



CITY OF PERRIS PLANNING COMMISSION

AGENDA

November 01, 2023

City Council Chambers
Meeting to convene at 6:00 P.M.
101 North "D" Street
Perris, CA 92570

1. CALL TO ORDER:

2. ROLL CALL:

Commissioners: Jimenez, Gomez, Lopez,
Vice-Chair Shively, Chair Hammond

3. PLEDGE OF ALLEGIANCE: Commissioner Jimenez

4. PRESENTATION:

5. CONSENT CALENDAR:

A. Planning Commission Minutes for October 18, 2023

6. PUBLIC HEARING:

A. Major Modification (MM) 22-05265 of Development Plan Review (DPR) 08-04-0006, Tentative Parcel Map 23-05248 (TPM 38518) and EIR Addendum 23-05252 (*Continued from the October 18, 2023 Planning Commission meeting*) – A proposal to modify DPR 08-04-0006, previously approved Perris Logistics Center (PLC) South, Site 2 project, on approximately 195 net acres as follows: 1) Reduce the total number of warehouse/distribution buildings from four (4) buildings to three (3) buildings; and 2) Reduce the overall square footage of the buildings from 3,448,734 square feet to 3,345,217 square feet. As well, previously approved TPM 35886 is proposed to be modified to reduce the number of parcels from six (6) to three (3) parcels and letter Lot "A" for open space. The project site is located on the southwest corner of Mapes Road and Goetz Road, in the Light Industrial (LI) Zone. Applicant: Brian Caris, IDI Logistics.

REQUESTED ACTION: Adopt Resolution No. 23-32, recommending to the City Council adoption of Addendum 23-05252 to the previously certified Final Environmental Impact Report (SCH No. 2008071060) for South Perris Industrial Project, and approval of Major Modification 22-05265 to modify Development Plan Review 08-04-0006, and Tentative Parcel Map 23-05248 (TPM 38518) to modify Tentative Parcel Map (TPM) 35886 for the construction of three (3) industrial buildings totaling 3,345,217 square feet on three separate parcels, based on the findings and subject to the Conditions of Approval.

- B.** Scoping Meeting for an Environmental Impact Report associated with Tentative Parcel Map 22-05363 (TPM 38643) and Development Plan Review (DPR) 22-00035 – A proposal to facilitate the construction of a 551,922 square-foot industrial building consisting of the following: 1) Tentative Parcel Map to consolidate 13 existing parcels into one 29.7 acre-parcel; and 2) Development Plan Review for review of the site plan and building elevations. The project site is located on the southeast corner of Ramona Expressway and Webster Avenue, in the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan. Applicant: Nicole Torstvet, Prologis.

REQUESTED ACTION: Conduct a public Scoping Meeting to review, discuss, and provide comments on the potential environmental impacts associated with the project.

- C.** Scoping Meeting for an Environmental Impact Report associated with Tentative Parcel Map 22-05046 (TPM 38412), Conditional Use Permit (CUP) 23-05107, and Development Plan Review (DPR) 22-00005 – A proposal to consider the following entitlements to facilitate the construction of two (2) industrial buildings totaling 867,070 square feet and a truck and trailer storage facility, located on the south side of Ellis Avenue between Goetz Road and Case Road: 1) Tentative Parcel Map to consolidate seven (7) parcels into two (2) parcels; 2) a Conditional Use Permit to establish and operate a truck and trailer storage facility; and 3) Development Plan Review for review of the industrial site plan and building elevations. Applicant: Mike Masterson.

REQUESTED ACTION: Conduct a public Scoping Meeting to review, discuss, and provide comments on the potential environmental impacts associated with the project.

7. BUSINESS ITEMS

8. PUBLIC COMMENTS:

*Anyone who wishes to **address the Planning Commission** regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, and spell your last name and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.*

***LISTENING ASSISTIVE DEVICES** are available for the hearing impaired or language translation – please see the Commission Secretary. The City of Perris wishes to make all its public meetings accessible to the public. Upon request, this agenda will be made available in appropriate alternative formats to persons in need of language translation or disabilities as required by 42 U.S.C. 12132 of the Americans with Disabilities Act of 1990. Any person with a disability who requests a modification or accommodation in order to participate in a meeting should direct such request to 951-943-2003 x256 at least 72 hours before the meeting, if possible.*

In compliance with the Americans with Disabilities Act and Government Code Section 54953(g), the City Council has adopted a reasonable accommodations policy to swiftly resolve accommodation requests. The policy can also be found on the City's website. Please contact the City Clerk's Office at (951) 943-6100 to make an accommodation request or to obtain an electronic or printed copy of the policy.

- 9. COMMISSION MEMBERS ANNOUNCEMENTS OR REPORTS:**
- 10. DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:**
- 11. ADJOURNMENT**

Planning Commission Agenda

CITY OF PERRIS

November 01, 2023

Item

5A

*Planning Commission Minutes for
October 18, 2023*



MINUTES

Date of Meeting: October 18, 2023

Time: 06:07 PM

Place of Meeting: City Council Chambers

1. CALL TO ORDER:

- 2. ROLL CALL:** Commissioners: Lopez, Jimenez, Gomez,
Vice-Chair Shively, Chair Hammond

Commission Members Present: Commissioner Lopez,
Commissioner Jimenez,
Commissioner Gomez,
Vice Chair Shively,
Chair Hammond.

Staff Present: Patricia Brenes, Planning Manager
Yecenia Vargas, Assistant City Attorney
John Pourkazemi, City Engineer
Nathan Perez, Senior Planner
Alfredo Garcia, Associate Planner
Mathew Evans, Contract Planner
Sylvia Arvizu, Administrative Assistant

3. PLEDGE OF ALLEGIANCE: Commissioner Lopez

4. PRESENTATION:

5. CONSENT CALENDAR:

- A.** Planning Commission Minutes for October 04, 2023

The Chair called for a motion.

M/S/C: Moved by Commissioner Lopez, seconded by Commissioner Gomez to Approve
A. Planning Commission Minutes for October 04, 2023

AYES: Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez,
Vice Chair Shively, Chair Hammond.

NOES:

ABSENT:

ABSTAIN:

6. PUBLIC HEARING:

- A.** Specific Plan Amendment (SPA) 21-05249 and Development Plan Review (DPR) 21-00014 – *Continued from the September 20, 2023, Planning Commission meeting* - A proposal to facilitate the construction of a 300-unit multi-family residential development located at the southwest corner of Rider Street and Evans Road consisting of the following: 1) Specific Plan Amendment to amend the May Ranch Specific Plan (MRSP) to rezone 14.68 acres from Commercial (C) Zone to Multi-Family Residential (MFR) Zone and to create Multi-Family Residential standards for Planning Area (PA) 22; and 2) Development Plan Review for the site plan, building elevations, and recreation amenities. Applicant: Katie Rounds, The Kaidence Group.

REQUESTED ACTION: Adopt Resolution No. 23-30, recommending that the City Council adopt the Mitigated Negative Declaration No. 2391 and the Mitigation Monitoring and Reporting Program; and approve Specific Plan Amendment (SPA) 21-05249 and Development Plan Review (DPR) 21-00014 to facilitate the construction of a 300-unit multi-family residential development, based on the findings and subject to the Conditions of Approval.

Mathew Evans, Contract Planner, presented this item.

The Following Commissioner Spoke:

Commissioner Gomez
Commissioner Jimenez
Vice-Chair Shively
Chair Hammond

Applicant Speaker: Katie Rounds, Kaidence Group
Keith Geiger, Owner of the May Family

The Chair called for a motion.

M/S/C: Moved by Commissioner Jimenez, seconded by Commissioner Lopez to Approve Item 6A. with the following Conditions of Approval: **1)** *Enhance the corner monument sign with colors, or accent materials, and/or landscaping to complement the residential development, subject to Planning staff review and approval;* **2)** *Revise Engineering Conditions of Approval #5, #9, and #11 as presented by staff;* and **3)** *Revise Public Works Condition of Approval to clarify Rider Street ultimate street width (92’/64’), as presented by staff.*

Specific Plan Amendment (SPA) 21-05249 and Development Plan Review (DPR) 21-00014 – *Continued from the September 20, 2023, Planning Commission meeting* - A proposal to

facilitate the construction of a 300-unit multi-family residential development located at the southwest corner of Rider Street and Evans Road consisting of the following: 1) Specific Plan Amendment to amend the May Ranch Specific Plan (MRSP) to rezone 14.68 acres from Commercial (C) Zone to Multi-Family Residential (MFR) Zone and to create Multi-Family Residential standards for Planning Area (PA) 22; and 2) Development Plan Review for the site plan, building elevations, and recreation amenities. Applicant: Katie Rounds, The Kaidence Group.

REQUESTED ACTION: Adopt Resolution No. 23-30, recommending that the City Council adopt the Mitigated Negative Declaration No. 2391 and the Mitigation Monitoring and Reporting Program; and approve Specific Plan Amendment (SPA) 21-05249 and Development Plan Review (DPR) 21-00014 to facilitate the construction of a 300-unit multi-family residential development, based on the findings and subject to the Conditions of Approval.

AYES: Commissioner Lopez, Commissioner Jimenez,
Commissioner Gomez, Vice Chair Shively, Chair Hammond.

NOES:

ABSENT:

ABSTAIN:

The meeting went into recess at 8:19 p.m. and reconvened at 8:26 p.m.

- B.** Major Modification 22-05265 – A proposal to modify Development Plan Review 08-01-0007, previously approved Perris Logistics Center (PLC) South, Site 2 project, on approximately 195 acres as follows: 1) Reduce the total number of warehouse/distribution buildings from four (4) buildings to three (3) buildings; 2) Reduce the overall square footage of the buildings from 3,448,734 square feet to 3,345,217 square feet; and 3) Tentative Parcel Map 23-05248 (TPM 38518) to modify a previously approved map to reduce the number of parcels from six (6) to three (3) parcels and letter Lot “A” for open space. The project site is located at the southwest corner of Mapes Road and Goetz Road, in the Light Industrial (LI Zone). Applicant: Brian Caris, IDI Logistics.

REQUESTED ACTION: Adopt Resolution No. 23-32, recommending that the City Council adopt Addendum 23-05252 to a previously certified Environmental Impact Report (SCH No. 2008071060) for South Perris Industrial Project, and approve Major Modification 22-05265 to modify Development Plan Review 08-01-0007, and Tentative Parcel Map 23-05248 (TPM 38518) to facilitate the construction and operation of three (3) industrial buildings totaling 3,345,217 square feet, based on the findings and subject to the Conditions of Approval.

Mathew Evans, contractor planner, presented this Item.

The Chair called for a motion.

M/S/C: Moved by Vice Chair Shively, seconded by Commissioner Lopez, to *Continue Item 6B to the Planning Commission meeting on November 01, 2023.* Major Modification 22-05265 – A proposal to modify Development Plan Review 08-01-0007, previously approved

Perris Logistics Center (PLC) South, Site 2 project, on 195 acres as follows: 1) Reduce the total number of warehouse/distribution buildings from four (4) buildings to three (3) buildings; 2) Reduce the overall square footage of the buildings from 3,448,734 square feet to 3,345,217 square feet; and 3) Tentative Parcel Map 23-05248 (TPM 38518) to modify a previously approved map to reduce the number of parcels from six (6) to three (3) parcels and letter Lot "A" for open space. The project site is located at the southwest corner of Mapes Road and Goetz Road, in the Light Industrial (LI Zone). Applicant: Brian Caris, IDI Logistics.

REQUESTED ACTION: Adopt Resolution No. 23-32, recommending that the City Council adopt Addendum 23-05252 to a previously certified Environmental Impact Report (SCH No. 2008071060) for South Perris Industrial Project, and approve Major Modification 22-05265 to modify Development Plan Review 08-01-0007, and Tentative Parcel Map 23-05248 (TPM 38518) to facilitate the construction and operation of three (3) industrial buildings totaling 3,345,217 square feet, based on the findings and subject to the Conditions of Approval.

AYES: Commissioner Lopez, Commissioner Jimenez,
Commissioner Gomez, Vice Chair Shively, Chair Hammond.

NOES:

ABSENT:

ABSTAIN:

- C. Scoping Meeting for an Environmental Impact Report associated with General Plan Amendment (GPA) 22-05326, Zone Change (ZC) 22-05327, TPM 22-05328 (TPM 38600), Development Plan Review (DPR) 22-00030 – A proposal to consider the following entitlements to facilitate the construction of a 412,348 square-foot industrial warehouse building: 1) General Plan Amendment to change the land use designation of 19.9 acres from Community Commercial (CC) to Light Industrial (LI); 2) Zone Change to rezone 19.9 acres from Community Commercial (CC) Zone to Light Industrial (LI) Zone; 3) Tentative Parcel Map to consolidate 10 existing parcels into one 19.9 acre-parcel; and 4) Development Plan Review for review of the site plan and building elevations. The project site is located at the northwest corner of Sherman Road and Ethanac Road. Applicant: John Grace, Hillwood.

REQUESTED ACTION: Conduct a public Scoping Meeting to review, discuss, and provide comments on the potential environmental impacts associated with the project.

Nathan Perez, Senior Planner, presented this Item.

Applicant Speaker Melissa Perez, Webb, and Associates
 Noah Sigh

Chair opened the Item for Public speaking:

Attendees Speaker: Nereida Mendoza – Requested translator Albert Garcia
 Alex Garcia
 Rodolpo de Laxon

Note: No voting or action is required for this Item.

- D.** Conditional Use Permit (CUP) 23-05025 – A proposal to construct an 8,000-square-foot multi-tenant commercial building consisting of a 3,000-square-foot restaurant (The Habit Burger Grill) and two (2) 2,500 square-foot tenant spaces on an existing 1.16-acre lot, within the Perris Spectrum shopping center, located on the west side of Perris Boulevard and the north side of Orange Avenue, in the Commercial Community (CC) Zone. Applicant: Singh Satwinder.

REQUESTED ACTION: Adopt Resolution No. 23-31, finding the Project is Categorically Exempt from the California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-Fill Development Projects); and approving CUP 23-05025, based on the findings and subject to the Conditions of Approval.

Alfredo Garcia, Associate Planner, presented this item.

The Following Commissioner Spoke:

Commissioner Lopez
Commissioner Gomez
Commissioner Jimenez
Vice-Chair Shively
Chair Hammond

Applicant Speaker: Singh Satwinder

The Chair called for a motion.

M/S/C: Moved by Commissioner Lopez, seconded by Commissioner Gomez to approve Item 6D. with the following Conditions of Approval: **1)** *The project shall comply with the provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance and Chapter 7.42 regarding Property Maintenance for a period of 1 year;* **2)** *The applicant shall work with staff to incorporate additional landscape vegetation and landscape lighting to the site;* **3)** *The applicant shall comply with 2023 Cal green standards for shade trees in commercial parking lots;* **4)** *Revise Condition of Approval # 33 to remove Old Nuevo Road.*

Conditional Use Permit (CUP) 23-05025 – A proposal to construct an 8,000-square-foot multi-tenant commercial building consisting of a 3,000-square-foot restaurant (The Habit Burger Grill) and two (2) 2,500-square-foot tenant spaces on an existing 1.16-acre lot, within the Perris Spectrum shopping center, located on the west side of Perris Boulevard and the north side of Orange Avenue, in the Commercial Community (CC) Zone. Applicant: Singh Satwinder.

REQUESTED ACTION: Adopt Resolution No. 23-31, finding the Project is Categorically Exempt from the California Environmental Quality Act (CEQA) review pursuant to Section 15332 (In-Fill Development Projects); and approving CUP 23-05025, based on the findings and subject to the Conditions of Approval.

AYES: Commissioner Lopez, Commissioner Jimenez,
Commissioner Gomez, Vice Chair Shively, Chair Hammond.

NOES:

ABSENT:
ABSTAIN:

7. BUSINESS ITEMS

- 8. PUBLIC COMMENTS:** Anyone who wishes to address the Planning Commission regarding items not on the agenda may do so at this time. Please walk up to the podium and wait for the Chairperson to recognize you. Please speak clearly, give your name, and spell your last name and address for accurate recording in the minutes. Each speaker will be given three (3) minutes to address the Planning Commission.

