



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

MEETING DATE: June 21, 2023

SUBJECT: Vesting Parcel Map 22-05043 (VPM 38384) and Development Plan Review 22-00003 – A proposal to consolidate eighteen (18) parcels into one 14.15-acre lot for the construction of a 263,820 square foot industrial warehouse building located on the southwest corner of Nance Street and Patterson Avenue, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCCSP) (APNs: 314-110-008, -009, -010, -016, -017, -018, -020, -021, -022, -023, -043, -044, -045, -046, -052, -053, -058, and -059). Applicant: Michael Sajjadi of RG Patterson LLC.

REQUESTED ACTION: Adopt Resolution 23-19, adopting the Mitigated Negative Declaration No. 2375 and the Mitigation Monitoring and Reporting Program, and approve Vesting Parcel Map 22-05043 (VPM 38384) and Development Plan Review 22-00003 to facilitate the consolidation of eighteen (18) parcels into one parcel for the construction of a 263,820-square foot industrial warehouse building, based on the findings and subject to the Conditions of Approval.

CONTACT: Kenneth Phung, Director of Development Services

PROJECT SITE BACKGROUND:

The project site consists of eighteen (18) parcels totaling 14.15 acres. The site is generally flat and currently contains a truck trailer storage yard with modular office buildings. Surrounding uses include industrial warehouses with outdoor storage yards and a legal non-conforming single-family residence to the north across Nance Street, vacant land and a warehouse facility across Patterson Avenue to the east, industrial uses across Washington Street to the South, and Interstate 215 and Wade Avenue to the west.

The site is also located in the C1 (Primary Approach/Departure Zone) of the March Air Force Base/Inland Port Airport Land Use Compatibility Plan (MARB/IPA ALUCP), which prohibits children's schools, daycare centers, libraries, hospitals, congregate care facilities, places of assembly, and limits the number of people per acre to an average of 100 people.

As a matter of information, this project was submitted on February 11, 2022, prior to the adoption of the Industrial Good Neighbor Guidelines in September 2022. Although the development is not subject to the provisions of the Industrial Good Neighbor Guidelines, the

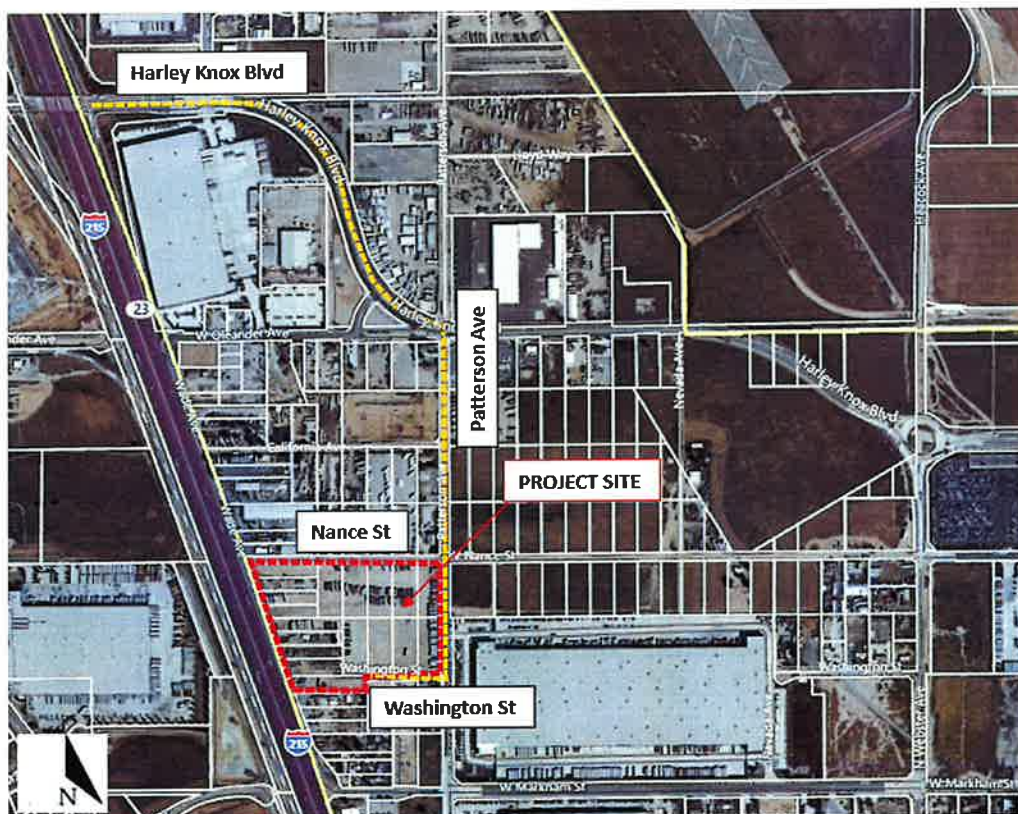
development complies with the minimum 300-foot separation requirement from residential uses, including legal non-conforming residential, as it provides 448 feet from the truck doors to the nearest property line to the north, across Nance Street, where the non-conforming single family residence exist; and it provides 559 feet from the truck doors to the nearest property line to the south with legal non-conforming residential, that is separated by an existing contractor storage yard.

PROJECT DESCRIPTION:

The applicant is requesting approval of a Vesting Parcel Map and a Development Plan Review to consolidate eighteen (18) parcels into one 14.15-acre parcel for the construction of a 263,820-square-foot industrial warehouse building.

The proposed industrial warehouse building consists of 10,000 square feet of ground floor office area, 6,304 square feet of mezzanine office area, and 253,820 square feet of warehouse area. A total of 37 dock-high loading doors and two at-grade loading areas are located on the south side of the building. A total of 146 parking spaces are proposed for employees and visitors along the east, southeast, and west sides of the site. A total of 59 parking spaces are provided for trucks on the south side of the site.

Access to passenger vehicles is provided via two separate driveways on Nance Street, a driveway on Patterson Avenue to the east, and a driveway on Wave Avenue to the west. Truck access is provided via two separate driveways on Washington Street to the south. Trucks are anticipated to access the I-215 Freeway by exiting the project site via Washington Street, to Patterson Avenue, to Harley Knox Boulevard, consistent with the City's adopted truck route.



PROJECT ANALYSIS:

The table below summarizes the project's consistency with the General Plan, PVCC Specific Plan, Zoning Code, and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan:

	Consistent	Inconsistent
<p>Consistency with the General Plan</p> <p>The project is located in Planning Area 1 (North Commercial/Industrial) area of the General Plan, which allows for light industrial uses, business park uses, and commercial opportunities due to the area's proximity to the I-215 freeway, the cargo airport, other industrial and commercial land uses, and an existing rail line along the western edge of the Planning Area. As proposed, the project will be consistent with the General Plan and will further the following General Plan Circulation Element goals:</p> <ul style="list-style-type: none"> ○ Goal II – A well planned, designed, constructed, and maintained street and highway system that facilitates the movement of vehicles and provides safe and convenient access to surrounding developments. ○ Goal V - Efficient goods movement. <ul style="list-style-type: none"> - V.A.8: Require streets abutting properties in Light Industrial and General Industrial zones to conform to standard specifications for industrial collector streets to accommodate the movement of heavy trucks. - V.A.8: Provide adequate off-street loading areas for all commercial and manufacturing land uses. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the Perris Valley Commerce Center (PVCC) Specific Plan and Title 19 - Zoning Code</p> <p>The project site has a zoning designation of LI-Light Industrial, which is intended for manufacturing, research, warehouse, and distribution. The project proposes to develop the subject site with an industrial warehouse building, which will be consistent with the LI Zone.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with Title 18 – Subdivision Code</p> <p>To facilitate this project, a Vesting Parcel Map is proposed, which will consolidate eighteen (18) parcels into one 14.15-acre parcel. The primary difference between the Parcel Map and Vesting Parcel Map is the vested right to develop a future project under the current set of development standards and fees that a vesting map grants. The vesting map establishes a degree of certainty for</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Consistent	Inconsistent
<p>the applicant with regard to future fees and development standards under which the project will be built.</p> <p>Vesting Maps are much less common than standard maps, primarily due to the fact that the submittal requirements are much greater than for standards maps. Detailed information related to grading, infrastructure, and construction information must be submitted concurrently with the map so that a complete project review may be done along with the map review. This information is generally not available at the time that maps are proposed and, therefore, cannot meet the Vesting Map standards. In this case, the applicant has gone through two (2) plan checks with the City's Engineering department for both on-site and off-site infrastructure improvements, and the final map is under review by the 'City's consultant, Action Surveys.</p> <p>Lastly, it should be noted that the applicant is in agreement that the project will pay the DIF (Development Impact Fees) at the time of building permit issuance.</p>		
<p>Consistency with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB/IPA ALUCP)</p> <p>The Project site is located within Zone C1 (Primary Approach/Departure Zone) of the MARB/IPA ALUCP. Compatibility Zone C1 is a primary approach/departure zone (Exhibit D). The proposed project was analyzed for consistency with the C1 Zone and was determined to be consistent with the Airport Plan.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

The table below summarizes compliance with the PVCCSP Development Standards for the Light Industrial Zone and Chapter 19.69 – Parking Development Standards of the Zoning Code.

Perris Valley Commerce Center Specific Plan Light Industrial Zone - Development Standards					
Standard		Proposed	Consistent	Inconsistent	
Lot Coverage	50 percent maximum		42.8 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>
FAR (Floor Area Ratio)	0.75		0.43	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Lot Size	15,000 square feet (0.34 acres)		14.15 acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Maximum Building Height	50 feet		46.5 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Setbacks	Front Yard: Nance St (north)	25 feet	33 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Interior Side Yard: Patterson Ave (east)	25 feet	188 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Wade St (west)	25 feet	40 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rear Yard (South)	0 feet	327 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Landscape Coverage	12 percent		16.5 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Parking Standards Chapter 19.69 – Parking Development Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Industrial High-Cube Warehousing	Warehouse: 20,000 s.f. (1 space/1,000 s.f.)	20 spaces	146 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	20,000 s.f. (1 space /2,000 s.f.)	10 spaces			
	40,000 – and up (1 space /5,000 s.f.)	45 spaces			
Total Parking		75 spaces	146 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Parking			71 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS

- **Building Elevations/Architecture**

The proposed building elevations reflect the current industry standard and style for concrete tilt-up construction. It utilizes varying complementary colors and materials to distinguish the building's base, body, and cap, as required by the PVCCSP. The building's design elements include a combination of varying rooflines, decorative cornice (roof cap) treatment, aluminum mullion system windows, coronado stone brick, and recessed panels

to create both horizontal and vertical variations for visual interest. The proposed color palette includes shades of grey and white. The combination of the proposed colors, articulated building elevations, varying roof height, enhanced corrugated metal panels and porcelain tile treatments provides visual interest to the building (Exhibit E).

- **Employee Amenity and Recreation area**

Buildings over 100,000 square feet must have at least one (1) indoor employee amenity and two (2) outdoor employee amenities. The proposed project includes three (3) outdoor amenity areas consisting of two (2) landscaped, concrete lunch patios with seating area covered with a trellis structure on the east and west sides of the building and one (1) bocce ball court on the east side of the building. In addition, an indoor unidentified amenity area is proposed on the east side of the building. As proposed, the project amenities comply with the requirements of the Code (Exhibit E).

- **Landscaping**

The proposed conceptual landscape plan has been designed to provide a mix of Australian Willow, Museum Palo Verde, Mondell Pine, and Wester Sycamore trees along Nance Street. London Plane, Museum Palo Verde, Mondell Pine, Wester Sycamore, and Australian Willow trees along Patterson Avenue. Museum Palo Verde, Evergreen Elm, and Wester Sycamore, trees along Wade Street. London Plane, Western Sycamore, and Australian Willow trees along Washington Street. Evergreen Elm and Fern Pine are planted throughout the parking lot on the eastern and western site boundaries.

Overall, the on-site landscaping area totals approximately 101,363 square feet or 16.5%, which exceeds the minimum landscape requirement of 12%. Therefore, the conceptual landscaping complies with the landscape requirements of the PVCC Specific Plan (Exhibit E).

- **Fencing/Walls**

Decorative tilt-up screen walls with decorative pilasters are proposed for screening, privacy, noise control, and security. A 14-foot high decorative tilt-up wall is proposed on the east side, along Washington Street frontage (south side), and Wade Street frontage (west side) of the truck loading and parking area to screen the loading activity area from public view. Steel gates with obscure material are proposed to secure the truck loading area. Additionally, decorative pilasters will be added every 75 to 100 feet to break up the massing of decorative tilt-up screen walls along the South, and west sides of the truck loading and parking area, which is located at the rear of the building. (Exhibit E).

ENVIRONMENTAL CONSIDERATIONS AND CEQA PROCESS

An Initial Study was prepared for the project in accordance with the California Environmental Quality Act (CEQA), which concluded that all potential significant effects on the environment can be reduced to less than significant levels with mitigation measures. In accordance with the California Environmental Quality Act (CEQA), a Notice of Intent to adopt a Mitigated Negative Declaration (NOI) was published with a 30-day public review period starting on April 14, 2023, and ending on May 15, 2023. The NOI was also posted on the City's website and at City Hall and

sent to public agencies and property owners within a 300-foot radius of the Project site. The IS/MND 2375 has been available for public review at the Development Services public counter, and on the City's website.

During the thirty-day comment period, the City received one (1) comment letter from the following interested parties (Exhibit F):

1. Riverside County Flood Control and Water Conservation District – Provided a general comment recommending that the applicant enters into a cooperative agreement with the district. The project is located within the Perris Valley drainage plan for which drainage fees have been adopted, and an encroachment permit is required for any construction related activities within the district right-of-way or facilities.

Responses to Comments were prepared and included in the Final MND 23754. The comment letter did not raise additional environmental concerns that have not already been addressed in the IS/MND 2375 or constitute "significant new information," or meet any of the conditions in Section 15088.5 of the State CEQA Guidelines that would require recirculation of the IS/MND 2375 (Exhibit G).

PUBLIC HEARING NOTICE:

A notice of public hearing for the Planning Commission meeting was published in the local newspaper and sent to agencies and property owners within 300 feet of the project site. As of the preparation of the staff report, no additional comments have been received by staff.

RECOMMENDATION:

The Planning Commission adopt Resolution 23-19 adopting Mitigated Negative Declaration No. 2375 and the Mitigation Monitoring and Reporting Program and approve Vesting Parcel Map 22-05043 (VPM 38384) and Development Plan Review 22-00003 to consolidate eighteen (18) parcels into one 14.15-acre parcel to facilitate the construction of a 263,820 square foot industrial warehouse building, based on the findings and the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: There is no fiscal impact associated with this project since all project costs are borne by the applicant.

Prepared by: Lupita Garcia, Associate Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Resolution 23-19 including Conditions of Approval (Planning, Engineering, Public Works, Community Services, and Building & Safety).
- B. Location/Aerial Map
- C. PVCCSP Land Use Map
- D. MARB/IPA ALUCP Map

- E. Project Plans (Site Plan, Floor Plan, Building Elevations, Fence and Wall Plan, Line of Sight Cross Sections, Conceptual Grading Plan, Grading Plan Cross Sections, Conceptual Utility Plan, Conceptual Landscape Plan, and Site Photometric Plan)
- F. Public Comments and Response to Comments
Due to the size of the file, the documents are available online at:
https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-369#docan1206_1313_479
- G. Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, Associated Technical Studies.
Due to the size of the files, the documents are available online at:
https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-369#docan1206_1313_479

Consent:
Public Hearing: x
Business Item:
Presentation:
Other:

EXHIBIT A

Resolution 23-19 with Conditions of
Approval (Planning, Engineering, Public
Works, and Building & Safety)

RESOLUTION NUMBER 23-19

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ADOPTING MITIGATED NEGATIVE DECLARATION 2375 AND APPROVING VESTING PARCEL MAP 22-05043 (VPM 38384) AND DEVELOPMENT PLAN REVIEW 22-00003 TO CONSOLIDATE EIGHTEEN (18) PARCELS INTO ONE 14.15-ACRE PARCEL FOR THE CONSTRUCTION OF A 263,820 SQUARE FOOT INDUSTRIAL BUILDING LOCATED AT THE SOUTHWEST CORNER OF NANCE STREET AND PATTERSON AVENUE BASED UPON THE FINDINGS PROVIDED HEREIN AND SUBJECT TO CONDITIONS OF APPROVAL.

WHEREAS, the Project applicant, Michael Sajjadi of RG Patterson LLC proposes to consolidate eighteen (18) parcels into one 14.15-acre parcel for the construction of a 263,820 square foot industrial building located at the southwest corner of Nance Street and Patterson Avenue and which is located in the Perris Valley Commerce Center Specific Plan ("PVCCSP") Light Industrial (LI) Zone ("Project"); and

WHEREAS, the applicant submitted Vesting Parcel Map 22-05043 (VPM 38384) and Development Plan Review application (DPR 22-00003) for the Project for consideration of parcel consolidation and architectural design and site layout; and

WHEREAS, proposed Vesting Parcel Map 22-05043 ("VPM 38384") and Development Plan Review 22-00003 ("DPR 22-00003") is considered a "project" as defined by the California Environmental Quality Act ("CEQA"); and

WHEREAS, pursuant to CEQA and State CEQA Guidelines, an Initial Study (IS) was prepared for the proposed Project and, based upon thereof, Mitigated Negative Declaration 2375 was prepared for the Project; and

WHEREAS, the Planning Commission held a duly noticed public hearing on June 21, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS does resolve as follows:

Section 1. Recitals. The above recitals are all true and correct and are incorporated herein by this reference.

Section 2. Environmental Analysis. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on June 21, 2023, the Planning Commission hereby determines pursuant to Section 15070 of the CEQA Guidelines that, based upon on the Initial Study prepared for the Project in accordance with City of Perris guidelines for implementing CEQA, all potential significant effects on the environment can be reduced to a less than significant level through mitigation measures, the design of the development, the Zoning Code, and standard requirements of the City; therefore Mitigated Negative Declaration No. 2375 has been prepared, with findings that:

- A. No significant environmental effects would occur, and there is no substantial evidence, in light of the whole record, that the Project as revised may have a significant effect on the environment if mitigation measures are implemented pursuant to Mitigated Negative Declaration No. 2375, which has been prepared for this Project.
- B. The City has complied with CEQA.
- C. Determinations of the Planning Commission reflects the independent judgment of the City.

Section 3. Based upon the preceding, the Mitigated Negative Declaration Report (MND 2375), and all oral and written communication submitted by members of the public and City staff to the Planning Commission on June 21, 2023, public hearing (including, but not limited to, all staff reports and supporting exhibits), the Planning Commission further finds the following:

Vesting Parcel Map 22-05043 (VPM 38384)

- 1. *The proposed map is consistent with the applicable General and Specific Plans.*

The Project proposes a Vesting Parcel Map to consolidate eighteen (18) parcels into one 14.15-acre lot. The map is consistent with the minimum lot size requirement of 15,000 square feet in the Light Industrial (LI) Zone to facilitate the construction and operation of a 263,820-square foot-warehouse. The Project site is also located in the area designated as Planning Area 1, which allows for light industrial uses.

- 2. *The site is physically suitable for the type and density of the proposed development.*

As noted above, the Project proposes a vesting parcel map to consolidate eighteen (18) parcels into one 14.15-acre lot for the construction of an industrial warehouse. The Project has been designed to be consistent with all applicable Code requirements for industrial projects in the LI Zone of the PVCCSP, including lot coverage, floor area ratio, height, setbacks, landscaping, and parking noted in the staff report.

3. *The map's design or the type of improvements will not cause substantial environmental damage or unavoidably injure fish, wildlife, or their habitat.*

The potential environmental impacts associated with the Project were evaluated in the Mitigated Negative Declaration (MND 2375). It has been determined that all possible effects of the Project will be reduced to less than significant levels.

4. *The map's design or the type of improvements will not cause serious public health problems.*

The MND prepared for the Project concludes that all impacts have generally been reduced to less than significant or have been reduced to below the level of significance with the implementation of mitigation measures.

Development Plan Review 22-00003. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on June 21, 2023, the Planning Commission finds, with respect to Vesting Parcel Map 22-05043 (VPM 38384) and Development Plan Review 22-00003, that:

- 1) *The location, size, design, density, and intensity of the proposed development and improvements are consistent with the City's General Plan, the Perris Valley Commerce Center Specific Plan, the purposes and provisions of the Perris Municipal Code ("PMC"), the purposes of the Zone in which the site is located, and the development policies and standards of the City.*

The Light Industrial land use designation provides for the development of basic industrial use, which may support a wide range of manufacturing and non-manufacturing uses, from large-scale warehouses and warehouse/distribution facilities to outdoor industrial activities. The proposed Project is consistent with the General Plan and Perris Valley Commerce Center Specific Plan ("PVCCSP"), the LI zoning designation on the site, and the existing land uses in the area. The Project, as conditioned, meets or exceeds all design and development criteria of the underlying LI Zone, which implements the development standards and policies of the City and the PVCCSP.

- 2) *The proposed Project site is physically suitable, including but not limited to parcel size, shape, access, and availability of utilities and services, for the type of development proposed.*

The proposed Project is physically suitable in terms of parcel size, shape, access, and availability to utilities and services, as the site is located at the southwest corner of Nance Street and Patterson Avenue, which allows for adequate access and provides for the logical connection to infrastructure to service the site. Utility service connections are available to service the site.

- 3) *The proposed Project and the conditions under which it would be operated or maintained are compatible with abutting properties and will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity.*

As conditioned, the proposed Project will not be detrimental to the public health, safety or welfare, or injurious to property and improvements in the vicinity or to the City's general welfare, in that the Project is designed in conformance with the City's Zoning Code. Further, the proposed Project meets or exceeds the design and development standards of the PVCCSP and, therefore, will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity. These standards include setbacks, building height, parking, and landscape and will integrate into the existing fabric of industrial development that is contemplated for the area.

- 4) *The proposed project's architecture includes updated and enhanced architecture that is compatible with community standards and protects the character of adjacent development.*

The proposed architecture meets PVCCSP design standards for Light Industrial development, and thereby protects the character of the overall development of the PVCCSP industrial zones and, therefore, is compatible with community standards and protects the character of adjacent development. Enhanced architecture, site design, and landscaping have been provided for the Project. The building design features symmetry and balance with enhanced architectural treatments at the corners of the building. The proposed color palette and materials provide a variety and interest through the use of color tones ranging from white and grey throughout the building wall surface and to further accentuate the corner and pop-out façade elements. Glazing treatments have been applied on all facade's windows, and the use of corrugated metal panels and porcelain tile provide additional texture along with the building entrance corners.

