRETE
 6" WIDE CURB
 1/2" ASPHALT IN CONTACT WITH PAVEMENT
 4" MIN. CONC.
 1" FIN. CONC.
 1/2" FIN. CONC.
 1" FIN. CONC.



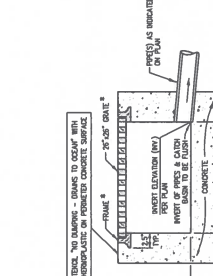
6" CURB & 24\"/>



36" WIDE GUTTER DETAIL
 NOT TO SCALE

- BOTTOM OF CONCRETE TO BE SET ON COMPACTED SUB-GRADE OR NATURAL UNDISTURBED SOIL.
- PROVIDE ALL EXPOSED CONCRETE SURFACES SMOOTH, CURVED, FINISHED AND CORNERED.
- CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS FOR PORTLAND-CEMENT CONCRETE, AND THE SPECIFIC REQUIREMENTS OF THE CONTRACTING AGENCY.
- MINIMUM CURB HEIGHT SHALL BE 25" O.C. MINIMUM AT ALL POINTS.

PAVEMENT
 1/2\"/>



24" x 24" CONCRETE CATCH BASIN BOX
 NOT TO SCALE

VERTICAL REINFORCING: 4# 2"x4" BARS AT 18" ON CENTER
 HORIZONTAL REINFORCING: 4# 2"x4" BARS AT 18" ON CENTER
 TOP REINFORCING: 4# 2"x4" BARS AT 18" ON CENTER
 SIDE REINFORCING: 4# 2"x4" BARS AT 18" ON CENTER
 3" MIN. CONC.
 1" FIN. CONC.
 1/2" FIN. CONC.
 1" FIN. CONC.

GENERAL WATER NOTES:

1. ALL ON-SITE WORK SHALL CONFORM TO THE STANDARDS & REQUIREMENTS OF THE CALIFORNIA WATER SERVICES BOARD (CWSB), CURRENT EDITION, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND CONFORMING WITH THE REQUIREMENTS OF THE DISCHARGEMENT FROM REGULATED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
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5. PIPE IS TO BE PLACED DEEPER AT THE CONNECTION POINT OF CONSTRUCTION STOP AND RETURN METERS TO THE EASTERN MARIPASA WATER DISTRICT.
6. ALL EXISTING WATER SERVICES TO BE ABANDONED-SHUT OFF AT CONNECTION STOP AND RETURN METERS TO THE EASTERN MARIPASA WATER DISTRICT.

GENERAL SEWER NOTES:

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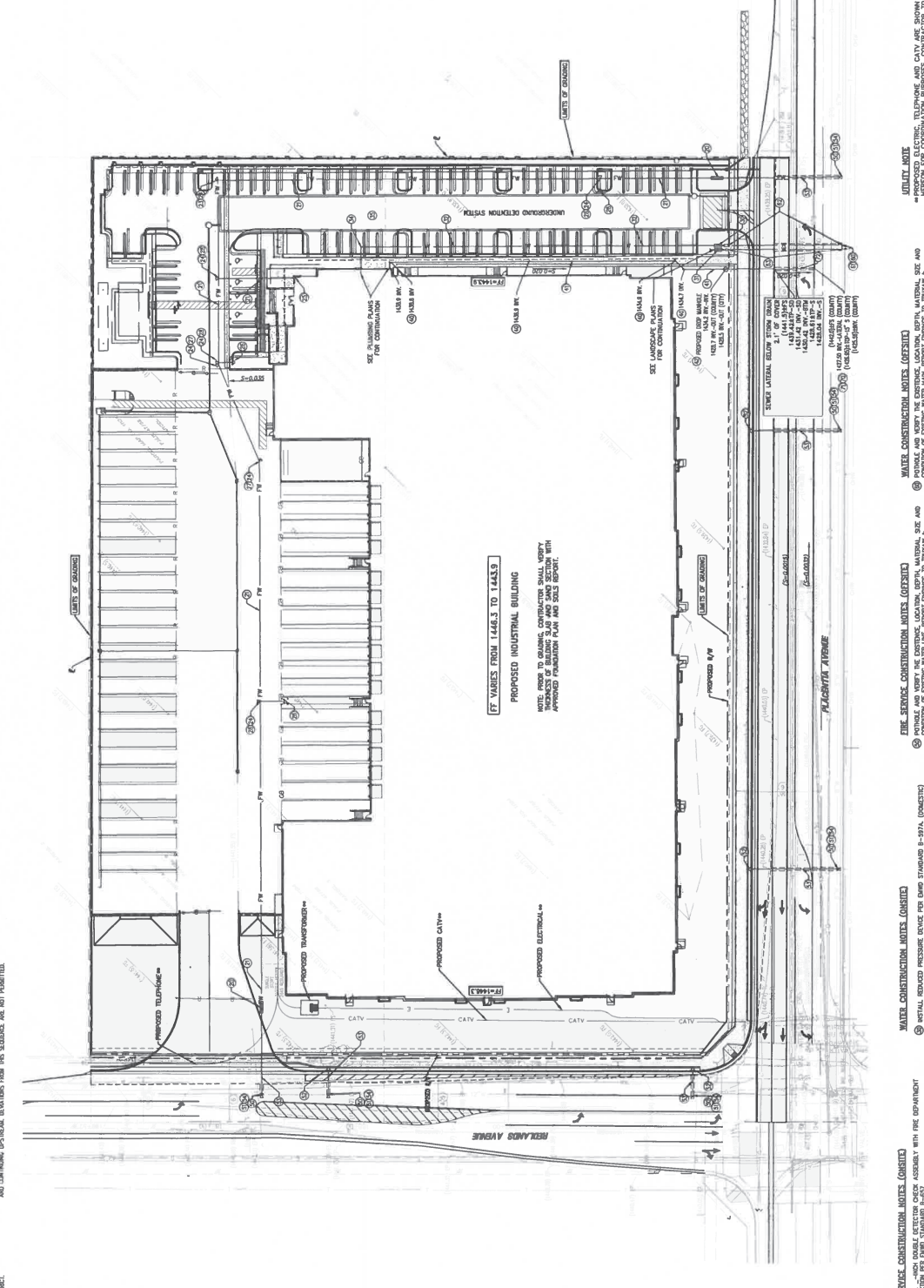
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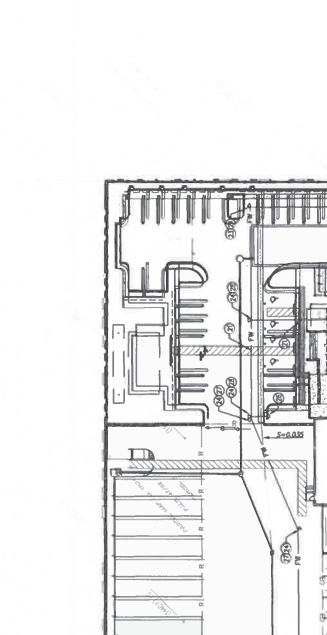
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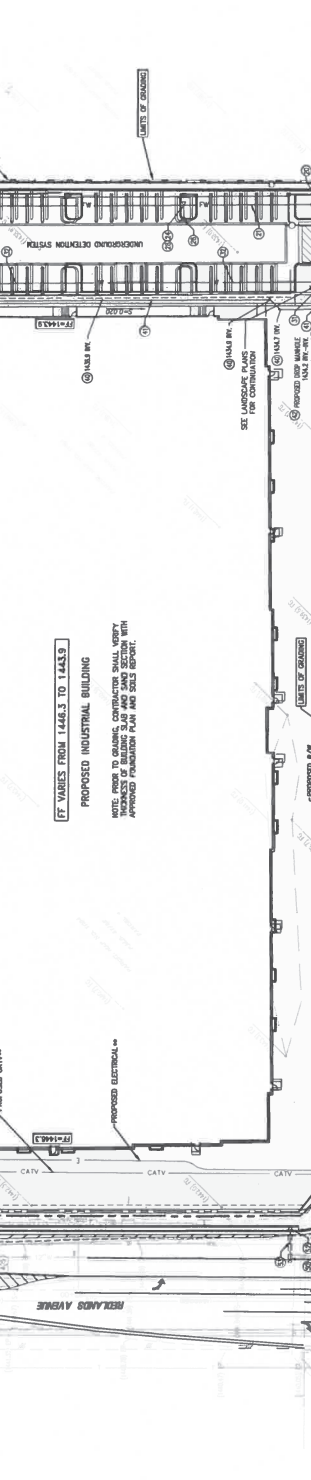
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PREPARED BY
Joseph C. Truxaw and Associates, Inc.
Civil Engineers and Land Surveyors
1515 S. Englewood Ave., Suite 101, Orange, CA 92668 (714) 555-0855
NO. REVISIONS DATE



FF VARIES FROM 1.448.3 TO 1.443.9
PROPOSED INDUSTRIAL BUILDING
NOTE: PILES TO BE LOCATED BY CONTRACTOR SHALL VERIFY VERTICALITY OF BUILDING 3/4" AND LAND SECTION WITH APPROVED FOUNDATION PLAN AND SOILS REPORT.