9. COMMISSION MEMBERS ANNOUNCEMENTS OR REPORTS:

The Following Commissioner Spoke:

Commissioner Lopez
Commissioner Gomez
Commissioner Jimenez
Vice-Chair Shively
Chair Hammond

10. DIRECTOR OF DEVELOPMENT SERVICES REPORTS AND/OR INFORMATION:

Planning Manager Patricia Brenes
Director of Development Services Kenneth Phung

11. ADJOURNMENT

The Chair called for a motion to Adjourn the regular Planning Commission meeting at 10:07 p.m.

M/S/C: Moved by Vice Chair Shively, seconded by Commissioner Jimenez to Adjourn

ADJOURNMENT

AYES: Commissioner Lopez, Commissioner Jimenez, Commissioner Gomez,
Vice Chair Shively, Chair Hammond.

NOES:

ABSENT:

ABSTAIN:

Respectfully yours,

Patricia Brenes, Secretary

Planning Commission Agenda

CITY OF PERRIS

November 01, 2023

Item

6A

*Major Modification (MM) 22-05265
of Development Plan Review
(DPR) 08-04-0006,
Tentative Parcel Map 23-05248
(TPM 38518) and
EIR Addendum 23-05252*

(Continued from the October 18, 2023 Planning Commission meeting)



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

MEETING DATE:

November 1, 2023

SUBJECT:

Major Modification (MM) 22-05265 of Development Plan Review (DPR) 08-04-0006, Tentative Parcel Map 23-05248 (TPM 38518) and EIR Addendum 23-05252 (*Continued from the October 18, 2023 Planning Commission meeting*) – A proposal to modify DPR 08-04-0006, previously approved Perris Logistics Center (PLC) South, Site 2 project, on approximately 195 net acres as follows: 1) Reduce the total number of warehouse/distribution buildings from four (4) buildings to three (3) buildings; and 2) Reduce the overall square footage of the buildings from 3,448,734 square feet to 3,345,217 square feet. As well, previously approved TPM 35886 is proposed to be modified to reduce the number of parcels from six (6) to three (3) parcels and letter Lot "A" for open space. The project site is located on the southwest corner of Mapes Road and Goetz Road, in the General Industrial (GI) Zone. Applicant: Brian Caris, IDI Logistics.

REQUESTED ACTION:

Adopt Resolution No. 23-32, recommending to the City Council adoption of Addendum 23-05252 to the previously certified Final Environmental Impact Report (SCH No. 2008071060) for South Perris Industrial Project, and approval of Major Modification 22-05265 to modify Development Plan Review 08-04-0006, and Tentative Parcel Map 23-05248 (TPM 38518) to modify Tentative Parcel Map (TPM) 35886 for the construction of three (3) industrial buildings totaling 3,345,217 square feet on three separate parcels, based on the findings and subject to the Conditions of Approval.

CONTACT:

Patricia Brenes, Planning Manager

PROJECT SITE BACKGROUND

On July 13, 2010, the City Council approved the South Perris Industrial Project, located on three noncontiguous sites (Sites 1, 2 and 3) totaling 7.4 million square feet of industrial warehouse on 458 acres. As originally approved, Site 1 is located on the west side of Goetz Road between Mountain Avenue and Artlo Avenue and contains a 783,700 square foot warehouse building on 38 acres; Site 2 is located on the west side of Goetz Road between Mapes Road and Watson Road and contains four (4) buildings totaling 3,448,734 square feet on 201 acres; and Site 3 is located on the east side of Redlands Avenue between 7th Street and Ellis Avenue and contains four (4) buildings totaling 3,166,857 square feet on 216 acres.

Additionally, on March 12, 2014, a Development Agreement (DA 09-04-0009) was approved and recorded for Site 2. The recorded DA extended the original project approvals to September 30, 2026. Since the overall project was approved (Sites 1, 2, and 3), two major modifications to Site 3 have been approved to reduce the building area. The potential environmental impacts associated with the modifications were evaluated in two addenda to the certified EIR.

The applicant is now proposing to modify Site 2 to reduce the number of buildings from four (4) to three (3) buildings and the overall square footage. This request consisting of Major Modification 22-05265 to modify Development Plan Review 08-04-0006, and Tentative Parcel Map 23-05248 (TPM 38518) to modify Tentative Parcel Map (TPM) 35886 was scheduled to be considered by the Planning Commission on October 18, 2023, but it was continued to November 1, 2023, at the applicant's request to address technical issues related to the project.

PROJECT DESCRIPTION

The applicant is requesting a Major Modification to the previously approved DPR 08-04-0006 for Site 2 industrial development within the South Perris Industrial Project to reduce the total number of warehouse/distribution buildings from four (4) buildings to three (3) buildings and reduce the overall square footage from 3,448,734 square feet to 3,345,217 square feet, for a net reduction of 103,517 square feet. A new Tentative Parcel Map (TPM 38518) is also proposed to revise the previously approved Tentative Parcel Map No. 35877 to reduce the number of parcels from six (6) to three (3) parcels and letter Lot "A" for open space. The proposed industrial development on Site 2 is referred to as the Perris Logistics Center (PLC) South.

Following is a summary of the three industrial warehouses proposed for Site 2:

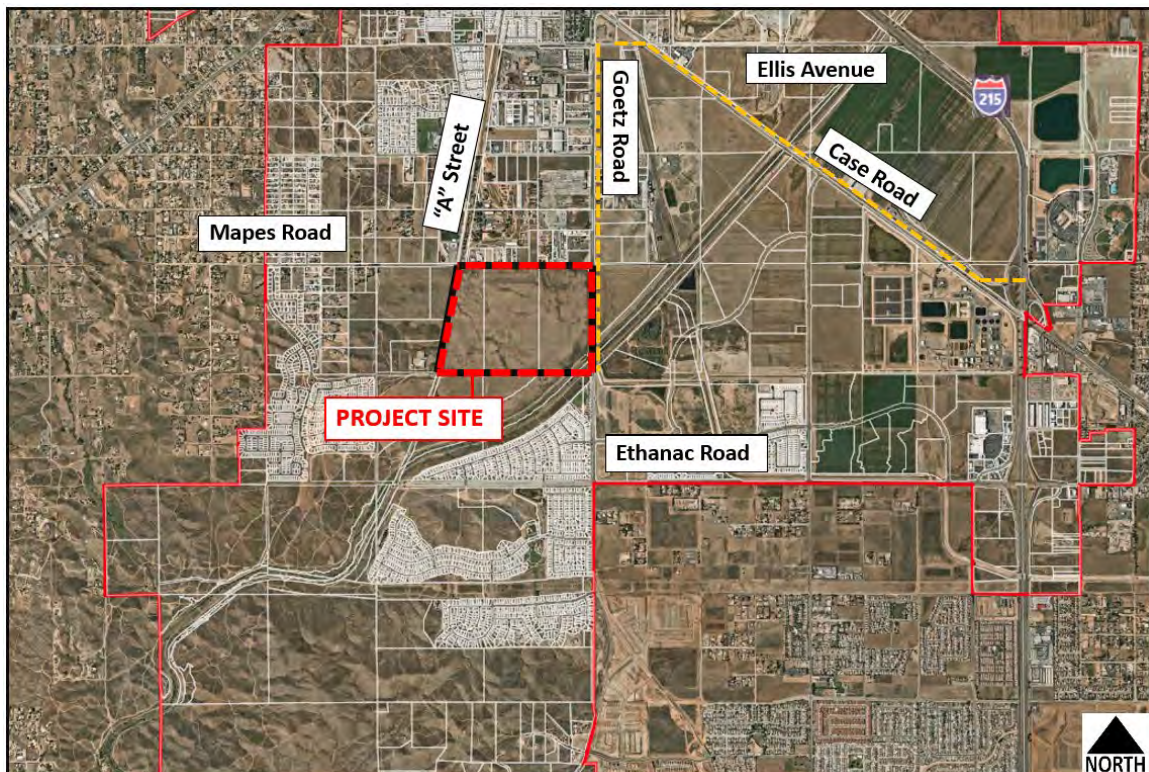
- Parcel 1/ Building 1 – Parcel 1 consists of 65.17 net acres and is located on the southwest corner of Mapes Road and "A" Street. Parcel 1 is proposed to be developed with Building 1, a 1,385,090 square foot tilt-up concrete building with 20,000 square feet of office area and 230 cross dock loading doors. A total of 564 parking spaces are proposed for employees and visitors along the north and south sides of the site, and 339 parking spaces for semi-trucks. Access for passenger vehicles is provided from two driveways: a driveway along Watson Street, a cul-de-sac accessible from "A" Street and Mapes Road, and a second driveway from Mapes Road. Truck/trailer and fire access to the site is provided by one driveway off of Mapes Road. A fire access gate restricts automobile access to the fire access road, which would only be open and accessible to automobiles in the event of an emergency.
- Parcel 2/ Building 2 - Parcel 2 consists of 64.09 net acres and is located on the terminus of Watson Street, with additional frontage on Mapes Road on the north side of the project site. Parcel 2 is proposed to be developed with Building 2, a 1,424,920 square foot tilt-up concrete building with 20,000 square feet of office area and 214 cross dock loading doors. A total of 397 parking spaces are proposed for employees and visitors along the north and south sides of the site, and 316 parking spaces for semi-trucks. Access for passenger vehicles is provided from two driveways: one at the terminus of the Watson Street, a cul-de-sac accessible from "A" Street, and a driveway along Mapes Road. Like Building 1 on Parcel 1, truck/trailer and fire access to the site is provided from one driveway along Mapes Road, the northwestern

driveway is proposed for truck access, and the northeastern driveway is for fire truck access. A fire access gate restricts automobile access to the fire access road, which would only be open and accessible to automobiles in the event of an emergency.

- Parcel 3/ Building 3 - Parcel 3 consists of 37 net acres and is located at the southwest corner of Goetz Road and Mapes Road. Parcel 3 is proposed to be developed with Building 3, a 535,207 square foot tilt-up concrete building with 10,000 square feet of office area and 127 loading dock doors. A total of 271 parking spaces are proposed for employees and visitors along the south side of the site with access from Goetz Road, and 131 parking spaces for semi-trucks with access from Mapes Road. Access to passenger vehicles is separate from truck access. Although both access points are interconnected by a 26-foot-wide fire access road, a gate restricts automobile access to the fire access road, which would only be accessible to automobiles in the event of an emergency.

In order to facilitate access to the site, street improvements will be required for Mapes Road, Goetz Road, and Watson Street, in accordance with the Circulation Element of the General Plan. Watson Street will be constructed as a cul-de-sac.

Trucks are anticipated to access the I-215/Bonnie Drive Interchange via Bonnie Drive, Mapes Road, Case Road, Ellis Avenue, Goetz Road and Mapes Road. Truck access to and from Ethanac Road is prohibited. In addition, in an effort to prohibit truck right turn movement from eastbound Mapes Road onto southbound Goetz Road, the developer/property owner will be required to construct a one (1) foot wide six (6) inch-high raised median channelizing and narrowing the designated right turn lane pocket on Mapes Road. The length and width of the turn lane shall be determined by the project's Traffic Engineer as approved by the City Engineer.



PROJECT ANALYSIS:

The table below summarizes the project's consistency with the General Plan, Zoning Code, and the Perris Valley Airport and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plans:

	Consistent	Inconsistent
<p>Consistency with the General Plan</p> <p>The project is located in Planning Area 8 (Perris Valley Airport/South Industrial) area of the General Plan, which allows for general industrial uses, general industrial uses, community and neighborhood commercial uses, open space and public/semi-public facilities and uses. Included in this area is the Perris Valley Airport, the Orange Empire Railway Museum, a transfer station and recycling operations, boat sales and automobile repair shops. As proposed, the project will be consistent with the General Plan and will further the following General Plan Circulation Element goals:</p> <ul style="list-style-type: none"> ○ <u>Goal II</u> – A well planned, designed, constructed, and maintained street and highway system that facilitates the movement of vehicles and provides safe and convenient access to surrounding developments. ○ Goal III To financially support a transportation system that is adequately maintained. <ul style="list-style-type: none"> - III.A.4 Require developers to be primarily responsible for the improvement of streets and highways to developing commercial, industrial, and residential areas. These may include road construction or widening, installation of turning lanes and traffic signals, and the improvement of any drainage facility or other auxiliary facility necessary for the safe and efficient movement of traffic or the protection of road facilities. ○ <u>Goal V</u> - Efficient goods movement. <ul style="list-style-type: none"> - V.A.8: Require streets abutting properties in Light Industrial and General Industrial zones to conform to standard specifications for industrial collector streets to accommodate the movement of heavy trucks. - V.A.8: Provide adequate off-street loading areas for all commercial and manufacturing land uses. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency Zoning Code</p> <p>The project site is zoned General Industrial (GI), which is intended for manufacturing, research, warehouse, and distribution. The project proposes to develop the subject site with an industrial warehouse building, which will be consistent with the GI Zone.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Consistent	Inconsistent
<p>Consistency with the Perris Valley Airport and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plans (MARB/IPA ALUCP)</p> <p>The project site is located within the D and E Zones of the Perris Valley Airport Land Use Compatibility Plan, and Zone E of the MARB/IPA Airport Land Use Compatibility Plan, which allows Office and General Industrial uses not to exceed 3-stories. On June 8, 2023, the Riverside County Airport Land Use Commission ("ALUC") deemed the Major Modification for Development Plan Review 08-04-0006 and TPM 38518, to be consistent with the 2011 Perris Valley Airport Land Use Compatibility Plan and the 2014 MARB/IPA Land Use Compatibility Plan subject to Conditions of Approval.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

The proposed project modifications and map are consistent with the development standards of the Zoning Code. The table below summarizes compliance with Chapter 19.44 – General Industrial Zone and Chapter 19.69 – Parking Development Standards of the Zoning Code for Buildings 1, 2 and 3.

Building 1 (Development Standards and Parking Compliance Review)

General Industrial Zone - Development Standards Parcel 1/ Building 1					
	Standard		Proposed	Consistent	Inconsistent
Lot Coverage	50 percent		47.2%	<input checked="" type="checkbox"/>	<input type="checkbox"/>
FAR (Floor Area Ratio)	0.75		0.488	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Lot Size	15,000 square feet (0.34 acres)		65.17 acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Lot Width	100 feet		2,547 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Lot Depth	100 feet		1,056 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Maximum Building Height	50 feet		42 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Setbacks	Front Yard: Mapes Road (north)	15 feet	179 feet (minimum)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Front Yard: "A" Street	15 feet	185 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Front Yard: Watson Street	15 feet	317 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>

General Industrial Zone - Development Standards Parcel 1/ Building 1					
Standard			Proposed	Consistent	Inconsistent
Setbacks	Interior Side Yard:				
	East Side	0 feet	191 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	West Side	15 feet	185 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rear Yard (south)	0	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Landscape Coverage	12%		16.8%	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Parking Standards Parcel 1 – Building 1 Chapter 19.69 – Parking Development Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Industrial – Automobile	Warehouse: 20,000 s.f. (1space/1,000 s.f.)	20	20		
	20,000 – 40,000 (1 space /2,000 s.f.)	10	10	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Above 40,000 (1 space /5,000 sf)	270	534		
Industrial – Truck Trailer	(1 space /5,000)	278	397	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Automobile Parking		300	564	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Truck/Trailer Parking		278	397	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Automobile Vehicle Parking			264		
Total Surplus Truck/Trailer Parking			119	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Building 2 (Development Standards and Parking Compliance Review)

General Industrial Zone - Development Standards Parcel 2/ Building 2					
Standard		Proposed	Consistent	Inconsistent	
Lot Coverage	50 percent	50%	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
FAR (Floor Area Ratio)	0.75	0.51	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minimum Lot Size	15,000 square feet (0.34 acres)	64.10	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minimum Lot Width	100 feet	1,062 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minimum Lot Depth	100 feet	2,633 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Maximum Building Height	50 feet	42 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