- 5) *The proposed Project's landscaping plan ensures visual relief and provides an attractive environment for the public's enjoyment.*

The proposed Project meets and exceeds the on-site and off-site landscape standards for the Light Industrial (LI) Zone as outlined in the PVCCSP. The requirements ask for 12% coverage, and the Project is proposing 16.5%. It provides a mix of native and drought-tolerant trees, shrubs, ground cover, and annual color throughout the site to ensure visual relief and effectively frame, soften, and embellish access points, building entries, parking areas and trash enclosures.

- 6) *The safeguards necessary to protect public health, safety, and general welfare have been required for the proposed Project.*

The proposed Project provides the safeguards necessary to protect the public health, safety, and general welfare through the conditions of approval, which are attached hereto and incorporated herein by this reference as Attachments 1 and 2 and mitigation measures found in Mitigated Negative Declaration No. 2375 which are incorporated herein by this reference, which will ensure that the Project is developed in compliance with City and affected service agency codes and policies and mitigates potential impacts to the environment.

Section 4. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on June 21, 2023, the Planning Commission adopts Mitigated Negative Declaration No. 2375 and Mitigation Monitoring and Reporting Program.

Section 5. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on June 21, 2023, the Planning Commission hereby determines that the Project is covered under Mitigated Negative Declaration No. 2375, as adopted, and hereby approves the Project (Vesting Parcel Map 22-05043 (VPM 38384) and Development Plan Review 22-00003) to consolidate eighteen (18) parcels into one 14.15-acre parcel for the construction of a 263,820 square foot industrial building located at the southwest corner of Nance Street and Patterson Avenue; subject to the Planning Division, Building, Fire, Public Works and Engineering Departments' Conditions of Approval (COA) and the Mitigation Monitoring and Reporting Program attached hereto as Attachments 1 and 2, and incorporated herein by this reference.

Section 6. The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 7. The Chairperson shall sign, and the Secretary shall certify to the passage and adoption of this Resolution.

ADOPTED, SIGNED, and APPROVED this 21st day of June 2023.

CHAIRPERSON, PLANNING COMMISSION

ATTEST:

Secretary, Planning Commission

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Patricia Brenes, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 23-19 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 21st day of June 2023, and that it was so adopted by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Secretary, Planning Commission

Attachments: 1. Conditions of Approval (Planning, Engineering, Public Works, and Building & Safety)

2. Mitigation Monitoring and Reporting Program.

Due to the size of the files, the documents are available online at:

https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-369#docan1206_1313_479

ATTACHMENT 1

Conditions of Approval (Planning,
Engineering, Public Works, and Building &
Safety)

**CITY OF PERRIS
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

REVISED PLANNING COMMISSION CONDITIONS OF APPROVAL

**Vesting Parcel Map 22-05043 (VPM 38384) and
Development Plan Review 22-00003**

June 21, 2023

PROJECT: Vesting Parcel Map 22-05043 (VPM 38384) and Development Plan Review 22-00003 – A proposal to consolidate eighteen (18) parcels into one 14.15-acre lot for the construction of a 263,820 square foot industrial warehouse building located on the southwest corner of Nance Street and Patterson Avenue, within the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan (PVCCSP) (APNs: 314-110-008, -009, -010, -016, -017, -018, -020, -021, -022, -023, -043, -044, -045, -046, -052, -053, -058, and -059). Applicant: Michael Sajjadi of RG Patterson LLC.

General Requirements:

1. **Mitigation Measures.** All mitigation measures shall be satisfied in conformance with the Mitigation Monitoring and Reporting Program.
2. **Municipal Code and Specific Plan Compliance.** The project shall conform to the standards of Light Industrial (LI) Zone of the *Perris Valley Commerce Center Specific Plan* (PVCCSP) and Chapter 19 of the Perris Municipal Code.
3. **Future Obligation of Buyers and Lessees.** All future buyers and lessees shall be informed of their obligation to comply with these Conditions of Approval. The applicant shall provide a copy of these conditions and inform the buyer or lessee of their obligation to maintain compliance with all local and City ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
4. **Expansion of Use.** No expansion of the site or the use shall occur without subsequent reviews and approvals from the Planning Division.
5. **Term of Approval. Approval Period for Vesting Parcel Map 22-05043 (VPM 38384) and Development Plan Review 22-00003.** The Vesting Parcel Map and Development Plan Review shall expire in two years from the City Council final action for consistency with the time limits of the map. Within two years, the applicant shall demonstrate the beginning of substantial construction as approved, which shall thereafter be diligently pursued to completion or substantial utilization. If this does not occur **six**, one year time extension may be requested for consistency with the Subdivision Map Act. A written request for extensions shall be submitted to the Planning Division at least thirty (30) days prior to the initial (and any subsequent extension) expiration of the Vesting Parcel Map and Development Plan Review.
6. **City Ordinances and Business License.** The subject business shall maintain compliance with all local and City Ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.

7. **Notice of Determination.** Within five (5) days of City approval, the applicant shall work with Planning Staff on filing the Notice of Determination and application fee for the project Mitigated Negative Declaration to the Riverside County Clerk Recorder.
8. **Conformance to Approved Plans.** The proposed use will operate in accordance with the June 21, 2023, Planning Commission meeting approval or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.
9. **Prior to occupancy.** Applicant shall work with staff to provide an electric vehicle charging station unit.
10. **Signage.** The applicant shall provide appropriate signage to direct passenger vehicles from entering the truck access drive aisle.
11. **Graffiti** located on-site shall be removed within 48 hours. The site shall be maintained in a graffiti-free state at all times. Graffiti shall be painted over in panels and not patches. In addition, paint shall match color of wall or material surface. Furthermore, the applicant shall apply an anti-graffiti coating on walls, including perimeter walls and fencing.
12. **Building & Safety Division.** The project shall comply with all Conditions of Approval by the Building and Safety Department dated February 28, 2022.
13. **ADA Compliance.** The project shall conform to all disabled access requirements in accordance with the State of California, Title 24, and the Federal Americans with Disabilities Act (ADA).
14. **Rooftop Solar.** The project does not propose rooftop solar panels at this time. Should the project in the future proposes solar rooftop panels, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Riverside County Airport Land Use Commission (ALUC).
15. **Fire Department Conditions.** The project shall comply with all Conditions of Approval by the Fire Department dated June 23, 2022, consisting of the following requirements.
 - a. The adopted edition of the California Code of Regulations, Title 24, Parts 1 through 12, and the Perris Municipal Code shall apply at the time the architectural plans are submitted for construction permits
 - b. The project shall comply with all requirements set forth by the California Code of Regulations Title 24 Part 1-12 respectively.
 - c. All required fire hydrants shall be installed and operational prior to ~~building construction~~ **roof structure combustibles**. All fire hydrants shall remain operational during construction. **The applicant shall work with the Fire Department to revise this condition to pertain to construction types.**

- d. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
- e. The private underground fire-line system shall have indicating sectional valves for every five (5) appurtenances. Chapter 5.
- f. The Fire Department Connection (FDC) shall be located within 150 feet of a public fire hydrant. The fire hydrant shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and fire hydrant.
- g. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
- h. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
- i. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation.
- j. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven-feet above the finished surfaced and near the main entrance door.
- k. Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system. The emergency radio communication enhancement system shall meet the requirements of CFC § 510 and all applicable subsection. The system shall be installed and inspected by the City of Perris Building Department before the Certificate of Occupancy is issued. The requirement can be waived by the Fire Marshal if the building is evaluated by an Emergency Radio Communication Specialist license by FCC, who certifies the building meets the emergency communications capability as specified by the California Fire Code § 510. The certification shall be in the form of a written report which outlines the analysis used in determining the building meets the emergency communications without an enhancement system.
- l. City of Perris approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.
- m. City of Perris approval shall be obtained prior to any high pile storage (HPS) as defined by the CFC.

16. **Public Works.** The project shall adhere to the requirements of the Public Works Department as indicated in the attached Conditions of Approval dated July 26, 2022.

17. **City Engineering.** The Project shall comply with all requirements of the City Engineer's Conditions of Approval dated May 12, 2023.
18. **Community Services.** The Project shall comply with all requirements of the City Community Services Conditions of Approval dated May 19, 2022.
19. **Sign Application.** A separate sign application will be required for any signs.
20. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City concerning **Vesting Parcel Map 22-05043 (VPM 38384) and Development Review (DPR) 22-00003**. The City shall promptly notify the applicant of any claim, action, or proceeding for which indemnification is sought, and shall further cooperate fully in the defense of the action.
21. **Southern California Edison (SCE).** The developer/owner shall contact Southern California Edison SCE area service planner (951 928-8323) to complete the required forms prior to commencement of construction. No grading permits shall be issued until a letter from SCE is received by the City Engineer indicating electrical service will be placed underground.
22. **Waste Hauling and Disposal.** The project shall use only the City-approved waste hauler for all construction and other waste disposal.
23. **On-site & Off-site Utilities.** All utilities attached to buildings, including meters and utility boxes, shall be painted to match the wall of the building to which they are affixed. These facilities shall also be screened from the public right-of-way by landscaping or physical barrier such as a wall.
24. **Site Lighting Plan.** The photometric study shall conform to the requirements of the City's adopted Mount Palomar Ordinance and be submitted to the Planning Division for final review and approval. Full cutoff fixtures shall be used to prevent light and glare above the horizontal plane of the bottom of the lighting fixture. A minimum of one (1) foot-candle of light shall be provided in parking and pedestrian areas. All lighting shall be shielded downward to prevent light pollution from spilling over onto adjacent parcels and public rights of way.
25. **Trash Enclosure.** The trash enclosure shall be constructed as presented in the development plans approved by the Planning Commission.
26. **Screening of Roof-Mounted Equipment.** Proper screening shall prevent public views of all HVAC equipment.

27. **Outstanding Fees.** Any outstanding processing fees due to the Planning Division shall be paid.
28. **Preliminary Water Quality Management Plan (PWQMP)** . A Preliminary WQMP was prepared for the proposed project site. All PWQMPs were determined to be in substantial compliance, in concept, with the Riverside County WQMP Manual requirements. The following conditions apply.
- a. The development shall be subject to all provisions of City of Perris Ordinance Number 1194, which establishes stormwater/urban runoff management and discharge controls to improve water quality and comply with federal regulations, and any subsequent amendments, revisions, or ordinances pertaining thereto.
 - b. The structural BMPs selected for this project have been approved in concept. The owner shall submit a final WQMP including plans and details providing the elevations, slopes, and other details for the proposed structural BMPs including ~~a CMP underground detention system and two biBio clean modular wetland treatment units and self retaining landscape.~~ **one bio-retention basin, self-retaining landscape and covered trash enclosure. The Public Works Department shall review and approve the final WQMP text, plans and details.**
29. **Construction Practices.** To reduce potential noise and air quality nuisances, the following items shall be listed as "General Notes" on the construction drawings:
- a. Construction activity and equipment maintenance is limited to the hours between 7:00 a.m. and 7:00 p.m., on weekdays. Construction may not occur on weekends or State holidays, without prior consent of the Building Official. Non-noise generating activities (e.g., interior painting) are not subject to these restrictions.
 - b. Stationary construction equipment that generates noise in excess of 65 dBA at the project boundaries must be shielded and located at least 100 feet from occupied residences. The equipment area with appropriate acoustic shielding shall be designated on building and grading plans. Equipment and shielding shall remain in the designated location throughout construction activities.
 - c. Construction routes are limited to City of Perris designated truck routes.
 - d. Water trucks or sprinkler systems shall be used during clearing, grading, earth moving, excavation, transportation of cut or fill materials and construction phases to prevent dust from leaving the site and to create a crust after each day's activities cease. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.
 - e. A person or persons shall be designated to monitor the dust control program and

to order increased watering as necessary to prevent transport of dust off-site. The name and telephone number of such persons shall be provided to the City. Also, a board shall be placed at the subject site to include person and phone number for the public to call in case of dirt and dust issues.

- f. Project applicants shall provide construction site electrical hook ups for electric hand tools such as saws, drills, and compressors, to eliminate the need for diesel powered electric generators or provide evidence that electrical hook ups at construction sites are not practical or prohibitively expensive.

30. **Voluntary Off-Site Tree Planting or Funding.** To promote the City's tree planting initiative currently underway to make Perris GREEN providing positive benefits to the local environment from air quality to shading, the developer will plant one 24-inch box tree per 5,000 square feet of building area to include irrigation lines and controllers at an off-site location to be determined by the City (i.e., City right-of-way, parks, etc.) or provide funding equivalent to such cost at the discretion of the City prior to issuance of the building permit.

31. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance and Chapter 7.42 regarding Property Maintenance. In addition, the project shall comply with the one-year landscape maintenance schedule identified in Public Works Department Condition of Approval No. 5, dated July 26, 2022.

Prior to Building Permit Issuance:

32. **Vesting Parcel Map.** The applicant shall submit a Vesting Parcel Map application and applicable fees to the Planning Division. The Vesting Parcel Map application shall be approved and recorded prior to the issuance of a building permit.

33. **Fees.** The developer shall pay the following fees prior to the issuance of building permits:

- a. Stephen's Kangaroo Rat Mitigation Fees of \$500.00 per acre;
- b. Multiple Species Habitat Conservation Plan fees currently in effect;
- c. Current statutory school fees to all appropriate school districts;
- d. Any outstanding liens and development processing fees owed to the City.
- e. Appropriate Road and Bridge Benefit District fees;
- f. Appropriate City Development Impact Fees (DIF) in effect at the time of development;
- g. Appropriate City Permit Fees in effect at the time of development.

34. **Wall and Fence Plan.** A 14-foot high decorative block wall with decorative pilasters every 75 to 100 feet shall be provided to screen the truck loading area along Washington Street (south) and Wade Street (west) sides of the truck loading and parking area.

35. **Landscaping Plans.** Prior issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Division for approval,

accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a California registered landscape architect and conformed to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. The landscaping shall be consistent with the conceptual landscape plan, **except as required below.**

- a. **Landscape Uplighting.** To Accentuate the landscape, uplighting shall be provided along Nance Street, Patterson Avenue, Washington Street, and Wade Avenue frontages.
- b. **Enhance Landscape.** Enhance the landscape areas by adding additional trees along the west property line, and at the northwest and southwest corners of the property, as these areas are visible from the I-215 freeway.

36. **Construction Plans.** All Planning Division and Engineering Department Conditions of Approval, proposed employee amenities, and the Mitigation Monitoring and Reporting Plan shall be reproduced in full on construction drawings and grading plans, immediately following the cover sheet of such plans. Each Condition of Approval shall be annotated on the construction plans for ease of reference (i.e., sheet and detail numbers).

Prior to Grading Permit Issuance:

37. **Precise Grading Plans.** Precise grading plans shall be submitted to the City Engineer for review and approval. Grading plans shall be consistent with approved development plans.
38. **Final Water Quality Management Plan (FWQMP).** Prior to issuance of grading permits a FWQMP is required to be submitted. To mitigate impacts related to pollutant loading to receiving waters and/or increased erosion/siltation resulting from the long-term operation of the project, the applicant shall develop, receive approval from the City, and implement a FWQMP. The FWQMP shall contain measures that will effectively treat all pollutants of concern and hydrologic conditions of concern, consistent with the Preliminary WQMP and developed in compliance with the MS4 permit. The FWQMP shall specifically identify pollution prevention, source control, treatment control measures, and other Best Management Practices (BMPs) that shall be used on site to control predictable pollutant runoff to reduce impacts to water quality to the maximum extent practicable. The FWQMP shall substantially comply with site design, source control and treatment control BMPs proposed in the approved Preliminary Water Quality Management Plan (PWQMP).

Prior to Issuance of Occupancy Permits:

39. **Business Operator.** Business operator shall be responsible for providing a copy of the adopted truck routes to the truck drivers, **in addition to posting a copy of the truck route in the employee break room and truck yard area.**
40. **Employee Amenities.** At least one (1) indoor employee amenity and two (2) outdoor employee amenities shall be provided as shown on the Project plans. **A breakroom qualifies as an indoor employee amenity.**

41. **Truck Routes.** Signs shall be provided on-site and within public rights of way to direct all trucks to use designated truck routes, only as approved by the Engineering and Planning Departments. Truck routes are restricted to the I-215 Freeway by exiting the project site via Washington Street, to Patterson Avenue, to Harley Knox Boulevard.
42. **Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to issuance of a Certificate of Occupancy. This condition shall apply only to districts existing at the time the project is approved (or all requirements have been met for a certificate of occupancy, as applicable). Such districts may include but are not limited to the following:
 - a. Landscape Maintenance District No. 1
 - b. Maintenance District No. 84-1
 - c. Flood Control Maintenance District No. 1
 - d. North Perris Public Safety Community Facilities Assessment District
43. **On-Site Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for final landscape inspection after all the landscaping and irrigation has been installed and is completely operational. Before calling for a final inspection, a "Certificate of Compliance" form shall be completed and signed by the designer/auditor responsible for the project, and submitted to the project planner for approval.
44. **Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-offs from the Building Division and Engineering Department. Planning Staff shall verify that all pertinent conditions of approval have been met. The applicant shall have all required paving, parking, walls, site lighting, landscaping and automatic irrigation installed and in good condition.
45. **Building Color.** An accent color shall be incorporated on the building elevations, subject to staff approval.
46. **Enhance Architecture.** Enhance the west building elevation with architectural elements incorporated on the office area, facing Wade Avenue.

END OF CONDITIONS



CITY OF PERRIS

STUART E. MCKIBBIN, CONTRACT CITY ENGINEER

CONDITIONS OF APPROVAL

P8-1468

May 12, 2023

DPR 22-00003 and Vesting TPM 38384

SW Corner of Nance Street and Patterson Avenue

(APN 280-032-110, 130, 270, 080, 150, 100, 070, 090, 380)

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer provide the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and that their omission may require resubmittal for further consideration. These Ordinances and the following conditions are essential parts and requirements occurring in one is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditions shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic Impact Analysis, the most stringent in the opinion of the City shall prevail.

General Conditions:

1. Prior to approval of Vesting Tentative Parcel Map all requirements of Subdivision Map Act and Chapter 18.18 of the City of Perris Municipal Code shall be met including submittal of the following for a minimum of one/first plan check:
 - a. Onsite Grading Plan and Erosion Control Plan
 - b. Street and Storm Drain Improvement Plans

DEPARTMENT OF ENGINEERING

24 SOUTH D STREET, SUITE 100, PERRIS, CA 92570
TEL.: (951) 943-6504 - FAX: (951) 943-8416

- c. Signing and Striping Plans
- d. Water and Sewer Plans
- e. Hydrology and Hydraulic Report
- f. Final WQMP (for reference)

The design shall be in conformance with EMWD, RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

2. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.
3. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.
4. Truck access to the site shall be limited to and from I-215, Harley Knox Boulevard, Patterson Avenue and Washington Street. Truck access to and from Ramona Expressway and Perris Boulevard is prohibited.

Prior to Recordation of the Parcel Map:

5. The developer/property owner shall have approved improvement plans, executed subdivision agreement, and posted securities.
6. The developer/property owner shall submit the following to the City Engineer for review and approval:
 - a. Onsite Grading Plan and Erosion Control Plan. Plans shall show the approved WDID No.
 - b. Street and Storm Drain Improvement Plans
 - c. Signing and Striping Plans
 - d. Water and Sewer Plans
 - e. Hydrology and Hydraulic Report
 - f. Street Light Plan prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
 - g. Final WQMP (for reference)

The design shall be in conformance with EMWD, RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall

be coordinated with the approved plans of the adjacent developments.

7. Patterson Avenue is classified as a Collector (66'/44') per the General Plan. Adequate right-of-way shall be dedicated on Patterson Avenue along the property frontage to accommodate a 33 foot half width dedicated right-of-way.
8. Nance Street is classified as a Local (60'/40'). Adequate right-of-way shall be dedicated on Nance Street along the property frontage to accommodate a 30 foot half width dedicated right-of-way.
9. Washington Street is classified as a Local (60'/40'). Adequate right-of-way shall be dedicated on Washington Street along the property frontage to accommodate a 60 foot full width right-of-way and for construction of the complete offset cul-de-sac per Riverside County Standard No. 800A.
10. Wade Avenue is classified as Collector per the General Plan. Adequate right-of-way shall be dedicated on Wade Avenue along the property frontage to accommodate a 47 foot wide right-of-way.
11. Property line corner cutbacks shall be dedicated per County of Riverside Standard No. 805 and modified at the truck designated driveway to accommodate the 35 foot radius curb returns.
12. Access shall be restricted along Patterson Avenue, Nance Street, Washington Street and Wade Avenue other than at the openings at the driveways as shown on the approved Site Plan.
13. All easements and/or rights-of-way shall be offered for dedication to the public or other appropriate agencies and shall continue in force until the city or the appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer.
14. The following statement shall be added to the map:

“NOTICE OF DRAINAGE FEES” Notice is hereby given that this property is located in the Perris Valley Area Drainage Plan which was adopted by the City of Perris pursuant to Ordinance and Section 66483, et seq, of the Government Code and that said property is subject to fees for said drainage area. Notice is further given that, pursuant to Ordinance 13-01, payment of the drainage fees shall be paid to the Riverside County Flood Control and Water Conservation District prior to issuance of the grading permit for the map, and that the property owner prior to issuance of the

grading permit, shall pay the fee required at the rate in effect at the time of issuance of the actual permit.

15. The developer/property owner shall make a good faith effort to acquire required offsite property interests, and if he or she should fail to do so, the developer/property owner shall, prior to submittal of the Final Map for recordation, enter into an agreement to complete the improvements. The agreement shall provide for payment by the developer/property owner of all costs incurred by the City to acquire the offsite property interests required in connection with the subdivision. Security of a portion of these costs shall be in the form of a cash deposit in the amount given in an appraisal report obtained by the developer/property owner (at developer/property owner cost). The appraiser shall be approved by the City prior to commencement of the appraisal.
16. The developer/property owner shall sign the consent and waiver form to join the City's Lighting and Landscape Districts and City's Flood Control District as appropriate. The proposed streetlights and traffic signals shall be maintained by the City and cost paid by the developer/property owner through the said annexation.