SCALE: 1"=30'
0 10 20 30 40 50 60 70 80 90

THIS PLAN IS:
PRELIMINARY
NOT FOR CONSTRUCTION

DATE: 1-8-23
BY: [Signature]
CHECKED BY: [Signature]
DATE: 02/01/2023
SHEET NO. 4 OF 4 SHEETS

CONCEPTUAL UTILITY PLAN
NW CORNER OF PLACENTA AVENUE AND REDLANDS AVENUE
IN THE CITY OF PERNIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



CONCEPTUAL LANDSCAPE PLAN DEDEAUX REDLANDS INDUSTRIAL

CITY OF PERRIS, CA

PLANTING LEGEND

| TREES | SYMBOL | TREE NAME | QTY. | WUCOLS |
|-------|--------|---|------|--------|
| | | PROPOSED STREET TREE ALONG REDLANDS AVE AND PLACENTIA AVE (ADJACENT TO RESIDENTIAL) | 24 | M |
| | | FLOWERING ACCENT TREE (TYP. HEAVY GREEN TREE PLANTING ALONG PL) | 11 | L |
| | | PARKING LOT SHADE TREE (30% OF PARKING LOT TREES TO BE 30" BOX SIZE) | 8 | L |
| | | VERTICAL SCREEN TREE (30" BOX SIZE STANDARD TRUNK) | 6 | L |
| | | PLANTAIN BACKSOMBRA (WESTERN NYCAJOMBE) | 6 | M |
| | | EVERGREEN SCREEN TREE (15 GAL. SIZE STANDARD TRUNK DOUBLE STAKE) | 24 | L |
| | | PROPERTY SCREEN TREE (COLUMNAR) | 24 | L |
| | | TREES WITH FOLIAGE (30" BOX SIZE STANDARD TRUNK DOUBLE STAKE) | 15 | M |

TOTAL NUMBER OF TREES = 123

SHRUBS

| SYMBOL | SHRUB MASS NAME | WUCOLS |
|--------|---|--------|
| | DOODIA V. PURPUREA - PURPLE HORSEDEE BUSH | L |
| | LEUCOPETALUM TEASALIA - TEASALIA | M |
| | LEUCOPETALUM FRUTICOSUM - TEXAS RANGER | L |
| | CALLIANDRA LITTLE JOHN - DWARF BOTTLE BRUSH | M |

GROUND COVERS

| SYMBOL | NAME | WUCOLS |
|--------|---------------------------------|--------|
| | PROSTRATA ROSEMARY | L |
| | PIGEON POINT DWARF COYOTE BRUSH | L |
| | PINK DOWN MYOPORUM | L |
| | PURPLE VERBENA | L |
| | PINK MULE | L |
| | RED YUCCA | L |
| | CLERLAND SAGE | L |