General Industrial Zone - Development Standards Parcel 2/ Building 2					
Standard			Proposed	Consistent	Inconsistent
Setbacks	Front Yard: Mapes Road (north)	15 feet	120 feet minimum	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Front Yard: Watson Street	15 feet	433 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Interior Side Yard: East side West Side	0 feet 0 feet	195 feet 195 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rear Yard (south)	0	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Landscape Coverage	12%		16.1%	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Parking Standards Parcel 2 – Building 2 Chapter 19.69 – Parking Development Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Industrial – Automobile	Warehouse: 20,000 s.f. (1space/1,000 s.f.)	20	20		
	20,000 – 40,000 (1 space /2,000 s.f.)	10	10	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Above 40,000 (1 space /5,000 sf)	277	367		
Industrial – Truck Trailer	(1 space /5,000)	285	316	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Automobile Parking		307	397	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Truck/Trailer Parking		278	316	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Automobile Vehicle Parking			89		
Total Surplus Truck/Trailer Parking			38	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Building 3 (Development Standards and Parking Compliance Review)

General Industrial Zone - Development Standards Parcel 3 – Building 3					
Standard			Proposed	Consistent	Inconsistent
Lot Coverage	50 percent		33.1%	<input checked="" type="checkbox"/>	<input type="checkbox"/>
FAR (Floor Area Ratio)	0.75		0.331	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Lot Size	15,000 square feet (0.34 acres)		37.11 acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Minimum Lot Width	100 feet		796 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Lot Depth	100 feet		1,915	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Maximum Building Height	50 feet		40 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Setbacks	Front Yard: Mapes Road (north)	15 feet	115 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Front Yard: Goetz Road	15 feet	168 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Interior Side Yard: West	0 feet	188 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rear Yard (south)	0 feet	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Minimum Landscape Coverage	12%		30.6%	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Parking Standards Parcel 3 – Building 3					
Chapter 19.69 – Parking Development Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Industrial – Automobile	Warehouse: 20,000 s.f. (1space/1,000 s.f.)	20	20		
	20,000 – 40,000 (1 space /2,000 s.f.)	10	10	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Above 40,000 (1 space /5,000 sf)	100	241		
Industrial – Truck Trailer	(1 space /5,000)	278	339	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Automobile Parking		130	271	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Truck/Tailer Parking		278	339	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Automobile Vehicle Parking			141	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Truck/Trailer Parking			61	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS

Building Elevations/Architecture

The applicant has been working with staff on revising the building's elevations to provide superior architectural design. The building's elevations reflect the current industry standard and style for concrete tilt-up construction. They include intermittent window glazing, multiple scoring patterns such as large squares and various horizontal line patterns. Variations in the roof height, articulation in the building footprint, and variation in the type/size of the roofline cap features create an

interesting and integrated treatment of the concrete tilt-up design. The buildings use varying complementary materials to distinguish the buildings base, body, and cap. The proposed color palette includes shades of white with light and dark gray along with blue glazing to offset the lighter color tones. The combination of the proposed colors, articulated building elevations, metal shed roof overhangs for all doors visible from the street, varying roof height, and porcelain tile treatments provides visual interest to the buildings (Exhibit E). Examples of the previously approved building elevations and the proposed building elevations are provided below for comparison purposes.

Previously Approved Building Elevations



Proposed Building Elevations



Employee Amenity and Recreation area

The project will provide one (1) indoor employee amenity and two (2) outdoor employee amenities for each building. An indoor cafeteria is proposed for Buildings 1 and 2, and an exercise room for Building 3. Outdoor amenities, consisting of a basketball court, outdoor patio with seating area will be provided for Buildings 1, 2 and 3. (Exhibit E).

Landscaping

The proposed conceptual landscape plan has been designed to provide a mix of evergreen and deciduous trees along the various streets including London Plane, Southern Live Oak, Golden Rain trees along Mapes Road and Watson Street; Coast Live Oaks is the predominant tree species along Goetz Road. In addition to the street trees, other tree species will be used throughout the site, including Fruitless Olive, Mondell Pine, Brisbane Box, Palo Verde, Chitalpa, Mexican Sycamore, and Australian Willow. Tree plantings adjacent to buildings include Bottle Trees, Paperbark Trees, and Brisbane Box trees. The conceptual landscape plan also shows an African Sumac, however, as conditioned, the applicant will work with staff to replace it with a more appropriate type of tree prior to the approval of the final landscape plans. All landscaped areas will be planted with various shrubs and ground covering plants that when mature, will cover the entirety of the landscaped area for each parcel (Exhibit E).

The overall project provides 1,421,195 square feet (32.6 acres) of landscaped coverage representing approximately 20% of the total site, which is 8% greater than the minimum 12% requirement. In summary landscape coverage is provided as follows: Parcel 1 provides 16.2%, Parcel 2 provides 15.8%, and Parcel 3 provides 29.1%.

Fencing/Walls

A 14-foot-high tilt-up concrete screen wall is required to screen all truck courts/loading docks, from public streets. Per the conditions of approval, the screen walls will be wrapped into the interior property lines for no less than 100 feet to screen the truck courts and truck driving aisles. The walls will be designed to be consistent with the building architecture along with score lines and other decorative features. Where concrete screen walls are not required, such as around landscape planting areas, 14-foot-high tubular steel fencing will be used to soften from public view. The sliding tubular steel gates to the truck courts will have a metal mesh to screen visibility into the loading area (Exhibit E).

ENVIRONMENTAL CONSIDERATIONS AND CEQA PROCESS

An Addendum to the previously certified Final Environmental Impact Report (SCH No. 2008071060) for South Perris Industrial Project was prepared for this project, as the proposed modifications consist of a significant reduction in building square footage compared to the originally evaluated development for Site 2. The Addendum to the Final EIR (Addendum 23-05252) concluded that no new significant impacts will result from the proposed modified project and that impacts will be similar to the original project or classified as impacts with less than significant levels.

PUBLIC HEARING NOTICE

A public hearing notice for the Planning Commission meeting was published in the local newspaper and sent to agencies and property owners within 500 feet of the project site. As of the writing of the staff report, no additional comments have been received by staff.

RECOMMENDATION

Adopt Resolution No. 23-32, recommending that the City Council approve Major Modification 22-05265, Tentative Parcel Map 38518 and adopt Addendum 23-05252 to the Final Environmental Impact Report (SCH No. 2008071060) for South Perris Industrial Project to facilitate the construction and operation of three (3) new industrial buildings totaling 3,345,217 square feet, based on the findings and subject to the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: There is no fiscal impact associated with this project since all project costs are borne by the applicant.

Prepared by: Mathew Evans, Contract Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Resolution 23-32 with Conditions of Approval (Planning, Engineering, Public Works, Fire, Community Services and Building & Safety)
- B. Location/Aerial Map
- C. General Plan Map/Zoning Map
- D. MARB/IPA Airport Land Use Map
- E. Perris Valley Airport Land Use Map
- F. Project Plans (Site Plan, Floor Plan, Building Elevations, and Conceptual Landscape Plans)
Due to the size of the files, these documents are available online at: https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-400#docan1206_1313_479
- G. Addendum to the EIR (Addendum 23-05252)
Due to the size of the files, the documents are available online at: https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-400#docan1206_1313_479

Consent:
Public Hearing: X
Business Item:
Presentation:
Other:

Exhibit A

Resolution 23-32 with Conditions of
Approval (Planning, Fire, Building & Safety
Engineering, Public Works and Community
Services)

RESOLUTION 23-32

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE A MAJOR MODIFICATION 22-05265 OF DEVELOPMENT PLAN REVIEW DPR 08-04-0006 FOR THE PREVIOUSLY APPROVED PERRIS LOGISTICS CENTER SOUTH, SITE 2 PROJECT ON 195-NET ACRES TO REDUCE THE TOTAL NUMBER OF WAREHOUSE/DISTRIBUTION BUILDINGS FROM FOUR (4) TO THREE (3), REDUCE THE OVERALL SQUARE FOOTAGE OF THE BUILDINGS FROM 3,448,734 SQUARE FEET TO 3,345,217 SQUARE FEET; AND APPROVE TENTATIVE PARCEL MAP 23-05248 (TPM 38518) TO MODIFY A PREVIOUSLY APPROVED MAP TO REDUCE THE NUMBER OF PARCELS FROM SIX (6) TO THREE (3) PARCELS AND A LETTER LOT "A" AND ADOPT AN ADDENDUM (23-05252) TO THE PREVIOUSLY CERTIFIED FINAL ENVIRONMENTAL IMPACT REPORT (SCH. NO. 2008071060) AS THE PROJECT WILL NOT RESULT IN ADDITIONAL SIGNIFICANT IMPACTS, SUBJECT TO CONDITIONS OF APPROVAL AND THE FINDINGS NOTED HEREIN.

WHEREAS, on July 13, 2010, the City of Perris ("City") City Council approved the South Perris Industrial Project ("Original Project"), which was submitted by FR/Cal Ellis, LLC, and approved a related Development Plan Review ("DPR") 08-04-0006 for Site 2 as well as Development Agreement 10-04-0009 in accordance with Perris Municipal Code ("PMC") Section 18.19.010 and Government Code Section 65864 *et seq.* ("DA10-04-0010"); and

WHEREAS, the Original Project involved three non-contiguous sites and the current action affects only the northernmost of the three non-contiguous sites of approximately 195 acres at the northeast corner of Ellis and Redlands Avenues ("site" or "Site II"); and

WHEREAS, the site is located within the General Industrial Zone; and

WHEREAS, since the approval of the Original Project, there has not been development on Site II, but additional infrastructure in the area has been constructed, and the surrounding area has generally become more developed/urbanized; and

WHEREAS, the City has received an application for a Major Modification (MM 22-05265) to Development Plan Review (DPR 08-04-0006) to amend the Original Project relating to Site 2 of the South Perris Industrial Project to include the following: Reduce the total number of warehouse/distribution buildings from four (4) buildings to three (3) buildings; 2) Reduce the overall square footage of the buildings from 3,448,734 square feet to 3,345,217 square feet; and 3) a Tentative Parcel Map 23-05248 (TPM 38518) which proposes a Revised Tentative Parcel Map to modify a previously approved map reducing the number of parcels from six (6) to three (3) parcels and letter Lot "A." (collectively the "Amended Original Project" or "Project"); and

WHEREAS, Major Modification (MM 22-05265) includes various off-site improvements as well as direct roadway improvements and additional street dedication to Mapes and Goetz Road, as well as the completion of Watson Street; and

WHEREAS, the Amended Original Project is partially located in Western Riverside Multiple Species Habitat Conservation Plan (“MSHCP”) Criteria Cell No. 3470 and will need to participate in the Habitat Evaluation and Acquisition and Negotiation Strategy (“HANS”) negotiation process for Site II required by the MSHCP and City Resolution No. 3162 to determine appropriate conservation areas for habitat preservation; and

WHEREAS, the MSHCP Compliance Report will be reviewed by the City, the Riverside County Regional Conservation Authority (“RCA”), and the US Fish and Wildlife Service and the California Department of Fish and Game (the “Wildlife Agencies”) through the Joint Project Review process and the RCA; and

WHEREAS, on July 13, 2010, the City certified the South Perris Industrial Final Environmental Impact Report (SCH No. 2008071060) (“EIR”) for the Original Project pursuant to CEQA and the State CEQA Guidelines by adopting City Council Resolution No. 4323, and which incorporates the Final EIR, the Draft EIR with changes and revisions thereto, written Responses to Comments made during the CEQA review period, and the Mitigation and Monitoring Program; and

WHEREAS, the Planning Commission held a duly noticed public hearing on October 18, 2023, at which time voted 5-0 to continue the Project to the November 1, 2023, Planning Commission hearing at the request of the applicant; and

WHEREAS, the Planning Commission held a duly noticed public hearing on November 1, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, pursuant to CEQA and State CEQA Guidelines, a second Addendum to the EIR has been prepared for the Amended Original Project (“EIR Addendum #3”) in relation to the Amended Original Project and it has been determined that no new or more severe significant impacts than those addressed in the Final EIR and EIR Addendum #1 and Addendum #2 result from the Amended Original Project, which reduces the square footage that will be developed on the site when compared with the Original Project, therefore reducing a number of associated impacts on the environment compared to those impacts addressed in the Final EIR and EIR Addendum #1 and Addendum #2; and

WHEREAS, the Planning Commission has reviewed the EIR Addendum #3 to the Final EIR and accompanying attachments; and

WHEREAS, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence from City staff and members of the public presented at all Project meetings and public hearings, including the previously certified Final EIR and EIR Addendum #3 for the Amended Original Project; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS does resolve as follows:

Section 1. Recitals.

The above recitals are all true and correct and are incorporated herein by this reference.

Section 2. Environmental Analysis.

1) The City of Perris is the lead agency for the Amended Original Project and Original Project as determined by CEQA and State CEQA Guidelines.

2) On July 13, 2010, the City certified the South Perris Industrial Final Environmental Impact Report SCH No. No. 2008071060 (“EIR”) for the Original Project pursuant to CEQA and the State CEQA Guidelines by adopting City Council Resolution No. 4323, and which incorporates the Final EIR, the Draft EIR with changes and revisions thereto, written Responses to Comments made during the CEQA review period, and the Mitigation and Monitoring Program.

3) City Council Resolution No. 4323 found that all the requirements of CEQA and the State CEQA Guidelines have been satisfied in the EIR and EIR Addendum #1 and #2 for the Amended Original Project. Addendum #3 to the Final EIR, which is sufficiently detailed so that all of the significant environmental effects of the Project have been adequately evaluated, has met all the requirements of CEQA and State CEQA Guidelines. Based upon the forgoing, including but not limited to the EIR Addendum #3 to the Final EIR prepared for the Project and the accompanying technical studies and all oral and written communications from City staff and members of the public presented at the November 1, 2023, public hearing, the Planning Commission finds that:

a. There are no substantial changes to the Original Project or the circumstances under which the Original Project will be carried out that will require major revisions to the previously certified EIR and adopted EIR Addendum #1 and Addendum #2, and that the previously certified EIR and adopted EIR Addendum #1 and Addendum #2 remain relevant.

b. The Project will not result in new significant environmental effects or substantial increases in the severity of previously identified significant effects.

c. There is no new information substantial importance, which was known or could have been known with the exercise of reasonable diligence at the time the previous EIR was certified and EIR Addendum #1 and EIR Addendum #2 were adopted.

d. The Project will not have any significant effects that are not identified and discussed in the previously certified EIR and adopted EIR Addendum #1 and Addendum #2, and there are no newly feasible, or considerably different, mitigation measures or alternatives which would substantially reduce one or more significant effects of the Project which the Project proponent declines to adopt.

Section 3. Tentative Parcel Map (TPM 21-05119)

Based upon the forgoing and all oral and written statements and reports presented by City staff and members of the public, including but not limited to, such statements and reports presented at its public hearing on November 1, 2023, the Planning Commission recommends that the City Council make the following findings regarding Tentative Parcel Map 38518 (TPM 23- 05248):

- A. *The proposed map is consistent with applicable general and specific plans.*

Tentative Parcel Map 23-05248 has been reviewed by the City Engineering Department and the Planning Division to ensure compliance with the city codes and all other applicable regulations. The project site is not located within a specific plan, but has land use and zoning designations of “GI” (General Industrial). The proposed warehouses are permitted in the “GI” zone. According to the General Plan, the proposed development is located in Planning Area 8 “Perris Valley Airport” which is primarily designated for General and General Industrial land uses. Therefore, City staff has determined that subject sites created by TPM 38518 are consistent with the applicable general and specific plan designations.

- B. *That the site is physically suitable for the type and density of the proposed development.*

The proposed Project site is relatively flat and is physically suitable in terms of parcel size, shape, access and availability to utilities and services, as the site is located at the northeast corner of Ellis and Redlands Avenues, which allows for adequate two-way access from both frontages and provides for the logical extension of infrastructure to service the site. Since the approval of the Amended Original Project, there has not been development on Site II, but additional infrastructure in the area has been constructed, and the surrounding area has generally become more developed/urbanized. Utility service connections are available to service the site and will be designed, installed and maintained consistent with City and service agency requirements.

- C. *That the design of the map or the type of improvements will not cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat.*

Pursuant to the California Environmental Quality Act and the Guidelines for Implementation of the California Environmental Quality Act, an EIR (State Clearinghouse No. 200807160) was prepared for the Project that determined that less than significant impacts to wildlife and their habitat would occur as a result of the Project with implementation of the required mitigation measures. The site consists of vacant land consisting of mixed tilled soils and overgrown vegetation. The Mitigation Monitoring and Reporting Program is included in the Conditions of Approval, attached to the Final EIR, and is available for review at the City of Perris Development Services Department or on the City website.