Prior to Issuance of Grading Permit:

17. The treated onsite runoff shall be collected and conveyed via underground drainage facilities connecting to Perris Valley Master Drainage Plan (PVMDP) Line B-5 in Patterson Avenue and discharging to the Perris Valley Channel at Heacock and Oleander.
18. Any connection to Line B-5 will require an encroachment permit from Riverside County Flood Control and Water Conservation District (RCFCD) and the updating of County record drawings.
19. Truck ingress and egress shall be from Washington Street only.
20. The driveways on Patterson Avenue, Nance Street and Wade Avenue shall be designated for auto access only.
21. The driveways shall be per County of Riverside Standard No. 207A.
22. The developer/property owner shall submit the following to the City Engineer, and RCFCD as applicable, for review and approval:
 - a. Onsite Grading Plan and Erosion Control Plan. Plans shall show the approved WDID No.
 - b. Street and Storm Drain Improvement Plans
 - c. Signing and Striping Plans
 - d. Water and Sewer Plans

- e. Drainage Plan, Hydrology and Hydraulic Report
- f. Street Light Plan prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- g. Final WQMP (for reference)

The design shall be in conformance with EMWD, RCFC, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

- 23. The developer/property owner shall pay the City \$150,000 for their improvements to I-215/Ramona Expressway Interchange and I-215/Harley Knox Boulevard Interchange and other improvements. This one-time contribution is above and beyond DIF, TUMF, RBB and other City fees, and is not reimbursable.

Prior to Issuance of Building Permit:

- 24. Parcel Map 38384 shall be submitted to the City for review and approval and shall be recorded.
- 25. The project site is located within the limits of Perris Valley Area Drainage Plan (ADP) for which drainage fees have been adopted by City. Drainage fees shall be set forth under the provisions of the "Rules and Regulations of Administration of Area Drainage Plan". Acreage for the project site's impervious area shall be provided.
- 26. Water and Sewer Improvement Plans, per Fire Department and Eastern Municipal Water District (EMWD) standards, shall be submitted to the City Engineer for review and approval.
- 27. Fire Department and EMWD approvals of the Water Improvement Plans are required prior to City Engineer's approval.
- 28. Any existing poles on Patterson Avenue, Nance Street and Wade Street along the property frontage shall be removed and cables including communication cable (under 66kv) shall be undergrounded.
- 29. The developer/property owner shall submit an undergrounding of utilities study prepared by utility consultant/electrical engineer analyzing and determining the extent of conformance.

30. Paved access shall be provided to the proposed building per the Precise Grading Plan.
31. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

Prior to Issuance of Certificate of Occupancy:

32. Patterson Avenue Avenue (Collector - 66'/44') along the property frontage within the dedicated right-of-way shall be improved to provide for a 36 foot wide asphalt paving (using a TI of 9.0 and PG 70-10), 6 inch curb and gutter 22 feet west of centerline, a 6 foot wide sidewalk, Class II bike lane per the Active Transportation Plan and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.
33. Nance Road (Local - 60'/40') along the property frontage within the dedicated right-of-way shall be improved to provide for a 34 foot wide asphalt paving (using a TI of 8.0 and PG 70-10), 6 inch curb and gutter 20 feet south of centerline, a 6 foot wide sidewalk and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.
34. Washington Street (Local - 60'/40') along the property frontage within the dedicated right-of-way shall be improved to provide for full width improvements to include a 40 foot wide asphalt paving (using a TI of 9.0 and PG 70-10), offset cul-de-sac per Riverside County Standard No. 800A, 6 inch curb and gutter 20 feet both sides of centerline, a 6 foot wide sidewalk on both sides and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.
35. Wade Avenue (Collector) along the property frontage within the dedicated right-of-way shall be improved to provide for a 34 foot wide asphalt paving (using a TI of 8.0 and PG 70-10), 6 inch curb and gutter 11 feet west of property line, a 6 foot wide sidewalk and streetlights subject to the photometric analysis, per City of Perris, County of Riverside and Caltrans standards.
36. The condition of the existing pavement on Patterson Avenue and Wade Avenue along the property frontage shall be evaluated by the developer/property owner to determine the extent of pavement rehabilitation as approved by City Engineer. If the existing pavement is in good condition, the developer/property owner may use grind and overlay technique as determined by the City Engineer.

37. The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.
38. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified professional pursuant to the California Business and Professional Code 8771.

Stuart E. McKibbin
Contract City Engineer



CITY OF PERRIS

PUBLIC WORKS DEPARTMENT

Weed Abatement

NPDES Services

Flood Control and Landscape Districts

MEMORANDUM

Date: June 21, 2023

To: Lupita Garcia, Planner

From: Jessica Galloway, Special Districts Supervisor

By: Chris Baldino, Landscape Inspector **CB**

Subject: DPR 22-00003 & TPM 38384 - Conditions of Approval

Proposal to consolidate multiple parcels to construct a 263,820 square foot industrial building on 14 acres within the Perris Valley Commerce Center Specific Plan, on Nance St. between Paterson and Wade Avenue.

-
- Dedication and/or Landscape Maintenance Easement.** Offer of Dedication and Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:
 - **Patterson Ave.** - Provide offer of dedication as needed to provide for full half width Street (66' ROW (33' half width), curb gutter, sidewalk, and off-site landscaping requirements, per City General Plan, including a minimum 11' public parkway from face of curb.
 - **Nance Street** - Provide offer of dedication as needed to provide for full half width Street (60' ROW (30' half width), curb gutter, sidewalk, and off-site landscaping requirements, per City General Plan, including a minimum 10' public parkway from face of curb.
 - **Washington Street** – Provide offer of dedication as needed to provide for full half width street (60' ROW, 30' halfwidth), curb cutter, sidewalk, and off-site landscaping requirements, per City General Plan, including a minimum 10' public parkway from face of curb.
 - **Wade Street** - Provide offer of dedication as needed to provide for full half width street (**47' ROW**), curb cutter, sidewalk, and off-site landscaping requirements, per Engineering conditions, including a minimum 11' public parkway from face of curb.
 - Landscape Maintenance Easement and Landscape Easement Agreement.** The developer shall provide, for review and approval, an Offer of Dedication and certificate of acceptance, complete with legal plat map and legal description to the City of Perris. In addition, if required by the City of Perris, the Developer shall provide a 3' landscape easement and Landscape easement agreement, acceptable to the City of Perris. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
 - Landscaping Plans.** Three (3) copies of a Site Responsibility Maintenance Exhibit shall be submitted prior to submitting the Landscape Plans for approval. This site plan shall be titled "Site Responsibility Maintenance Exhibit for **DPR22-00003**" and identify, with different colors, each area and who will be responsible for the

maintenance, such as LMD, HOA, or Private, on the plans. Provide a legend with different colors for each area with square footage. Provide a matrix complete with quantities for off-site trees, shrub, mow curb, irrigation controller with number of stations. Three (3) copies of Construction Landscaping and Irrigation Plans for the off-site landscaping, including any medians or other landscape areas along the dedications shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. This landscape plan shall be titled "Off-site Landscape Plan for DPR 22-00003" and shall be exclusive of any private property, on-site landscaping. Elements of the Landscape Plan shall include but not be limited to:

- a. **Landscape Limits** – Limits of right-of-way areas or easement areas, defined by concrete mow curb, fully dimensioned, that are to be annexed into the Landscape Maintenance District. A planting palette and hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; or if no such guidelines exist the design intent of neighboring development, as determined by the Engineering Administration and Special Districts Division, including:
 - **Patterson Ave** – Per Section 6.0-21 Streetscape Landscape design guidelines and planting pallet for Collector and figure 6.0-9 of the PVCCSP for sizing and spacing requirements. Street tree: *Platanus x acerfolia* 'London Plane Tree'. Use of drought resistant shrubs and groundcover intended to complement the existing parkway along Patterson Ave. including but not limited to the following: *Callistemon* 'Little John', *Hesperaloe parviflora* 'Red Yucca', *Lantana M.* 'Gold Rush Lantana', *Myoporum parviflora*.
 - **Nance Street** – Per Section 6.2.1 Streetscape Landscape design guidelines and planting pallet for local roads, and figure 6.0-10 of the PVCCSP for sizing and spacing requirement. Street Tree: *Geijera parviflora* "Australian Willow". Use of drought resistant shrubs and groundcover intended to complement the existing parkway to the east along Nance Street, including but not limited to the following: *Yucca faccida* 'Golden Garland', *Pennisetum alopecuroides* 'Hameln', *Photinia fraseri*, *Calliandra*, *Baja fair duster*, *Lantana selowiana* 'trailing lantana'.
 - **Nance Street** – Water Quality Retention/Detention basin shall not encroach upon city right-of-way. All water quality basins shall be kept on-site and shall be maintained by property owner.
 - **Washington Street** – Per Section 6.0-22 Streetscape Landscape design guidelines and planting pallet for local roads and figure 6.0-10 of the PVCCSP for sizing and spacing requirements. Street trees: *Platanus x acerfolia* London Plane tree. Use of drought resistant shrubs and groundcover intended to complement the existing landscape on Paterson Ave, including but not limited to the following: *Pennisetum alopecuroides* Dwarf fountain grass, *Pennistemen orientale* Karley Rose fountain grass, *Lantana sellowiana* trailing lantana, use of native boulders from Perris area.
 - **Wade Street** - Per Section 6.0-22 Streetscape Landscape design guidelines and planting pallet for local roads and figure 6.0-9 of the PVCCSP for sizing and spacing requirements. Street trees: *Platanus x acerfolia* London Plane tree. Use of drought resistant shrubs and groundcover, including but not limited to the following: *Yucca flaccida* 'Gold Garland', *Pennisetum alopecuroides* Dwarf fountain grass, *Lantana sellowiana* trailing lantana, use of native boulders from Perris area.
- b. **Irrigation** – A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas as determined by the Engineering Administration and Special Districts Division. Components shall include, but not be limited to

Salco or equal on flexible PVC risers, Sentry Guard Cable Guard and Union Guard, and backflow Wilkens Model 375 (or equal). Controller shall include an ET based controller with weather station that is centrally controlled capable and wi-fi ready (WeatherTrak ET Pro3 Smart Controller, or equal, with Rain Sensor). At the discretion of the Engineering Administration and Special Districts Division public landscape areas utilizing no more than 6 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and wi-fi ready, such as the Weathermatic System or equal. Proposed system shall be complete with wireless weather station, aircard with flow, one year bundle service, blade antenna and flow sensor.

- c. **Benefit Zone Quantities** – Include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the district will be required to maintain.
- d. **Meters** – Each District is required to be metered separately. All electrical and water meters shall be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene and away from street intersections. Show location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for landscape district. Show location of water and electrical meter for flood control district. Show location of electrical meter for Traffic signal and street lighting district, on respective plans. Coordinate location of meters on landscape and civil engineering plan.
- e. **Controllers** - The off-site irrigation controllers are to be located within the right of way (preferably within the off-site landscape area). All point of connection equipment including irrigation controller pedestals, electrical meter pedestals, and backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Backflow preventers are to be screened on at least three sides with (5) gallon plant material. The fourth side shall be open to the back of the landscape area to allow the backflow cage to be opened without interference with plant materials. Backflow cages shall meet the required City of Perris Engineering Standards in effect at the time of approval.
- f. **Recycled Water** - If applicable. The project landscape architect shall coordinate with EMWD to verify if the site will be served with recycled water and design all irrigation and landscape plans to meet the requirements of EMWD and provide additional irrigation components as needed.
- g. **EMWD Landscape Plan Approval** – The project landscape architect shall submit a copy of all irrigation plans and specifications to EMWD for approval. The project landscape architect must confirm with EMWD that the plans have been approved by EMWD and submit written proof of approval by EMWD prior to the City approving the final Landscape Plans. Until the final landscape plan has been approved by the City of Perris, the maintenance areas depicted cannot be accepted by the City for maintenance. The developer shall coordinate both reviews to ensure acceptability of plans by both EMWD and the City of Perris, prior to approval by either agency.
- h. **Landscape Weed Barrier** - Weed cloth with a minimum expected life of 10-years shall be required under all gravel, rock, or cobble areas.

- i. **Wire Mesh and Gravel at Pull Boxes-** Provide wire mesh and gravel layer within valve boxes to prevent rodent intrusion.
 - j. **Concrete Maintenance Band at Medians and Mortar Cobble turn Land –** Provide 12" wide concrete maintenance band (safety edge) around entire median. At turn pockets provide mortared cobble creek bed, round stone sized 6" to 12".
 - k. **Perimeter Walls Graffiti Coating –** Provide anti-graffiti coating at all perimeter walls. Acceptable products shall include Vitrocem Anti-Graffiti Coating or equal.
4. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only "OFF-SITE" landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled at least two-working days (Monday through Friday) prior to actual inspection. Contact Public Works-Engineering Administration/Special Districts at (951) 657-3280 to schedule inspections.
 - **Inspection #1** - Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
 - **Inspection #2** - Soil prepared, and plant materials positioned and ready to plant.
 - **Inspection #3** - Landscaping installed, irrigation system fully operational, and request for "Start of 1 year Maintenance Period" submitted, with all required turn-over submittal items provided to Public-Works Engineering Administration/Special Districts.
 - **Turn-Over Inspection–** On or about the one-year anniversary of Inspection #3, Developer shall call for an inspection to allow the City to review and identify any potential irrigation system defects, dead plants, weed, debris or graffiti; stressed, diseased, or dead trees; mulch condition, hardscape or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At his sole expense, the Developer shall be responsible for rectifying system and installation deficiencies, and the one-year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City's Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the Inspector shall recommend to the City's Special District Coordinator to accept turn-over of water and electrical accounts, wi-fi communication contracts and the entire landscape installation.
5. **One Year Maintenance and Plant Establishment Period-**The applicant will be required to provide a minimum of a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one-year maintenance period commences upon the successful completion of Inspection #3 discussed above, and final approval by the City. During this one-year period the applicant shall be required to maintain all landscape areas free of weeds, debris, trash, and graffiti; and keep all plants, trees, and shrubs in a viable growth condition. Prior to the start of the one-year maintenance period, the Developer shall submit a weekly Landscape Maintenance Schedule for the review and approval by the City's Special Districts Division. City shall perform periodic site inspections during the one-year maintenance period. The purpose of these periodic inspections is to identify any and all items needing correction prior to acceptance by the City at the conclusion of the one-year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials, weeding, replenishment of mulches, repair of damaged or non-functioning irrigation components, test of irrigation controller communications, etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turn-over to City maintenance staff.

6. **Street/Off-Site Improvements.** The applicant shall submit street improvement plans, accompanied by the appropriate filing fee to the City Engineering Department. Details of treatments off-site improvements, including lighting shall meet both the City Engineer's Design Guidelines, and the additional requirements of the Engineering and Special Districts Division. Components shall include, but not be limited to:
- a. **Street Lighting**-If Street lighting is required, lighting shall meet the type, style, color and durability requirements, necessary for energy efficiency goals, maintenance and longevity of improvements of the City Engineer's Office. As determined by the City, new streetlights may be required to be deeded to City of Perris, and not SCE. Streetlights deeded to City of Perris shall be constructed per LS-3 account billing standard, which shall include an individually metered pedestal for streetlights.
 - b. **Acceptance By Public Works/Special Districts**- Lighting District facilities required by the City Engineer's Office shall be installed and fully operational and approved by final inspection by the City Engineer's Office, and the City's Consulting Traffic Signal Inspection Team (Riverside County TLMA) at (951) 955-6815. Prior to acceptance for maintenance of "Off-site" traffic signal and lighting facilities by the Public Works-Engineering and Administration Division/Special Districts, the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items. Prior to acceptance into Lighting District 84-1, coordinate turn-over information pertaining to Street Lights, and Traffic Signal Electrical/SCE Service Meters with Wildan Financial Services, the City's Special Districts Consulting Firm at (951) 587-3564. (i.e. Provide electrical meter number, photo of pedestal, and coordinate "request for transfer of billing information" with SCE and City for all new service meters). Developer shall pay 18-month energy charges to the City of Perris for all off-site street lighting. Call Wildan Financial Services, Inc. for amount due, and to obtain receipt for payment. Obtain and provide a clearance form from Riverside County TLMA indicating completion of all punch list items from traffic signal construction. Submit one large format photo-copy of Traffic Signal as-built plans and timing sheets.
7. **Water Quality Management Plans.** The applicant shall submit a Preliminary and Final WQMP, accompanied by the appropriate filing fee to the Planning Department and City Engineering Department, respectively. Details for treatment control facilities shall meet both the Riverside County WQMP Design Guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce long term maintenance costs and longevity of improvements. Components shall include, but not be limited to:
- **Storm Drain Screens**-If off-site catch basins are required by the City Engineer's Office, connector pipe screens shall be included in new catch basins to reduce sediment and trash loading within storm pipe. Connector pipe screens shall the type, style, and durability requirements of the Public Work's Engineering Administration and Special Districts Division.
 - **WQMP Inspections**- The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both "ON-SITE" and OFF-SITE" WQMP Inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.
 - **Acceptance By Public Works/Special Districts**-Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the Final WQMP, shall be installed and fully operational, and approved by final inspection by the City's WQMP Consultant, CGRM. The Developer shall obtain a final Clearance Letter from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The developer shall deliver the same to the Public Works-Engineering and Administration Division/Special Districts. In addition, prior to acceptance by the City, the developer shall

submit a Covenant and Agreement describing on-going maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works Engineering Administration and Special Districts Division. The Public Works Engineering Administration and Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.

8. **Flood Control District #1 Maintenance Acceptance.** Flood Control District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office. Prior to acceptance for maintenance of "Off-site" flood control facilities by the Public Works-Engineering and Administration Division/Special Districts the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items including as-built storm drain plans in electronic PDF format, one large format photo-copy of as-built plans, storm drain video report in electronic format, and hardcopy of video report with industry standard notations and still photos made during video runs (i.e. facilities sizes, off-sets or damage, facility type, dirt and debris, etc.). The flood control facilities shall be turned over in a condition acceptable to the City, and the developer shall make all necessary repairs and perform initial maintenance to the satisfaction of the City.
9. **Assessment Districts.** Prior to permit issuance, developer shall deposit \$5,250 per district, \$15,750 total due. Payment is to be made to the City of Perris, and the check delivered to the City Engineer's Office. Payment shall be accompanied by the appropriate document for each district indicating intent and understanding of annexation, to be notarized by property owner(s):
 - **Consent and Waiver for Maintenance District No. 84-1-New Street** lighting proposed by the project, as determined by the City Engineer
 - **Consent and Waiver for Landscape Maintenance District No. 1** – New off-site parkway landscape proposed by the project on Patterson Ave, Nance St., Washington St., and Wade St.
 - **Petition for Flood Control Maintenance District No. 1** -For Off-site Flood Control Facilities proposed by the project, as determined by the City Engineer.
 - Original notarized document(s) to be sent to:
Daniel Louie
Wildan Financial Services
27368 Via Industria, #200
Temecula, CA 92590
 - a. Prior to final map recordation or final certificate of occupancy the developer shall annex into the aforementioned districts, posting an adequate maintenance performance bond to be retained by the City as required by the City Engineer. Upon receipt of deposit and Consent and Waiver Forms, the developer shall work with City to meet all required milestones for annexations.
 - i. City prepares the Engineer's Reports which includes a description of the improvements to be maintained, an annual cost estimate and annual assessment amounts.
 - ii. Reports are reviewed and approved by the property owner. The assessment ballots will be based on these Reports.

- iii. The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no sooner than 45 days. Property owner attendance at this City Council Meeting is not required.
- iv. The assessment ballots are sent to the property owner and are opened by the City Clerk at the close of the Public Hearing. With a "YES" vote by the property owner the City Council can move forward with the Resolution that Confirms the Annexation. Property owner attendance at this Public Hearing is not required.
- v. Confirmation by the City Council completes the annexation process, and the condition of approval has been met.

SRC COMMENTS
***** BUILDING & SAFETY *****

Planning Case File No(s): DEVELOPMENT PLAN REVIEW #20-00003

Case Planner: LUPITA Garcia 951-943-5003 ext. 236

Applicant: Michael Sajjadi

Location: Southwest corner of Nance Street and Patterson Ave.

Project: Proposal to consolidate multiple parcels to construct a 263,820 SF industrial building.

APN(s): 280-032-110,130,370,080,150,100,070,090 & 380

Reviewed By: David J. Martinez, CBO

Date: 02-28-2022

BUILDING AND SAFETY CONDITIONS

1. Shall comply with the latest adopted State of California 2019 editions of the following codes as applicable:
 - A. 2019 California Building Code
 - B. 2019 California Electrical Code
 - C. 2019 California Mechanical Code
 - D. 2019 California Plumbing Code
 - E. 2019 California Energy Code.
 - F. 2019 California Fire Code
 - G. 2019 California Green Building Standards Code.
2. You will be required to provide proper fire access to the entire site.
3. The proposed development will have to comply with the new EV charging station regulations.
4. You will have to comply with the Title 24 and ADA Access regulations for the complex, and the entire site.
5. The proposed structure cannot be built across any parcel lines. The parcels will have to be consolidated prior to any building permits being sued.
6. The structure will have to install fire spronklers.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

1. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off

FIRE CONDITIONS: To Be provided by Dennis Grubb



CITY OF PERRIS
COMMUNITY SERVICES

MEMO

Date: May 19, 2022

To: Lupita Garcia, Project Planner

From: Sabrina Chavez, Director of Community Services

Cc: Arcenio Ramirez, Community Services Manager
Arturo Garcia, Parks Supervisor
Joshua Estrada, Parks Coordinator

Subject: DPR 22-00003 New Industrial at SWC Nance St & Patterson Ave –
Comments

Community Services Staff reviewed DPR 22-00003 and offer the following comment(s):

Development Impact Fees

- The Project is subject to payment of Industrial Park Development Impact Fees.
- The Project is subject to payment of Residential Park Development Impact Fees.
- This Project is subject to payment of Public Art Development Impact Fees.