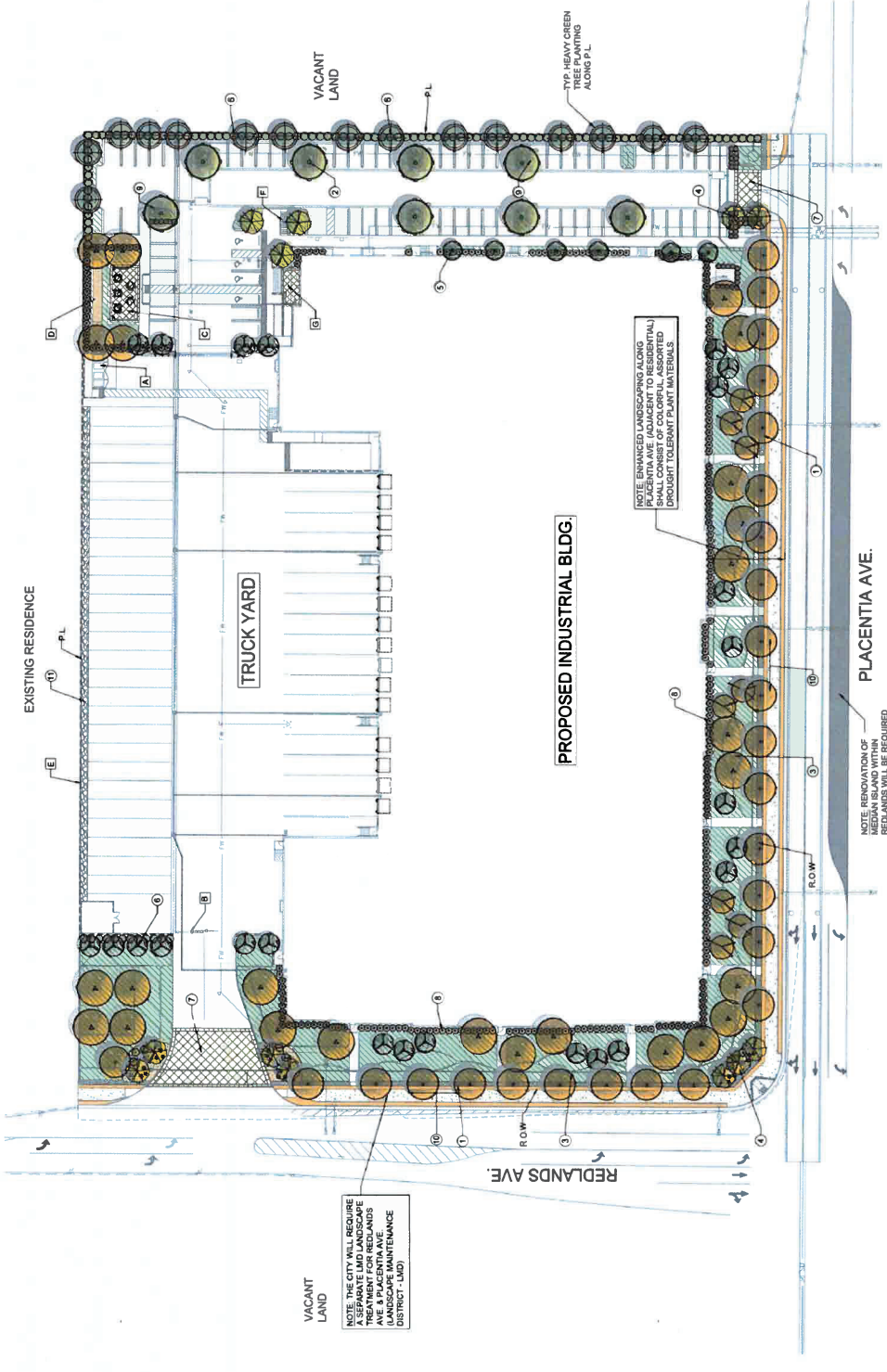
NOTE ALL SHRUBS PLANTING AREAS TO RECEIVE A 1" LAYER OF SHREDDED FINE WOOD MULCH

NON-ORGANIC MULCH LEGEND

| SYMBOL | NAME | WUCOLS |
|--------|--|--------|
| | DECOMPOSED GRANITE (MAX. SIZE 0.5" DEBRIS) COLORED GRANITE | L |
| | REVERSE SIDE COBBLE (2" SIZE AVAILABLE) | L |

ACCENT SUCCULENTS

| SYMBOL | NAME | WUCOLS |
|--------|------------------|--------|
| | BLUE GLOW SAGE | L |
| | KANGAROO PAW | M |
| | LOW GROWING REED | L |



DESIGN KEY NOTES:

- NEW STREET TREE PER LEGEND.
- PROPOSED NEW PARKING LOT SHADE TREE PER LEGEND.
- DROUGHT TOLERANT SHRUBS AND GROUND COVER PER LEGEND.
- NEW FLOWERING ACCENT TREES PER TREE LEGEND.
- VERTICAL GROWING TREE PER LEGEND.
- EVERGREEN SCREEN TREE PER LEGEND.
- SPAWNS CONCRETE AND FIVE CONCRETE AT VERTICAL ENTRIES.
- TYPICAL FOUNDATION SHRUB PLANTING PER LEGEND.
- SHRUBS TO BE INSTALLED WITH DEEP FOOT (GROUND) AND 18" DEPTH X 12" WIDE PANEL.
- REQUIRED (LAND) LANDSCAPE MAINTENANCE DISTRICT PER CITY PUBLIC WORKS DEPT. STANDARD.
- CRUSHED GRAVEL WITHIN TRUCK YARD.