- D. *That the design of the map or the type of improvements will not cause serious public health problems.*

The Project EIR determined that less than significant impacts to people would occur as a result of the project, except for certain identified environmental impacts that will result from the construction and operation of the proposed Project, even with implementation of mitigation measures. See the EIR, EIR Addendum #1, EIR Addendum #2 and EIR Addendum #3 for the Amended Original Project.

Section 4. Major Modification (MM 22-005265).

Based upon the forgoing and all oral and written statements and reports presented by City staff and members of the public, including but not limited to, such statements and reports presented at its public hearing on November 1, 2023, the Planning Commission recommends that the City Council make the findings required by PMC Section 19.54.040(f) for approval of the Major Modification (MM 22-05265) of Development Plan Review (“DPR 08-04-0006”) as follows:

1) The Amended Original Project (Major Modification 22-05265) is consistent with the findings for the Original Project because location, size, design, and density and intensity of the proposed Project is consistent with the City’s General Plan (GI), any applicable Specific Plans (none), the purposes and provisions of the City’s Zoning Code, the purposes of the Zone (General Industrial) in which the site is located, and the development policies and standards of the City.

There is no change in the size of the site, the architectural design and site circulation have been improved, and the square footage of the Project is substantially reduced from the Amended Original Project. The proposed development is consistent with the General Plan zoning General Industrial (GI) designation on the site, and with the existing land uses in the area. The Project as conditioned meets or exceeds all design and development criteria of the underlying GI zoning district, which implements the development standards and policies of the City.

2) The proposed Project site is physically suitable, including but not limited to parcel size, shape, access, and availability of utilities and services, for the type of development proposed.

The proposed Project is physically suitable in terms of parcel size, shape, access and availability to utilities and services, as the site is located at the northeast corner of Ellis and Redlands Avenues, which allows for adequate two-way access from both frontages and provides for the logical extension of infrastructure to service the site. Since the approval of the Original Project, there has not been development on Site II, but additional infrastructure in the area has been constructed, and the surrounding area has generally become more developed/urbanized. Utility service connections are available to service the site and will be designed, installed and maintained consistent with City and service agency requirements.

3) The proposed Project and the conditions under which it would be operated or maintained is compatible with abutting properties and will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

The Project is adjacent to other general industrial, governmental and recreational uses that are compatible with the e-commerce/warehousing uses proposed on the site. The Project would augment the City's economic base, create employment-generating opportunities for the citizens of Perris and surrounding communities, and provide modern industrial distribution centers that allow for the efficient storage and distribution of various goods due to the Project's location adjacent to regional transportation corridors and rail lines.

4) *The architecture of the proposed Project includes updated and enhanced architecture which is compatible with community standards and protects the character of adjacent development.*

As designed, the proposed architecture meets or exceeds the intent of the architectural design standards in the General Industrial Zone. The architecture proposed is an upgrade and update from the architecture approved for the Amended Original Project. Additionally, the proposed architecture will be compatible with and protect the character of the existing and future general industrial uses through the application of enhanced development standards, landscaping, setbacks, site design and improvements, which aesthetically enhance the site and protects the character of the adjacent development.

5) *The proposed Project's landscaping plan ensures visual relief and provides an attractive environment for the public's enjoyment.*

The proposed Project meets or exceeds the on-site and off-site landscape standards for the General Industrial (GI) zoning district as outlined in Section 19.70 of the Zoning Code, by providing a mix of specimen native and drought-tolerant trees, shrubs, ground cover and annual color throughout the site to ensure visual relief and effectively frame, soften and embellish access points, building entries, parking areas and trash enclosures. As required, all areas not covered by structures, drive aisles, parking or hardscape have been landscaped, which will provide an attractive environment for the public's enjoyment.

6) *The safeguards necessary to protect the public health, safety and general welfare have been required for the proposed Project.*

The proposed Project provides the safeguards necessary to protect the public health, safety, and general welfare through the conditions of approval and mitigation measures, which will ensure that the project is developed in compliance with City and affected service agency codes and policies and mitigate potential impacts to the environment.

Section 5. Recommendation.

Based upon the forgoing and all oral and written statements and reports presented by City staff and members of the public, including but not limited to, such statements and reports presented at its public hearing on November 1, 2023, the Planning Commission hereby recommends that the City Council:

1) Find that the EIR, EIR Addendum #1, and Addendum #2 cover the Project.

2) Find that the EIR Addendum #3 to the EIR complies with all the requirements of CEQA and the CEQA Guidelines, as provided above, and approve EIR Addendum #3 to the EIR subject to the Mitigation Monitoring and Reporting Program for the EIR (SCH# 2008071060).

3) Find that Tentative Parcel Map 38518 (TPM 23-05248) complies with the requirements of PMC Section 18.16.010, as provided above, and approve the TPM 23-05248 subject to Engineering Department Conditions of Approval attached hereto as Exhibit 1 and incorporated herein by reference.

4) Find that Major Modification (MM 22-05265) complies with the requirements of PMC Section 19.54.040(e), as provided above, and approve the Major Modification (MM 22-05265) subject to the Planning Division, Fire Department, and Engineering, Public Works, Community Services, and Building Departments' Conditions of Approval attached hereto as Exhibit 1 and incorporated herein by this reference.

Section 6. The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences and words of this Resolution shall remain in full force and effect.

Section 7. The Chairperson shall sign this Resolution and the Secretary shall certify to the adoption of this Resolution.

ADOPTED, SIGNED and APPROVED this 1st day of November, 2023.

CHAIRPERSON OF THE PLANNING
COMMISSION

ATTEST:

Designee Secretary, Planning Commission

STATE OF CALIFORNIA) COUNTY OF RIVERSIDE) § CITY OF PERRIS)

I, Patricia Brenes, Designee Secretary of the Planning Commission of the City of Perris, do hereby certify that the foregoing Resolution Number 23-32 was duly adopted by the Planning Commission of the City of Perris at a regular meeting thereof held on the 1st day of November 2023, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Designee Secretary of the Planning Commission

Exhibits: 1. Conditions of Approval (Planning Division, Fire Department, and Engineering, Public Works, Community Services, and Building & Safety)

Exhibit 1 - Conditions of Approval

**CITY OF PERRIS
DEPARTMENT OF DEVELOPMENT SERVICES
PLANNING DIVISION**

DRAFT CONDITIONS OF APPROVAL

**Major Modification 22-05265 of Development Plan Review 08-04-0006
Tentative Parcel Map 23-05248 (TPM 38518)
EIR Addendum 23-05252**

November 1, 2023

PROJECT: PROJECT: Major Modification 22-05265 – A proposal to modify Development Plan Review 08-04-0006, previously approved Perris Logistics Center (PLC) South, Site 2 project, on 195 acres as follows: 1) Reduce the total number of warehouse/distribution buildings from four (4) buildings to three (3) buildings; 2) Reduce the overall square footage of the buildings from 3,448,734 square feet to 3,345,217 square feet; and 3) Tentative Parcel Map 23-05248 (TPM 38518) to modify a previously approved map to reduce the number of parcels from six (6) to three (3) parcels and letter Lot “A” for open space. The project site is located at the southwest corner of Mapes Road and Goetz Road, in the General Industrial (GI Zone). Applicant: Brian Caris, IDI Logistics.

General Conditions:

1. **Approvals.** All applicable conditions of approval of previously approved related entitlements for Site 2 of the South Perris Industrial, as listed below, shall apply:
 - a. **Major Modification 22-05265 of Development Plan Review 08-04-0006**
 - b. **Tentative Parcel Map 23-05248 (TPM 38518); and**
 - c. **EIR Addendum 23-05252**
2. **Development Agreement (DA 33575).** The project shall be subject to the terms and conditions of the Perris Logistics Center South, Site 2 Development Agreement, recorded on March 14, 2023, which may be modified by City Council approval from time to time.
3. **The Approval Period for Development Plan Review (DPR 08-04-0006) Tentative Parcel Map 23-05248 (TPM-38518).** The Development Plan Review and Tentative Parcel Map are subject to the Term of Agreement as found in Section 2.5 of the previously approved Development Agreement (DA 33575) recorded on March 12, 2014.
4. **Mitigation Monitoring and Reporting Program.** The project shall comply with all provisions of the adopted Mitigation Monitoring and Reporting Program (MMRP) for the Environmental Impact Report (SCH #2008071060), as incorporated herein, and as may be modified by these conditions per the EIR Addendum.
5. **Future Obligation of Buyers and Lessees.** All future buyers and lessees shall be informed of their obligation to comply with these Conditions of Approval. The applicant shall further inform the buyer or lessee of their obligation to maintain compliance with all local and City ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.

6. **Change or Expansion of Use.** No change or expansion of the site or the use shall occur without subsequent reviews and approvals from the Planning Division.
7. **Conformance to Approved Plans.** Development of the Project Site 2 site plan, building elevations, colors and materials, conceptual grading and landscaping shall conform substantially to the sets of plans for **Major Modification 22-05265, Development Plan Review 08-04-0006** and **Tentative Parcel Map 23-05248 (TPM 38518)** as approved by the City Council, or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.
8. **ADA Compliance.** The project shall conform to all disabled access requirements in accordance with the State of California, Title 24, and the Federal Americans with Disabilities Act (ADA).
9. **Rooftop Solar.** The project does not propose rooftop solar panels at this time. However, suppose the project proposes solar rooftop panels in the future. In that case, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and the Airport Land Use Commission and March Air Reserve Base shall review this study.
10. **Planning Division.** All Planning Division Conditions of Approval shall be reproduced in the construction and grading plans.
11. **Fire Marshal Conditions.** The project shall comply with all requirements of the Fire Marshall in the memo dated **July 27, 2023**.
12. **Building Official/Fire Marshal.** The project shall adhere to all Building Official/Fire Marshal requirements. Fire hydrants shall be located on the project site pursuant to the Building Official and the approved Fire Access Plan. Water, gas, sewer, electrical transformers, power vaults, and separate fire/water supply lines (if applicable) must be shown on the final set of construction plans pursuant to the requirements of the Building Official. All Conditions of Approval shall be included in the building plans. See the City of Perris website, Office of the Fire Marshal, for examples and relevant information for access and the underground plan available at: <http://www.cityofperris.org>.
13. **Building Conditions.** The project shall adhere to the requirements of the Building Department as indicated in the attached Conditions of Approval dated **July 11, 2023**.
14. **City Engineer.** The project (**MM 22-05265, DPR 08-04-0006 and TPM 23-025248**) shall adhere to the requirements of the City Engineer as indicated in the attached Revised Conditions of Approval dated October 20, 2023.
15. **Public Works Department.** The project shall comply with all requirements of Public Works Conditions of Approval dated October 19, 2023.
16. **Community Services Department.** The project shall comply with all the requirements of the Community Services Department Conditions of Approval dated October 25, 2023.
17. **Val Verde Unified School District.** The proposed subdivision shall adhere to the standard requirements and mitigation fees established by the Val Verde Unified School District.
18. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or

any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City concerning Environmental Impact Report (SCH #2008071060) and all cases associated with the South Perris Industrial Project, including **Major Modification 22-05265, Development Plan Review 08-04-0006** and **Tentative Parcel Map 23-05248 (TPM-38518)**. The City shall promptly notify the applicant of any claim, action, or proceeding for which indemnification is sought, and shall further cooperate fully in the defense of the action.

19. **Dam Inundation Disclosure.** The owner shall disclose to all future tenants indicating all three sites of the South Perris Industrial Project are located within the dam inundation area, subjecting the sites to flooding in the event of a dam failure.
20. **Southern California Edison (SCE).** The applicant shall contact the Southern California Edison area service planner (951 928-8323) to explore energy conservation benefit options and to complete the required forms prior to commencement of construction. No grading permits shall be issued until a letter from SCE is received by the City Engineer indicating electrical service will be underground.
21. **Waste Hauling and Disposal.** The project shall use only the City-approved waste hauler for all construction and other waste disposal.
22. **Graffiti and Property Maintenance.** The project shall comply with the Perris Municipal Code Chapter 7.42 regarding Property Maintenance. The site shall be maintained graffiti-free state at all times. Graffiti located on the site shall be removed within 48 hours. Graffiti shall be painted over in panels and not patches. The paint shall match the color of the wall or material surface. In addition, the project shall comply with the one-year landscape maintenance schedule identified in Public Works Department Condition of Approval No. 3-K, dated January 4, 2023.
23. **Utilities.** All utility facilities attached to buildings, including meters and utility boxes, shall be painted to match the wall of the building to which they are affixed. These facilities shall also be screened from the public right-of-way by landscaping.
24. **Performance Standards.** The applicant shall comply with all Performance Standards for Large Industrial Buildings as listed in PMC Chapter 19.44.070.
25. **Solar/Photo Voltaic Panels.** The project shall be designed with load bearing capacity for the roof top installation of photovoltaic arrays of at least 1.5 megawatts.
26. **Downspouts.** Exterior downspouts are not permitted on elevations of any building facing the public right of way. Interior downspouts are required for these elevations.
27. **Screening of Roof-Mounted Equipment.** Proper screening shall prevent public views of all HVAC equipment and roof-mounted equipment. Also, all vent pipes and similar devices shall be painted to match the building.
28. **Glazing.** Highly reflective glass shall not be used for architectural elevations.
29. **Roof Parapets.** The height of the roof parapet shall fully screen any roof-mounted equipment. All vent pipes and similar devices shall be painted to match the building.

30. **Parking Stall Configuration.** Design of parking stalls shall comply with PMC 19.69.030C.5b (double striping). Premium parking stalls provided voluntarily or as required for LEED (or other green building rating system) for Low Emission Vehicles (LEV)/Zero Emission Vehicles (ZEV) and carpools shall be designated as such.
31. **Trash Enclosures.** Trash enclosures shall be screened with landscaping (vines and shrubs) and provide decorative solid trellis cover.
32. **Sign Program.** A sign program is required for each site and shall include, at a minimum, entry statements, including theme walls, monumentation, and enhanced landscaping at each entrance. Theme walls and monuments shall be placed no closer than five feet from the public right-of-way.
33. **Payment of State Fish and Game Fees.** Within five (5) days of City Council approval, the applicant shall file a Notice of Determination of the Riverside County Clerk and submit appropriate payment of fees in accordance with Section 753.5 (Title 14) of the California Code of Regulations; no project shall be operative, vested, or final until the filing fees have been paid.
34. **Construction Practices.** To reduce potential noise and air quality nuisances, the following items shall be listed as "General Notes" on the construction drawings:
 - a. Construction activity and equipment maintenance is limited to the hours between 7:00 a.m. and 7:00 p.m., on weekdays. Construction may not occur on weekends or State holidays, without prior consent of the Building Official. Non-noise generating activities (e.g., interior painting) are not subject to these restrictions.
 - b. Stationary construction equipment that generates noise in excess of 65 dBA at the project boundaries must be shielded and located at least 100 feet from occupied residences. The equipment area with appropriate acoustic shielding shall be designated on building and grading plans. Equipment and shielding shall remain in the designated location throughout construction activities.
 - c. Construction routes are limited to City of Perris designated truck routes.
 - d. Water trucks or sprinkler systems shall be used during clearing, grading, earth moving, excavation, transportation of cut or fill materials, and construction phases to prevent dust from leaving the site and to create a crust after each day's activities cease. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.
 - e. A person or persons shall be designated to monitor the dust control program and to order increased watering as necessary to prevent the transport of dust off-site. The name and telephone number of such persons shall be provided to the City. Also, a board shall be placed at the subject site to include a person and phone number for the public to call in case of dirt and dust issues.
 - f. Project applicants shall provide construction site electrical hookups for electric hand tools such as saws, drills, and compressors to eliminate the need for diesel-powered electric generators or provide evidence that electrical hookups at construction sites are not practical or prohibitively expensive.