Special Districts

- The project shall annex into the Community Facilities District No. 2018-02 (Public Services)

EXHIBIT B
Location/Aerial Map

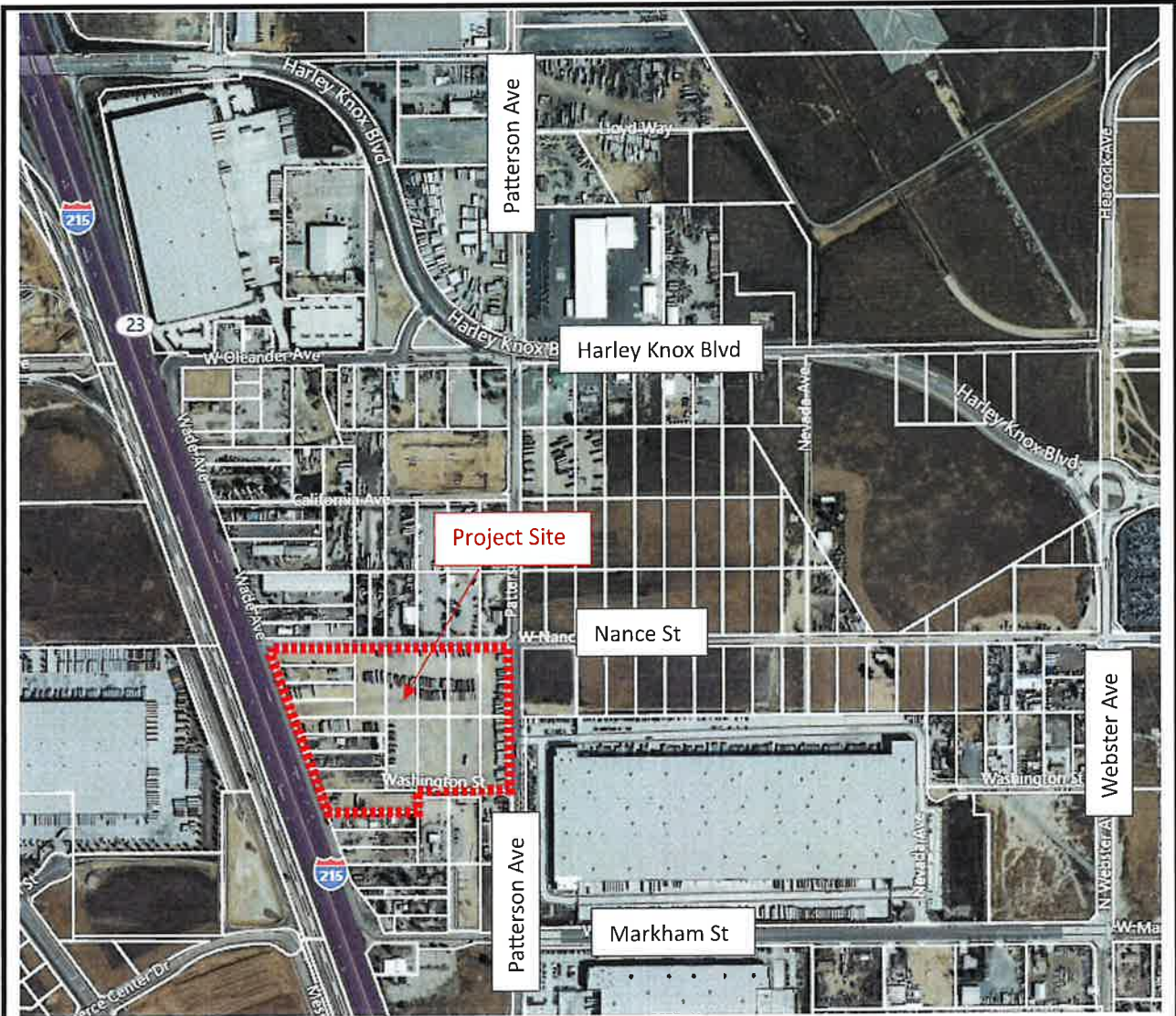


EXHIBIT C
PVCCSP/LAND USE MAP

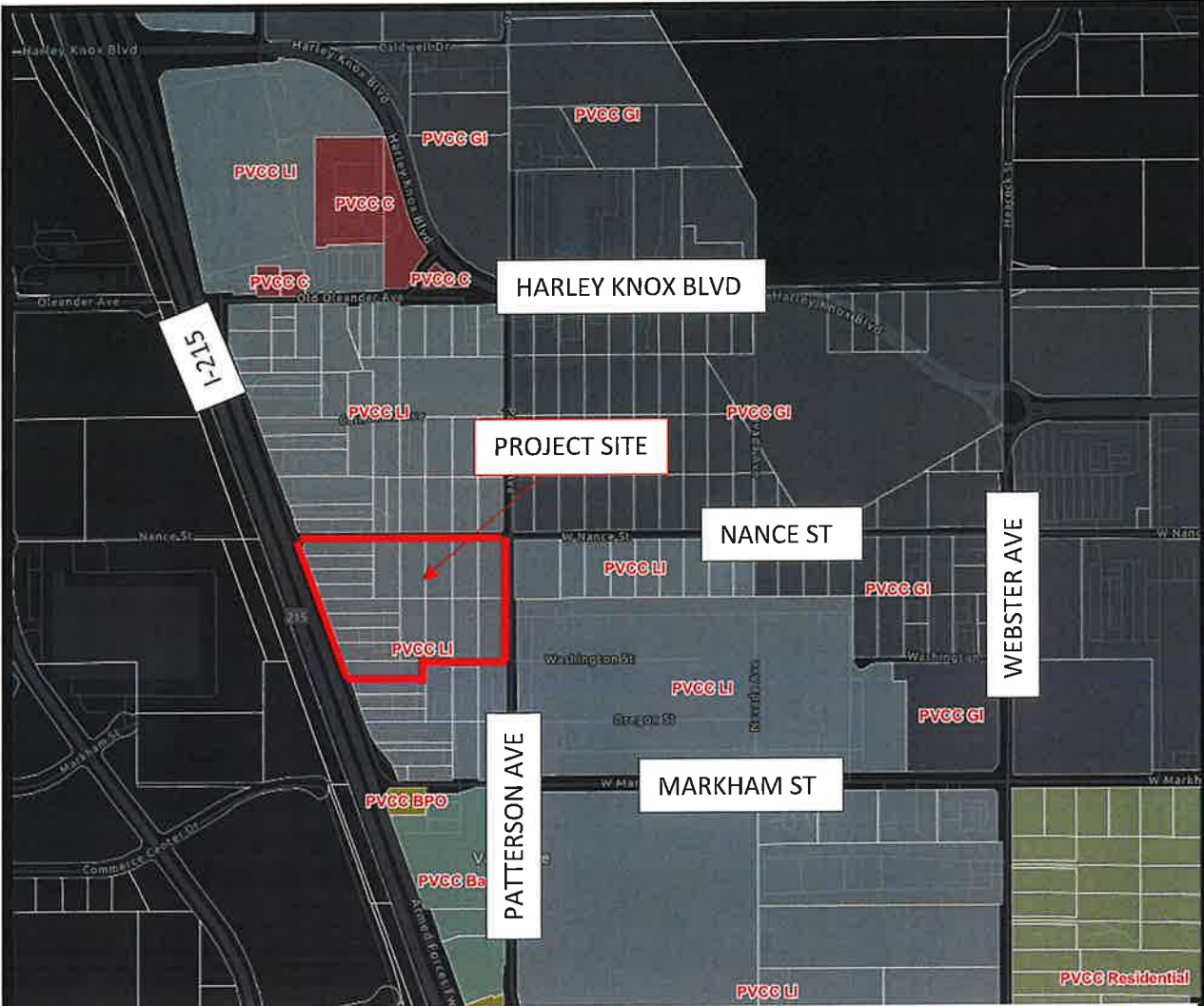


EXHIBIT D
MARB/IPA ALUCP MAP

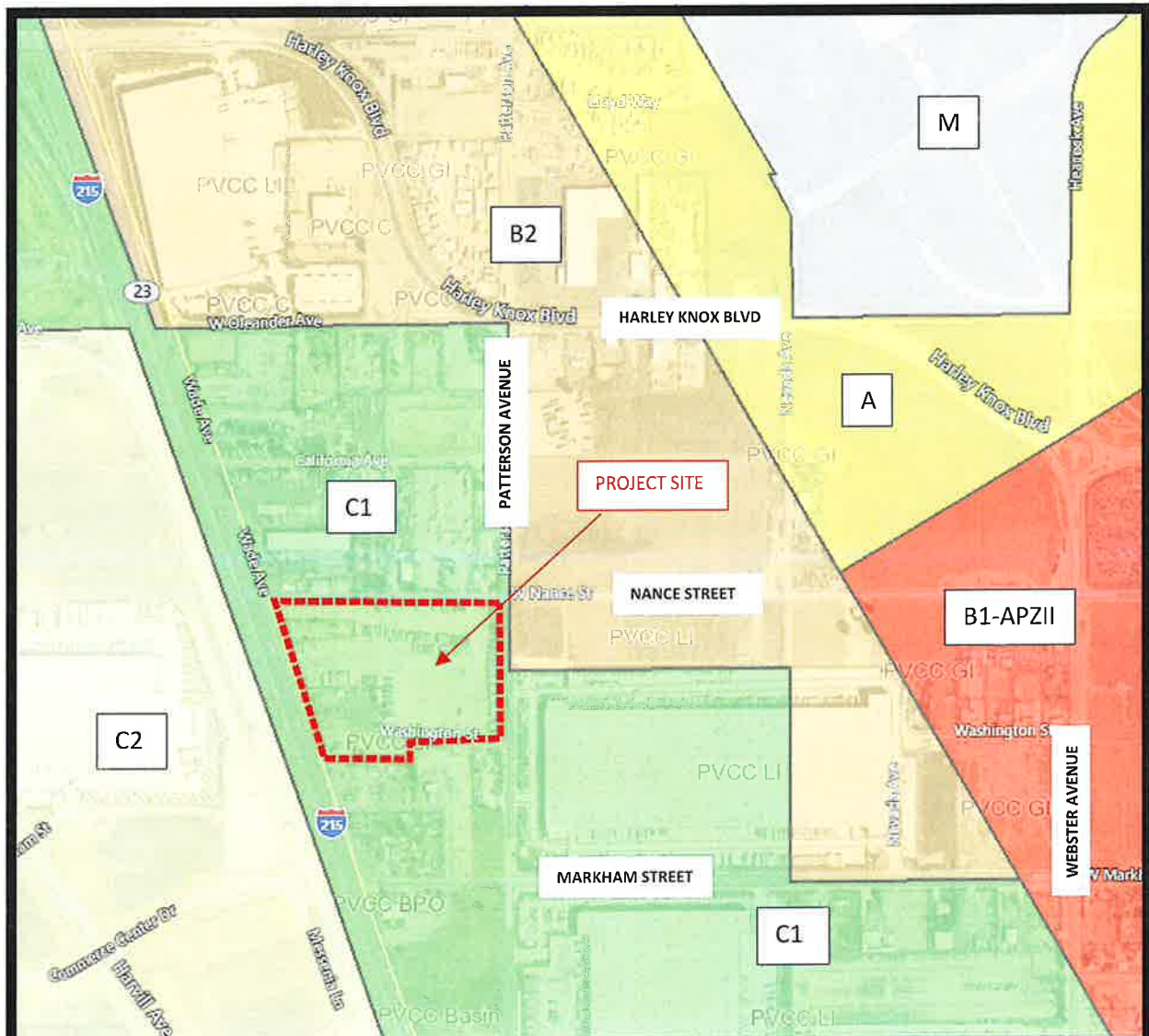
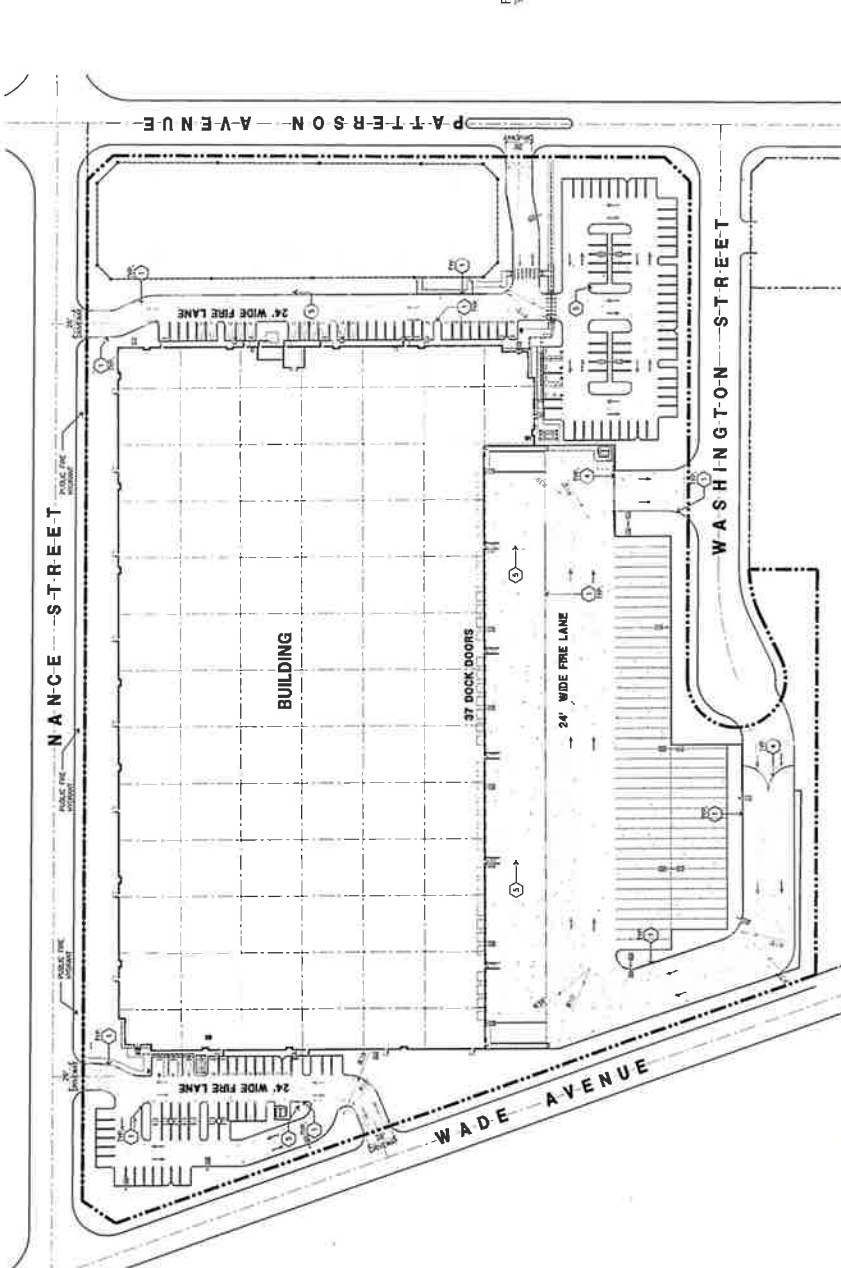
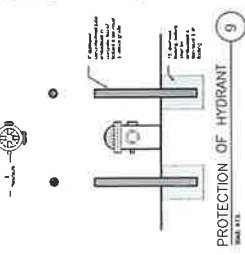
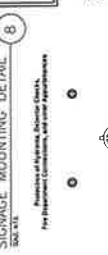
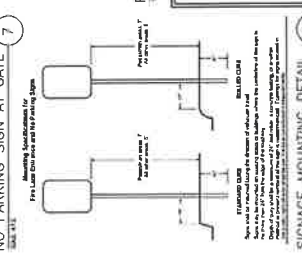
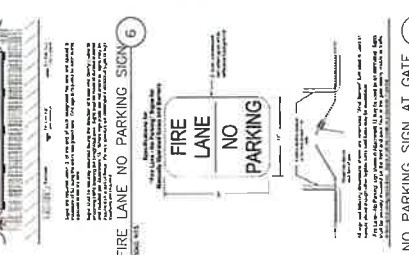
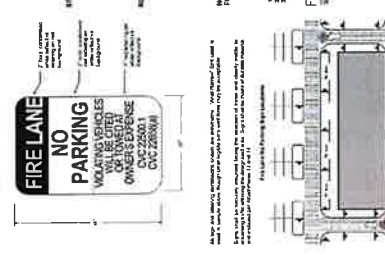
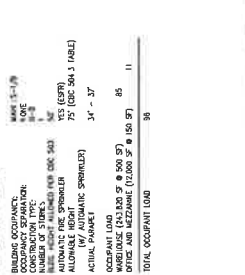
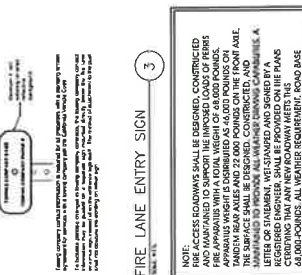
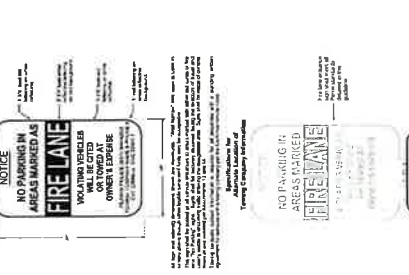
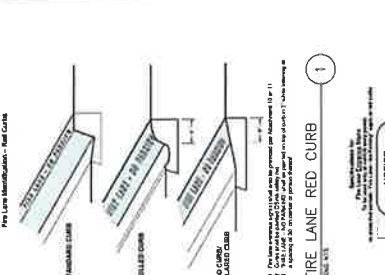


EXHIBIT E
PROJECT PLANS

CAUTION: IF THIS SHEET IS 7.5" X 11" IT IS A REDUCED PRINT
ATTACHMENT



FIRE DEPARTMENT ACCESS PLAN

FIRE KEYNOTES
1. APPROVAL OF THIS PLAN SHALL BE CONSIDERED AS APPROVAL OF ALL REQUIREMENTS DESCRIBED IN PERMITS FOR FIRE DEPARTMENT ACCESS AND PROTECTION OF HYDRANTS.
2. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CITY OF PERRIS AND THE CALIFORNIA FIRE DEPARTMENT.
3. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.
4. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.
5. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.
6. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.

PERMITS FIRE DEPARTMENT ACCESS AND WATER NOTES
1. APPROVAL OF THIS PLAN SHALL BE CONSIDERED AS APPROVAL OF ALL REQUIREMENTS DESCRIBED IN PERMITS FOR FIRE DEPARTMENT ACCESS AND PROTECTION OF HYDRANTS.
2. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CITY OF PERRIS AND THE CALIFORNIA FIRE DEPARTMENT.
3. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.
4. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.
5. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.
6. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.

GENERAL REQUIREMENTS
1. APPROVAL OF THIS PLAN SHALL BE CONSIDERED AS APPROVAL OF ALL REQUIREMENTS DESCRIBED IN PERMITS FOR FIRE DEPARTMENT ACCESS AND PROTECTION OF HYDRANTS.
2. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CITY OF PERRIS AND THE CALIFORNIA FIRE DEPARTMENT.
3. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.
4. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.
5. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.
6. THE PROJECTS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH BY THE CALIFORNIA FIRE DEPARTMENT AND THE CALIFORNIA FIRE DEPARTMENT.

CONCRETE PAVEMENT SECTIONS
1. CONCRETE PAVEMENT SHALL BE 4" THICK WITH 1/2" REINFORCING BARS.
2. CONCRETE PAVEMENT SHALL BE 4" THICK WITH 1/2" REINFORCING BARS.
3. CONCRETE PAVEMENT SHALL BE 4" THICK WITH 1/2" REINFORCING BARS.
4. CONCRETE PAVEMENT SHALL BE 4" THICK WITH 1/2" REINFORCING BARS.
5. CONCRETE PAVEMENT SHALL BE 4" THICK WITH 1/2" REINFORCING BARS.
6. CONCRETE PAVEMENT SHALL BE 4" THICK WITH 1/2" REINFORCING BARS.

PROTECTION OF HYDRANT
1. HYDRANT SHALL BE PROTECTED BY 2' X 4' SIGN.
2. SIGN SHALL BE 1/4" SLOPED AWAY FROM FIRE LANE.
3. SIGN SHALL BE 1/4" SLOPED AWAY FROM FIRE LANE.
4. SIGN SHALL BE 1/4" SLOPED AWAY FROM FIRE LANE.
5. SIGN SHALL BE 1/4" SLOPED AWAY FROM FIRE LANE.
6. SIGN SHALL BE 1/4" SLOPED AWAY FROM FIRE LANE.

LEGAL DESCRIPTION

THE PROPERTY SHOWN IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:

LOT 1, BLOCK 3 OF GOLDEN VALLEY FARM UNIT NO. 2, AS PER MAP RECORDED IN BOOK 15, PAGES 10 AND 11, OF MAPS, REVERSE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION COVERED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214 IN BOOK 1317, PAGE 585, OFICIAL RECORDS, OF SAID COUNTY.

ALSO EXCEPTING THEREFROM THAT PORTION COVERED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214 IN BOOK 1317, PAGE 585, OFICIAL RECORDS, DESCRIBED AS FOLLOWS:

BEING AT THE INTERSECTION OF THE SOUTH LINE OF HANCE STREET, 44 FEET WIDE, WITH THE EASTERN LINE OF THAT PARCEL OF LAND AS CONVEYED TO STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, IN BOOK 1517, PAGE 500, OFICIAL RECORDS, OF SAID COUNTY.

THENCE ALONG SAID SOUTH LINE SOUTH 89° 39'57" EAST, 30.00 FEET; THENCE SOUTH 29° 19'29" WEST, 37.65 FEET TO S40 EASTERN LINE.

THENCE ALONG SAID EASTERN LINE NORTH 19° 21'07" WEST, 35.00 FEET TO THE CENTERLINE OF SAID HANCE STREET, 44 FEET WIDE, AS SHOWN ON THE CALIFORNIA CORPORAIVE SYSTEM OF 1927, ZONE 49, MULTIPLE DISTANCES SHOWN BY 1.00008413 TO OBTAIN GROUND LEVEL DISTANCES.

PARCEL TWO:

LOT 3 IN BLOCK 3 OF GOLDEN VALLEY FARM UNIT NO. 2, AS PER MAP RECORDED IN BOOK 15, PAGES 10 AND 11, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, STATE OF CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY, CALIFORNIA.

