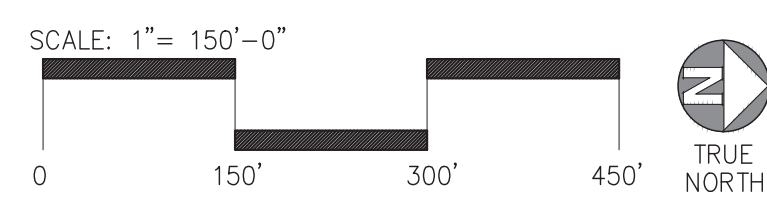


MASTER SITE PLAN
scale: 1" = 150'-0"



PROPERTY OWNER

IDI LOGISTICS
840 APOLLO STREET
SUITE 343 EL SEGUNDO
CA 90245
TEL: 213-330-3080

ADDRESS OF THE PROPERTY

TBD

ASSESSOR'S PARCEL NUMBER

330-120-002-5 330-120-003-6 330-120-008-1
330-120-009-2 330-120-010-2 330-120-011-3

LEGAL DESCRIPTION

THE LAND REFERRED HEREIN BELOW IS SITUATED IN THE CITY OF PERRIS IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND DESCRIBE AS FOLLOWS: LOTS 1, 2, 3, 8, 9, AND 10 OF JOHNSON'S SUBDIVISION, AS SHOWN BY MAP ON THE FILE IN BOOK 15, PAGE 705 OF MAPS, RECORD OF SAN DIEGO COUNTY, CALIFORNIA, TOGETHER WITH THAT CERTAIN UNNAMED ROAD LYING SOUTH OF LOTS 1, 2, AND 3, AND NORTH OF LOTS 8, 9, AND 10, AS ABANDONED BY THE COUNTY OF RIVERSIDE BY RESOLUTION ABANDONING COUNTY HIGHWAY, A CERTIFIED COPY OF WHICH WAS RECORDED JULY 19, 1960 AS INSTRUMENT NO. 64051 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, EXPECTING THEREFROM THE EAST 30 FEET OF LOTS 1 AND 10 FOR ROAD PURPOSES.

ZONING

GENERAL INDUSTRIAL

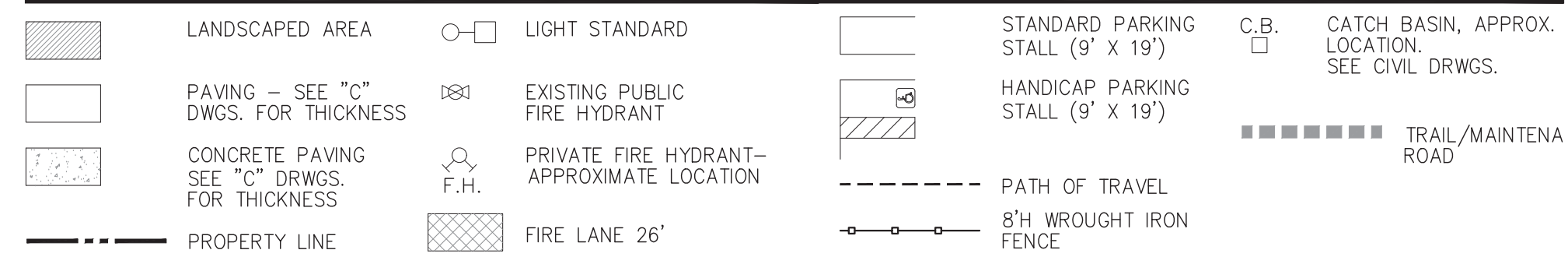
APPLICANT

IDI LOGISTICS
840 APOLLO STREET
SUITE 343 EL SEGUNDO
CA 90245
TEL: 213-330-3080

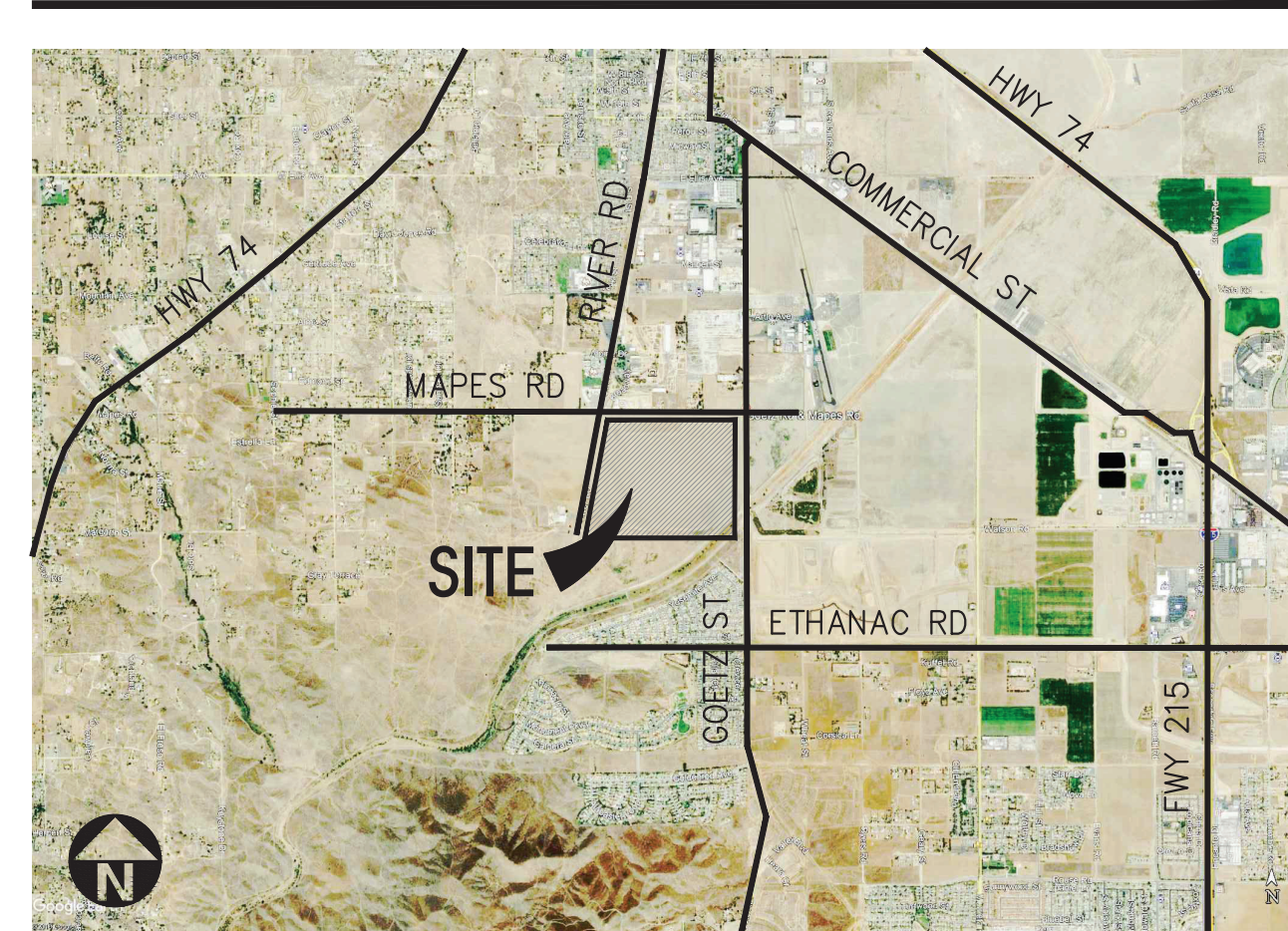
APPLICANT'S REPRESENTATIVE

HPA, INC.
18831 BARDEEN AVE SUITE 100
IRVINE CA 92612
TEL: 949-862-2138
ATTN: MATTHEW LEE

SITE LEGEND



VICINITY MAP



PROJECT DATA

	BLDG. 1	BLDG. 2	BLDG. 3	SUB-TOTAL	OPEN SPACE	TOTAL
SITE AREA						
IN S.F.	2,838,979	2,792,109	1,616,468	7,247,556	1,106,032	8,353,588 s.f.
IN ACRES	65.17	64.10	37.11	166.38	25.39	191.77 ac
BUILDING AREA						
Office	20,000	20,000	10,000	50,000		50,000 s.f.
Warehouse	1,365,090	1,424,920	525,207	3,295,217		3,295,217 s.f.
TOTAL	1,385,090	1,424,920	535,207	3,345,217		3,345,217 s.f.
CLEAR HEIGHT	42'	42'	40'			
COVERAGE	48.8%	51.0%	33.1%	46.2%		40.0%
FAR	0.488	0.51	0.331	0.462		0.4
AUTO PARKING REQUIRED						
Office (office area is less than 10%)						
Whse: 1st 20K @ 1/1,000 s.f.	20	20	20	60		60 stalls
2nd 20K @ 1/2,000 s.f.	10	10	10	30		30 stalls
above 40K @ 1/6,000 s.f.	270	277	100	647		647 stalls
TOTAL	300	307	130	737		737 stalls
AUTO PARKING PROVIDED						
Standard (9' x 19')	443	307	207	957		957 stalls
Standard Accessible Parking (9' x 19')	9	6	5	20		20 stalls
Van Accessible Parking (12' x 19')	2	2	2	6		6 stalls
EVCS (9' x 19')	27	20	14	61		61 stalls
EV Capable (9' x 19')	80	60	41	181		181 stalls
Standard EV ADA (9' x 19')	1	1	1	3		3 stalls
VAN EV (12' x 19')	1	1	1	3		3 stalls
Ambulatory (11x19')	1	0	0	1		1 stalls
TOTAL	564	397	271	1,232		1,232 stalls
TRAILER PARKING REQUIRED						
Trailer: 1/5,000 SF	278	285	108	671		671 stalls
TRAILER PARKING PROVIDED						
Trailer (10' x 55')	339	316	131	786		786 stalls
ZONING ORDINANCE FOR CITY						
Zoning Designation: General Industrial						
MAXIMUM BUILDING HEIGHT ALLOWED						
Height - 50'						
MAXIMUM FLOOR AREA RATIO						
FAR - 75						
LANDSCAPE REQUIREMENT						
Percentage - 12%						
LANDSCAPE PROVIDED						
	478713	450173	494309			
	16.8%	16.1%	30.6%			
SETBACKS						
Building						
Mapes St - 10' (Local)						
Goetz St - 15' (Arterial)						
A Street - 10' (Local)						
Side/Rear - none, adjoining R zone-20'						