REFERENCE KEY NOTES:

- TREES TO BE PLANTED PER ARCH. PLANS. TREES TRAINED TO WALL PER PLANTING PALETTE.
 - VEHICULAR GATE PER ARCH. PLANS.
 - EMERGENCY BREAK AREL.
 - HORSESHOE PIT.
 - SCREEN WALL PER ARCH. DWGS.
 - BIKE RACKS PER ARCH. DWGS.
 - HARDSCAPE ENTRY PAVING WITH ENHANCED TEXTURED PAVING (PER ARCH. PLANS).
- WUCOLS PLANT FACTOR
REGION 4-SOUTH INLAND
M = HIGH WATER NEEDS
L = MODERATE WATER NEEDS
M = LOW WATER NEEDS
L = VERY LOW WATER NEEDS

GENERAL NOTES:

- SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL MATS. SLOPES GREATER THAN 4:1 SHALL BE STABILIZED WITH SINDER MATERIAL SHALL BE APPLIED FOR EROSION CONTROL.
- GRASS MATERIAL SHALL BE INSTALLED WHERE DRAIN LINES CONNECT TO INFILTRATION AREAS.
- ALL UTILITY EQUIPMENT SUCH AS MISC. LOW VOLTAGE, FIRE, GAS, ETC. SHALL BE INSTALLED WITH DEEP FOOT (GROUND) AND 18" DEPTH X 12" WIDE PANEL.
- CONDITIONING UNITS WILL BE SCREENED WITH EVERGREEN PLANT MATERIAL ONCE FINAL LOCATIONS HAVE BEEN DETERMINED.

IRRIGATION NOTE:

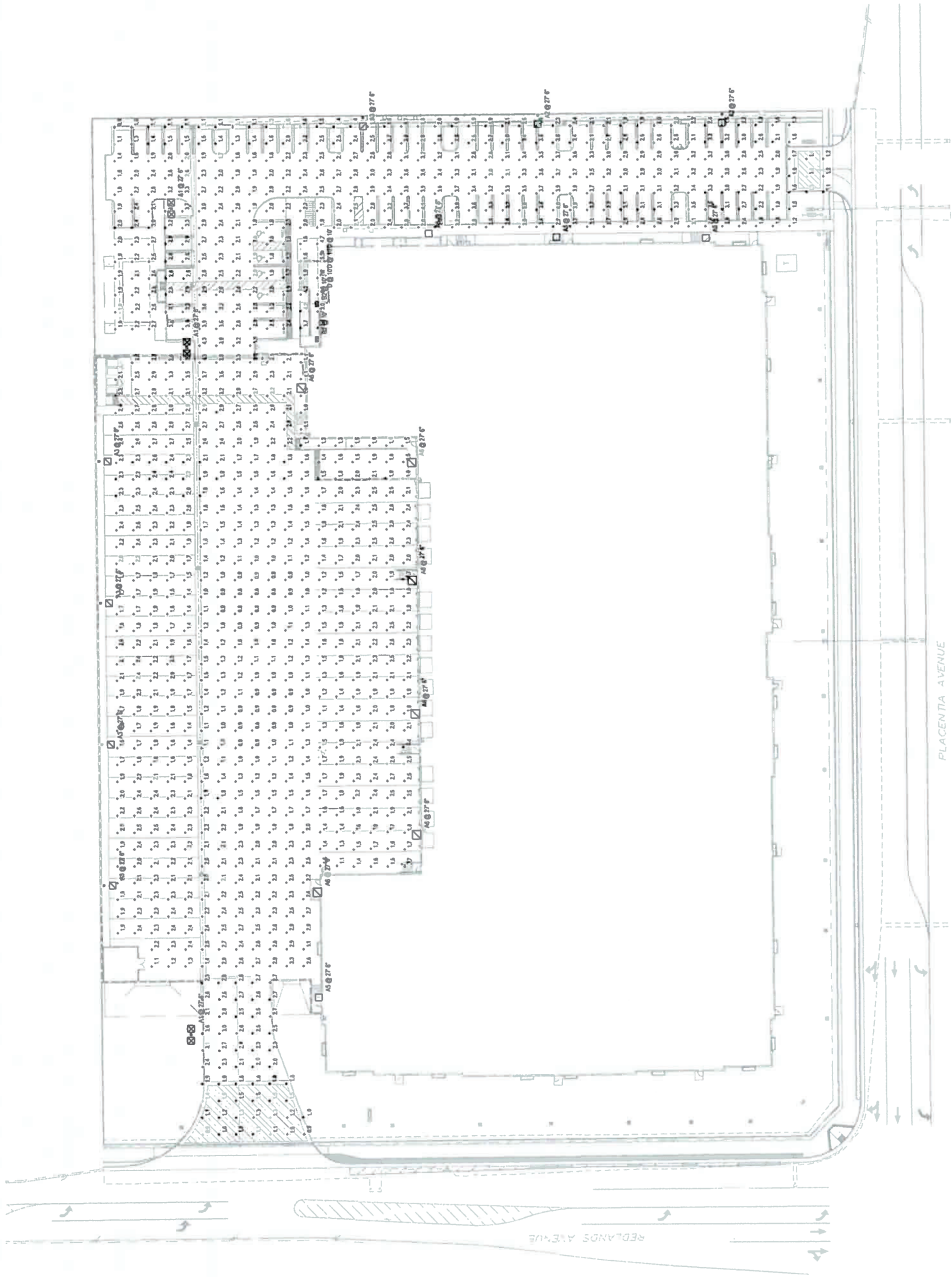
THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL INCLUDE LOW FLOW ROTORS, BUBBLER AND/OR DRIP SYSTEMS USED THROUGHOUT. THE IRRIGATION WATER EFFICIENCY WILL MEET OR EXCEED THE IRRIGATION WATER EFFICIENCY AS SET BY THE ORDINANCE. CORRECT GUYE IRRIGATION AS USUALLY WATER.