PARCEL THREE:

LOTS 4 AND 5 IN BLOCK 3 OF GOLDEN VALLEY FARM, UNIT NO. 2, AS SHOWN BY MAP ON FILE IN BOOK 15, PAGES 10 AND 11, OF MAPS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

PARCEL FOUR:

LOTS 5 THROUGH 12, INCLUSIVE, IN BLOCK 3 OF GOLDEN VALLEY FARM, UNIT NO. 2, AS SHOWN BY MAP ON FILE IN BOOK 15, PAGES 10 AND 11, OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION COVERED TO THE STATE OF CALIFORNIA BY DEED RECORDED FEBRUARY 03, 1952, AS INSTRUMENT NO. 492.

EXCEPTING THEREFROM THAT PORTION COVERED TO THE STATE OF CALIFORNIA BY DEED RECORDED FEBRUARY 03, 1952, AS INSTRUMENT NO. 492.

EXCEPTING THEREFROM THAT PORTION COVERED TO THE STATE OF CALIFORNIA BY DEED RECORDED FEBRUARY 03, 1952, AS INSTRUMENT NO. 492.

EXCEPTING THEREFROM THAT PORTION COVERED TO THE STATE OF CALIFORNIA BY DEED RECORDED FEBRUARY 03, 1952, AS INSTRUMENT NO. 492.

PARCEL FIVE:

LOT 1, BLOCK 3 OF GOLDEN VALLEY FARM UNIT NO. 2, AS SHOWN BY MAP ON FILE IN BOOK 15, PAGES 10 AND 11, OF MAPS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

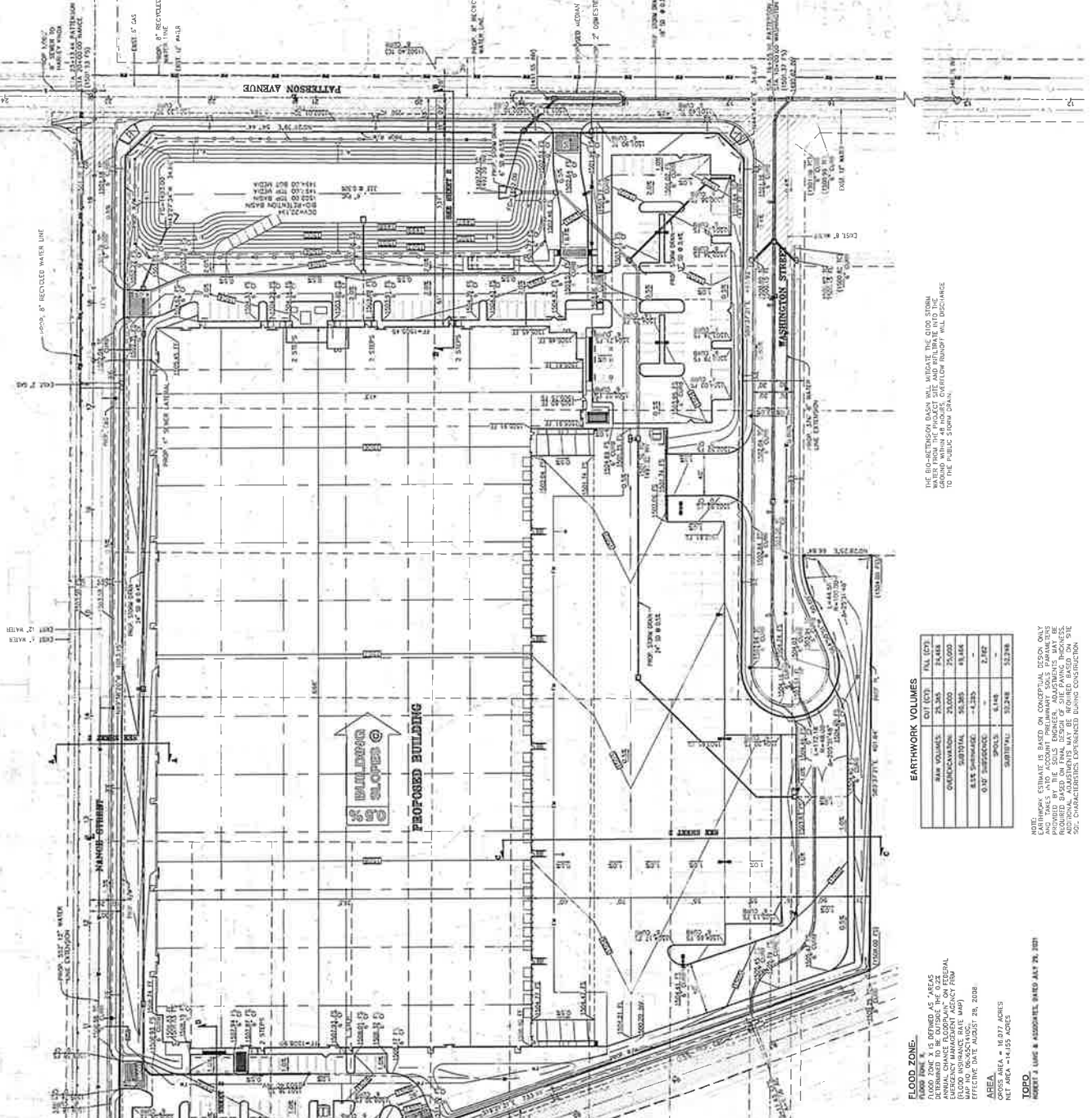
EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION GRANTED TO THE STATE OF CALIFORNIA BY DEED RECORDED JANUARY 20, 1952, AS INSTRUMENT NO. 4214, OFICIAL RECORDS, OF RIVERSIDE COUNTY RECORDS.



CONCEPTUAL GRADING PLAN FOR PATTERSON COMMERCE CENTER
CITY OF PERRIS

OWNER/DEVELOPER
ROCKEFELLER GROUP
1 PARK PLAZA, SUITE 840
PERRIS, CA 92404
PHONE: (951) 438-1812

CIVIL ENGINEER, INC.
HUIT-ZOLLARS
1140 N. MAIN STREET, SUITE 200
PERRIS, CA 92404
PHONE: (951) 941-7739

BASES OF BEARING
ALL ANGLES ARE MEASURED OR CALCULATED FROM THE NORTH TO THE RIGHT, UNLESS OTHERWISE SPECIFIED.

NOTES:
1. THIS ESTIMATE IS BASED ON CONCEPTUAL DESIGN ONLY AND DOES NOT TAKE INTO ACCOUNT PRELIMINARY SOIL PARAMETERS OR OTHER DATA THAT MAY BE REQUIRED FOR FINAL DESIGN OF SITE PAVING, FINISHES, etc.
2. CHARACTERISTICS EXPERIENCED DURING CONSTRUCTION.

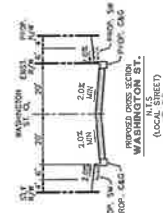
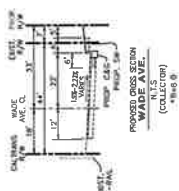
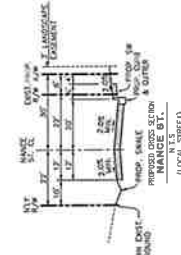
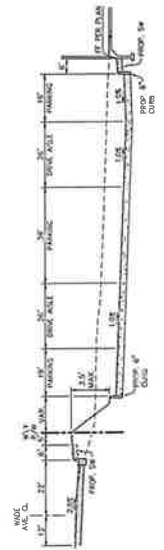
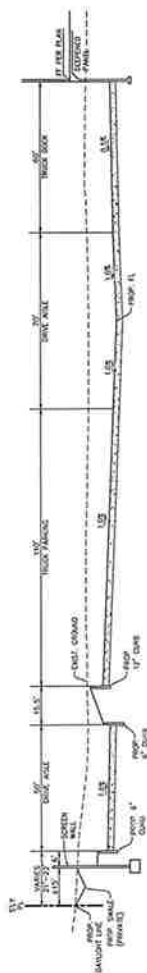
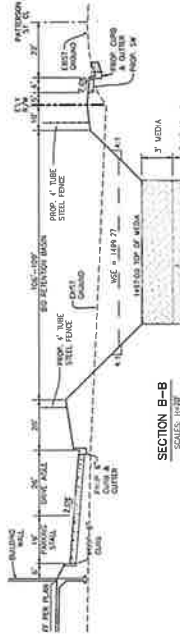
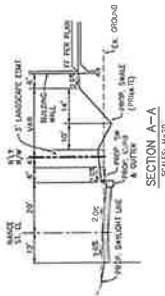
TOPO
HUIT-ZOLLARS & ASSOCIATES, INC. PREPARED JULY 28, 2001

LEGEND
EXISTING ELECTRICAL
EXISTING WATER
EXISTING SEWER
PROPOSED STORM DRAIN
PROPOSED SEWER
PROPOSED RECYCLED WATER
PROPOSED FINE WATER
EXISTING RIGHT-OF-WAY
PROPOSED PROPERTY LINE
PROPOSED FIRE HYDRANT
CURB FACE
CORNERS
GABRIELINE
EXISTING
PROPOSED FINISH FLOOR ELEVATION
PROPOSED SURFACE
FLOORLINE
ANY
LEVEL LANDING (1.00 MAX)
POWER POLE
PROPOSED DITCH
PROPOSED
PROPOSED
PROPOSED
TOP OF CURB
SIDEWALK
SLOPE DOWN

EARTHWORK VOLUMES

ITEM	CU (CY)	FTL (CY)
ANY VOLUMES	21,000	5,000
GABRIELINE	50,000	18,166
SUBTOTAL	71,000	23,166
0.10% SURFACE	2,782	5,238
SUBTOTAL	73,782	28,404

BRUSH MARK
BRUSH MARK INDICATES EXISTING BRUSH MARKS AND SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION UNLESS OTHERWISE SPECIFIED.



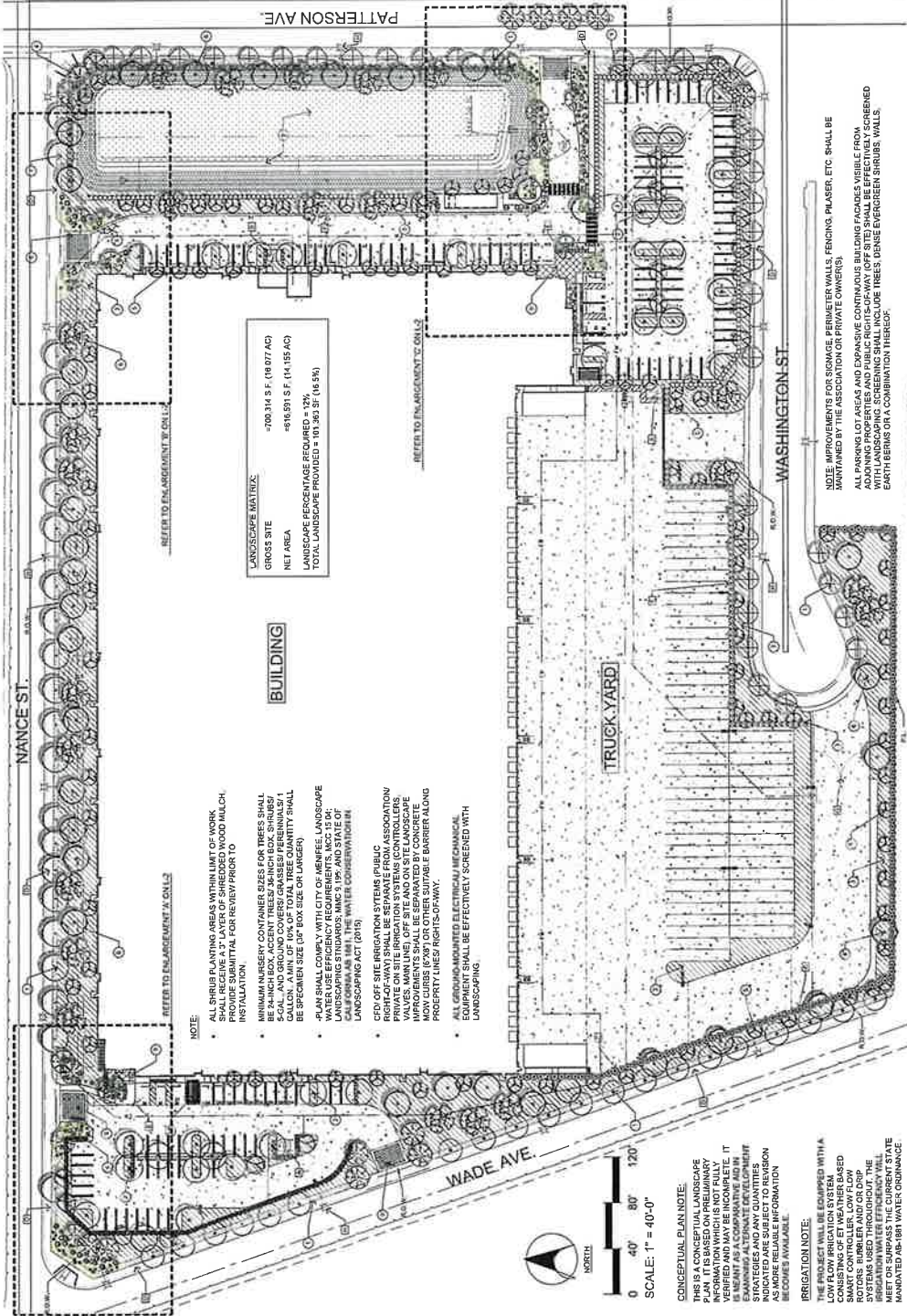
<p>CONCEPTUAL GRADING PLAN FOR PATTERSON COMMERCE CENTER CITY OF PERRIS</p>		<p>PROJECT NO. 2 D.E. 9 A.C. 9 SHEET 10 OF 10 DATE 10/15/2010</p>
<p>REVISIONS</p>		<p>DATE 10/15/2010 BY [Signature]</p>
<p>BASIS OF BEARING</p>		<p>THE BOUNDARIES AND CORNERS OF THE LAND SHOWN ON THIS PLAN ARE BASED UPON THE SURVEY OF THE CITY OF PERRIS, CALIFORNIA, AND THE SURVEY OF THE COUNTY OF RIVERSIDE, CALIFORNIA, AND THE SURVEY OF THE COUNTY OF SAN DIEGO, CALIFORNIA.</p>
<p>NOTICE</p>		<p>THESE PLANS AND SPECIFICATIONS ARE PREPARED BY THE ARCHITECT AND ENGINEER FOR THE CITY OF PERRIS, CALIFORNIA. THE CITY OF PERRIS, CALIFORNIA, IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THESE PLANS AND SPECIFICATIONS.</p>
<p>DESIGNER</p>		<p>HUITT-ZOLLARS 1000 W. 10TH STREET, SUITE 100 PERRIS, CALIFORNIA 92404 TEL: (951) 221-1111 WWW.HUITTZOLLARS.COM</p>

PLANTING LEGEND

TREES	SYMBOL	TREE NAME	QTY.	WUCOLS
	(Symbol)	PROPOSED STREET TREE ALONG MANICE STREET CELEBRATION, LOR, AUSTRIAN WILLOW 24" BOX SIZE	23	L
	(Symbol)	PROPOSED STREET TREE ALONG WADE STREET PLATANUS A, 'COLUMBA', LONDON PLANE TREE 24" BOX SIZE	20	L
	(Symbol)	PROPOSED STREET TREE ALONG PATTERSON AVE. & WASHINGTON ST PLATANUS A, 'COLUMBA', LONDON PLANE TREE 24" BOX SIZE	31	M
	(Symbol)	FLOWERING ACCENT TREE - CERIODIUM P. DESERT MUSEUM, DESERT MUSEUM PALO VERDE - SPINIFOLIUM, CHITALPA TREE 36" BOX SIZE	27	L
	(Symbol)	SHADE TREE SUCH AS - QUERCUS ILEX, HEALY OAK - JUVENIS P. TRUE GREEN, EVERGREEN FILM 24" BOX SIZE	31	L
	(Symbol)	NARROW GROWING SCREEN TREE SUCH AS - TRISTANIA CONFERTA, BRISBANE BOX TREE - JACARANDA, CALIFORNIA GRACILIS, FERN PINE - JODOPARUS GRACILIS, FERN PINE 50% TO BE 15 GAL 50% TO BE 24" BOX SIZE	94	L
	(Symbol)	EVERGREEN SCREEN TREE PINUS EDUARCI, MONDELL PINE 24" BOX SIZE	34	L
	(Symbol)	BACKDROP TREE PLATANUS RACEMOSA, WESTERN SYCAMORE 15 GAL SIZE	26	M
	(Symbol)	SECONDARY PARKING LOT TREE GEJERA PANIFLORA, AUSTRALIAN WILLOW 15 GAL SIZE	23	L

GROUND COVER AND SHRUB MASSES	SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	(Symbol)	ALOE STRATA, CORAL ALOE 5 GAL SIZE @ 24" O.C.	L
	(Symbol)	BACCHARIS P. TWIN PEAKS, DWARF COYOTE BRUSH 1 GAL SIZE @ 42" O.C.	L
	(Symbol)	DIETES BICOLOR, FORTNIGHT LILY 1 GAL SIZE @ 24" O.C.	M
	(Symbol)	ENCLEA DESERTII, BRITTLE BRUSH 2 GAL SIZE @ 42" O.C.	L
	(Symbol)	HESPERALOE P. 'YELLOW', YELLOW YUCCA 5 GAL SIZE @ 30" O.C.	L
	(Symbol)	VERBEVA L. DE LA MINA, ISLAND VERBEVA 1 GAL SIZE @ 30" O.C.	L
	(Symbol)	LEYMUS CANYON PRINCE C.P. RYE GRASS 1 GAL SIZE @ 30" O.C.	L
	(Symbol)	MULH. EMBERGA DUBIA, PINE MULHY 1 GAL SIZE @ 30" O.C.	L
	(Symbol)	ROUQUEVA COULTERI, CALIFORNIA TREE POPPY 1 GAL @ 48" O.C.	L
	(Symbol)	ROSMARINUS O. 'PROSTRATUS', CREEPING ROSEMARY 1 GAL SIZE @ 30" O.C.	L
	(Symbol)	SAVIA C. 'ALLEN CHICKERING', ALLEN CHICKERING SAGE 5 GAL SIZE @ 42" O.C.	L
	(Symbol)	SAVIA DORU, DESERT PURPLE SAGE 5 GAL SIZE @ 48" O.C.	L
	(Symbol)	FEROCIS CONTROL, GROUND COVER AT BASIN SLOPE BACCHARIS P. TWIN PEAKS, DWARF COYOTE BRUSH 1 GAL @ 30" O.C.	L

PARKWAY LANDSCAPE SHRUBS (R.O.W.)	SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	(Symbol)	YUCCA FACIDA 'GOLDEN GARLAND', 5 GAL SIZE	L
	(Symbol)	PENNETUM ALPECUROIDES 'HAMELI', FOUNTAIN GRASS 1 GAL SIZE @ 30" O.C.	L
	(Symbol)	CALLUNDA CALIFORNICA, PARRY DUSTER 5 GAL SIZE @ 30" O.C.	L
	(Symbol)	LANTANA SEBOWIANA, TRAILING LANTANA 1 GAL SIZE @ 30" O.C.	L



HYDROSEED LEGEND

PLANT NAME	BULK #/ACRE	MIN. % PL.
NON-IRRIGATED DETENTION BASIN BOTTOM	2,000	75
Agrostis exarata Spike bentsgrass	2,000	75
Deschampsia cespitosa Annual hairgrass	5,000	72
Elymus villosus Turf rice crested wild ryegrass	5,000	72
Echinochloa californiensis California poppy	5,000	72
Hordeum jubatum Common cow barley	4,000	72
Lactuca gigantea Dandelion	0,500	69
Melica imperfoliata Coast melic	2,000	60
Styrridium bellum Blue eyed grass	20,000	74
Sisyrinchium bellum Blue eyed grass	1,000	78
Sida pulchra Purple needle grass	4,000	73
	49,000	

DESIGN KEY NOTES:

- NEW STREET TREE PER LEGEND
- PROPOSED NEW PARKING LOT SHADE TREE PER LEGEND
- DROUGHT TOLERANT SHRUBS AND GROUND COVER PER LEGEND
- NEW FLOWERING ACCENT TREES AT KEY FOCAL AREAS SUCH AS DRIVEWAY AND BUILDING ENTRIES
- VERTICAL GROWING TREE PER LEGEND
- EVERGREEN SCREEN TREE PER LEGEND
- SCREEN WATER TREATMENT BASIN SHALL BE PLANTED WITH SCREENING TREES AND SHRUBS TO CONTROL ODOR AND IMPROVE VISUAL APPEAL. CONTROLLED IRRIGATION SHALL BE USED TO MAINTAIN PLANTS. PLANTS SHALL BE PLANTED IN A MANNER THAT IS SUITABLE TO THE SOIL TYPE AND CLIMATE. PLANTING DEPTH SHALL BE AS PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS SHALL BE PLANTED IN A MANNER THAT IS SUITABLE TO THE SOIL TYPE AND CLIMATE.
- SCREEN WATER TREATMENT BASIN SHALL BE PLANTED WITH SCREENING TREES AND SHRUBS TO CONTROL ODOR AND IMPROVE VISUAL APPEAL. REFER TO PLANTING LEGEND.
- ENHANCED PAVING AT VEHICULAR AND BUILDING ENTRY AREAS. INTEGRAL COLORED PAVING WITH LIGHT ETCH FINISH.
- OUTDOOR BREAK AREA WITH OVERHEAD TRELLIS. REFER TO ARCH. SITE PLAN.

REFERENCE KEY NOTES:

- TRASH ENCLOSURE PER ARCH PLANS
- ELEC. TRANSFORMER PER CIVIL PLANS
- SCREEN WALL PER ARCH PLANS
- NEW PUBLIC SIDEWALK PER CIVIL PLANS
- BIKE BACK PER ARCH PLAN
- 1/2" TH. CONC. TILT UP SCREEN WALL PER ARCH PLANS
- VEHICULAR GATE PER ARCH PLANS
- LIGHTS PER CIVIL PLANS

WUCOLS PLANT FACTOR

THE PROJECT IS LOCATED IN 'WOOD' REGION - SOUTHWEST.

- H = HIGH WATER NEEDS
- L = LOW WATER NEEDS
- M = VERY LOW WATER NEEDS

CONCEPTUAL LANDSCAPE PLAN
PATTERSON COMMERCE CENTER
PATTERSON AVENUE, PERRIS CA.