Green Building Practices:

35. **Sustainable Building.** The following sustainable building practices contribute to an energy-efficient, environmentally responsible building, over and beyond California building code requirements. The following green compliant options shall be considered collaboratively among the design and construction team very early in the design phase:

BUILDINGS

- a. Install “Cool Roof” roofing to keep buildings cool.
- b. Use “Energy Star” and high efficiency equipment.
- c. Use higher “R” value insulation and glazing beyond Code requirements to minimize electricity loads.
- d. Use a highly efficient HVAC system (heat pump, variable air handling unit, evaporative cooler for dry climates).
- e. Use renewable energy (solar photovoltaics, “green” utility power) for electricity.
- f. Incorporate passive daylighting design techniques (clerestory windows, skylights).
- g. Use passive ventilation (ceiling fans, floor and ceiling vents) for a healthier indoor environment.
- h. Shade openings during summer and allow sun to enter during winter.
- i. Install architectural elements (fins, light shelves, awnings, overhands, etc.) that look attractive and serve a green building purpose.
- j. Specify products created with rapidly renewable materials (bamboo, cork, cotton batt insulation, etc.).
- k. Specify Forest Stewardship Council (FSC) Certified wood products (sustainably managed forests per the FSC).

INTERIORS

- l. Install ultra-low flow fixtures that use less water than required by code (sinks & water closets).
- m. Install insta-hot water heaters to minimize water usage and electrical demands.
- n. Install lighting controls (motion/day lighting sensors) to turn off lights when not needed.
- o. Use high efficiency light fixtures and lamps (such as CFLs and LEDs) to minimize electrical demands.
- p. Use paints & adhesives with low V.O.C.s (volatile organic compounds); also composite wood products (cabinetry) with low V.O.C.s.

SITE

- q. Use water efficient landscaping and irrigation, such as using reclaimed water where available.
- r. Provide features that encourage alternative transportation, such as bike racks and public transportation stops.
- s. Provide preferred parking for carpools and hybrid, electric and alternative fuel vehicles.
- t. Orient building to take advantage of natural resources such as sunlight, wind, views, drainage, etc.
- u. Provide on-site recyclable collection areas.
- v. Utilize site features to absorb and filter storm water run-off such as permeable asphalt or grass swales (bioswales).

CONSTRUCTION

- w. Recycle & salvage construction waste to minimize waste.
 - x. Reuse existing site or building as much as possible in remodels to minimize waste.
 - y. Use recycled-content (fly ash in concrete, steel, gypsum board).
 - z. Use regional materials (concrete, C.M.U., roof tiles), products that are created with local raw materials, and locally manufactured.
36. **Green Building Rating System/LEED.** In support of the General Plan's goals for sustainability, compliance with a nationally-recognized green building program is highly recommended. The US Green Building Council's LEED (Leadership in Energy and Environmental Design) rating system recognizes highly performing, healthy, durable, affordable, and environmentally sound buildings and site design. The project applicant has indicated the South Perris Industrial buildings will pursue **LEED Certified** certification. If LEED Certified certification is not ultimately granted by the USGBC, the project shall comply with the requirements for LEED building certification (at minimum) according to the edition of the NC Reference Manual (USGBC) in effect at time of project registration.
37. **Compliance with LEED Categories and Credits.** The successful implementation of the performance standards described in the New Construction (NC) reference guide result in LEED Certification at the chosen level. LEED success is dependent upon the collaboration and cooperation of all members of the project team very early in the design process, with oversight by LEED-accredited professionals. In some sections, City codes will facilitate compliance. See the current US Green Building Council NC Rating System reference guide, or the guide in effect at time of project registration. The building(s) and facilities shall be maintained in the condition that awarded LEED certification.

TPM 38518 - FINAL MAP RECORDATION

38. **Application.** The Final Map application shall be submitted to the City Engineering Department with payment of appropriate fees for review and approval concurrently with the application to the Planning Division. The Final Map application shall include all necessary road dedications, appropriate easements, and street vacations.
39. **Map Recordation.** Prior to the recordation of the Final Map, the developer shall obtain the following clearances, approvals, or actions:
- a. Verification from the Planning Division that all pertinent conditions of approval have been met, as mandated by the Perris Municipal Code.
 - b. Any other required approval from an outside agency.

PRIOR TO THE ISSUANCE OF GRADING PERMIT:

40. **Riverside County Conservation Agency Joint Plan Review Process.** Prior to the issuance of a grading permit, the applicant shall have concluded the Riverside County Conservation Agency (RCA) Joint Plan Review (JPR) process including any required approval by wild life agencies, etc. No disturbance of land or grading shall occur prior to the completion of the RCA JPR process.
41. **Precise Grading Plans.** Precise grading plans shall be submitted to the City Engineer for review and approval. Grading plans shall be consistent with approved development plans.

42. **Traffic Control Plan.** A Traffic Control Plan shall be submitted for approval to the City Engineer.
43. **Final Water Quality Management Plan (FWQMP).** The development shall be subject to all provisions of City of Perris Ordinance Number 1194, which establishes stormwater/urban runoff management and discharge controls to improve water quality and comply with federal regulations, and any subsequent amendments, revisions, or ordinances pertaining thereto.
44. **Preliminary Water Quality Management Plans (PWQMP).** The structural BMPs selected for this project have been approved in concept. The owner shall submit a final WQMP including plans and details providing the elevations, slopes, and other details for the proposed structural BMPs including two bioretention basins, seven Contech CMP Chamber and Modular Wetlands System systems, catch basin inserts, self-retaining landscape and covered trash enclosures. The Public Works department shall review and approve the final WQMP text, plans and details.
45. **San Jacinto River Trail.** A regional trail located adjacent to the South Perris Industrial Project along the San Jacinto River from Goetz Road to Case Road shall either be constructed prior to the first building permit issuance or payment of an in-lieu in accordance with Community Services Conditions dated October 13, 2023. The trail construction includes clearance of all necessary approval from the RCA and wildlife agencies through the JPR and applicable CEQA process.
46. **Airport Land Use Commission Conditions.** The ALUC Conditions for Major Modification 22-05265 for DPR 08-04-0006 and Tentative Parcel Map 23-05248 (TPM 38518) are as follows:
 - a. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
 - b. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (1) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight or circling climb following takeoff or toward an aircraft engaged in a straight or circling final approach toward a landing at an airport, other than a DoD or FAA-approved navigational signal light or visual approach slope indicator.
 - (2) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight or circling climb following takeoff or towards an aircraft engaged in a straight or circling final approach towards a landing at an airport.
 - (3) Any use which would generate smoke or water vapor, or which would attract large concentrations of birds, or which may otherwise affect safe air

navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.

- (4) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (5) Hazards to flight
- c. The attached notice shall be provided to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
 - d. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries. Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC “LANDSCAPING NEAR AIRPORTS” brochure, and the “AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT” brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist. A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: “There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes”. The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.
 - e. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
 - f. The project has been evaluated to construct three industrial buildings totaling 3,345,217 square feet on three separate parcels. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.

- g. Noise attenuation measures shall be incorporated into the design of the office area, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
- h. At least 13.10 acres of ALUC-eligible open areas (at least 75 feet in width and 300 feet in length), as depicted on the Open Space exhibit, shall be kept obstacle and obstruction free per ALUC open area definition (no objects greater than four feet in height with a diameter of four inches or greater).
- i. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission.
- j. The Federal Aviation Administration has conducted aeronautical studies of the proposed project (Aeronautical Study Nos. 2023-AWP-4892-OE thru 2023-AWP-4895-OE, 2023-AWP-4888-OE thru 2023-AWP-4891-OE, and 2023-AWP-4884-OE thru 2023-AWP-4887-OE) and has determined that the buildings would not result in an impact to air navigation.
- k. The proposed buildings and site elevations shall not exceed the heights identified in the aeronautical studies.
- l. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
- m. Temporary construction equipment used during actual construction of the structure(s) shall not exceed the structure heights and site elevations as identified in the aeronautical studies, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
- n. Within five (5) days after construction of the proposed building reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.

PRIOR TO THE ISSUANCE OF BUILDING PERMITS:

- 47. **Off-Site Tree Planting or Funding.** To promote the City's tree planting initiative currently underway to make Perris GREEN providing positive benefits to the local environment from air quality to shading, the developer shall plant one 24-inch box tree per 2,500 square feet of building size to include irrigation lines and controllers at an off-site location to be determined by the City (i.e., City right-of-way, parks, etc.) to provide funding equivalent to such cost the discretion of the City prior to issuance of the building permit.

48. **Final Parcel Map Submittal.** Prior to the issuance of the first building permit, Tentative Parcel Map 38518 shall be submitted for Final Map approval to the City Engineering Department and be recorded with the County of Riverside, with proof of recording provided to the City Planning Division and Engineering Division. The Final Map shall conform substantially to the approved Tentative Map.
49. **Landscape and Irrigation Plans.** Landscaping and irrigation plans shall conform to Section 19.70 of the Perris Municipal Code. Three (3) complete sets of landscape plans (as listed below) shall be submitted to the Planning Division, accompanied by the appropriate landscape plan check filing fee. The landscape plans shall be prepared and stamped by a California licensed landscape architect and include the following:
 - a. Landscape Design Plan (including Planting Details per the City's Technical Manual for Landscape Design).
 - b. Irrigation and Maintenance Plan.
 - c. Soil Management Plan.
 - d. Grading Design Plan, including Water Quality Management Plan (WQMP) site design BMP's
50. **Landscaping Plans.** Prior to issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Division for approval, accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a California-registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. The landscaping shall be consistent with the conceptual landscape plan, except as required below. Although the current plans show conceptual landscaping and trees, staff will work with applicant/developer to develop an appropriate list of trees for use within the landscaped areas, including the avoidance of certain trees that are not recommended for use by the City.
 - a. **Street Trees.** All street trees within the public right of way shall be 36-inch box size or larger and planted a maximum of 30 feet on center within the parkway.
 - b. **BMPs for Water Quality.** All BMPs (vegetated swales, detention basins, etc.) shall be indicated on the landscape plans with appropriate planting and irrigation.
 - c. **Employee Amenity Areas.** The outdoor employee break area shall be landscaped to include shade trees and shade structures architecturally similar in colors and materials to the warehouse building.
 - d. **Enhanced Pavement.** Decorative pavement treatments (accent colors, textures, and patterns) shall be used for all driveway entrances and pedestrian pathways.
 - e. **Shade Tree.** The project shall provide shade trees throughout the parking lot.
 - f. **Maintenance.** All landscaping shall be maintained in a viable growth condition.
51. **Eastern Municipal Water District (EMWD).** Applicant shall also submit landscape plans to EMWD for approval after the City's approval, and comply with required EMWD inspections. Contact EMWD at 951 928-3777, ext. 4334.
52. **Additional Plan Requirements.** The following additional plans shall be reviewed and approved by the appropriate City departments:

- a. **Trash Enclosures.** Each building shall provide covered trash enclosures constructed to the City standard under permit. The trash enclosure shall be easily accessible to all tenants, and be screened by landscaping from the public view. The trash enclosure shall be treated with an overhead trellis treatment, and elevations shall be included on final landscape and fencing plans for review and approval by the Planning Division.
 - b. **Site Lighting.** A site lighting plan shall be approved that complies with the City's Outdoor Lighting Regulations. The lighting plan shall include photometrics, fixture details, and light standard elevations. Fixtures shall have full-cut off shields to prevent light and glare above the horizontal plane of the bottom of the lighting fixture.
 - c. **Fencing and Screen Walls.** Decorative screen walls shall screen views into the site from the public right of way, and adjacent public uses (including open space and public trails). The plans and details for screen walls and other fencing shall be included in the landscape plan check submittal package for review and approval by the Planning Division. The following shall apply:
 - i. **Architecture.** The design of the screen walls shall be architecturally tied to the building, significantly articulated, and include base, body and cap elements.
 - ii. **Location.** Decorative 14-foot high tilt-up concrete screen walls are required to screen truck loading areas from the right of way, Interstate 215 and other areas of public view wrapping to the interior property lines for a distance of 100 feet to screen the truck courts and truck driving aisles. The outdoor storage area in the Project shall be screened from public right of way, and adjacent land uses. To minimize wall height visually from the public, berming should be used.
 - iii. **Gates** in public view shall be constructed of tubular steel in a color complementary to the building.
 - d. **Knox boxes** are required for all gates, and shall be approved by the Fire Marshal and issued by the Building Division.
 - e. **Graffiti** shall be abated within 48 hours. Block walls shall be treated with a graffiti-resistant coating or equally effective graffiti deterrent.
 - f. **Handicap parking** stalls shall be provided for each building, pursuant to the requirements of the Perris Municipal Code and the California Building Code.
53. **Construction Plans.** All Planning Division and Engineering Department Conditions of Approval, proposed employee amenities, LEED requirements, the Mitigation Monitoring Plan, and Landscape Plan Requirements shall be reproduced in full on construction drawings and grading plans, immediately following the cover sheet of such plans. Applicant shall annotate each Condition on the construction plans to indicate the manner by which each condition has been met (i.e., sheet and detail numbers).
54. **Fees.** The developer shall pay the following fees according to the timeline noted.
Prior to the issuance of building permits, the applicant shall pay:
- a. Stephen's Kangaroo Rat Mitigation Fees at \$500 per acre;
 - b. Multiple Species Habitat Conservation Plan fees;
 - c. Statutory school fees to all appropriate school districts;
 - d. Appropriate Road and Bridge Benefit District fees;

- e. The park development impact fee;
- f. The Public Art fee
- g. Any outstanding liens and development processing fees owed to the City

Prior to issuance of Occupancy, the applicant shall pay:

- a. City Development Impact Fees; and
- b. Transportation Uniform Mitigation Fees (TUMF)

PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS:

55. **Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The Developer shall complete all actions required to complete such annexation prior to the recordation of the Final Map (or issuance of a certificate of occupancy if a Final Map is not required). This condition shall apply only to districts existing at the time the Final Map is approved (or all requirements have been met for a certificate of occupancy, as applicable). Such districts may include but are not limited to the following:
- a. Landscape Maintenance District No. 1
 - b. Flood Control Maintenance District No. 1 (may include Streets)
 - c. Maintenance District No. 84-1 (Street Lights and Traffic Signals)
 - d. North Perris Public Safety or South Perris Community Facilities District
 - e. Ramona Mobility Group District (Transportation Improvements)
 - f. Future Fire Protection Community Facilities District
 - e. Any other applicable City Assessment and Community Facilities Districts
56. **Final Planning Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-offs from the Building Division and Engineering Department. Planning Staff shall verify that all Conditions of Approval have been met, and all required paving, parking, walls, site lighting, landscaping and automatic irrigation is installed and in good condition.
57. **Truck Routes.** The applicant shall notify all truck drivers of the truck routes adopted by the City Council. Signs shall be provided on-site and within the public right-of-way to direct all trucks to use designated truck routes only as approved by the Engineering and Planning Departments.
58. **Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final signoffs from the Building Division and Engineering Department. Planning Staff shall verify that all pertinent conditions of approval have been met. The applicant shall have all the required paving, parking, walls, site lighting, landscaping, and automatic irrigation installed and in good condition.
59. **Outstanding Fees.** Any processing fees for the Planning Division shall be paid before building occupancy.

60. **On-Site Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for a final landscape inspection after the installation of all landscaping and irrigation systems is completely operational. Before calling for a final inspection, the City's "Certificate of Compliance" form shall be completed and signed by the designer/auditor responsible for the project and submitted to the project planner. The project planner shall sign off the "Certificate of Compliance" to signify code compliance and acceptance.
61. **Maintenance Agreement.** A recorded document in the form of a Covenant Declaration and/or a Maintenance Agreement shall be provided to the Development Services Department to specify maintenance responsibilities for on-site improvements not dedicated to public use including, but not limited to, walkways, decorative pavement, landscaping, storage areas, fences and walls, signage, lighting fixtures, detention basins and water quality BMPs.
62. **Shared Access and/or Parking Agreement.** Owners shall sign and be party to an agreement, subject to the City's approval and recorded to run with the land, which provides for easements, covenants and conditions relating to applicable parking, vehicle access, utility use, and other uses between the subject properties. The agreement, together with all attachments, must be submitted to and approved by the Development Services Department and the City Attorney prior to approval of Final Parcel Maps.
63. **Occupancy Clearance.** The applicant shall have all required paving, parking, screen walls, colors, and materials (per approved elevation plans), site lighting, landscaping, and automatic irrigation installed and in good condition prior to Planning sign-off.