GENERAL NOTES - SITE PLAN

- THE SOILS REPORT PREPARED BY SOCIAL GEO PROJ. NO. DATED ON _____ SHOULD BE A PART OF THESE CONTRACT DOCUMENTS.
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SCALES. DETAILS ON SHEET AD-1 ARE MINIMUM STANDARDS.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM, PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" SEE "L" DRAWINGS FOR FINISH.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT



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18831 bardeen avenue - ste. #100
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92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



IDI Logistics

IDI Logistics
840 Apollo street, Suite 343
El Segundo, CA 90245
tel: 213-330-8030

Project:
PERRIS LOGISTIC CENTER SOUTH

MAPES ST. & A ST.
PERRIS, CA

Consultants:

- | | |
|-----------------|--------|
| CIVIL | THIENS |
| STRUCTURAL | |
| MECHANICAL | |
| PLUMBING | |
| ELECTRICAL | GREGG |
| LANDSCAPE | RLA |
| FIRE PROTECTION | |
| SOILS ENGINEER | |

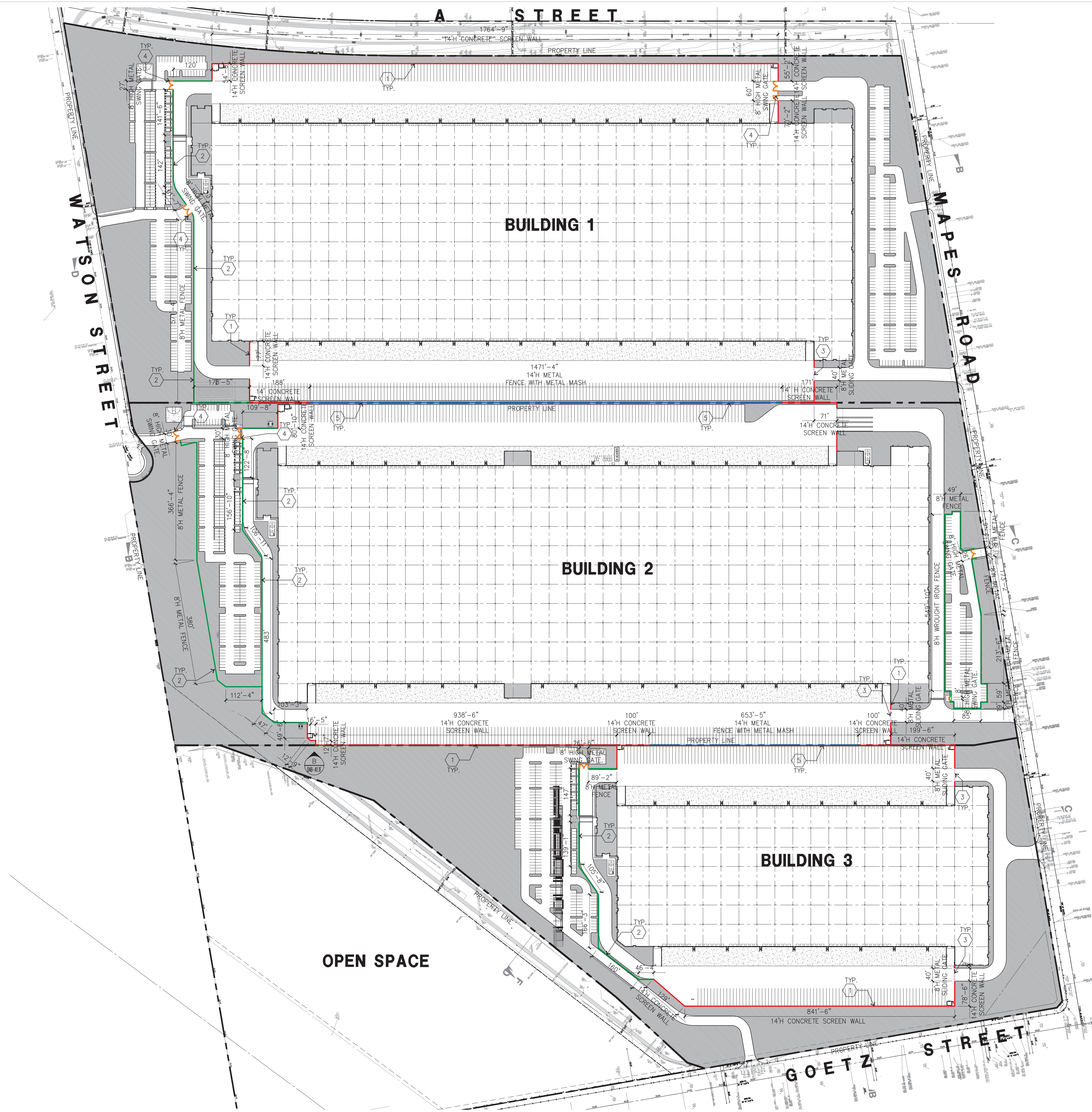
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Project Number: 19214
Drawn by: CR
Date: 07/16/21
Revision:

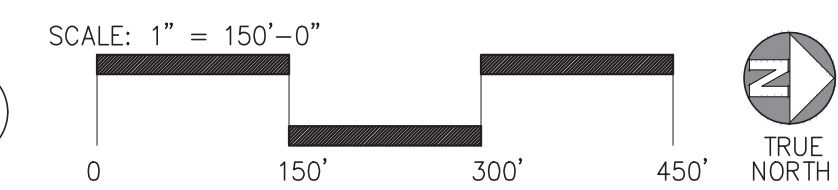
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OFFICIAL USE ONLY



OVERALL FENCE PLAN
 scale: 1" = 150'-0" **A**

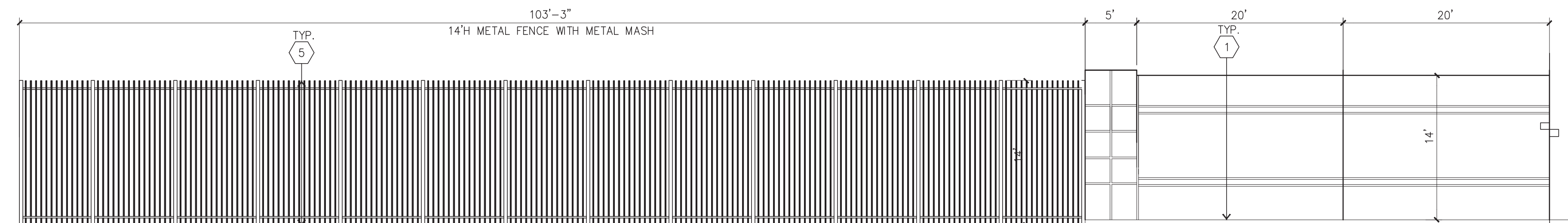


LEGEND



SITE PLAN KEYNOTES

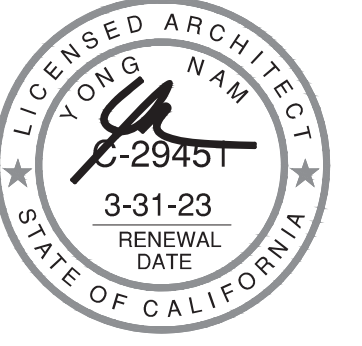
- 1 14" CONCRETE TILT-UP SCREEN WALL
- 2 8' HIGH WROUGHT IRON FENCE
- 3 PROPOSED 8' HIGH METAL SLIDING GATE
- 4 PROPOSED 8' HIGH METAL SWING GATE
- 5 14' HIGH WROUGHT IRON FENCE WITH METAL MASH



PARTIAL SCREENWALL & FENCE ELEVATION
 scale: 1/8" = 1'-0" **B**



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Project:
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MAPES ST. & A ST.
 PERRIS, CA

Consultants:

CIVIL	THIENES
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	GREGG
LANDSCAPE	RLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: OVERALL FENCE PLAN

Project Number: 19214
 Drawn by: CR
 Date: 07/16/21
 Revision:

Sheet:
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FIRE KEYNOTES

- 1 FIRE LANE IDENTIFICATION - RED CURB.
- 2 FIRE LANE ENTRANCE SIGN.
- 3 FIRE LANE NO PARKING SIGN.
- 4 MANUAL GATE WITH KNOX PADLOCK AND FIRE LANE NO-PARKING SIGN (11/AD.5) IF GATE CHANGES TO ELECTRONIC GATES, PROVIDE A KNOX EMERGENCY OVERRIDE KEY SWITCH (WITH DUST COVER.)
- 5 FIRE HYDRANT
- 6 FIRE DEPARTMENT CONNECTION (FDC)
- 7 BOLLARD.
- 8 KNOX BOX AT BUILDING ENTRANCE OR GATE PER FIRE DEPARTMENT
- 9 FIRE POST INDICATOR VALVE (PIV)