18631 Bardene Ave. - Sta. #100
Irvine, CA 92612
(949) 663-1770
www.hpa.com

HPA ARCHITECTURE

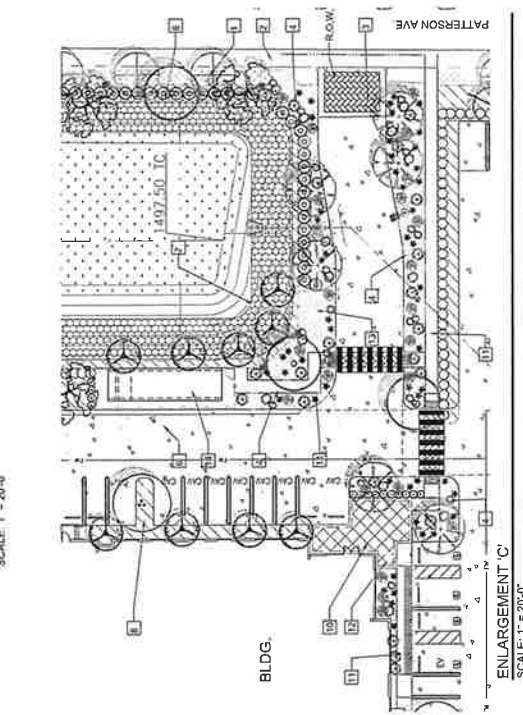
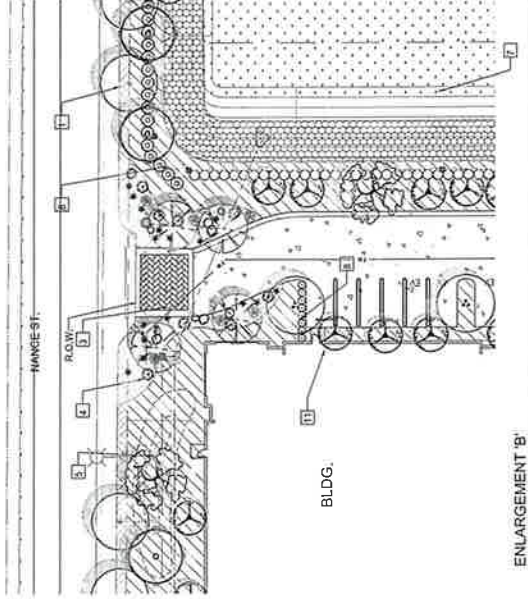
SPLA
SCOTT PETERSON LANDSCAPE ARCHITECT INC.
2845 VIA RANCHO VIEJO WAY
PERRIS, CA 92570
PH: 760-442-9990

PLANTING LEGEND

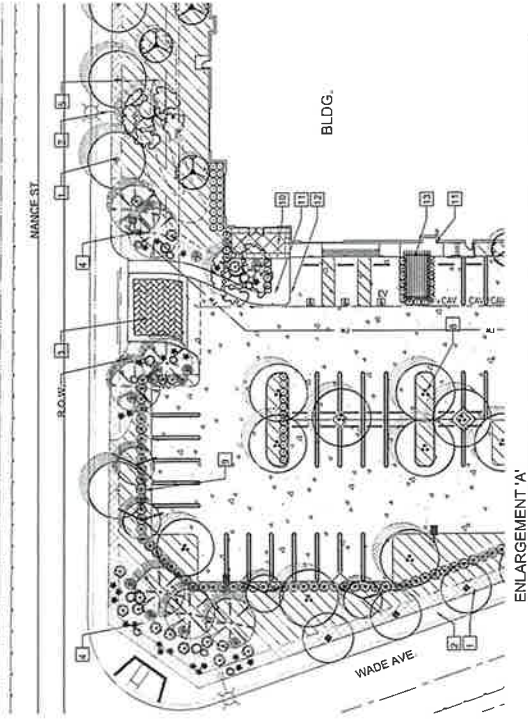
TREES	TREE NAME	QTY.	WUCOLS
	PROPOSED STREET TREE ALONG MANICE STREET GROWER: CALIFORNIA, AUSTRIAN WILLOW 24" BOX SIZE	23	L
	PROPOSED STREET TREE ALONG WADE STREET PLATANUS A 'COLUMBIA', LONDON PLANE TREE	20	L
	PROPOSED STREET TREE ALONG PATTERSON AVE & WASHINGTON ST PLATANUS A 'COLUMBIA', LONDON PLANE TREE 24" BOX SIZE	33	M
	FLOWERING ACCENT TREE - CERIODIUM P. 'DESERT MUSEUM', DESERT MUSEUM PALO VERDE 36" BOX SIZE - FISHBONE MESQUITE, CHITAUCA TREE 36" BOX SIZE	27	L
	SHADE TREE SUCH AS - QUERCUS ILEX, HOLLY OAK - JUMARS P. 'TRUE GREEN', EVERGREEN ELM 24" BOX SIZE	31	L
	NARROW GROWING SCREEN TREE SUCH AS - TRISTANIA CONFERTA, BRISBANE BOX TREE - PLEISTOCENA, BRISBANE BOX TREE - PLEISTOCENA, BRISBANE BOX TREE - PLEISTOCENA, BRISBANE BOX TREE 50% TO BE 15 GAL 50% TO BE 24" BOX SIZE	94	L
	EVERGREEN SCREEN TREE PINUS ELDARICA, MONDELL PINE 24" BOX SIZE	34	L
	BACCHARIS P. 'TWIN PEAKS', WESTERN SYCAMORE 15 GAL SIZE	26	M
	SECONDARY PARKING LOT TREE GEUERIA PARVIFLORA, AUSTRALIAN WILLOW 15 GAL SIZE	23	L

GROUND COVER AND SHRUB MASSES

SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	ALICE STRATA, CORAL ALICE 1 GAL SIZE @ 24" O.C.	L
	BACCHARIS P. 'TWIN PEAKS', DWARF COYOTE BRUSH 1 GAL SIZE @ 42" O.C.	L
	DIETES BICOLOR, FORTNIGHT LILY 1 GAL SIZE @ 24" O.C.	M
	ENCELIA DESERTII, BRITTLE BRUSH 5 GAL SIZE @ 42" O.C.	L
	HESPERALOE P. 'YELLOW', YELLOW YUCCA 5 GAL SIZE @ 30" O.C.	L
	VERBENA L. 'DE LA MINA', ISLAND VERBENA 1 GAL SIZE @ 24" O.C.	L
	LEWYUS 'CANYON PRINCE' C.P. RYE GRASS 1 GAL SIZE @ 36" O.C.	L
	MIXED EVERGREEN DUBIA, PINE MULCH 1 GAL SIZE @ 30" O.C.	L
	ROUNNEYA COULTERI, CALIFORNIA TREE POPPY 5 GAL @ 48" O.C.	L
	FOSSILINIUS O. 'PROSTRATUS', CREEPING ROSEMARY 1 GAL SIZE @ 30" O.C.	L
	SALVIA C. 'ALLEN CHICKERING', ALLEN CHICKERING SAGE 5 GAL SIZE @ 42" O.C.	L
	SALVIA DORA, DESERT PURPLE SAGE 5 GAL SIZE @ 48" O.C.	L
	EROSION CONTROL, GROUND COVER AT BASHI SLOPE BACCHARIS P. 'TWIN PEAKS', DWARF COYOTE BRUSH 1 GAL @ 36" O.C.	L



ACCENT SUCCULENTS	SHRUB NAME	WUCOLS
	AGAVE 'BLUE FLAME' 5 GAL SIZE	VL
	AGAVE 'BLUE GLOW', BLUE GLOW AGAVE 5 GAL SIZE	VL
	AGAVE 'MEDIOPICTA ALBA', WHITE-STRIPED CENTURY PLANT 15 GAL SIZE	VL



ENLARGEMENT KEY NOTES

- STREET TREE PER PLAN, STREET TREES SHALL SEE PLANTING LEGEND ON L-1.
- PUBLIC SIDEWALK PER CIVIL PLANS
- DECORATIVE CONCRETE PAVING AT VEHICULAR ENTRY DRIVES, INTEGRAL COLORED CONCRETE WITH MEDIUM ETCH FINISH
- DECORATIVE CRUSHED ROCK OR STABILIZED DG ACCENT AREAS AT PROJECT ENTRIES AND OTHER FOCAL AREAS, SUCCULENT AND ACCENT SHRUB PLANTING IN DG OR CRUSHED ROCK AREA IN COMBINATION WITH LARGE BOULDERS
- LANDSCAPE BERMING ALONG STREET FRONTAGE, 3:1 MAXIMUM SLOPE WITH LAYERED GROUND COVER, SHRUBS AND CLUMPING GRASSES
- TUBE STEEL FENCING PER ARCH. PLAN
- STORM WATER TREATMENT BASIN PER CIVIL ENGINEER
- PARKING LOT SHADE TREES, SEE PLANTING LEGEND
- EVERGREEN SCREEN SHRUBS ADJACENT TO OFF-STREET PARKING AREAS
- DECORATIVE CONCRETE PAVING AT BUILDING ENTRY AREAS, INTEGRAL COLORED CONCRETE WITH MEDIUM ETCH FINISH
- ADA CONCRETE WALKWAY, NATURAL GRAY, MEDIUM BROOM FINISH
- BIKE RACK PER ARCHITECTURE PLAN
- OUTDOOR BREAK AREA WITH OVERHEAD STRUCTURE PER ARCH. PLANS
- PROPOSED BOUCE BALL COURT, ARTIFICIAL TURF

PARKWAY LANDSCAPE SHRUBS (R.O.W.)	GROUND COVER/SHRUB MASS NAME	WUCOLS
	YUCCA BACCOLA, SOLDIER GARLAND, 1 GAL SIZE	L
	PENINSULA ALPHECICHOIDES 'HAMELIN', FOUNTAIN GRASS 1 GAL SIZE @ 36" O.C.	L
	CALLANDRA CALIFORNICA, FARTY FAUTER 5 GAL SIZE @ 30" O.C.	L
	LANTANA SLOWMAMA, TRAILING LANTANA 1 GAL SIZE @ 30" O.C.	L



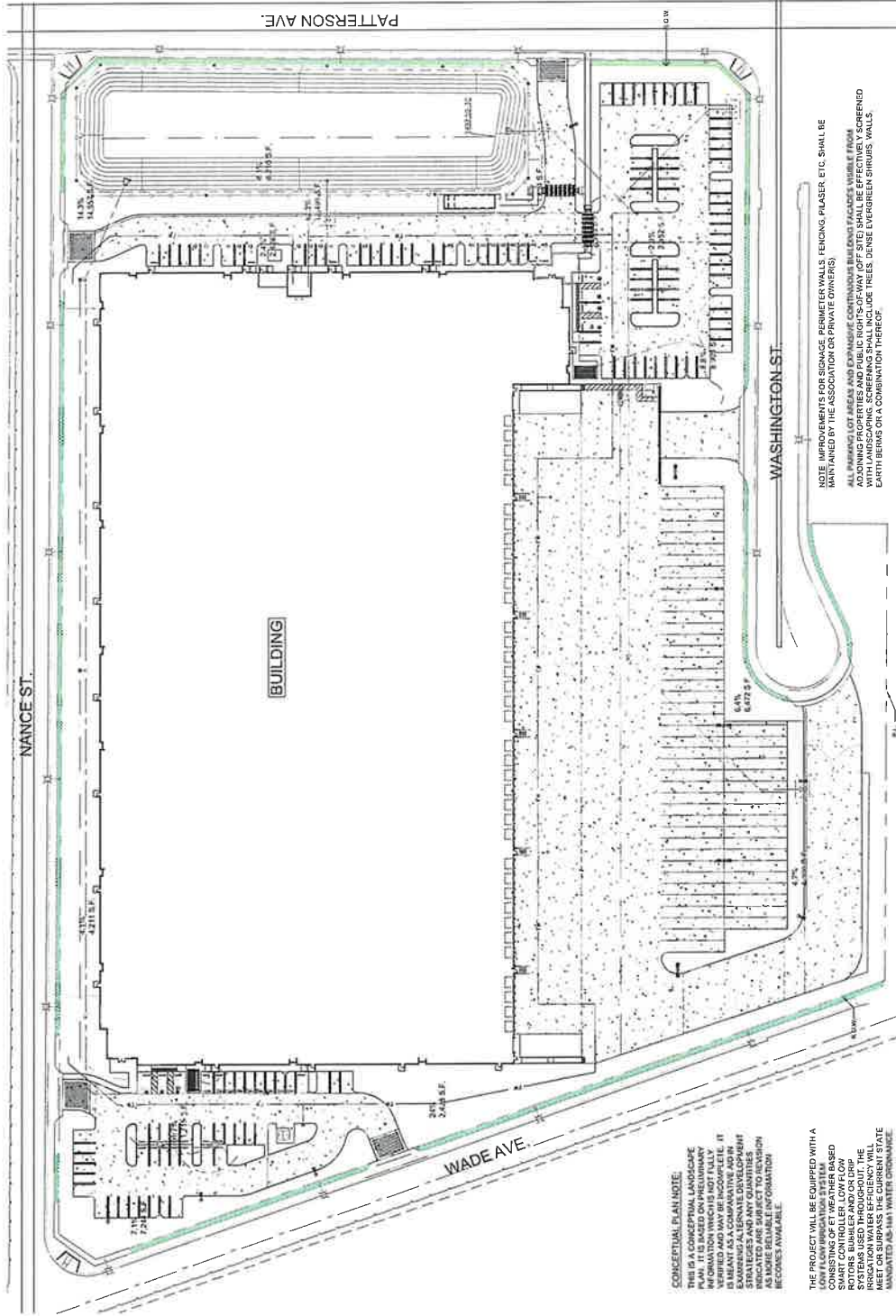
**CONCEPTUAL LANDSCAPE PLAN
PATTERSON COMMERCE CENTER**

PATTERSON AVENUE, PERRIS CA.

18831 Bardeen Ave. - Ste. #100
Irvine, CA 92612
(949) 863-1770
www.hparch.com

HPA
ARCHITECTURE

SPLA
SCOTT PETERSON LANDSCAPE ARCHITECT, INC.
FALLBROOK, CA 92528
PH: 760-963-1893



LANDSCAPE MATRIX:
 GROSS SITE = 470,374 S.F. (18,877 AC)
 NET AREA = 161,991 S.F. (14,185 AC)
 LANDSCAPE PERCENTAGE REQUIRED = 12%
 TOTAL LANDSCAPE PROVIDED = 191,363 SF (18,574)



MWA CALCULATIONS

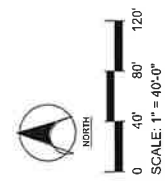
Method	Plan Factor	Impervious Method (Thruway)	ET&I (P75)	Landscaped Area (Ac. In.)	ET&I Area	Estimated Total Wettable Area (S.F.)
Impervious	0.77	0.77	0.77	11,000	11,000	950,000
Throughway	0.23	0.23	0.23	11,000	11,000	950,000
Landscaped Area	0.00	0.00	0.00	11,000	11,000	950,000
Total	1.00	1.00	1.00	33,000	33,000	2,850,000

Method: 11,000 S.F. (1,000 S.F.)
 Total: 33,000 S.F. (3,000 S.F.)
 Total: 2,850,000 S.F. (250,000 S.F.)

CONCEPTUAL PLAN NOTE:
 THIS IS A CONCEPTUAL PLAN AND IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY VERIFIED. THE DESIGNER MAKES NO WARRANTY, REPRESENTATION OR GUARANTEE, EITHER WRITTEN OR ORAL, IN CONNECTION WITH THIS PLAN. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE FOUND IN THIS PLAN. THE DESIGNER'S LIABILITY IS LIMITED TO THE INFORMATION PROVIDED HEREON AS SHOWN ON THESE PLANS.

THE PROJECT WILL BE EQUIPPED WITH A CONCRETE PERMEABLE CURB, SMART CONTROLLER, LOW FLOW ROTORS, BUBBLER AND OR Drip IRRIGATION WATER EFFICIENCY WILL MEET OR SURPASS THE CURRENT STATE REQUIREMENTS FOR WATER CONSERVATION.

NOTE: IMPROVEMENTS FOR SIGNAGE, PERMET WALLS, FENCING, PLASER, ETC. SHALL BE UNWARRANTED BY THE ASSOCIATION (PERMITS REQUIRED).
 ADDITIONAL SIGNAGE SHALL BE EFFECTIVELY SCREENED WITH LANDSCAPING. SCREENING SHALL INCLUDE TREES, DENSE EVERGREEN SHRUBS, WALLS, EARTH BEING OR A COMBINATION THEREOF.



**LANDSCAPE MAINTENANCE EXHIBIT
 PATTERSON COMMERCE CENTER**

PATTERSON AVENUE, PERRIS CA.

18831 Bardsean Ave., Ste. #100
 Irvine, CA 92612
 (949) 863-1770
 www.hparchts.com



SPLA
 SCOTT PETERSON LANDSCAPE ARCHITECT, INC.
 2403 VIA FRANCISCO WAY
 PERRIS, CA 92570
 PH: 762-442-8203



DATE: 1-30-2023

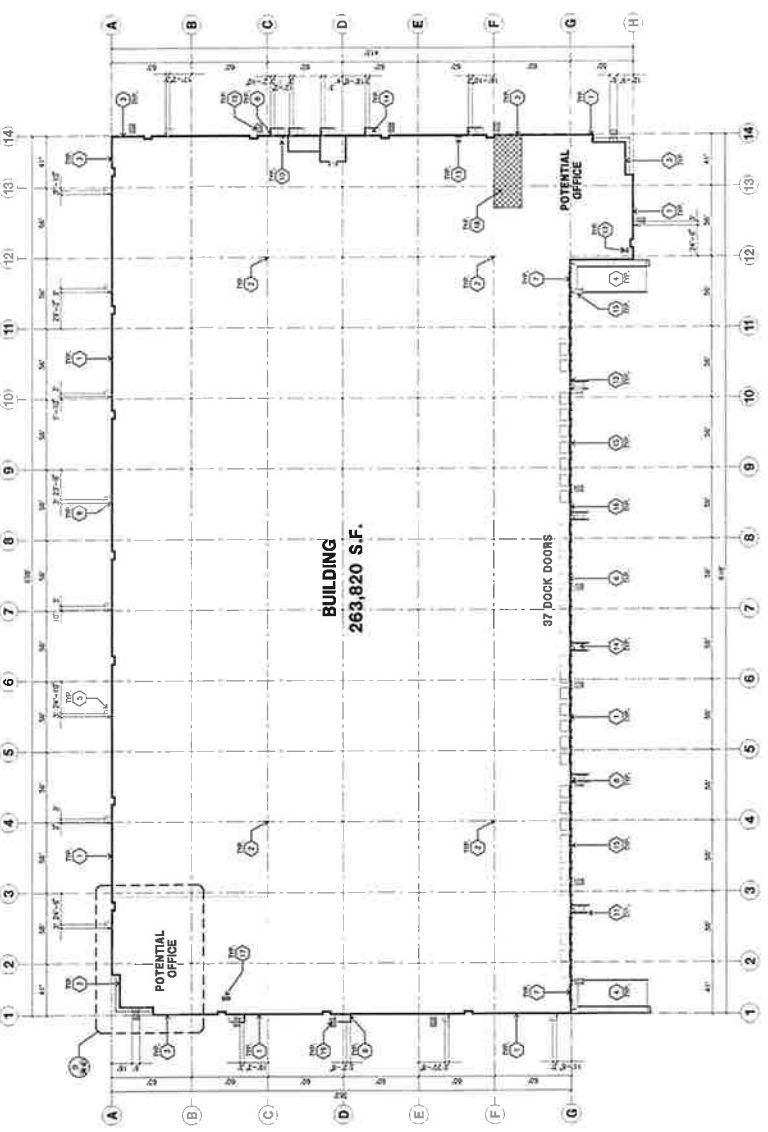
DATE: 11/18/2011 10:54 AM

KEYNOTES - FLOOR PLAN

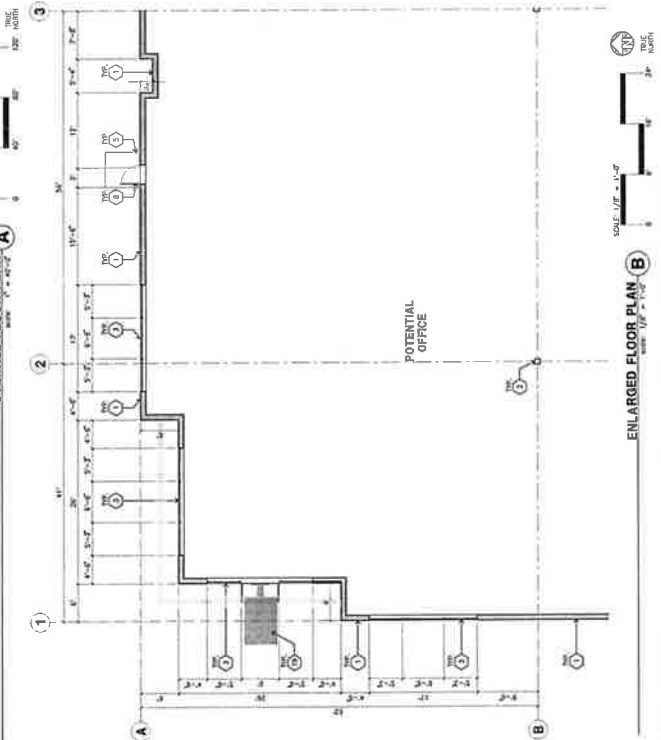
- 1 CONCRETE TIE-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STRENGTH SYSTEM WITH GLAZING, SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE MANSARD.
- 5 CONCRETE EXTERIOR WALLS FOR TRUCKS AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA, FINISH TO BE CITY REQUIREMENTS.
- 6 1/2" MIN. THICK INSULATED TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- 7 1/2" MIN. THICK INSULATED TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- 8 3/4" HOLLOW METAL EXTERIOR MAN DOOR.
- 9 3/4" HOLLOW METAL EXTERIOR MAN DOOR.
- 10 ROOF ACCESS LADDER.
- 11 CONCRETE FILLER GROUND FLOOR 4" DIA. OVER 47".
- 12 EXTERIOR ROOF FINISH WITH OPERATOR SIDEWALK.
- 13 INSULATION AREA, INSURANCE WOOD.
- 14 EXTERIOR CONCRETE STAIR LEVELER.
- 15 METAL LADDER.
- 16 3/4" DIA. METAL LADDER.
- 17 EXTERIOR BUILDING LIGHTING.