END OF CONDITIONS



Dennis Grubb and Associates, LLC

Assisting Cities Build Safe Communities

Fire Department Development Review Comments

July 27, 2023

City of Perris
Attn: Douglas Fenn, Project Planner
135 N. D Street
Perris, CA 92570-2200

Subject: Development Plan Review for MAJMOD22-005265

As requested, a review of the subject property was completed. The following fire conditions shall apply:

1. The project shall comply with all requirements set forth by the California Code of Regulations Title 24 Parts 1-12 respectively.
2. The adopted edition of the California Code of Regulations, Title 24, Parts 1 through 12, and the Perris Municipal Code shall apply at the time the architectural plans are submitted for construction permits.
3. Prior to the to the issuance of a grading permits a fire department access plan shall be submitted to the City of Perris for review and approval. The fire department access plan shall comply with the requirements specified by the City of Perris Guideline for Fire Department Access & Water Requirements for Commercial & Residential Development, and the California Fire Code, Chapter 5.
4. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
5. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
6. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
7. A minimum of two points of connection to the public water shall be provided for the private fire-line water.
8. The private underground fire-line system shall be a looped design.
9. The private underground fire-line system shall have indicating sectional valves for every five (5) appurtenances.

10. The Fire Department Connection (FDC) shall be located within 100 feet of a public fire hydrant. The fire hydrant shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and fire hydrant.
11. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
12. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
13. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation
14. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven-feet above the finished surfaced and near the main entrance door.
15. Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system. The emergency radio communication enhancement system shall meet the requirements of CFC § 510 and all applicable subsection. The system shall be installed and inspected by the City of Perris Building Department before the Certificate of Occupancy is issued. The requirement can be waived by the Fire Marshal if the building is evaluated by an Emergency Radio Communication Specialist license by FCC, who certifies the building meets the emergency communications capability as specified by the California Fire Code § 510. The certification shall be in the form of a written report which outlines the analysis used in determining the building meets the emergency communications without an enhancement system.
16. City of Perris approval shall be obtained prior to any high pile storage (HPS) as defined by the CFC.

Respectfully,



Lynne Pivaroff

SRC COMMENTS
***** BUILDING & SAFETY *****

Planning Case File No(s): MMOD 22-05265

Case Planner: Douglas Fenn

Applicant: IDI Logistics

Location: Northwest corner of "A" street and Metz Road

Project: PROPOSED to modify an approved application to reduce the SF of three industrial buildings totaling 3,478,279 SF down to 3,192,567 SF.

APN(s): 330-120-05, 330-120-003, 006, 330-120-008, 01, 330-120-008-01, 330-120-009-02

Reviewed By: David J. Martinez, CBO

Date: 07-11-2022

Following Standard Building & Safety Conditions of Approval
Are Applicable to This Project:

1. The proposed building and site will be required to comply with the ADA and Title 24 Access regulations for the entire building. The entire building will have to be brought up to the current accessibility regulations.
2. The proposed buildings will have to comply with the EV charging station requirements
3. The proposed buildings will have to have fire sprinklers
4. **If the plans are submitted for plan review on or after January 1, 2023, then the project will have to comply with the 2022 adopted versions of the California codes.**

Specific Conditions:

- A) Requires Separate Fire Review.
- B) Provide minimum 60' setback to maintain unlimited allowable area for building.

BUILDING & SAFETY

GENERAL CONDITIONS

- 1. Shall comply with the latest adopted edition of the following codes as applicable:
 - A. 2019 California Building Code
 - B. 2019 California Electrical Code
 - C. 2019 California Mechanical Code
 - D. 2019 California Plumbing Code
 - E. 2019 California Energy Code.
 - F. 2019 California Fire Code
 - G. 2019 California Green Building Standards Code.

- 2. Automatic fire suppression systems shall be installed in all new and remodel or additions, construction when the gross area of the building exceeds 3,500 sf. or more than two-story high per Title 16 of the City of Perris Code of Ordinances.

- 4. All lot lines, easement lines, etc. shall be located and/or relocated in such a manner as to not cause any existing structure to become non-conforming with the requirements of the latest adopted edition of the Building Code, or any other applicable law, ordinance, or code.

- 5. All exterior lighting shall be orientated, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

- 14. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this project:
 - A. Precise grading plans shall be approved
 - B. Rough grading completed
 - C. Compaction certification
 - D. Pad elevation certification
 - E. Rough grade inspection signed off



CITY OF PERRIS

ENGINEERING DEPARTMENT

CONDITIONS OF APPROVAL

October 20, 2023

MM 22-05265 (DPR 08-04-0006) – TPM 38518

IDI South

SEC Mapes Rd. & A St.

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer provide all the improvements and road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and that their omission may require resubmittal for further consideration. These Ordinances, the underlying approved conditions of approval and the following conditions of approval are essential parts and requirements occurring in one is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditions shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic Impact Analysis, the most stringent in the opinion of the City shall prevail.

General Conditions:

1. The developer/property shall comply with all of the underlying approved Conditions of Approval dated June 16, 2010 however, pursuant to this Major Modification application, certain conditions have been modified, further defined and added, as listed below.

The underlying approved Conditions of Approval dated June 16, 2020 are attached as Exhibit 1.

2. Truck access shall be from I-215/Bonnie Drive Interchange, Bonnie Drive, Mapes Road, Case Road, Ellis Avenue, Goetz Road and Mapes Road.

Truck access to and from Ethanac Road, "A" Street, Goetz Road south of Mapes Road, and Watson Road is prohibited.

Prior to Recordation of the Parcel Map:

3. The developer/property owner shall have approved improvement plans, executed subdivision agreement and posted securities.

4. "A" Street is classified as a Major Collector (78'/56') with a modified centerline located at 34 feet west of existing centerline (69 feet west of existing easterly right-of-way.) The developer/property owner shall dedicate the required right-of-way on "A" Street as approved by the City Engineer.

5. Mapes Road is classified as Secondary Arterial (94'/70'). The developer/property owner shall dedicate the required 47 foot half width right-of-way.

The developer/property owner may be required to acquire additional right-of-way to accommodate the required improvements.

6. Watson Road is considered a private Local roadway (60'/40'). The developer/property owner shall provide an irrevocable offer of dedication as approved by the City Engineer.

The developer/property owner may be required to acquire additional right-of-way to accommodate the required improvements.

7. The developer/property owner shall submit the following to the City Engineer and Riverside County Flood Control and Water Conservation District (RCFCD) for review and approval as directed by the City Engineer:

- a. Onsite Precise Grading Plan and Erosion Control Plans; plans shall show the WDID No.
- b. Street and Storm Drain Improvement Plans
- c. Signing and Striping Plans
- d. Water and Sewer Improvement Plans
- e. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- f. Geotechnical Report
- g. Hydrology and Hydraulic Report
- h. Final WQMP (for reference)

The design shall be in conformance with Eastern Municipal Water District (EMWD), RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

8. All rights-of-way and easements shall be offered for dedication to the public or other appropriate agencies and shall continue in force until the City or the appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer.

9. Relinquish and waive rights of access on "A" Street, Goetz Road, Mapes Road and Watson Road on the Parcel Map other than the access openings on Goetz Road, Mapes Road and Watson Road; as shown on the site plan.

10. The developer/property owner shall make a good faith effort to acquire required offsite property interests, and if he or she should fail to do so, the developer/property owner shall, prior to submittal of the Parcel Map for recordation, enter into an agreement to complete the improvements. The agreement shall provide for payment by the developer/property owner of all costs incurred by the City to acquire the offsite property interests required in connection with the subdivision. Security of a portion of these costs shall be in the form of a cash deposit in the amount given in an appraisal report obtained by the developer/property owner (at developer/property owner cost). The appraiser shall be approved by the City prior to commencement of the appraisal.

11. The Parcel Map shall include a statement for the "Notice of drainage fees" since this property is located in the San Jacinto River Area Drainage Plan; and that the drainage fees shall be paid to the City of Perris prior to issuance of the building permit, and that the property owner prior to issuance of the building permit, shall pay the fee at the rate in effect at the time of issuance of the actual permit.

Prior to Issuance of Grading Permit:

12. The developer/property owner shall obtain approval of the following plans from the City of Perris and Riverside County Flood Control and Water Conservation District (RCFCD) or as directed by the City Engineer:

- a. Onsite Precise Grading Plan and Erosion Control Plans; plans shall show the WDID No.
- b. Street and Storm Drain Improvement Plans
- c. Signing and Striping Plans
- d. Street Light Plans prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards
- e. Geotechnical Report

- f. Hydrology and Hydraulic Report
- g. Final WQMP (for reference)

The design shall be in conformance with Eastern Municipal Water District (EMWD), RCFCD, Riverside County Transportation Department, Caltrans, City of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

13. Per the underlying approved Conditions of Approval dated June 16, 2010 the developer/property owner is conditioned to improve Goetz Road to its ultimate design/width per the General Plan, from Mapes Road to Ethanac Road including removal of the existing Goetz Road Bridge and placement/construction of a new widened bridge.

However, due to environmental constraints and attainment of the regulatory agencies' permits, construction of the new Goetz Road Bridge is subject to certain delay.

Consequently, prior to issuance of any permits, in order to accommodate the development's operation schedule, the City will process the regulatory agencies' applications to obtain the required permits and the City will construct the new bridge; the developer/property owner shall pay to the City an in lieu fee in the amount of \$22,000,000 for the cost of removal of the existing bridge, construction of the new bridge, the planning, engineering, environmental reports and permitting fees and a compounded factor of five percent (5%) annual inflation for five (5) years.

The order for payment of the \$22,000,000 in lieu fee shall be as follows:

- Prior to issuance of any Grading Permit, the developer/property owner to pay to the City \$5,000,000,
- Prior to issuance of the 1st Occupancy Permit, the developer/property owner to pay to the City \$8,500,000 and post a Letter of Credit (LOC) with the City in the amount of \$8,500,000, and
- Prior to issuance of the 2nd Occupancy Permit, the developer/property owner to pay to the City \$8,500,000, the LOC will then be rescinded.

For reimbursements and costs, make reference to the underlying approved Conditions of Approval no. 31 and other credits and reimbursement that may be available at the discretion of the City. And as indicated in the underlying approved Conditions of Approval dated June 16, 2010 other sources of reimbursement may include future developers who benefit from the construction of Goetz Road Bridge and/or participants in a community facilities or assessment districts created to fund such improvements in the vicinity.

The developer/property owner shall construct all of the other Goetz Road infrastructure improvements as conditioned and as directed by the City Engineer.

14. Site circulation, shall be such that auto and truck access and parking are distinct and separate.

Prior to Issuance of Building Permit:

15. Parcel Map 38518 shall be submitted to the City for review and approval and subsequently recorded.

16. Project site is located within the limits of San Jacinto River Area Drainage Plan for which drainage fees have been adopted by City. Drainage fees shall be paid as set forth under the provisions of the "Rules and Regulations of Administration of Area Drainage Plan". Acreage for the project site's impervious area shall be provided.

17. Water and sewer Improvement Plans, per Fire Department and EMWD standards, shall be submitted to the City Engineer for review and approval.

18. Fire Department and EMWD approvals of the Water Improvement Plans are required prior to City Engineer's approval.

19. Paved access shall be provided to the proposed buildings per the Precise Grading Plans.

20. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

21. The developer/property owner shall submit an elevation certification from the Engineer of Record in compliance with the approved plans.

Prior to Issuance of Certificate of Occupancy:

22. "A" Street (Major Collector – 78'/56") from Mapes Road to Watson Road, along the property frontage, shall be improved with minimum 26 feet of new asphalt paving (using TI of 9.0 and PG 70-10), 8 inch curb and gutter 28 feet east of the modified centerline and street lights subject to the photometric analysis and include smart photocells, per City of Perris, County of Riverside and Caltrans standards.

The 11 foot wide easterly parkway shall be improved as determined by Planning Department.

23. The Intersection of "A" Street and Mapes Road shall be improved to accommodate the vehicular travel lanes/turn lanes; the extent of

improvements and pavement/lane transitions shall be determined by the project's Traffic Engineer as approved by the City Engineer.

24. Mapes Road (Secondary Arterial – 94'/70') from Goetz Road to "A" Street, along the property frontage within the dedicated right-of-way shall be improved to provide for a 14 foot wide raised landscape median, a new 14 foot wide asphalt paving on the north side of the raised landscaped median and a new 28 foot wide asphalt paving on the south side of the raised landscaped median (using a TI of 8.5 and PG 70-10), 8 inch curb and gutter located 35 feet south of street centerline, 6 foot wide sidewalk located at property line, and street lights subject to the photometric analysis and include smart photocells, per City of Perris, County of Riverside and Caltrans standards.

To prohibit truck right turn movement from eastbound Mapes Road onto southbound Goetz Road, the developer/property owner shall construct a one (1) foot wide six (6) inch high raised median channelizing and narrowing the designated right turn lane pocket on Mapes Road. The length and width of the turn lane shall be determined by the project's Traffic Engineer as approved by the City Engineer

25. The length of the turn lanes within the Mapes Road raised landscaped median shall be determined by the project's Traffic Engineer as approved by the City Engineer.

26. The developer/property owner shall coordinate opening(s) in the Mapes Road raised landscape median to accommodate existing and proposed driveway(s) and point(s) of access as approved by the City Engineer.

27. Watson Road (Local – 60'/40') along the property frontage shall be improved to provide for a new 26 foot wide asphalt paving (using a TI of 8.0 and PG 70-10), 6 inch curb and gutter located 20 feet north of street centerline, 6 foot wide sidewalk at property line, and street lights subject to the photometric analysis and include smart photocells, per City of Perris, County of Riverside and Caltrans standards.

28. The permitted points of access to the three (3) proposed buildings are as described below.

For Building 1:

- The westerly driveway on Mapes Road shall be designated for autos only and shall be restricted to left-in and right-in/right-out only.
- The easterly driveway on Mapes Road shall be designated for trucks only and shall be restricted to left-in/right-out only. The westerly return of the driveway shall be reversed to negate trucks left-out movements.

- The driveway on Watson Road shall be designated for autos only and may accommodate full turn movements.

For Building 2:

- The westerly driveway on Mapes Road shall be designated for autos only and may accommodate full turn movements.
- The easterly driveway on Mapes Road shall be designated for trucks only and shall be restricted to left-in/right-out only. The westerly return of the driveway shall be reversed to negate trucks left-out movements.
- The driveway on Watson Road shall be designated for autos only and may accommodate full turn movements.

For Building 3:

- The driveway on Goetz Road shall be designated for autos only and shall be restricted to right-in/right-out only.
- The driveway on Mapes Road shall be designated for trucks only and shall be restricted to left-in/right-out only. The westerly return of the driveway shall be reversed to negate trucks left-out movements.

29. Mapes Road at the truck access designated driveways shall be concrete paved to withstand truck impact as approved by the City Engineer.

30. There is no phasing of public improvements; they shall be completed prior to issuance of any Certificate of Occupancy as approved by the City Engineer.

31. Prior to issuance of any Certificate of Occupancy, the developer/property owner shall construct the sewer infrastructure and sewer service connections for the development in full coordination with EMWD as approved by the City Engineer.

32. Existing power poles on "A" Street from Mapes Road to Watson Road shall be removed and cables (under 66 kv) including communication cables shall be undergrounded.

33. The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.

34. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by qualified

professional pursuant to the California Business and Professional Code 8771.

Attachment:

Exhibit 1 – Conditions of Approval DPR 08-04-0006
Dated June 16, 2010

Exhibit 1



CITY OF PERRIS

HABIB MOTLAGH, CITY ENGINEER

CONDITIONS OF APPROVAL

P8-1009

February 22, 2010, Revised May 3, 2010, Revised May 19, 2010

Revised Planning Commission June 16, 2010

~~Phase II~~ **Site II** - DPR 08-04-0006

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer provide the following street improvements and/or road dedication in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and that their omission may require the map to be resubmitted for further consideration. These Ordinances and the following conditions are essential parts and requirement occurring in ONE is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditioned shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

1. This project is located within the limits of the San Jacinto River Flood Plain and must comply with City Resolution # 3403.
2. The project's grading shall be in a manner to perpetuate existing drainage patterns, any deviation from this, concentration or increase in runoff must have approval of adjacent property owners. Drainage easements shall be obtained from effected property owners or if within this site, shall be shown on the final map. The applicant shall accept the offsite runoff and convey to acceptable outlet.
3. The incremental increase in runoff between developed and undeveloped state (100-year) and the nuisance runoff shall be retained within onsite private detention basin and drained to adequate outlet as approved by City and pursuant to Riverside County Flood Control standards.
4. Onsite landscape area(s) shall be designed in a manner to collect the onsite nuisance runoff in compliance with WQMP Standards.
5. Prior to issuance of any permit, the developer shall sign the consent and waiver forms to join the lighting and landscape

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TEL.: (951) 943-6504 - FAX: (951) 943-8416

districts. The developer shall maintain all on and offsite landscaping with exception of median improvements which will be included in landscape maintenance. The proposed offsite streetlights and portions of existing and new signals at Goetz Road with Ellis, Mapes & Ethanac; and Ethanac Road with I-215; and Case Road with Ellis, Murrieta, Mapes and I-215 ramps shall be maintained by City and cost paid for by the property owners through annexation to lighting and landscaping districts. In the event RCFC does not maintain the proposed offsite drainage facilities, it shall be annexed to Flood control District for maintenance.