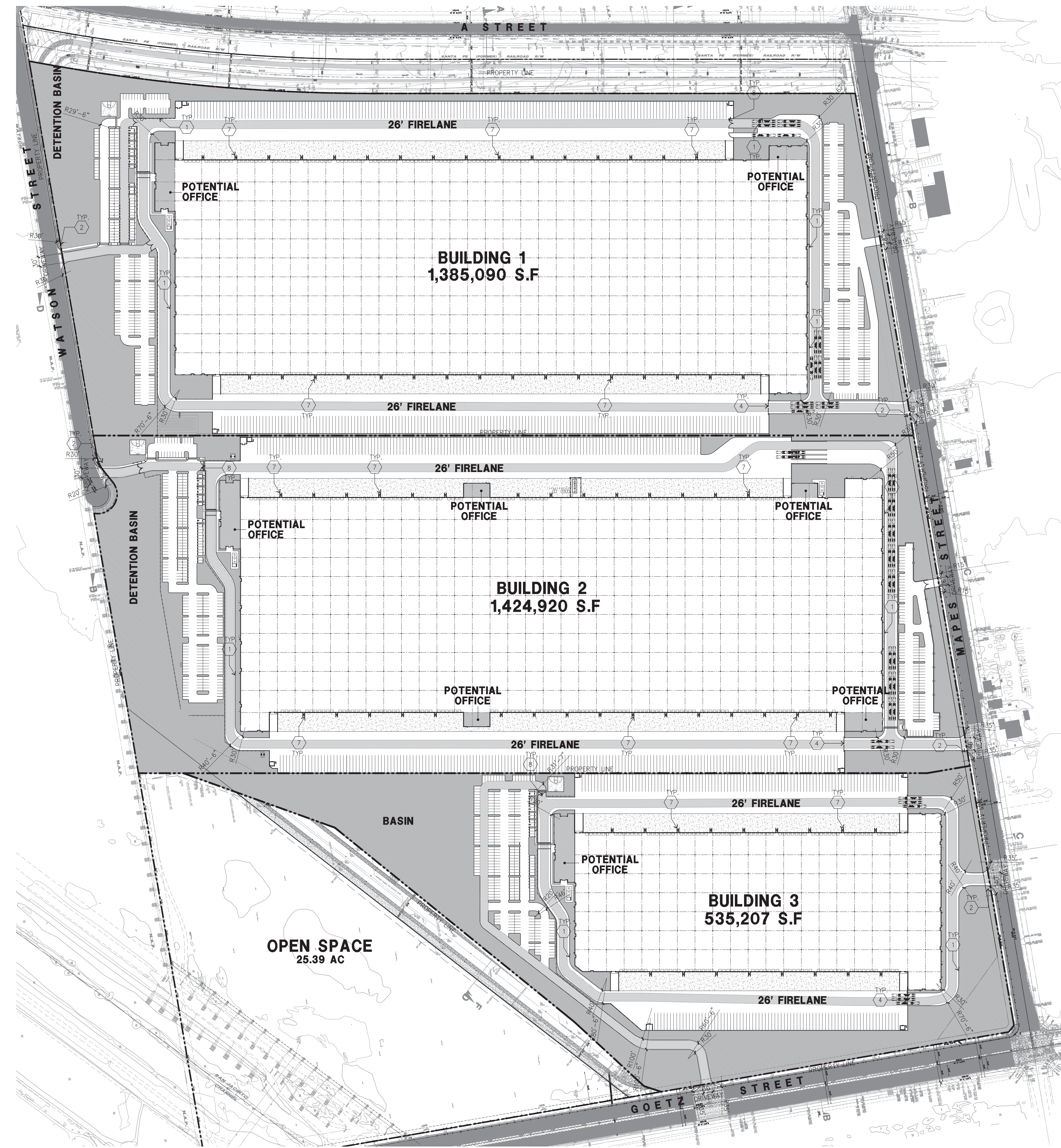
PERRIS FIRE DEPARTMENT ACCESS AND WATER NOTES

- INSPECTION REQUIREMENTS**
1. PERRIS SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48HRS IN ADVANCE. INSPECTIONS CANCELED AFTER 1P, ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL (951) 443-10299 TO SCHEDULE AN INSPECTION.
 2. A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHED FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION). ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 68,000LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
 3. FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION.
 4. PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTALS. CONTACT (951) 443-1029 TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
 5. AN ORIGINAL APPROVED, SIGNED, WET-STAMPED PERRIS FIRE ACCESS & WATER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
 6. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTIONS OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
 7. TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE OFFICE OF THE FIRE MARSHAL, CITY OF PERRIS PRIOR TO USE.
 8. THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
 9. ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
 10. BUILDING OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.
- GENERAL REQUIREMENTS**
11. FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMPED, ETC). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED PERRIS FIRE DEPARTMENT ACCESS & WATER PLAN AND STANDARDS IDENTIFIED IN PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
 12. PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 68,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
 13. FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
 14. ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR LOCATION PER THE PERRIS STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
 15. ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE.
 16. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC AND PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE.
 17. APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
 18. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.
 19. DUMPSTER AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
 20. ANY FUTURE MODIFICATION TO THE APPROVED FIRE DEPARTMENT ACCESS & WATER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADII, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE OFFICE OF THE FIRE MARSHAL, CITY OF PERRIS.
 21. APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE IT REQUIREMENTS IDENTIFIED IN PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE AND RELATED PORTIONS OF THE CFC AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.

NOTE:
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SITE LEGEND

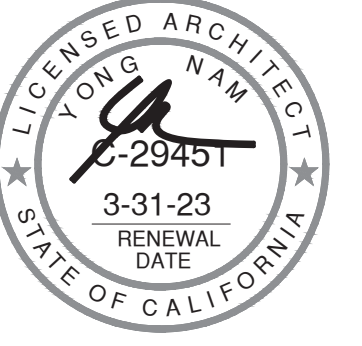
	LANDSCAPED AREA		LIGHT STANDARD		STANDARD PARKING STALL (9' X 19')		CATCH BASIN, APPROX. LOCATION. SEE CIVIL DRWGS.
	PAVING - SEE "C" DWGS. FOR THICKNESS		EXISTING PUBLIC FIRE HYDRANT		HANDICAP PARKING STALL (9' X 19')		TRAIL/MAINTENANCE ROAD
	CONCRETE PAVING - SEE "C" DWGS. FOR THICKNESS		PRIVATE FIRE HYDRANT - APPROXIMATE LOCATION		PATH OF TRAVEL		8' WROUGHT IRON FENCE
	PROPERTY LINE		FIRE LANE 26'				



OVERALL FIRE SITE PLAN
 scale: 1"= 150'-0" **A**
 SCALE: 1"= 150'-0"
 0 150' 300' 450' TRUE NORTH



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Project:
 PERRIS LOGISTIC CENTER
 SOUTH

MAPES ST. & A ST.
 PERRIS, CA

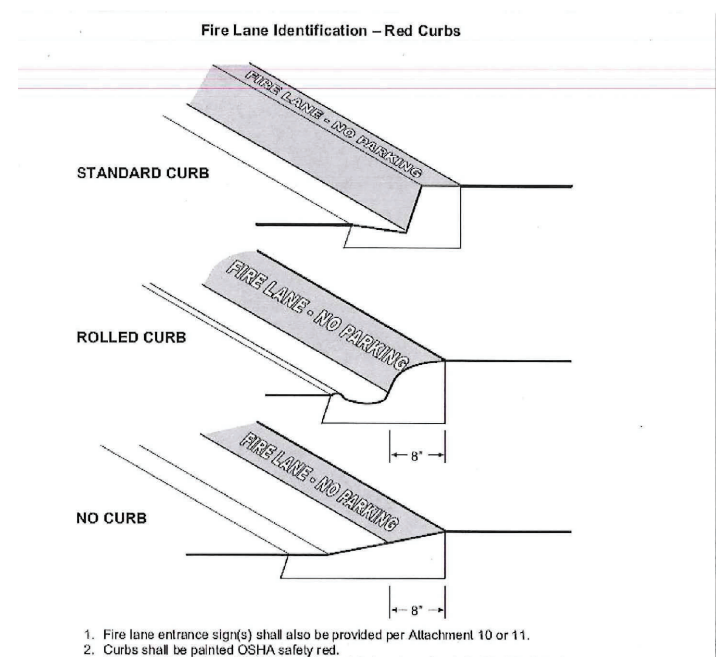
Consultants:

CIVIL	THIENES
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	GREGG
LANDSCAPE	RLA
FIRE PROTECTION	-
SOILS ENGINEER	-

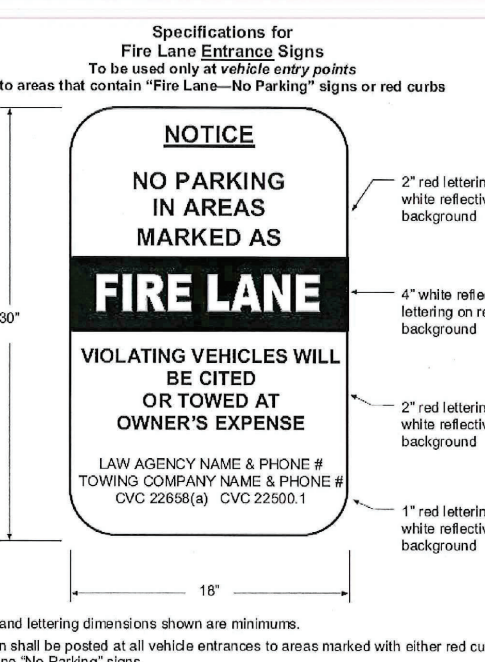
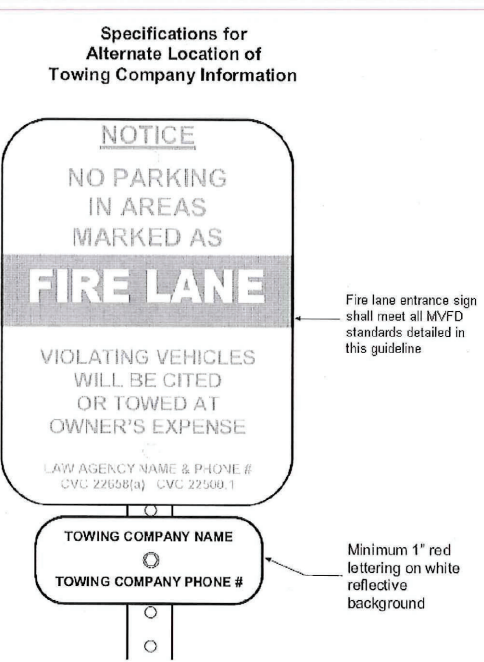
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Project Number: 19214
 Drawn by: CR
 Date: 07/16/21
 Revision:

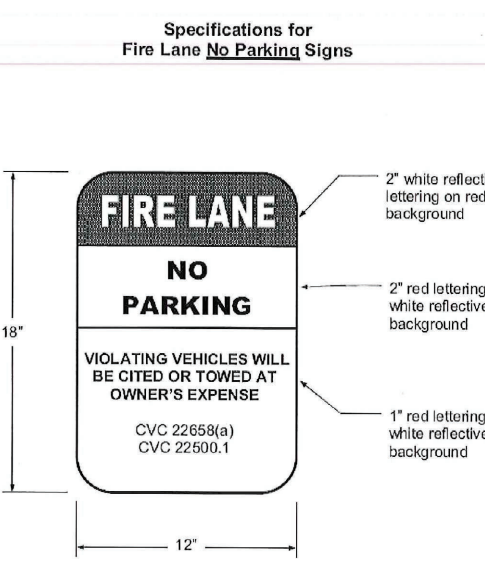
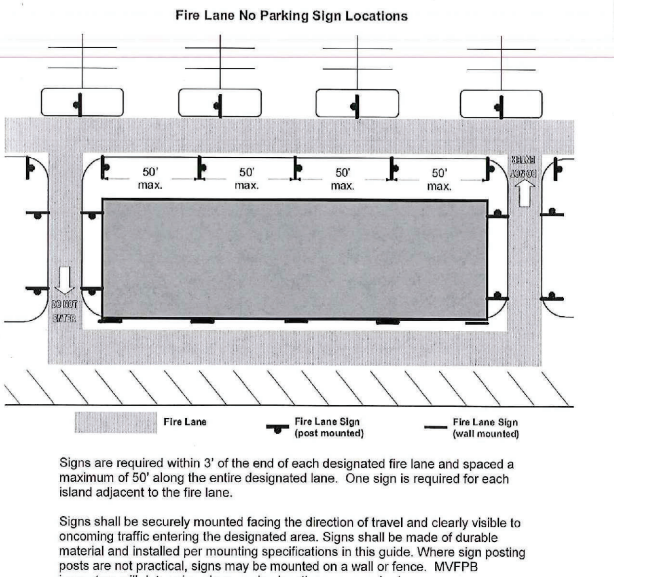
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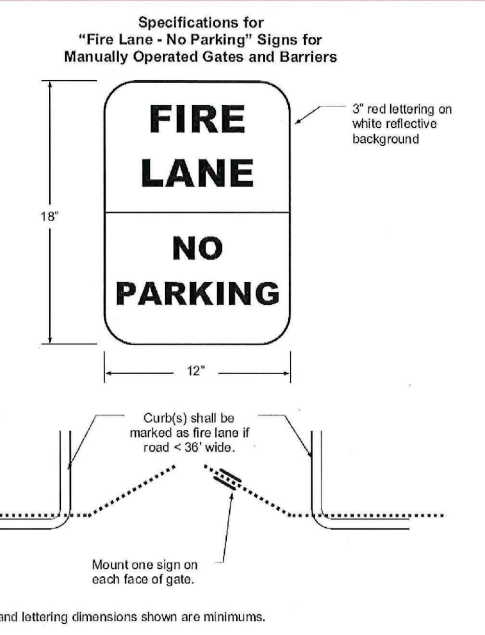
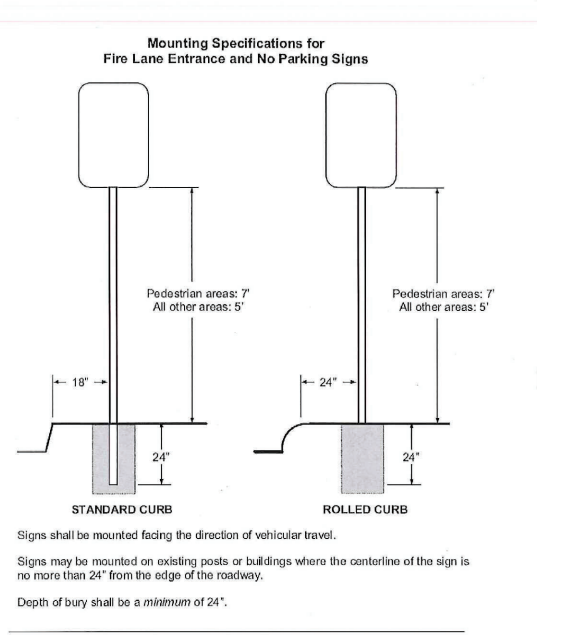
DETAIL B
scale: NTS



DETAIL C
scale: NTS



DETAIL D
scale: NTS



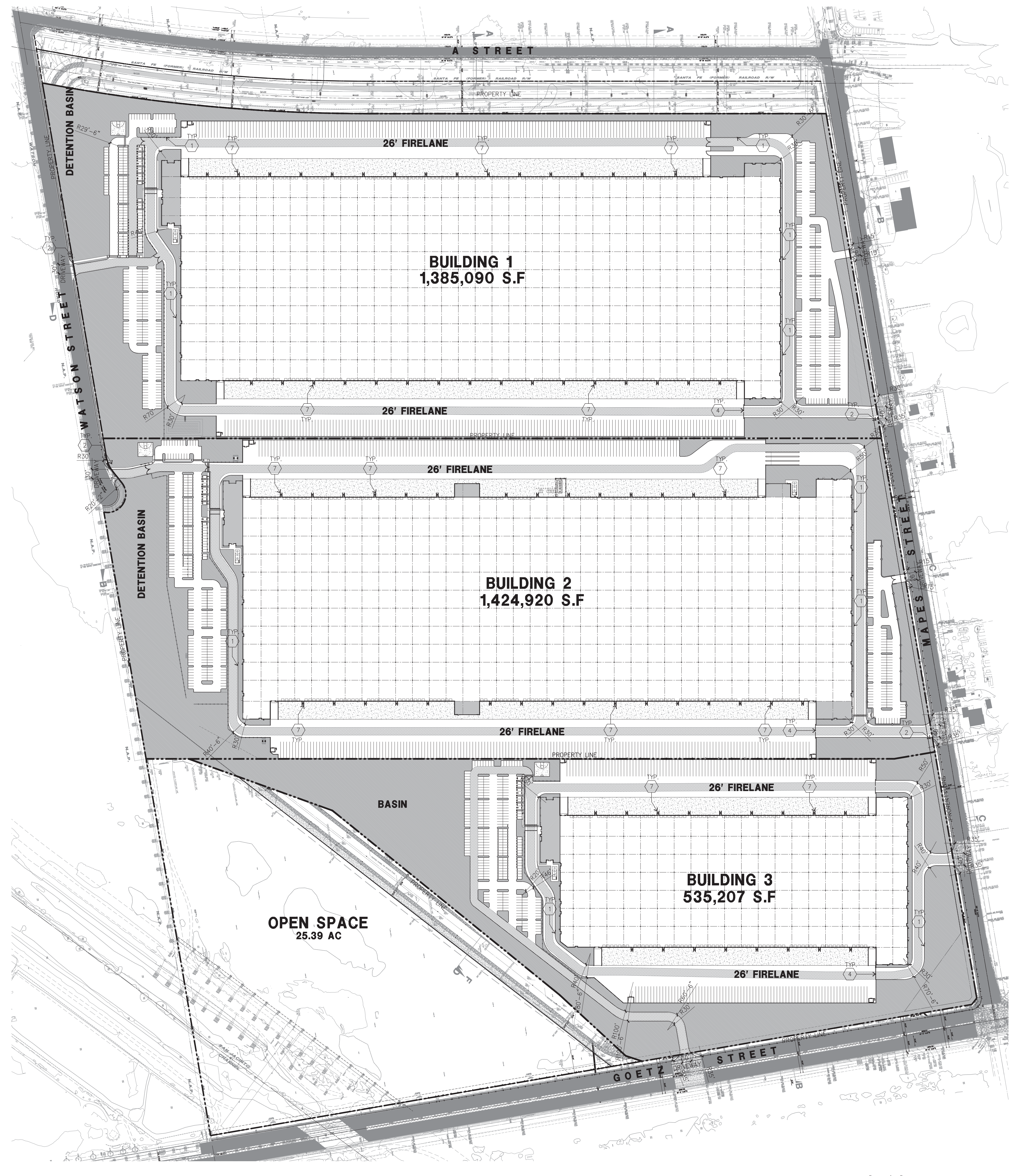
DETAIL E
scale: NTS

SITE LEGEND

	LANDSCAPED AREA		LIGHT STANDARD		STANDARD PARKING STALL (9' X 19')		CATCH BASIN, APPROX. LOCATION. SEE CIVIL DRWS.
	PAVING - SEE "C" DWGS. FOR THICKNESS		EXISTING PUBLIC FIRE HYDRANT		HANDICAP PARKING STALL (9' X 19')		TRAIL/MAINTENANCE ROAD
	CONCRETE PAVING SEE "C" DWGS. FOR THICKNESS		PRIVATE FIRE HYDRANT - APPROXIMATE LOCATION		PATH OF TRAVEL		8'H WROUGHT IRON FENCE
	PROPERTY LINE		FIRE LANE 26'				

- FIRE KEYNOTES**
- 1 FIRE LANE IDENTIFICATION - RED CURB.
 - 2 FIRE LANE ENTRANCE SIGN.
 - 3 FIRE LANE NO PARKING SIGN.
 - 4 MANUAL GATE WITH KNOX PADLOCK AND FIRE LANE NO-PARKING SIGN (11/AD.5) IF GATE CHANGES TO ELECTRONIC GATES, PROVIDE A KNOX EMERGENCY OVERRIDE KEY SWITCH (WITH DUST COVER).
 - 5 FIRE HYDRANT
 - 6 FIRE DEPARTMENT CONNECTION (FDC)
 - 7 BOLLARD.
 - 8 KNOX BOX AT BUILDING ENTRANCE OR GATE PER FIRE DEPARTMENT
 - 9 FIRE POST INDICATOR VALVE (PIV)

NOTE:
FIRE ACCESS ROADWAYS SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF PERRIS FIRE APPARATUS WITH A TOTAL WEIGHT OF 68,000 POUNDS. APPARATUS WEIGHT IS DISTRIBUTED AS 46,000 POUNDS ON TANDEM REAR AXLES AND 22,000 POUNDS ON THE FRONT AXLE. THE SURFACE SHALL BE DESIGNED, CONSTRUCTED, AND MAINTAINED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. A LETTER OR STATEMENT, WET-STAMPED AND SIGNED BY A REGISTERED ENGINEER, SHALL BE PROVIDED ON THE PLANS CERTIFYING THAT ANY NEW ROADWAY MEETS THIS 68,000-POUNDS, ALL WEATHER REQUIREMENT. ROAD BASE WITHOUT AN APPROPRIATE TOPPING OR BINDING MATERIAL DOES NOT SATISFY THE ALL-WEATHER REQUIREMENT.