GENERAL NOTES - FLOOR PLAN

- A. NEW BUILDING IS DESIGNED FOR 100 MPH WIND SPEEDS WITH 100 ACCESS MAN DOORS AT 100' WINDSPEED. A WIND-RESISTANT PANEL WILL BE REQUIRED.
- B. THE BUILDING FLOOR SLAB SLOPES 1/2". SEE "C" DRAWINGS FOR FINISH.
- C. FLOOR SLAB SHALL BE SEALED WITH UPOUGH.
- D. TO RECEIVE ONLY PRECAST CONCRETE MAN DOOR WALLS IN WAREHOUSE, TO RECEIVE CONCRETE PANEL WALL, CIRCULAR OR SQUARE OPENINGS TO THE FACE OF CONCRETE PANEL WALL, CIRCULAR OR SQUARE OPENINGS TO THE FACE OF CONCRETE PANEL WALL, CIRCULAR OR SQUARE OPENINGS TO THE FACE OF CONCRETE PANEL WALL.
- E. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES FOR BOOM TYPES AND SIZES, SEE DETAIL SHEET A0.4. NOTE ALL DOORS TO BE OPERATED INCLUDING CARS AND TRUCKS.
- F. TO BE OPERATED INCLUDING CARS AND TRUCKS.
- G. THIS BUILDING TO HAVE FIVE (5) OPERATORS INSTALLED.



OVERALL FLOOR PLAN (A)



HYPAC, INC.
 18801 Sandstone Blvd., Ste. 1100
 Irvine, CA 92614
 Tel: 949-451-1773
 Fax: 949-451-1081
 email: hypac@hypac.com



Contract:
ROCKEFELLER GROUP

Project:
PATTERSON CENTER
 PATTERSON AVE
 PERRIS, CA 92471

Consultants:
 CIVIL: HOFFSTADT
 STRUCTURAL: HOFFSTADT
 MECHANICAL: HOFFSTADT
 ELECTRICAL: HOFFSTADT
 LANDSCAPE: SPA
 SPECIALTIES: SPA
 SUBCONTRACTOR: SUBCONTRACTOR

Title: OVERALL FLOOR PLAN

Project Number: 20308
 Drawn by: J.C.
 Date: 04/15/22
 Revisions:

Sheet:
DAB-A2.1



HPA, Inc.
18231 Harborway, Ste. 1100
Houston, TX 77058
Tel: 281.485.1700
Fax: 281.485.1800
Email: hpa@hpa.com



Client:
ROCKEFELLER GROUP

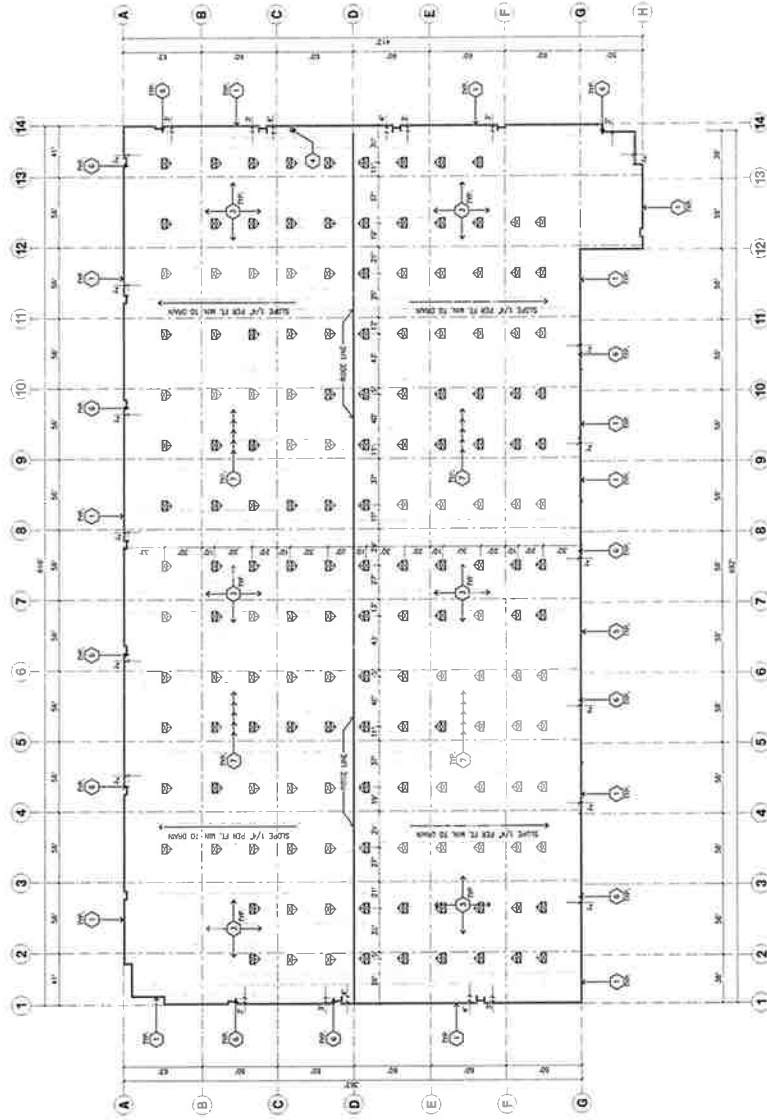
Project:
PATTERSON COMMERCIAL CENTER

Consultants:
CIVIL: HURTZCOILARS
STRUCTURAL: HURTZCOILARS
MECHANICAL: HURTZCOILARS
PLUMBING: HURTZCOILARS
ELECTRICAL: HURTZCOILARS
LANDSCAPE: HURTZCOILARS
PREFUNCTION: HURTZCOILARS
SUBMITTER: HURTZCOILARS

Title: OVERALL ROOF PLAN

Project Number: 20328
Drawn by: J.C.
Date: 04/15/22
Revision:

Sheet:
DAB-A2.10



OVERALL ROOF PLAN (A)
DATE: 11/19/2014

- ROOF PLAN GENERAL NOTES**
- A. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
 - B. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
 - C. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
 - D. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
 - E. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
 - F. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
 - G. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
 - H. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
 - I. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
 - J. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
 - K. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, COLUMN, OR FACE OF THIS (UNLESS NOTED OTHERWISE).
- ROOF PLAN KEYNOTES**
1. CONCRETE PANELS
 2. 4" FIBER 25# GRS / ELECTRIC POWER AIR CONDENSING UNIT
 3. 4" R-19 48 MIL LTR OVER 180#-GALV WITH (2) 4" BOLT INSULATION
 4. ROOF MECH.
 5. EXTERIOR ROOF DOWN WITH OUTLOOK SURFACES
 6. ROOF MECH.
 7. 30" x 24" ROOF MECH
- ROOF LEGEND**
- 4" x 4" DIM INVERTED SUPPORTS
 - 4" x 4" DIM INVERTED SLOPE MECH
 - BUILDING PANELS LINE

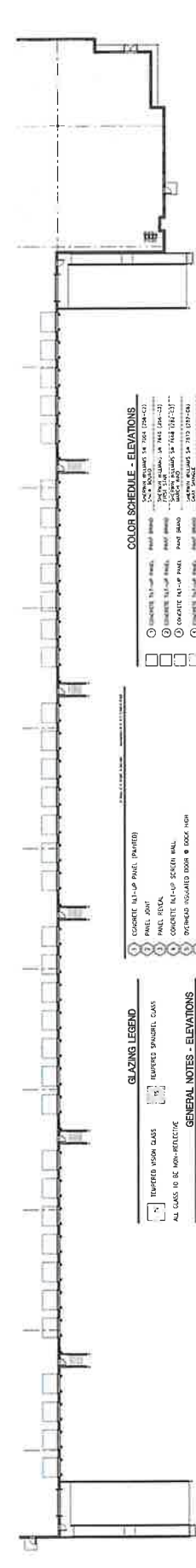
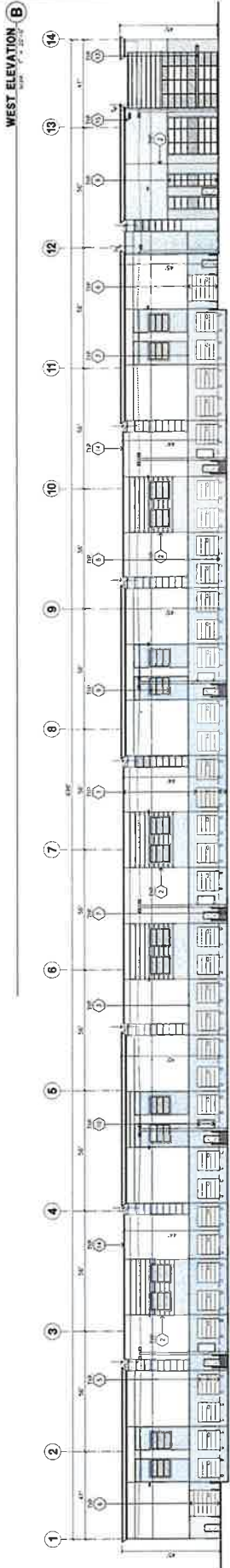
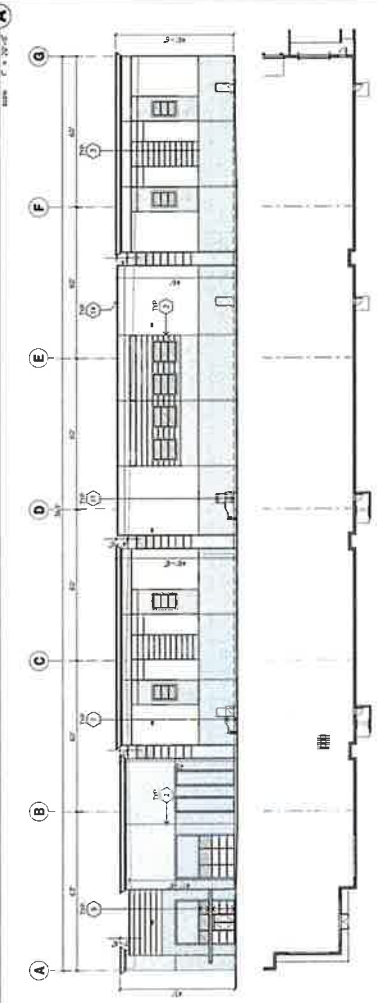
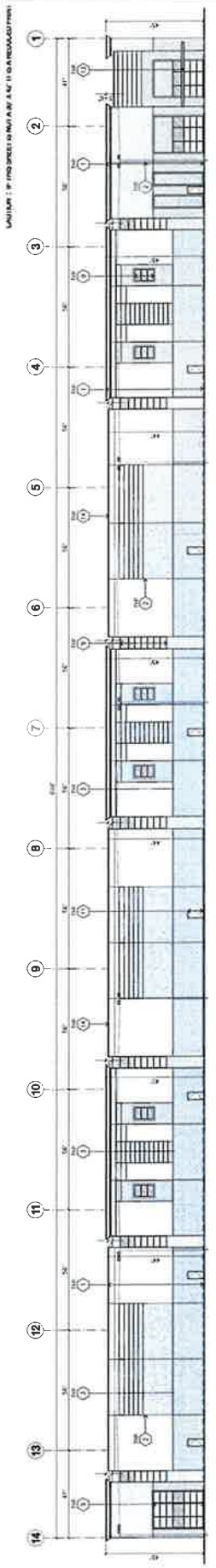
HPA
 HUNTER PARTNERS ARCHITECTS
 18011 Sandstone Drive, Ste. 100
 San Diego, CA 92128
 Tel: 619 451-1700
 Fax: 619 451-1000
 email: hpa@hunter.com

Owner:
ROCKEFELLER GROUP
 3111 Rockwell Drive
 Irvine, CA 92618
 Tel: 949 453-8801

Project:
PATTERSON COMMERCE CENTER
 PATTERSON AVE
 PERRIS, CA 92471

Consultants:
 ARCHITECTS
 STRUCTURAL
 MECHANICAL
 PLUMBING
 ELECTRICAL
 LANDSCAPE
 INTERIORS
 SPECIALTIES

ELEVATIONS
 Project Number: 20308
 Drawn by: J.C.
 Date: 04/15/22
 Revisited:



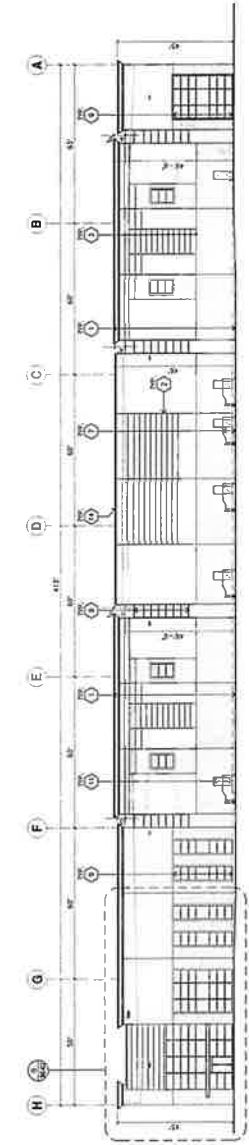
COLOR SCHEDULE - ELEVATIONS

Code	Material / Color	Notes
1	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL
2	PAINT	PAINT
3	GLASS	GLASS
4	GLASS	GLASS
5	GLASS	GLASS
6	GLASS	GLASS
7	GLASS	GLASS
8	GLASS	GLASS
9	GLASS	GLASS
10	GLASS	GLASS
11	GLASS	GLASS
12	GLASS	GLASS
13	GLASS	GLASS
14	GLASS	GLASS

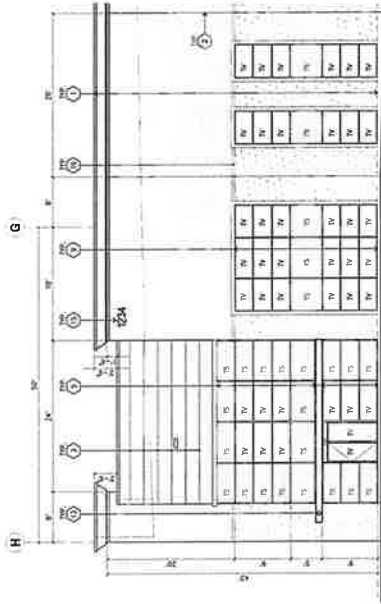
GLAZING LEGEND

Code	Glazing Type
1	REFLECTED VISION GLASS
2	LOW-E GLASS
3	LOW-E GLASS
4	LOW-E GLASS
5	LOW-E GLASS
6	LOW-E GLASS
7	LOW-E GLASS
8	LOW-E GLASS
9	LOW-E GLASS
10	LOW-E GLASS
11	LOW-E GLASS
12	LOW-E GLASS
13	LOW-E GLASS
14	LOW-E GLASS

GENERAL NOTES - ELEVATIONS
 1. ALL GLASS TO BE NON-REFLECTIVE
 2. ALL GLASS TO BE LOW-E
 3. ALL GLASS TO BE 1/2" MINIMUM THICKNESS
 4. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS
 5. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS
 6. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS
 7. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS
 8. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS
 9. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS
 10. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS
 11. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS
 12. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS
 13. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS
 14. ALL GLASS TO BE 1/2" MINIMUM SPACING BETWEEN GLASS UNITS



EAST ELEVATION (A)
Scale: 1/8" = 1'-0"



ENLARGED EAST ELEVATION (B)
Scale: 1/4" = 1'-0"



Huntzigs & Partners, Inc.
18331 Sandhill Avenue, Suite 4100
San Diego, CA 92128
Tel: 619.484.1170
Fax: 619.484.1100
email: hpa@hpa.com



Owner:
ROCKEFELLER GROUP

3181 MICHELSON DRIVE
DOWNEY, CA 90242
TEL: (714) 484-3661

Project:
PATTERSON COMMERCE CENTER

PATTERSON AVE
PERRIS, CA 92571

Consultants:
CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING
MECHANICAL
LANDSCAPE
PRESERVATION
SIGNAGE

Titic: ELEVATIONS

Project Number: 20208
J.C.
Drawn by:
Date: 04/15/22
Reviewed:

Sheet:
DAB-A3.2

COLOR SCHEDULE - ELEVATIONS

Color	Material / Finish	Notes
1	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
2	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
3	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
4	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
5	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
6	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
7	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
8	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
9	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
10	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
11	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
12	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
13	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
14	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)
15	CONCRETE TILT-UP PANEL	PAINT FINISH - SEE SCHEDULE FOR FINISH (204-03)

KEYNOTES - ELEVATIONS

1	CONCRETE TILT-UP PANEL (FINISH)
2	CONCRETE TILT-UP PANEL (FINISH)
3	CONCRETE TILT-UP PANEL (FINISH)
4	CONCRETE TILT-UP PANEL (FINISH)
5	CONCRETE TILT-UP PANEL (FINISH)
6	CONCRETE TILT-UP PANEL (FINISH)
7	CONCRETE TILT-UP PANEL (FINISH)
8	CONCRETE TILT-UP PANEL (FINISH)
9	CONCRETE TILT-UP PANEL (FINISH)
10	CONCRETE TILT-UP PANEL (FINISH)
11	CONCRETE TILT-UP PANEL (FINISH)
12	CONCRETE TILT-UP PANEL (FINISH)
13	CONCRETE TILT-UP PANEL (FINISH)
14	CONCRETE TILT-UP PANEL (FINISH)
15	CONCRETE TILT-UP PANEL (FINISH)

GLAZING LEGEND

IV	TYPICAL TYPICAL GLASS
V	TYPICAL SPANGLER GLASS

GENERAL NOTES - ELEVATIONS

- ALL PAINT COLORS CHANGES TO COLOR AS SHOWN UNLESS NOTED OTHERWISE.
- ALL PAINT FINISHES ARE TO BE PAINT UNLESS NOTED OTHERWISE.
- 12-14 = TOP OF FINISH - ELEVATION.
- STRENGTH CONSTRUCTION CLASS, WITH ATTACHMENTS AND DETAILS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL FULLY PAINT ALL CONCRETE PANELS WITH SELECTED FINISH PRIOR TO INSTALLATION OF CURTAIN WALL SYSTEM.
- CONTRACTOR SHALL FULLY PAINT ALL CONCRETE PANELS WITH SELECTED FINISH PRIOR TO INSTALLATION OF CURTAIN WALL SYSTEM.

CAUTION: IF THIS SHEET IS NOT A 36" X 48" IT IS A REDUCED PRINT



HPA
HUNTZIGER PARTNERS ARCHITECTS

18825 Woodside Avenue, Suite #100
Woodside, CA 94097
Tel: 650-951-7373
Tel: 650-951-0551
email: hpa@hpaarch.com



CONTRACT:
ROCKEFELLER GROUP

310 VANDERBORN DRIVE
DUBLIN, CA 94568
TEL: (925) 835-6000

Project:
PATTERSON COMMERCE CENTER

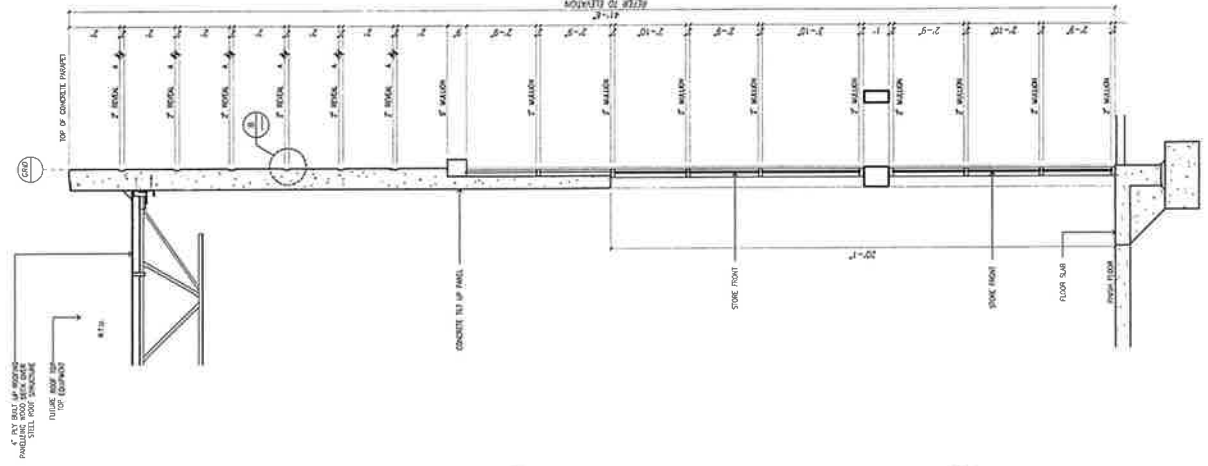
PATTERSON AVE.
PERRIS, CA 92471

Consultants:
HUNTZIGERS
CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
SPLA
FIRE PROTECTION
SILVERSTEIN

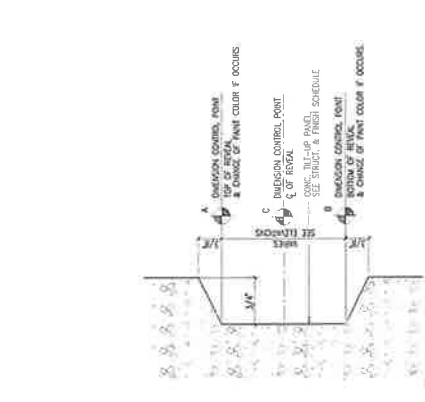
TITLE: SECTION

Project Number: 2238
Drawn by: J.C.
Date: 04/15/22
Revised:

Sheet: **DAB-A4.1**

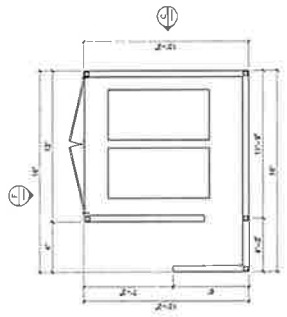


TYP. STOREFRONT ELEVATION

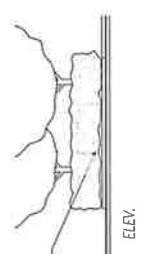


TYP. CONCRETE REVEAL

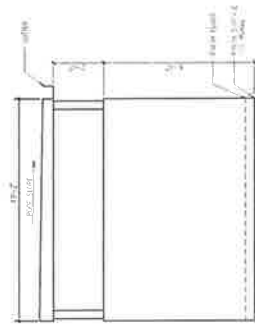
NOTES:
1. DIMENSIONAL MATERIAL FINISHES AT REVEALS AND EDGE OF CONCRETE OPENINGS
IN THESE DETAILS. SEE MAIN SCHEDULES.
2. PAINT COLOR CHANGES TO ALWAYS OCCUR AT CONTROL POINT "A", OR "B"
OR "C".