6. All onsite drainage runoff shall be collected via onsite underground facilities and conveyed to San Jacinto River as approved by RCFC and City of Perris.
7. All pads shall be graded to be a minimum of 1' above 100-year calculated water surface or adjacent finished grade.
8. All grading and drainage improvements shall comply with NPDES and Best Management Practices. Erosion control plans shall be prepared and submitted to Water Quality Board and the City as part of the grading plans. Catch basins shall be installed at all existing intersections and new driveways to eliminate nuisance runoff from cross-gutter.
9. This project shall comply with the recommendation of Riverside County Flood control Districts letter dated February 23, 2010. In case of conflict the City Engineer's condition shall prevail. LOMR and CLOMR must be obtained as stated in Flood Control letter.

Construction of a landscaped open channel along "A" Street adjacent to the site and extension along southerly side of property line and discharge to onsite WQMP and San Jacinto River will be required.

The channel shall be extended northwesterly of intersection of Mapes and "A" to collect all offsite runoff including installation of catch basins at all corners of this intersection. Construction of 2 underground pipe along "A" from this channel to west side of "A" Street to pick up the offsite runoff and installation of catch basins at all proposed driveways is also a requirement.

The landscaping and fencing along "A" Street Channel shall be as approved by Planning Department.

10. Existing power poles within the project site or along the project boundary (under 65kv), if any, shall be removed and cables undergrounded. All other utility poles, if any, shall be removed and utilities undergrounded.

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11. Streetlights shall be installed along perimeter streets adjacent to this site as approved by City Engineer per Riverside County and Southern California Edison standards.
12. This project is located within EMWD's water and sewer service area. The applicant shall install water and sewer facilities as required by EMWD and Fire Department.
13. The applicant shall submit to City Engineer the following for his review:
 - a. Street Improvement Plans
 - b. Signing, Striping, and Signal Plans
 - c. Onsite Grading Plans, SWPPP, and Erosion Control Plan
 - d. Water and Sewer Plans
 - e. Drainage Plans, Hydrology and Hydraulic Reports
 - f. Streetlight Plan
 - g. Final WQMP

The project's design shall be in compliance with EMWD and Riverside County Standards and coordinated with approved plans for adjacent developments.

14. 6' concrete sidewalk (adjacent to site), handicap ramps, and driveways shall be installed pursuant to Riverside County and ADA standards. All driveway approaches shall be constructed per Riverside County standards for Commercial Driveway (Std. 207A) and comply with the ADA requirements.

Access points on "A" as shown on site plan requires installation of underground storm drain to convey the 100-year storm events.

15. This and other similar projects will significantly impact the transportation infrastructure within the City of Perris and adjacent communities. For this reason, the following transportation related improvements are required to mitigate the initial and the ongoing impact to the transportation facilities.
16. Goetz Road from Ellis Avenue to the intersection of Ethanac Road within 128' full width dedicated right-of-way shall be improved with 45' of new paving along either side, curb/gutter located 47' on either side of centerline. The existing bridge over San Jacinto River shall be widened to accommodate minimum of four 12' wide lanes with no change in bridge elevation plus 6' sidewalk.
17. Mapes Road from Goetz to "A" Street along both sides shall be improved with minimum of 30' new paving on either side, curb/gutter located 32' on either side of centerline within 94' full-width dedicated right-of-way. Sidewalk shall be constructed along the south side adjacent to property.

18. "A" Street along both sides from Mapes Road to Watson Road shall be improved with minimum of 26' new paving on either side, curb/gutter located 28' from either centerline within 78' full-width dedicated right-of-way including additional 131' dedication for "A" Street Channel and future rail extension. Sidewalk and trail shall be constructed along the east side of "A" Street as determined by Planning Department.
19. 14' wide landscape median along Goetz Road adjacent to the site shall be installed.
20. Ethanac Road from Goetz Road to I-215 shall be improved to ultimate conditions per General Plan along north side of centerline and to provide one 15' wide paved lane along south and minimum of one left turn pocket at all intersections except as noted.
21. The intersection of Goetz Road with Ellis Avenue and Ellis Avenue with Case Road and "A" Street **with Mapes Road** and Case Road with Mapes Road shall be improved to general plan standards with 2 left turn pockets, minimum 2 through lanes and one dedicated right turn (all legs and directions) as appropriate.
22. Ellis Avenue from Goetz Road to Case Road and Case Road from Ellis Avenue to I-215 ramps shall be improved along both sides with 45' of new paving on either side, concrete curb and gutter located 47' on either side of centerline within 128' dedicated right-of-way. These improvements shall include widening and improvements to existing crossings over San Jacinto River with no change in elevation.

Construction of offset improvements along Case Road due to right-of-way constraints along east side may be acceptable providing it complies with above requirements.
23. Traffic index of 11.0 shall be used for any work on Goetz, Ellis and Case, 10.5 for Ethanac, 9.0 for Mapes Road, and 7.5 for "A" Street.
24. The intersections of Goetz with Mapes and Ellis; and Ellis with Case Road and "A" with Mapes Road and all proposed new driveways on Mapes, "A", and Goetz Roads with truck access shall be improved with concrete section.
25. Prior to issuance of any occupancy permits the improvements to Case Road interchange with I-215 (ultimate configuration) shall be completed and accepted by Caltrans and City of Perris.
26. New traffic signals shall be installed at intersection of Goetz with Mapes and Ellis and at Ellis with Case and at Case with Murrieta, Mapes and I-215 ramps. All existing signals shall be upgraded to accommodate the requested improvements.

27. Minimum of one RTA stop(s) shall be provided along Goetz as determined by the City Engineer and RTA.
28. At the time of development of this project and during plan check, the City Engineer may examine the conditions of existing pavement along Goetz Road, Ellis Avenue, Case Road, and Ethanac Road. If in his opinion the existing pavement is adequate, the developers shall utilize the existing pavement to comply with the above conditions.
29. Watson Avenue from "A" Street to proposed end of cul-de-sac shall be improved to provide for minimum of 40' of paving, curb/gutter located 20' on either side of centerline within 60' dedicated right-of-way. The right-of-way along Watson Avenue from the cul-de-sac east shall remain and be used for bike/walking trails as determined by Planning Department.
30. Right-of-way acquisition. All right-of-way property area necessary for construction of the street and traffic improvements including any utility and construction easements, not under Applicant's ownership shall be acquired by the Applicant, at Applicant's sole cost. If Applicant is unsuccessful in negotiating any right-of-way acquisition with third party owners after a 30 day period, then City shall conduct the necessary analysis to determine in its sole discretion whether to attempt to acquire the right-of-way by exercise of its power of eminent domain; provided, however, that nothing herein shall be deemed a prejudgment or commitment with respect to condemnation.
31. Reimbursement of costs. Applicant and City shall cooperate to ensure that Applicant receives, to the greatest extent practicable, reimbursement and credit for all of Applicant's eligible costs of constructing all of the street and traffic improvements. Reimbursement agreement or some similar agreement between Applicant and the City that will fund the costs of such construction. Notwithstanding the forgoing, City shall have no obligation to reimburse or credit Applicant from any source of City funding other than under the local Development Impact Fee program as adopted by the City. Other sources of reimbursement may include the Transportation Uniform Mitigation Fee (TUMF) program, future developers who benefit from the improvements constructed by the Applicant, and/or participants in a community facilities or assessment district created to fund such improvements and other improvements in the vicinity of Applicant's project.

Phasing Conditions

In the event this project is developed in to smaller buildings and in different phases (up to 600,000 S.F. of building size) and no other development

within DPR 07-0130 and DPR 08-01-0007 is proposed concurrently; is under construction; or exists, the following conditions shall apply:

32. Condition #16 shall be revised to require construction of 4-15' wide lanes along Goetz Road from Mapes to Ethanac Road including widening of existing bridge to accommodate 4-12' wide lanes with no change in bridge elevation plus 6' wide sidewalk.
33. Condition #20 shall be revised to require construction of one additional 15' wide lane along the north side and minimum of one left turn pocket at all intersections except at Goetz Road.
34. Condition #22 is deleted.
35. Condition 25 shall be revised to read, the intersection at I-215 / Case / **Mapes Road Mathews** shall be improved with interim configuration and the work shall be completed and accepted by Caltrans and City of Perris prior to issuance of any occupancy permit.

Phase II

Any additional development beyond 600,000 S.F. of building size or combination thereof between this project, DPR 08-01-007 and 07-0130 exceeding 600,000 S.F. building size, then conditions 1-31 as stated above shall apply.

Habib Motlagh

Habib Motlagh
City Engineer



CITY OF PERRIS

PUBLIC WORKS DEPARTMENT

Weed Abatement

NPDES Services

Flood Control and Landscape Districts

MEMORANDUM

Date: October 19, 2023

To: Mathew Evans, Planner

From: Michael Morales, CIP Manager

By: Chris Baldino, Landscape Inspector **CB**

Subject: MJMOD22-05265 – Conditions of Approval

A major modification of the size and configuration of 3 Industrial buildings totaling 3,192,567 square feet. Located on the southwest corner of Mapes Road and Goetz Rd.

- 1. Dedication and/or Landscape Maintenance Easement.** Offer of Dedication and Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:
 - **Goetz Road** - Provide offer of dedication as needed to provide for full half width Street (128' ROW 64' half-width), curb gutter, sidewalk, median, and off-site landscaping requirements, per City General Plan, including minimum 12' public park way from face of curb.
 - **Mapes Road** - Provide offer of dedication as needed to provide for full half width Street (94' ROW 47' half-width), curb gutter, sidewalk, and off-site landscaping requirements, per City General Plan, including minimum 15' public park way from face of curb.
 - **"A" Street** - Provide offer of dedication as needed to provide for full half width Street (78' ROW 39' half-width), curb gutter, sidewalk, Class I shared use path, and off-site landscaping requirements, per City General Plan, including minimum 11' public parkway plus an additional 16' dedication for a total of 27' from face of curb for Class 1 shared use path.
 - **Watson Road** - Provide offer of dedication as needed to provide for full half width Street (66' ROW 33' half-width), curb gutter, sidewalk, and off-site landscaping requirements, per City General Plan, including minimum 11' public park way from face of curb.
- 2. Landscape Maintenance Easement and Landscape Easement Agreement.** The developer shall provide, for review and approval, an Offer of Dedication and certificate of acceptance, complete with legal plat map and legal description to the City of Perris. In addition, if required by the City of Perris, the Developer shall provide an additional 16' landscape easement and Landscape easement agreement for the parkway along "A" Street, acceptable to the City of Perris. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.
- 3. Landscaping Plans.** Three (3) copies of Construction Landscaping and Irrigation Plans for the off-site landscaping, including any medians or other landscape areas along the dedications shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of

Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. This landscape plan shall be titled “Off-site Landscape Plan for **MJMOD22-05265**” and shall be exclusive of any private property, on-site landscaping. Elements of the Landscape Plan shall include but not be limited to:

- a. Landscape Limits** – Limits of right-of-way areas or easement areas, defined by concrete mow curb, fully dimensioned, that are to be annexed into the Landscape Maintenance District. A planting palette and hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; or if no such guidelines exist the design intent of neighboring development, as determined by the Engineering Administration and Special Districts Division, including:
- **Goetz Road** – Street Scape and landscape design guidelines and planting pallet would include but not be limited to: Trees Primary: Platanus Acerifolia ‘Bloodgood’ London Plane, and Quercus Agrifolia, Costal Live Oak. Secondary tree: Pinus Canariensis, Canary Island Pine. Use of drought resistant shrubs and groundcover intended to complement the existing parkway to the south along the Green Valley Development. This would include but not be limited to the following: Salvia Greggii ‘Furmans Red’, Muhlenbergia Capillaris / Pink Muhly, Myoporum Parvifolium ‘Putha Creek’, Rosmarinus Officinalis ‘Prostratus’ / Dwarf Rosemary.
 - **Goetz Road Raised Median** – Primary Trees: Magnolia Grandiflora ‘Majestic Beauty’, Secondary Tree: Lagerstroemia ‘Natchez’ Crape Myrtle. Use of drought resistant shrubs and groundcover intended to complement the existing median to the south along the Green Valley Development. This would include but not be limited to the following: Hesperaloe Parviflora ‘Red Yucca’, Hesperaloe Parviflora ‘Yellow Yucca’, Muhlenberg Capillaris ‘Pink Muhly’, Mypororum Parvifloium ‘Putah Creek’, Rosmarinus Officinalis ‘Prostratus’ Dwarf Rosmary.
 - **Mapes Road** - Developer shall be required to install new landscape and Irrigation within existing parkway as follows: Trees Primary: Platanus Acerifolia ‘Bloodgood’ London Plane, Secondary tree: Searsia Lancea “African Sumac. Use of drought resistant shrubs and groundcover, including but not be limited to the following: Salvia Greggii ‘Furmans Red’, Artemisia Powis Castle Silver Sage, Muhlenbergia Capillaris / Pink Muhly, Myoporum Parvifolium ‘Putha Creek’, Hesperaloe Parviflora ‘Red Yucca’, Hesperaloe Parviflora ‘Yellow Yucca’, Rosmarinus Officinalis ‘Prostratus’ / Dwarf Rosemary.
 - **‘A’ Street** –Tree Primary: Quercus Virginiana, Southern Live Oak, Secondary (accent tree): Lagestromia-Indian Tribe Varieties in alternating groups of three. Use drought resistant shrubs and ground cover including but not limited to the following: Olea E. Little Ollie Fruitless Olive Multi Trunk, Lilly of the Nile (Agapanthus Africanus), Leucophyllum F. Green Cloud Texas Ranger, Red Yucca, Red Hot Poker, Rhapsiolepsi Indica Indica, (Indian Hawthorn), Iceberg Rose, Rosa red Ribbons (Groundcover Rose).
 - **Watson Road** – Tree Primary: Quercus Virginiana Southern Live Oak, Platanus A. ‘Columbia’, Secondary Tree: Loelreuteria Planiculate, Golden Rain Tree. Use of drought resistant shrubs and groundcover including but not limited to the following: Leucophyllum F. Green Cloud Texas Ranger, Olea E. Little Ollie Fruitless Olive Multi Trunk, Westringia F. Wynabie Gem Coast Rosemary, Epilobium Canium California Fuschia, Leymus C. Canyon Prince, Lantana Camara Dwarf Gold.
- b. Irrigation** – A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas as determined by the Engineering Administration and Special Districts Division. Components shall include, but not be limited to Rainbird XBT-20PC w/ Diffuser, or equal on flexible PVC risers, Sentry Guard Cable Guard and Union

Guard, and backflow Wilkens Model 375 (or equal). Controller shall include an ET based controller with weather station that is centrally controlled capable and wi-fi ready (Weather Trak Pro3, or equal, with Rain Sensor). At the discretion of the Engineering Administration and Special Districts Division public landscape areas utilizing no more than 6 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and wi-fi ready, such as the Weathermatic System or equal. Proposed system shall be complete with wireless weather station, aircard with flow, one year bundle service, blade antenna and flow sensor.