ALL IRRIGATION WATER WILL BE RECYCLED PER EMWD STANDARDS.

CONCEPTUAL PLAN NOTE:
THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON THE INFORMATION PROVIDED AND IS NOT MEANT TO BE A COMPLETE DESIGN. IT IS MEANT AS A COMPANION TO ANY EXISTING OR FUTURE DEVELOPMENT STRATEGIES AND ANY QUANTITIES INFORMATION BECOMES AVAILABLE.

REFERENCE NOTES

1. SEE POLYBASE DETAIL THESE DRAWINGS



| Statistics | | | | | | |
|---------------|--------|--------|--------|---------|---------|--------|
| Description | Symbol | Avg | Max | Max/Min | Avg/Min | Min |
| Cells Zone #1 | + | 2.2 fc | 8.8 fc | 11.0:1 | 2.8:1 | 0.8 fc |

SITE PHOTOMETRIC
SCALE: 1" = 50'-0"

| Area | Code | Area | Description | Area | Description | Area | Description | Area | Description |
|------|------|------|----------------|------|----------------|------|----------------|------|----------------|
| 1 | A1 | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING |
| 2 | A2 | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING |
| 3 | A3 | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING |
| 4 | A4 | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING |
| 5 | B1 | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING |
| 6 | B2 | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING |
| 7 | D | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING | 1 | PLANT BUILDING |

DISCLAIMER:
THIS PHOTOMETRIC STUDY HAS BEEN PREPARED IN ACCORDANCE WITH THE IESNA ILM-10-10 LIGHTING HANDBOOK. THE DATA FILED ARE PROVIDED BY THE MANUFACTURER. THE MANUFACTURER'S DATA MAY VARY FROM THE ACTUAL INSTALLED EQUIPMENT. THE MANUFACTURER'S DATA IS PROVIDED AS A GUIDE ONLY. THE ACTUAL LIGHTING CONDITIONS WILL VARY FROM THE DATA PROVIDED. THE MANUFACTURER'S DATA IS PROVIDED AS A GUIDE ONLY. THE ACTUAL LIGHTING CONDITIONS WILL VARY FROM THE DATA PROVIDED. THE MANUFACTURER'S DATA IS PROVIDED AS A GUIDE ONLY. THE ACTUAL LIGHTING CONDITIONS WILL VARY FROM THE DATA PROVIDED.

REDLANDS INDUSTRIAL FACILITY
PERRIS, CA



SITE PHOTOMETRIC



E-1
2021-5
2023-01

EXHIBIT F

Public Comments and Response to Comments

*Due to the size of the file, the documents are
available online at:*

[https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-348#docan1206 1313 479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-348#docan1206_1313_479)

EXHIBIT G

Initial Study / Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, Associated Technical Studies

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