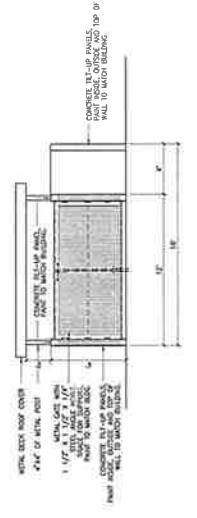
TRASH ENCLOSURE PLAN



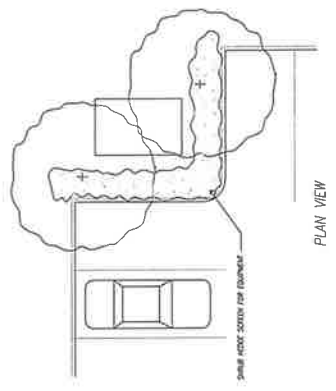
GROUND MOUNTED EQUIPMENT SCREENING, TYP. ELEV.



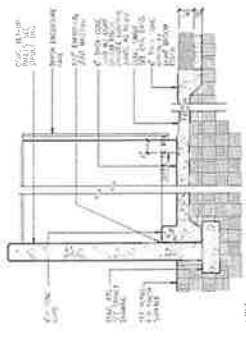
TRASH ENCLOSURE GATE ELEVATION



TRASH ENCLOSURE GATE ELEVATION (F)

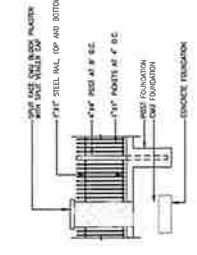


PLAN VIEW

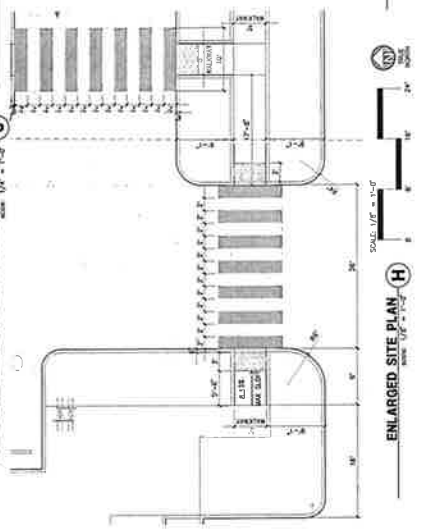


TRASH ENCLOSURE SECTION

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL MATERIALS AND FINISHES TO BE AS SHOWN IN THE SCHEDULES.
3. ALL MATERIALS AND FINISHES TO BE AS SHOWN IN THE SCHEDULES.
4. ALL MATERIALS AND FINISHES TO BE AS SHOWN IN THE SCHEDULES.



TUBE STEEL FENCE AND DECORATIVE PILASTER



ENLARGED SITE PLAN

CAUTION: IF THIS SHEET IS NOT A 24" X 36" (1/8" REDUCED PRINT)



HPA INC.
18801 HUNTERS DRIVE
SUITE 100
DUBLIN, CA 94568
TEL: 925-835-1234
FAX: 925-835-1235
EMAIL: hpa@hpa.com



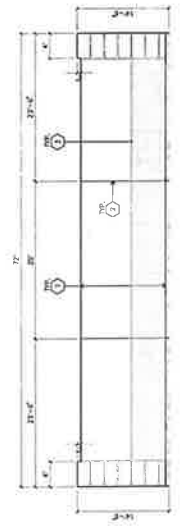
OWNER:
ROCKEFELLER GROUP

PROJECT:
PATTERSON COMMERCE CENTER

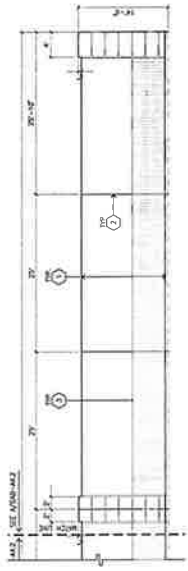
CONSULTANTS:
CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE ARCHITECTURE, REFLECTION SURVEYING

TYPE: SCREENWALL
PROJECT NUMBER: 2038
DRAWN BY: J.C.
DATE: 04/15/22
REVISED:

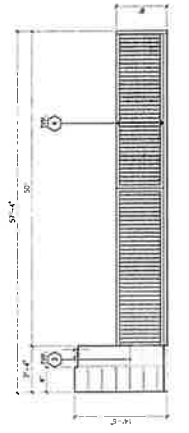
Sheet:
DAB-A4.2



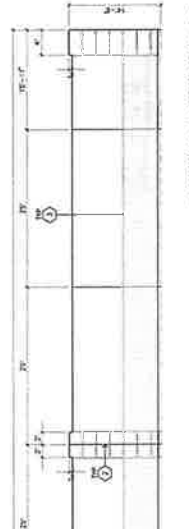
SCREENWALL ELEVATION A



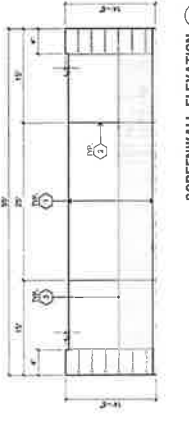
SCREENWALL ELEVATION C



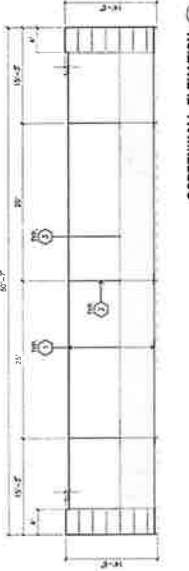
SCREENWALL ELEVATION E



SCREENWALL ELEVATION H



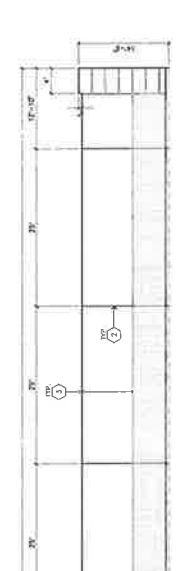
SCREENWALL ELEVATION J



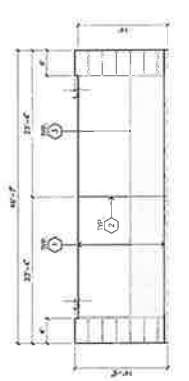
SCREENWALL ELEVATION L



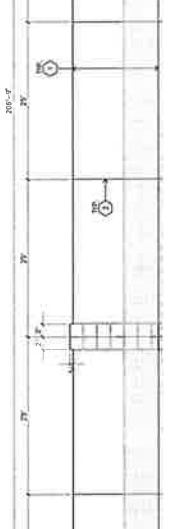
SCREENWALL ELEVATION B



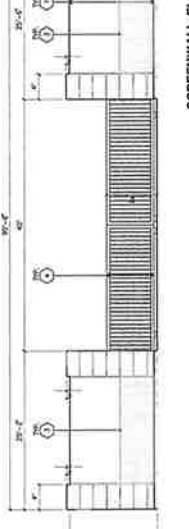
SCREENWALL ELEVATION D



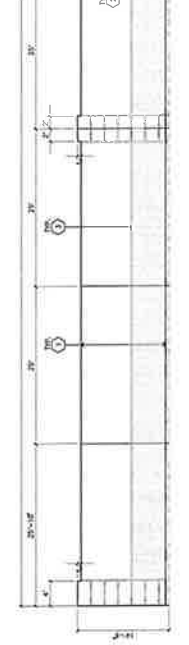
SCREENWALL ELEVATION F



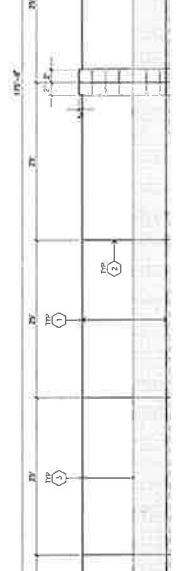
SCREENWALL ELEVATION G



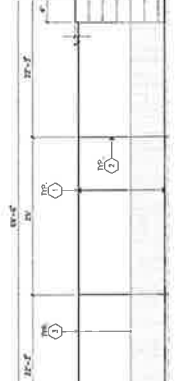
SCREENWALL ELEVATION K



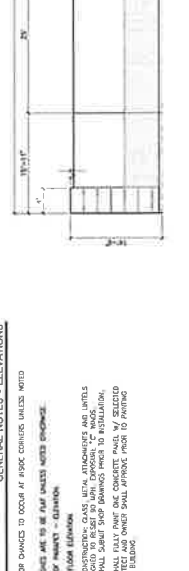
SCREENWALL ELEVATION I



SCREENWALL ELEVATION M



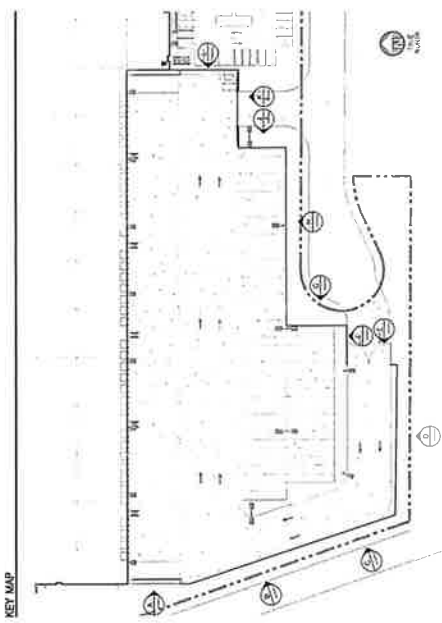
SCREENWALL ELEVATION N



SCREENWALL ELEVATION O



SCREENWALL ELEVATION P



GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT JOINTS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE PAINT MATCHES UNLESS NOTED OTHERWISE.
- C. STAINING, CORROSION, CRACKS, WEAR, DISINTEGRATION AND JOINTS SHALL BE REPAIRED TO ORIGINAL CONDITION.
- D. CONTRACTOR SHALL FULLY PAINT OUT CONCRETE PAINT, W/ SELECTED FINISHES TO MATCH EXISTING PAINT.
- E. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ARCHITECT BEFORE ANY PAINTING.

KEYNOTES - ELEVATIONS

- 1. CONCRETE TIE-UP PANEL (WHITE)
- 2. PAINT FINISH
- 3. METAL CLIP W/ SCREENING MESH

COLOR SCHEDULE - ELEVATIONS

KEYNOTE	DESCRIPTION	PAINT NAME	PAINT NUMBER
1	CONCRETE TIE-UP PANEL	PRIMER	1000-0000
2	PAINT FINISH	PRIMER	1000-0000
3	METAL CLIP W/ SCREENING MESH	PRIMER	1000-0000



1821 Harrison Drive
Fremont, CA 94538
Tel: 510-770-1100
Fax: 510-770-1101
www.hipa.com



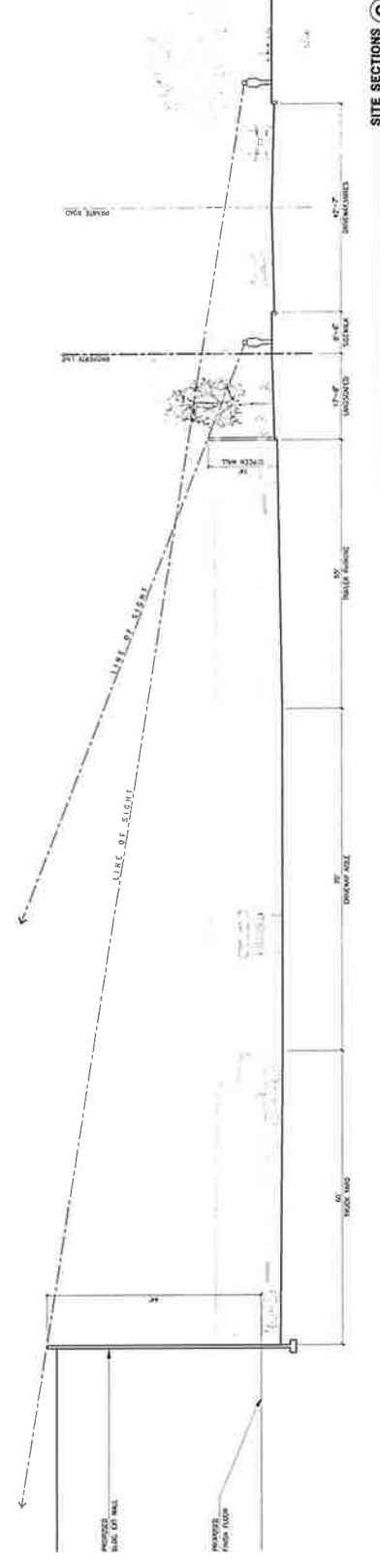
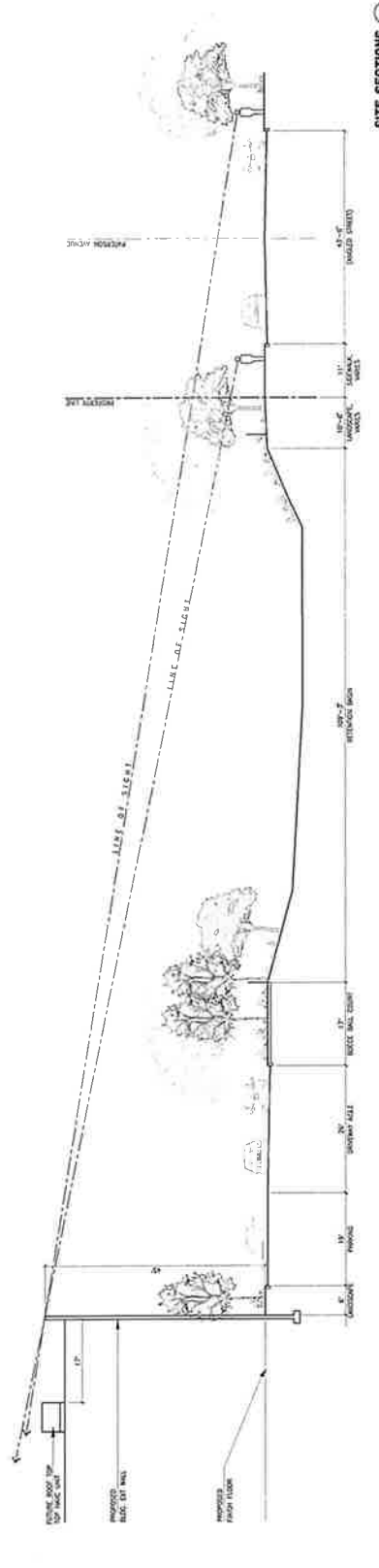
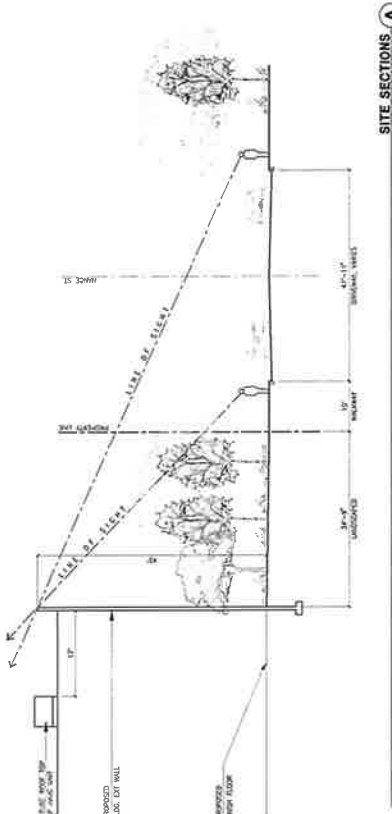
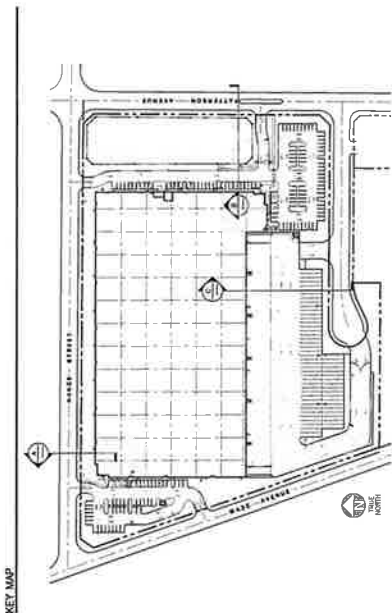
Rockefeller Group

3181 Harrison Drive
Fremont, CA 94538
Tel: 510-770-1100

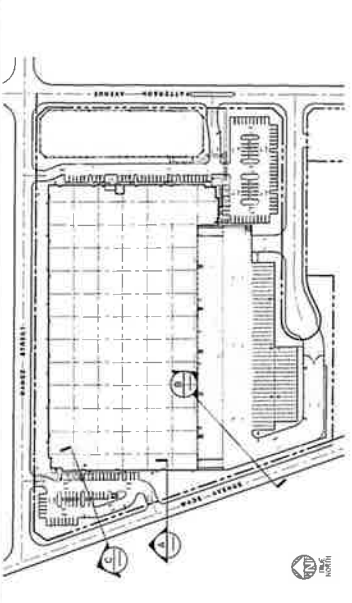
Project: PATERSON COMMERCE CENTER
PATERSON, CA 94571

Consultants:
MORTENSON
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING
LANDSCAPE
REVISIONS
SPLA
SKLEBINGER

Table with 2 columns: Title, SITE SECTIONS. Includes Project Number: 2338, Drawn by: J.C., Date: 04/19/22, Revision:

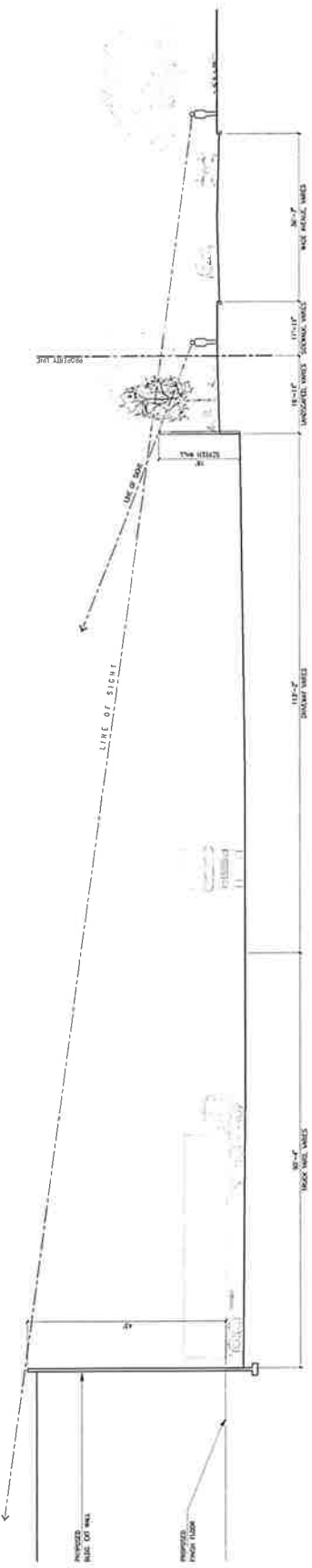


KEY MAP



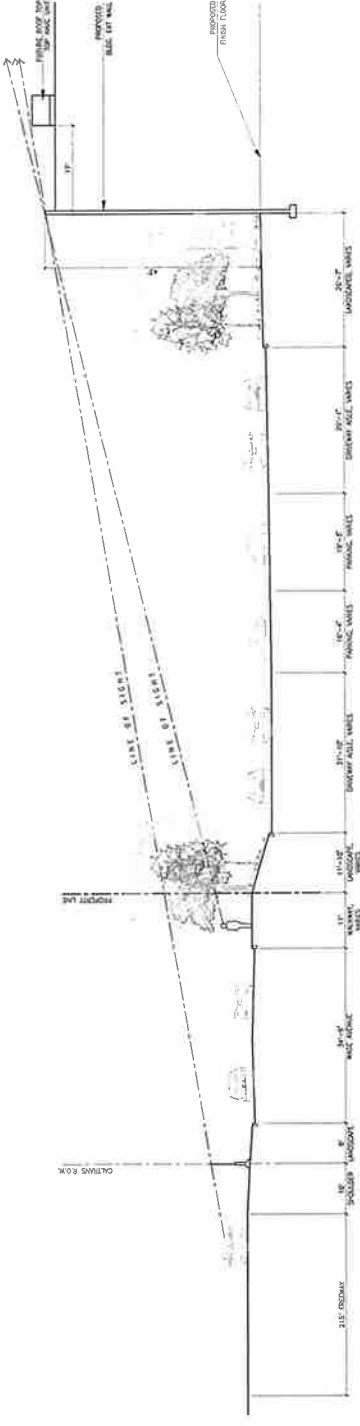
SITE SECTIONS A

TYPE A



SITE SECTIONS B

TYPE B



SITE SECTIONS C

TYPE C



HPA, INC.
18821 Highway 99, Suite #100
FERRIS, CA 94503
Tel: 925-927-1770
Fax: 925-927-0831
email: hydro@hpa.com



Owner:
ROCKEFELLER GROUP

310 WILKINSON DRIVE
SUITE 200
FERRIS, CA 94503
Tel: 925-927-1770

Project:
PATTERSON COMMERCE CENTER
PATTERSON AVE
FERRIS, CA 94571

Consultants:
CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE
PERMITS
MULTIDISCIPLINARY
HUTTZOLLARS
AND ASSOCIATES
P.A.

Table with project details: Title, Project Number (2228), Drawn by (J.C.), Date (3/1/92), and Revision. Includes a large 'DAB-A44' stamp and 'Sheet' label.

EXHIBIT F

Public Comments and Response to Comments

*Due to the size of the file, the documents are
available online at:*

[https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-369#docan1206 1313 479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-369#docan1206_1313_479)

EXHIBIT G

Initial Study / Mitigated Negative Declaration,
Mitigation Monitoring and Reporting Program,
Associated Technical Studies

*Due to the size of the files, the documents are
available online at:*

https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-369#docan1206_1313_479