FIRE SITE PLAN
scale: 1"=150'-0"
A

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Project:
PERRIS LOGISTIC CENTER SOUTH

MAPES ST. & A ST.
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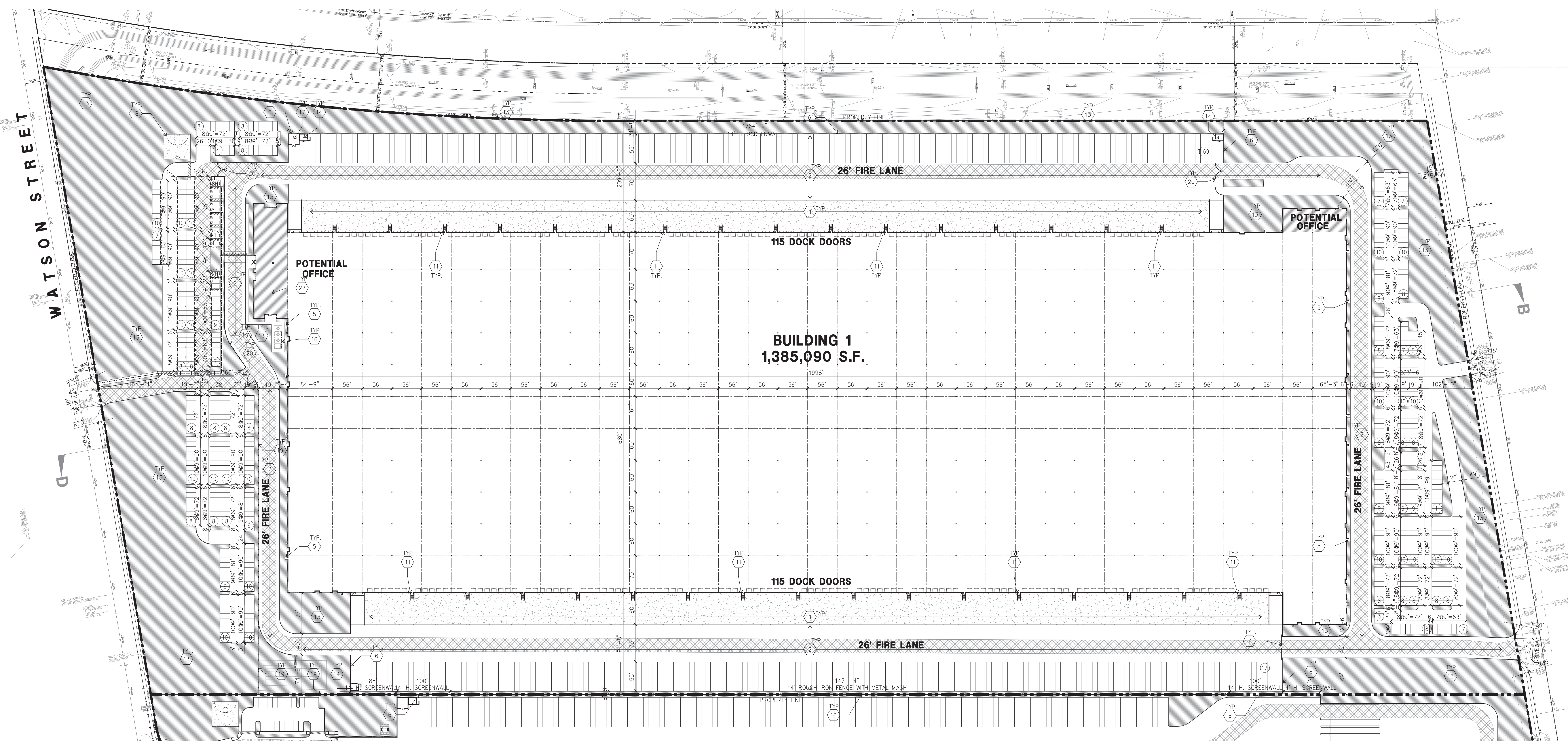
Consultants:

- | | |
|-----------------|---------|
| CIVIL | THIENES |
| STRUCTURAL | |
| MECHANICAL | |
| PLUMBING | |
| ELECTRICAL | GREGG |
| LANDSCAPE | RLA |
| FIRE PROTECTION | |
| SOILS ENGINEER | |

Title: FIRE SITE PLAN

Project Number: 19214
Drawn by: CR
Date: 07/16/21
Revision:

Sheet:



OVERALL SITE PLAN
 SCALE: 1" = 80'-0"
 TRUE NORTH

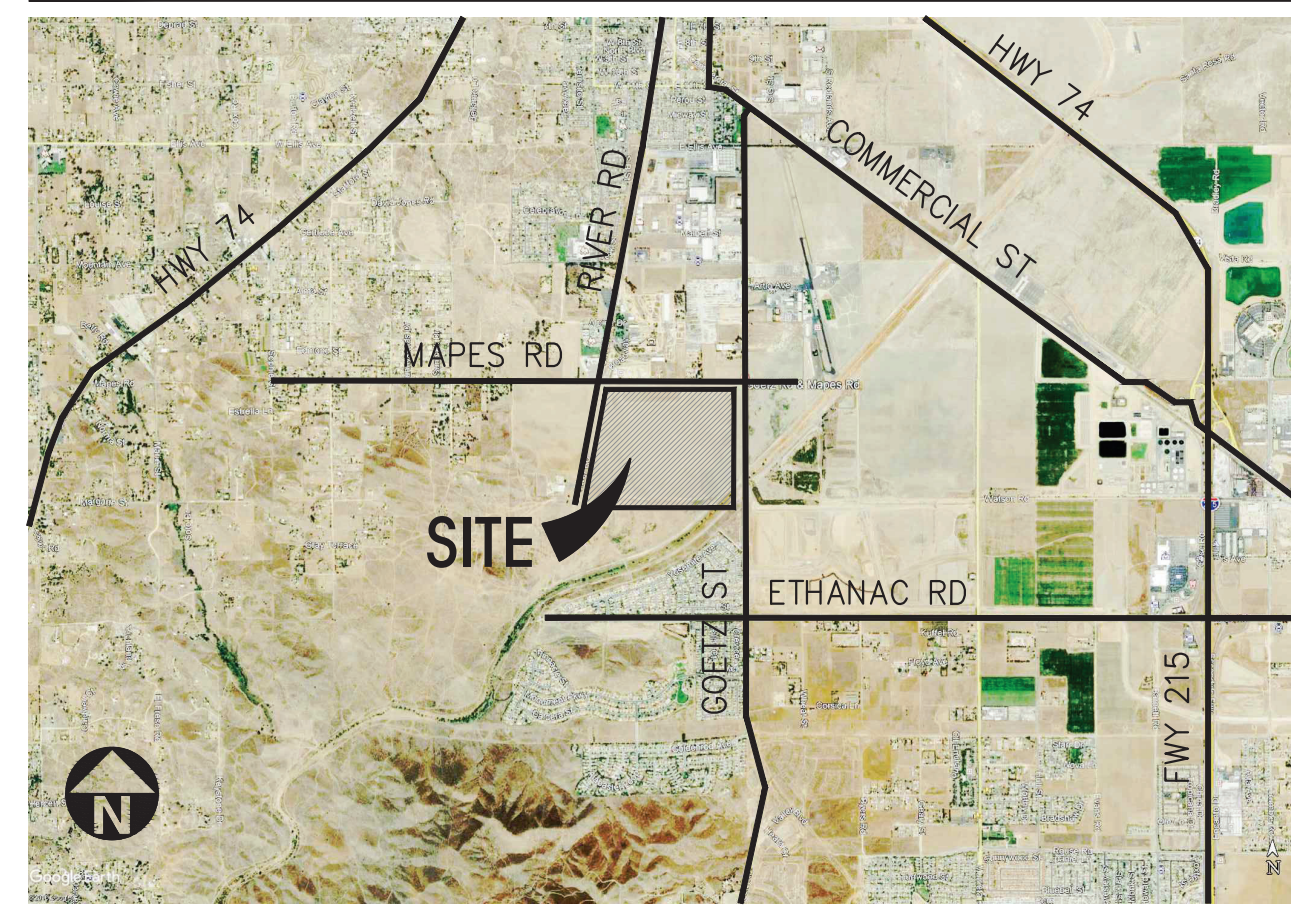
GENERAL NOTES - SITE PLAN

- A. THE SOILS REPORT PREPARED BY SOCAL GEO PROJ. NO. _____ DATED ON _____ SHOULD BE A PART OF THESE CONTRACT DOCUMENTS.
- B. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- C. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- D. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DETAILS ON SHEET AD.1 ARE MINIMUM STANDARDS.
- E. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM, PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION.
- F. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- G. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- H. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- I. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- J. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "L" DRAWINGS FOR FINISH.
- K. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- L. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- M. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- N. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- O. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
- P. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT LAYOUT POINTS.

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONC. PAVEMENT
- 2 ASPHALT PAVING PER CIVIL
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- 4 DRIVEWAY APRONS (DECORATIVE COLORED PAVING) TO BE CONSTRUCTED.
- 5 5'-6"x5'-6"x4" MIN. THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPE AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY W/ 1:20 MAX. AS REQ. BY CITY INSPECTOR.
- 6 14" CONCRETE TILT-UP SCREEN WALL
- 7 PROVIDE 8" TUBE STEEL, MANUALLY OPERATED GATES WITH KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. GATE TO BE DESIGNED FOR 90 MPH WIND LOAD, EXPOSURE "C". CONTRACTOR TO DESIGN & DETAIL GATES.
- 8 FUTURE GUARD HOUSE
- 9 TRANSFORMER.
- 10 14" WROUGHT IRON FENCE WITH METAL MESH
- 11 EXTERIOR DOWNSPOUTS
- 12 EXTERIOR PARKING LIGHT POLE.
- 13 LANDSCAPE. SEE "L" DWGS. LANDSCAPE AREAS INDICATED BY SHADED PATTERN.
- 14 COVERED TRASH ENCLOSURE E/DAB-A4.1
- 15 BICYCLE RACKS
- 16 OUTDOOR PATIO, EMPLOYEE BREAK AREA, OUTDOOR BREAK AREA NEXT TO POTENTIAL OFFICE TO BE SHADED. SEE TRELIS DETAIL G/DAB-A4.1
- 17 PUMP HOUSE, G/DAB-A4.1
- 18 OUTDOOR RECREATION AREA - HALF BASKETBALL COURT
- 19 8" WROUGHT IRON FENCE
- 20 WROUGHT IRON SWING GATE FOR FIRE DEPARTMENT ACCESS ONLY. PROVIDE KNOX BOX.
- 21 SMOKING AREA.
- 22 CAFETERIA
- 23 WALKING TRAIL
- 24 CROSSWALK
- 25 EXERCISE ROOM

VICINITY MAP



PROJECT DATA

	BLDG. 1	BLDG. 2	BLDG. 3	SUB-TOTAL	OPEN SPACE	TOTAL
SITE AREA						
In s.f.	2,838,979	2,792,209	1,618,985	7,250,173	1,106,032	8,353,588 s.f.
In acres	65.17	64.10	37.11	166.38	25.39	191.77 ac
BUILDING AREA						
Office	20,000	20,000	20,000	60,000		50,000 s.f.
Warehouse	1,385,090	1,402,500	1,455,000	4,242,590		3,295,217 s.f.
TOTAL	1,385,090	1,402,500	1,455,000	4,242,590		3,345,217 s.f.
CLEAR HEIGHT	42'	42'	40'			40.0%
COVERAGE	48.8%	51.0%	53.1%			40.0%
AUTO PARKING REQUIRED						
Office: (office area is less than 10%)	20	20	20	60		60 stalls
Whse: 1st 20K @ 1/15,000 s.f.	10	10	10	30		30 stalls
2nd 20K @ 1/2,000 s.f.	270	270	270	810		847 stalls
above 40K @ 1/5,000 s.f.						
TOTAL	300	300	300	900		737 stalls
AUTO PARKING PROVIDED						
Standard (9' x 19')	443	307	387	1,137		957 stalls
Standard Accessible Parking (9' x 19')	9	9	9	27		20 stalls
Van Accessible Parking (12' x 19')	2	2	2	6		6 stalls
EVCS (9' x 19')	27	30	19	76		61 stalls
EV Capable (9' x 19')	80	80	54	214		181 stalls
Standard EV ADA (9' x 19')	1	1	1	3		3 stalls
VANEV (12' x 19')	1	1	1	3		3 stalls
Ambulatory (11x19)	1	0	0	1		1 stalls
TOTAL	564	397	391	1,352		1,232 stalls
TRAILER PARKING REQUIRED						
Trailer: 1/5,000 SF	278	295	109	682		671 stalls
TRAILER PARKING PROVIDED						
Trailer (10' x 55')	339	345	151	835		786 stalls
ZONING ORDINANCE FOR CITY						
Zoning Designation - General Industrial						
MAXIMUM BUILDING HEIGHT ALLOWED						
Height - 50'						
MAXIMUM FLOOR AREA RATIO						
FAR - 75						
LANDSCAPE REQUIREMENT						
Percentage - 12%						
LANDSCAPE PROVIDED						
	476713	450173	484309			
	16.8%	16.1%	30.6%			
SETBACKS						
Building						
Mapes St - 10' (Local)						
Goetz St - 15' (Arterial)						
A Street - 10' (Local)						
Side/ Rear - none, adjoining R zone- 20'						

SITE LEGEND

	LANDSCAPE AREA		LIGHT STANDARD
	PAVING - SEE "C" DWGS. FOR THICKNESS		EXISTING PUBLIC FIRE HYDRANT
	CONCRETE PAVING SEE "C" DWGS. FOR THICKNESS		PRIVATE FIRE HYDRANT - APPROXIMATE LOCATION
	PROPERTY LINE		FIRE LANE 26'
	STANDARD PARKING STALL (9' x 19')		CATCH BASIN, APPROX. LOCATION, SEE CIVIL DRAWINGS.
	HANDICAP PARKING STALL (9' x 19')		TRAIL/MAINTENANCE ROAD
	PATH OF TRAVEL		
	8" WROUGHT IRON FENCE		



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MAPES ST. & A ST.
 PERRIS, CA

Consultants:

- CIVIL THIENES
- STRUCTURAL
- MECHANICAL
- PLUMBING
- ELECTRICAL GREGG
- LANDSCAPE RLA
- FIRE PROTECTION
- SOILS ENGINEER

Title: **OVERALL SITE PLAN**

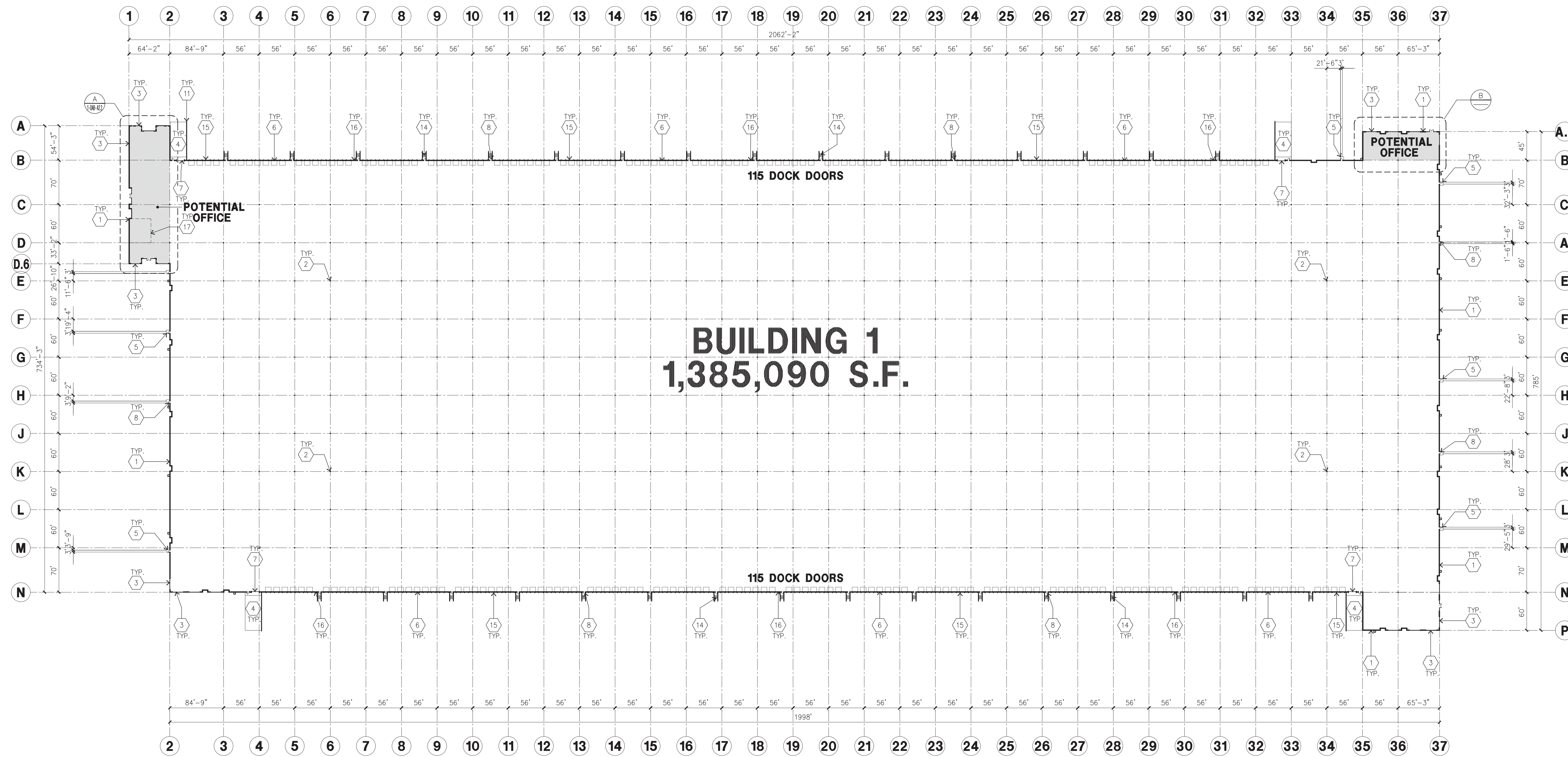
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 Date: 07/16/21

Revision:

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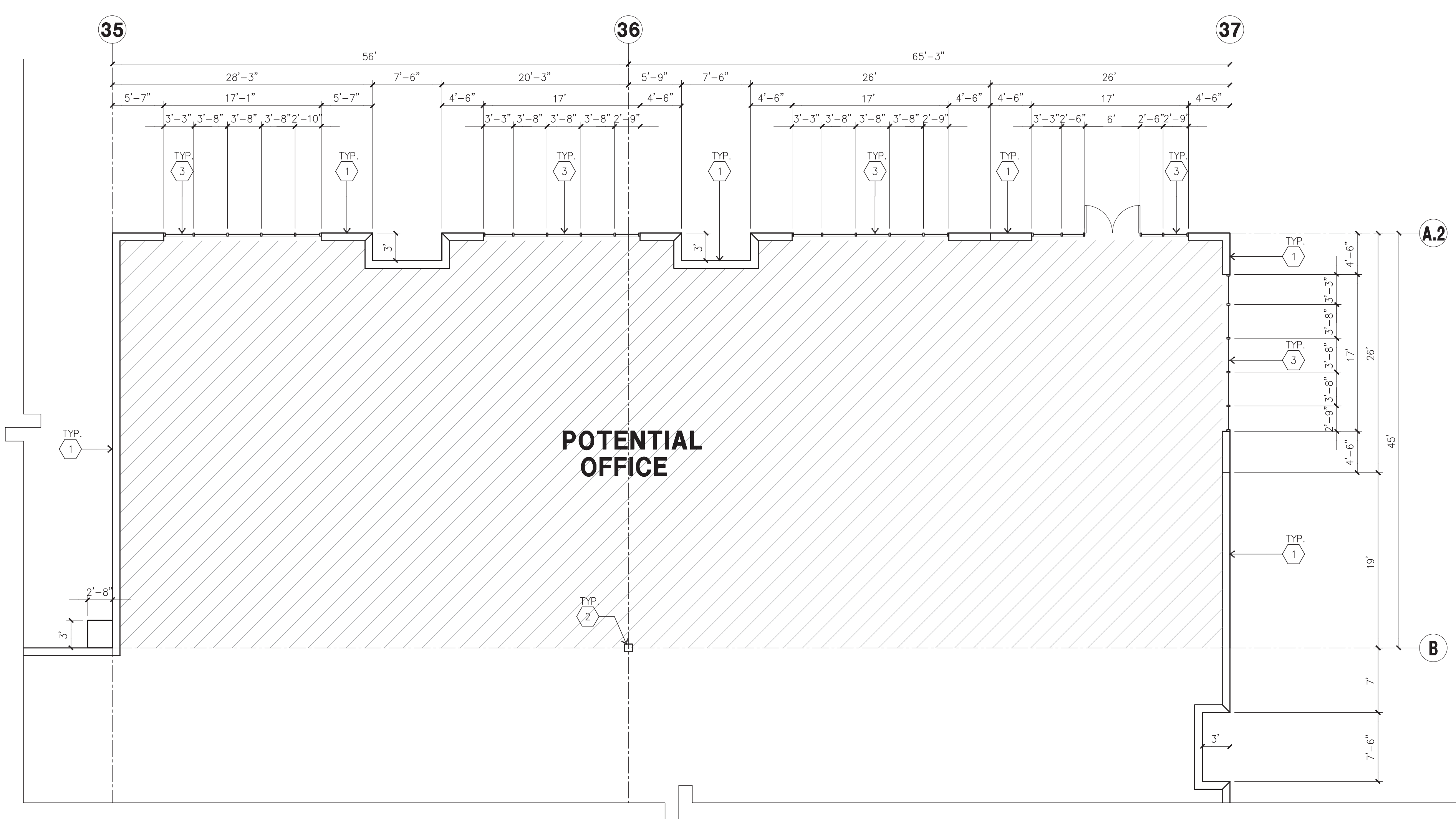
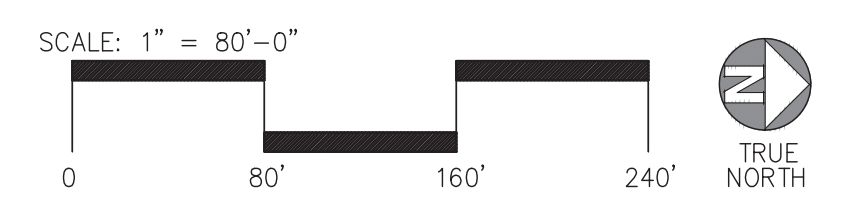
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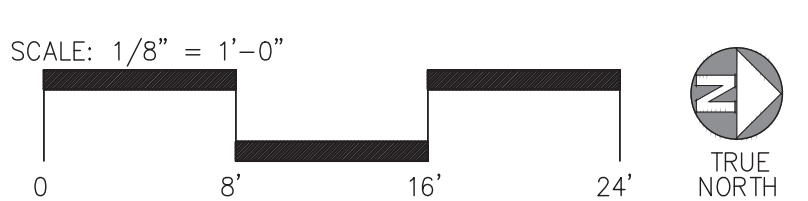


BUILDING 1
1,385,090 S.F.

OVERALL FLOOR PLAN
scale: 1" = 80'-0"



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"



KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP
- 5 5'-6"x5'x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 6 9'x10' TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- 7 12'x14' DRIVE THRU, VERTICAL LIFT, STANDARD GRADE.
- 8 3'x7' HOLLOW METAL EXTERIOR MAN DOOR.
- 9 SOFFIT ABOVE
- 10 ROOF ACCESS LADDER
- 11 CONC. FILLED GUARD POST. 6" DIA. UNO 42"H.
- 12 INTERIOR ROOFDRAIN WITH OVERFLOW SCUPPER
- 13 EMPLOYEE AMENITIES: BREAK ROOM & COFFEE BAR W/INTERNET ACCESS
- 14 EXTERIOR CONCRETE STAIR
- 15 DOCK BUMPER
- 16 METAL LOUVER
- 17 CAFETERIA
- 18 EXERCISE ROOM

GENERAL NOTES - FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB SLOPES 1/2%", SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. FLOOR SLAB SHALL BE SEALED WITH LAPOLDITH MANUFACTURER: SONOBORN) OR APPROVED EQUAL.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE GREY PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
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- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.



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MAPES ST. & A ST.
PERRIS, CA

Consultants:

CIVIL	THIENES
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	GREGG
LANDSCAPE	RLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: OVERALL FLOOR PLAN

Project Number: 19214
Drawn by: CR
Date: 07/16/21
Revision:

Sheet:

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FIRE PROTECTION	-
SOILS ENGINEER	-

Title: ENLARGED FLOOR PLAN

Project Number: 19214

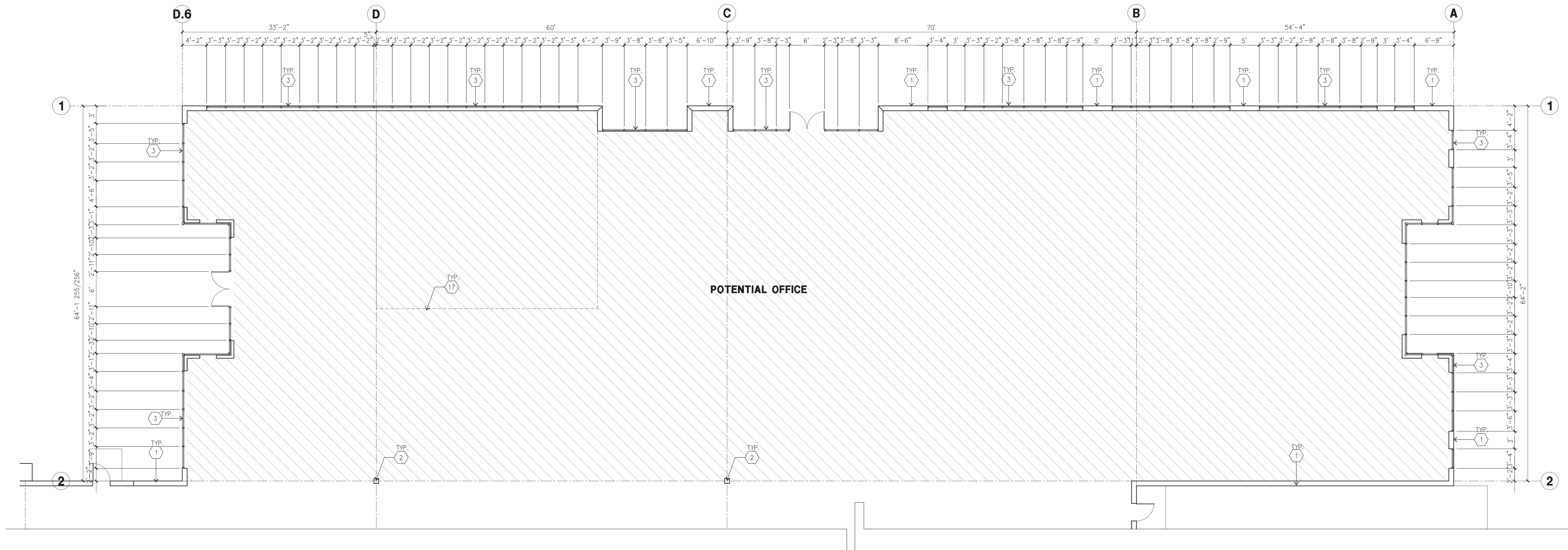
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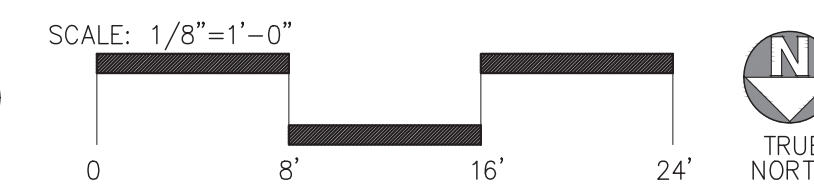
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ENLARGED FLOOR PLAN
Scale: 1/8"=1'-0"
1/6"=1'-0"

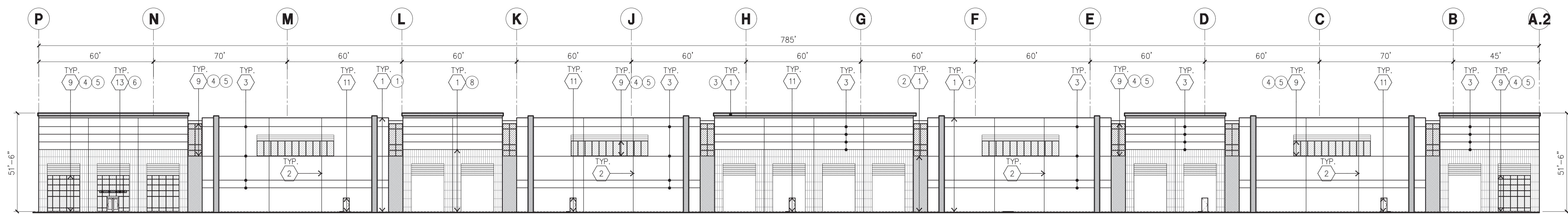


KEYNOTES - FLOOR PLAN

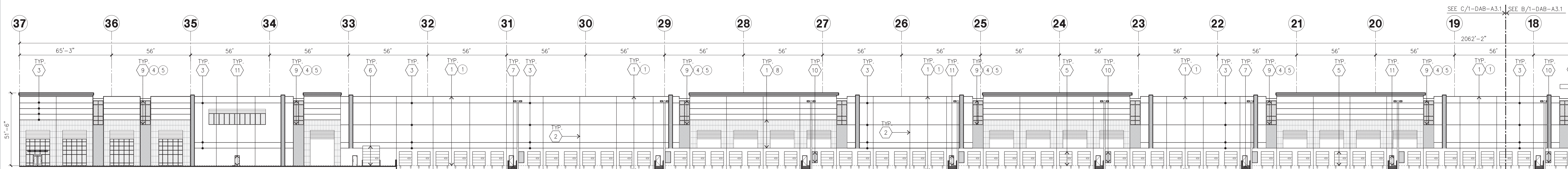
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GENERAL NOTES - FLOOR PLAN

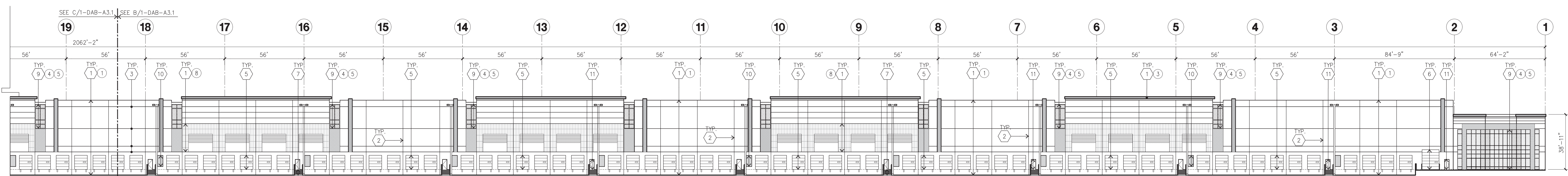
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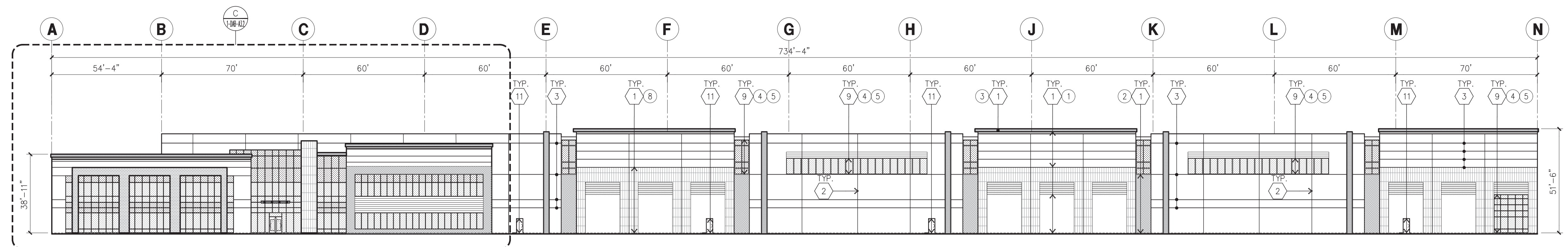
NORTH ELEVATION
scale: 1" = 30'-0"



WEST ELEVATION
scale: 1" = 30'-0"



WEST ELEVATION CONT'
scale: 1" = 30'-0"



SOUTH ELEVATION
scale: 1" = 30'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 13 EXTERIOR CANOPY.

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.

COLOR SCHEDULE - ELEVATIONS

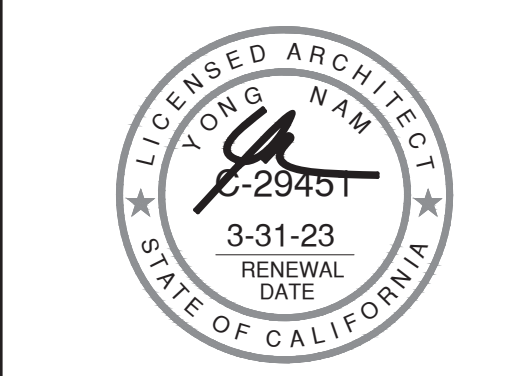
- 1 PAINT, COLOR : SW 7005 PURE WHITE
- 2 PAINT, COLOR : SW 7071 GRAY SCREEN
- 3 PAINT, COLOR : SW 7072 ONLINE
- 4 MULLIONS COLOR : CLEAR ANODIZED
- 5 GLAZING COLOR : BLUE REFLECTIVE
- 6 METAL CANOPY : STEEL CANOPY P1 WITH CLEAR RESIN TOP
- 7 PAINT, COLOR : ANATOLIA ERAMOSA COLOR: CARBON
- 8 PAINT, COLOR : ANATOLIA ERAMOSA COLOR: ICE

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- TEMPERED VISION GLASS
 TEMPERED SPANDELL GLASS
- ALL GLASS TO BE NON-REFLECTIVE
- V : VISION GLASS
1/4" VISTACOL PACIFICA
- S : SPANDELL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.
- MULLIONS : ANODIZED CLEAR



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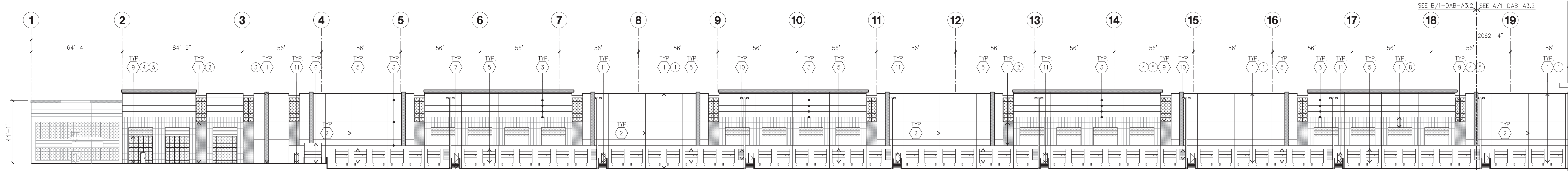
Consultants:

CIVIL	THIENES
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	GREGG
LANDSCAPE	RLA
FIRE PROTECTION	-
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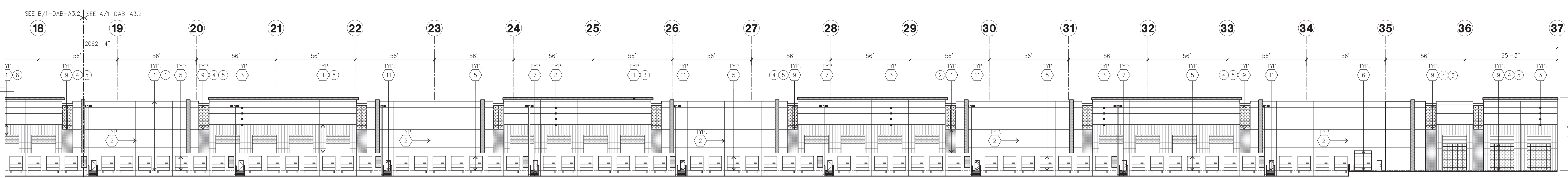
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Revision:

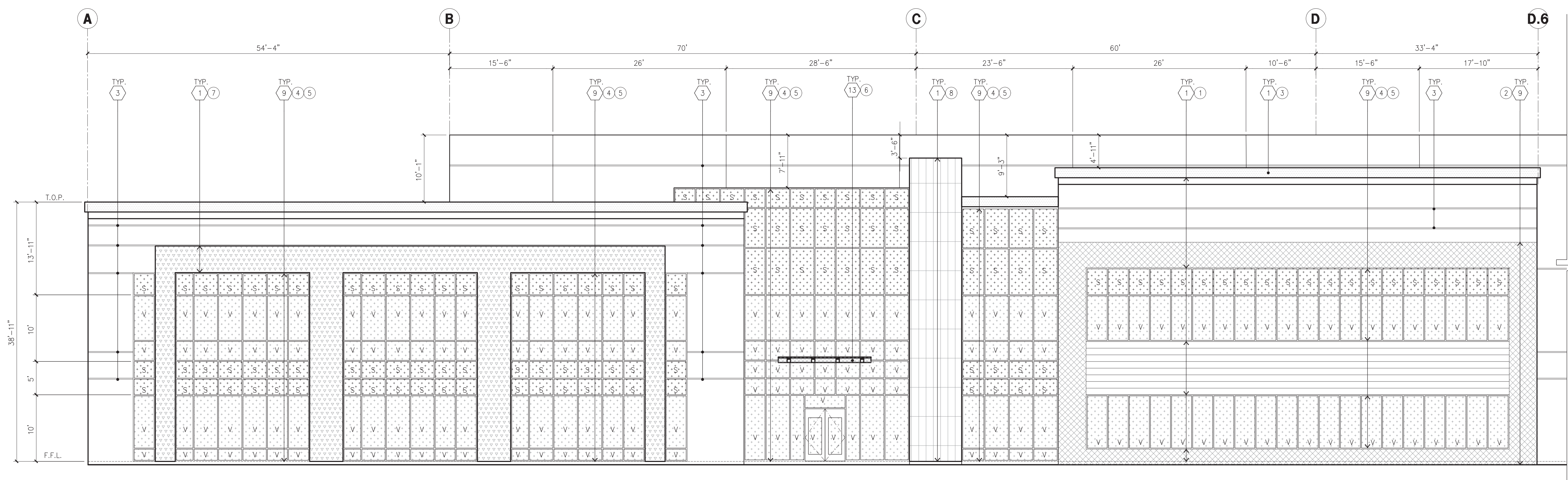
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EAST ELEVATION
scale: 1" = 30'-0" **A**



EAST ELEVATION CONT'
scale: 1" = 30'-0" **B**



ENLARGED SOUTH ELEVATION
scale: 1/8" = 1'-0" **C**

KEYNOTES - ELEVATIONS

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GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
 TEMPERED VISION GLASS TEMPERED SPANDELL GLASS
 ALL GLASS TO BE NON-REFLECTIVE
 V : VISION GLASS
 1/4" VISTACOOL PACIFICA
 S : SPANDELL WITH CONCRETE BEHIND
 1/4" VISTACOOL PACIFICA WITH WARM GRAY OPACOAT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.
 MULLIONS : ANODIZED CLEAR



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Project:
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PERRIS, CA

Consultants:

CIVIL	THIENES
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	GREGG
LANDSCAPE	RLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: ELEVATION

Project Number: 19214
 Drawn by: CR
 Date: 07/16/21
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