- c. **Benefit Zone Quantities** – Include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the district will be required to maintain.
- d. **Meters** – Each District is required to be metered separately. All electrical and water meters shall be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene and away from street intersections. Show location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for landscape district. Show location of water and electrical meter for flood control district. Show location of electrical meter for Traffic signal and street lighting district, on respective plans. Coordinate location of meters on landscape and civil engineering plan.
- e. **Controllers** - The off-site irrigation controllers are to be located within the right of way (preferably within the off-site landscape area). All point of connection equipment including irrigation controller pedestals, electrical meter pedestals, and backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Backflow preventers are to be screened on at least three sides with (5) gallon plant material. The fourth side shall be open to the back of the landscape area in order to allow the backflow cage to be opened without interference with plant materials. Backflow cages shall meet the required City of Perris Engineering Standards in effect at the time of approval.
- f. **Recycled Water** - If applicable. The project landscape architect shall coordinate with EMWD to verify if the site will be served with recycled water and design all irrigation and landscape plans to meet the requirements of EMWD and provide additional irrigation components as needed.
- g. **EMWD Landscape Plan Approval** – The project landscape architect shall submit a copy of all irrigation plans and specifications to EMWD for approval. The project landscape architect must confirm with EMWD that the plans have been approved by EMWD and submit written proof of approval by EMWD prior to the City approving the final Landscape Plans. Until the final landscape plan has been approved by the City of Perris, the maintenance areas depicted cannot be accepted by the City for maintenance. The developer shall coordinate both reviews to ensure acceptability of plans by both EMWD and the City of Perris, prior to approval by either agency.
- h. **Landscape Weed Barrier** - Weed cloth with a minimum expected life of 10-years shall be required under all gravel, rock, or cobble areas.

- i. **Wire Mesh and Gravel at Pull Boxes-** Provide wire mesh and gravel layer within valve boxes to prevent rodent intrusion.
 - j. **Concrete Maintenance Band at Medians and Mortar Cobble turn Land** – Provide 12” wide concrete maintenance band (safety edge) around entire median. At turn pockets provide mortared cobble creek bed, round stone sized 6” to 12”.
 - k. **Perimeter Walls Graffiti Coating** – Provide anti-graffiti coating at all perimeter walls. Acceptable products shall include Vitrocem Anti-Graffiti Coating or equal.
4. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only “OFF-SITE” landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled at least two-working days (Monday through Friday) prior to actual inspection. Contact Public Works-Engineering Administration/Special Districts at (951) 657-3280 to schedule inspections.
- **Inspection #1** - Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
 - **Inspection #2** - Soil prepared, and plant materials positioned and ready to plant.
 - **Inspection #3** - Landscaping installed, irrigation system fully operational, and request for “Start of 1 year Maintenance Period” submitted, with all required turn-over submittal items provided to Public-Works Engineering Administration/Special Districts.
 - **Turn-Over Inspection**– On or about the one-year anniversary of Inspection #3, Developer shall call for an inspection to allow the City to review and identify any potential irrigation system defects, dead plants, weed, debris or graffiti; stressed, diseased, or dead trees; mulch condition, hardscape or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At his sole expense, the Developer shall be responsible for rectifying system and installation deficiencies, and the one-year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City’s Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the Inspector shall recommend to the City’s Special District Coordinator to accept turn-over of water and electrical accounts, wi-fi communication contracts and the entire landscape installation.
5. **One Year Maintenance and Plant Establishment Period**-The applicant will be required to provide a minimum of a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one-year maintenance period commences upon the successful completion of Inspection #3 discussed above, and final approval by the City. During this one-year period the applicant shall be required to maintain all landscape areas free of weeds, debris, trash, and graffiti; and keep all plants, trees, and shrubs in a viable growth condition. Prior to the start of the one-year maintenance period, the Developer shall submit a weekly Landscape Maintenance Schedule for the review and approval by the City’s Special Districts Division. City shall perform periodic site inspections during the one-year maintenance period. The purpose of these periodic inspections is to identify any and all items needing correction prior to acceptance by the City at the conclusion of the one-year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials, weeding, replenishment of mulches, repair of damaged or non-functioning irrigation components, test of irrigation controller communications, etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turn-over to City maintenance staff.

6. **Street/Off-Site Improvements.** The applicant shall submit street improvement plans, accompanied by the appropriate filing fee to the City Engineering Department. Details of treatments off-site improvements, including lighting shall meet both the City Engineer's Design Guidelines, and the additional requirements of the Engineering and Special Districts Division. Components shall include, but not be limited to:
- a. **Street Lighting-**If Street lighting is required, lighting shall meet the type, style, color and durability requirements, necessary for energy efficiency goals, maintenance and longevity of improvements of the City Engineer's Office. As determined by the City, new streetlights may be required to be deeded to City of Perris, and not SCE. Streetlights deeded to City of Perris shall be constructed per LS-3 account billing standard, which shall include an individually metered pedestal for streetlights.
 - b. **Acceptance By Public Works/Special Districts-** Lighting District facilities required by the City Engineer's Office shall be installed and fully operational and approved by final inspection by the City Engineer's Office, and the City's Consulting Traffic Signal Inspection Team (Riverside County TLMA) at (951) 955-6815. Prior to acceptance for maintenance of "Off-site" traffic signal and lighting facilities by the Public Works-Engineering and Administration Division/Special Districts, the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items. Prior to acceptance into Lighting District 84-1, coordinate turn-over information pertaining to Street Lights, and Traffic Signal Electrical/SCE Service Meters with Wildan Financial Services, the City's Special Districts Consulting Firm at (951) 587-3564. (i.e. Provide electrical meter number, photo of pedestal, and coordinate "request for transfer of billing information" with SCE and City for all new service meters). Developer shall pay 18-month energy charges to the City of Perris for all off-site street lighting. Call Wildan Financial Services, Inc. for amount due, and to obtain receipt for payment. Obtain and provide a clearance form from Riverside County TLMA indicating completion of all punch list items from traffic signal construction. Submit one large format photo-copy of Traffic Signal as-built plans and timing sheets.
7. **Water Quality Management Plans.** The applicant shall submit a Preliminary and Final WQMP, accompanied by the appropriate filing fee to the Planning Department and City Engineering Department, respectively. Details for treatment control facilities shall meet both the Riverside County WQMP Design Guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce long term maintenance costs and longevity of improvements. Components shall include, but not be limited to:
- **Storm Drain Screens-**If off-site catch basins are required by the City Engineer's Office, connector pipe screens shall be included in new catch basins to reduce sediment and trash loading within storm pipe. Connector pipe screens shall the type, style, and durability requirements of the Public Work's Engineering Administration and Special Districts Division.
 - **WQMP Inspections-** The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both "ON-SITE" and OFF-SITE" WQMP Inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.
 - **Acceptance By Public Works/Special Districts-**Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the Final WQMP, shall be installed and fully operational, and approved by final inspection by the City's WQMP Consultant, CGRM. The Developer shall obtain a final Clearance Letter from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The developer shall deliver the same to the Public Works-Engineering and Administration Division/Special Districts. In addition, prior to acceptance by the City, the developer shall

submit a Covenant and Agreement describing on-going maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works Engineering Administration and Special Districts Division. The Public Works Engineering Administration and Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.

8. **Flood Control District #1 Maintenance Acceptance.** Flood Control District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office. Prior to acceptance for maintenance of "Off-site" flood control facilities by the Public Works-Engineering and Administration Division/Special Districts the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items including as-built storm drain plans in electronic PDF format, one large format photo-copy of as-built plans, storm drain video report in electronic format, and hardcopy of video report with industry standard notations and still photos made during video runs (i.e. facilities sizes, off-sets or damage, facility type, dirt and debris, etc.). The flood control facilities shall be turned over in a condition acceptable to the City, and the developer shall make all necessary repairs and perform initial maintenance to the satisfaction of the City.
9. **Assessment Districts.** Prior to permit issuance, developer shall deposit \$5,250 per district, \$15,750 total due. Payment is to be made to the City of Perris, and the check delivered to the City Engineer's Office. Payment shall be accompanied by the appropriate document for each district indicating intent and understanding of annexation, to be notarized by property owner(s):
 - **Consent and Waiver for Maintenance District No. 84-1-New Street** lighting proposed by the project, as determined by the City Engineer
 - **Consent and Waiver for Landscape Maintenance District No. 1** –New off-site parkway and median landscape proposed by the project.
 - **Petition for Flood Control Maintenance District No. 1** -For Off-site Flood Control Facilities proposed by the project, as determined by the City Engineer.
 - Original notarized document(s) to be sent to:
Daniel Louie
Wildan Financial Services
27368 Via Industria, #200
Temecula, CA 92590
 - a. Prior to final map recordation or final certificate of occupancy the developer shall annex into the aforementioned districts, posting an adequate maintenance performance bond to be retained by the City as required by the City Engineer. Upon receipt of deposit and Consent and Waiver Forms, the developer shall work with City to meet all required milestones for annexations.
 - i. City prepares the Engineer's Reports which includes a description of the improvements to be maintained, an annual cost estimate and annual assessment amounts.
 - ii. Reports are reviewed and approved by the property owner. The assessment ballots will be based on these Reports.

- iii. The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no sooner than 45 days. Property owner attendance at this City Council Meeting is not required.
- iv. The assessment ballots are sent to the property owner and are opened by the City Clerk at the close of the Public Hearing. With a "YES" vote by the property owner the City Council can move forward with the Resolution that Confirms the Annexation. Property owner attendance at this Public Hearing is not required.
- v. Confirmation by the City Council completes the annexation process, and the condition of approval has been met.



CITY OF PERRIS

COMMUNITY SERVICES

MEMO

Date: October 25, 2023

To: Mathew Evans, Project Planner

From: Sabrina Chavez, Director of Community Services

Cc: Arcenio Ramirez, Assistant Director of Community Services
Arturo Garcia, Parks Supervisor
Joshua Estrada, Parks Coordinator

Subject: MAJMOD22-05265 – A Major modification request by Logistics Center South to reduce the square footage of three (3) previously approved industrial buildings totaling 3,478,279 square feet to reduce the square footage of the three (3) buildings to 3,192,567. The project's siting has been changed to reflect the reconfiguration of the three (3) footprints while maintaining Code-compliant onsite landscape, parking, and other required amenities. The vacant site is approximately 195 acres in size. – Conditions of Approval

Community Services Staff reviewed MM PLN 22-05265 and offer the following conditions(s):

Development Impact Fees

- The Project is subject to payment of Industrial Park Development Impact Fees.
- The Project is subject to payment of Residential Park Development Impact Fees.
- This Project is subject to payment of Public Art Development Impact Fees.

Special Districts

- The project shall annex into the Community Facilities District No. 2018-02 (Public Services).

Trails

- Developer shall construct the San Jacinto River Trail from Goetz Road to Case Road, subject to review and approval by the City and Western Riverside County Regional Conservation Authority, and obtain the necessary access and permits to



CITY OF PERRIS

COMMUNITY SERVICES







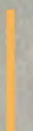
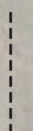
construct the trail from appropriate city and regulatory agencies. The JPR application for the trail shall be submitted to the RCA prior to issuance of the grading permit, and construction of the trail shall be completed before any occupancy permit. The trail shall be designed consistent with the San Jacinto River Trail from Goetz Road to Ethanac Road, as depicted on the attached Exhibits A-C: Typical Trail Cross-Section. The developer has the option to construct the trail as aforementioned or pay in-lieu fees in the amount of \$6,104,454, which includes a 5% escalation fee per a five-year period based on the developer's project estimate of \$4,783,000 dated September 12, 2023 (see attached). The in-lieu fee payment option shall be paid under the terms of the following schedule: 20% (\$1,220,890) upon the issuance of a grading permit, 40% (\$2,441,782) upon the issuance of the first building permit, and 40% (\$2,441,782) upon the issuance of the second building permit.

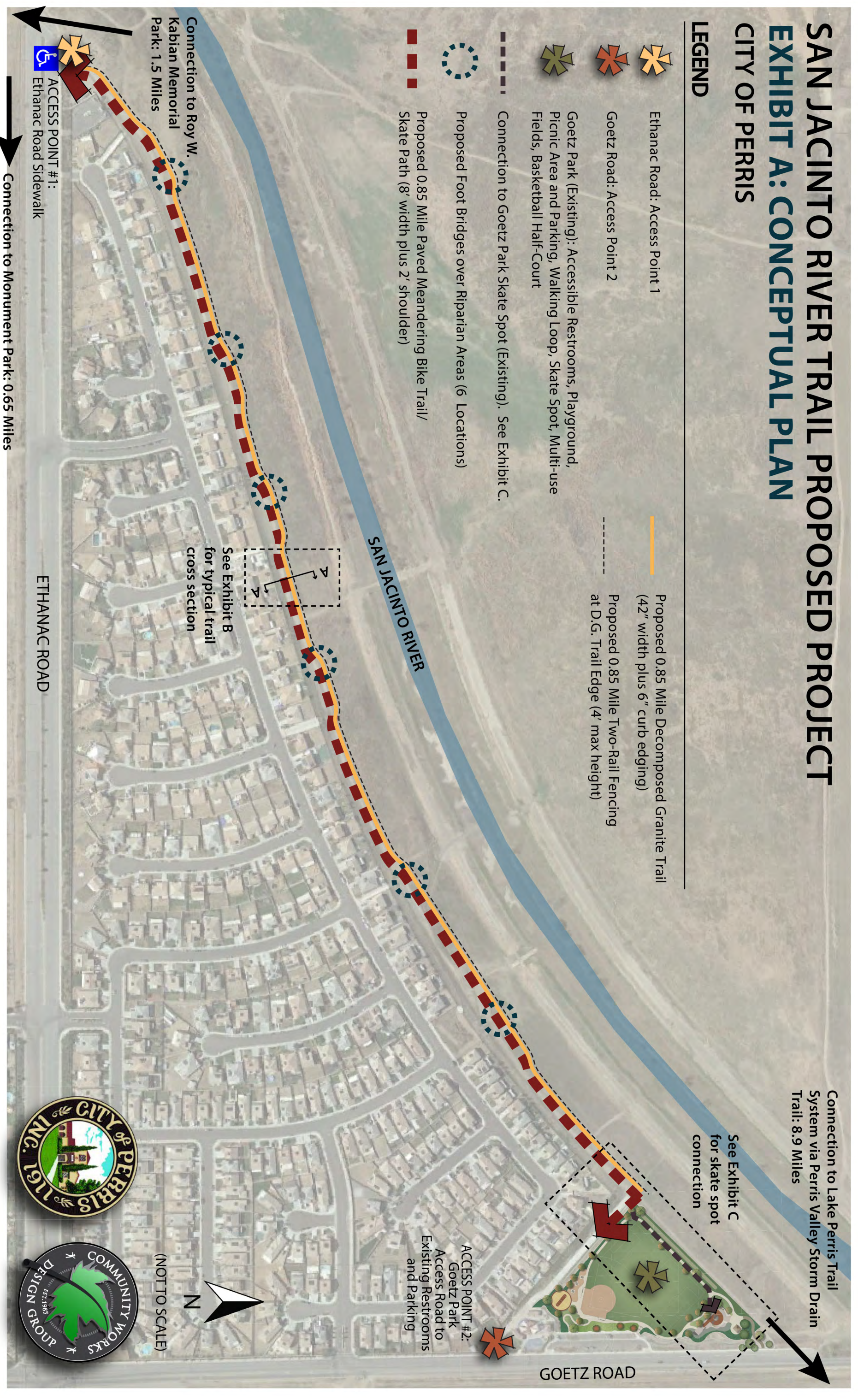
SAN JACINTO RIVER TRAIL PROPOSED PROJECT

EXHIBIT A: CONCEPTUAL PLAN

CITY OF PERRIS

LEGEND

-  Ethanac Road: Access Point 1
-  Goetz Road: Access Point 2
-  Goetz Park (Existing): Accessible Restrooms, Playground, Picnic Area and Parking, Walking Loop, Skate Spot, Multi-use Fields, Basketball Half-Court
-  Connection to Goetz Park Skate Spot (Existing). See Exhibit C.
-  Proposed Foot Bridges over Riparian Areas (6 Locations)
-  Proposed 0.85 Mile Paved Meandering Bike Trail/
Skate Path (8' width plus 2' shoulder)
-  Proposed 0.85 Mile Decomposed Granite Trail (42" width plus 6" curb edging)
-  Proposed 0.85 Mile Two-Rail Fencing at D.G. Trail Edge (4' max height)



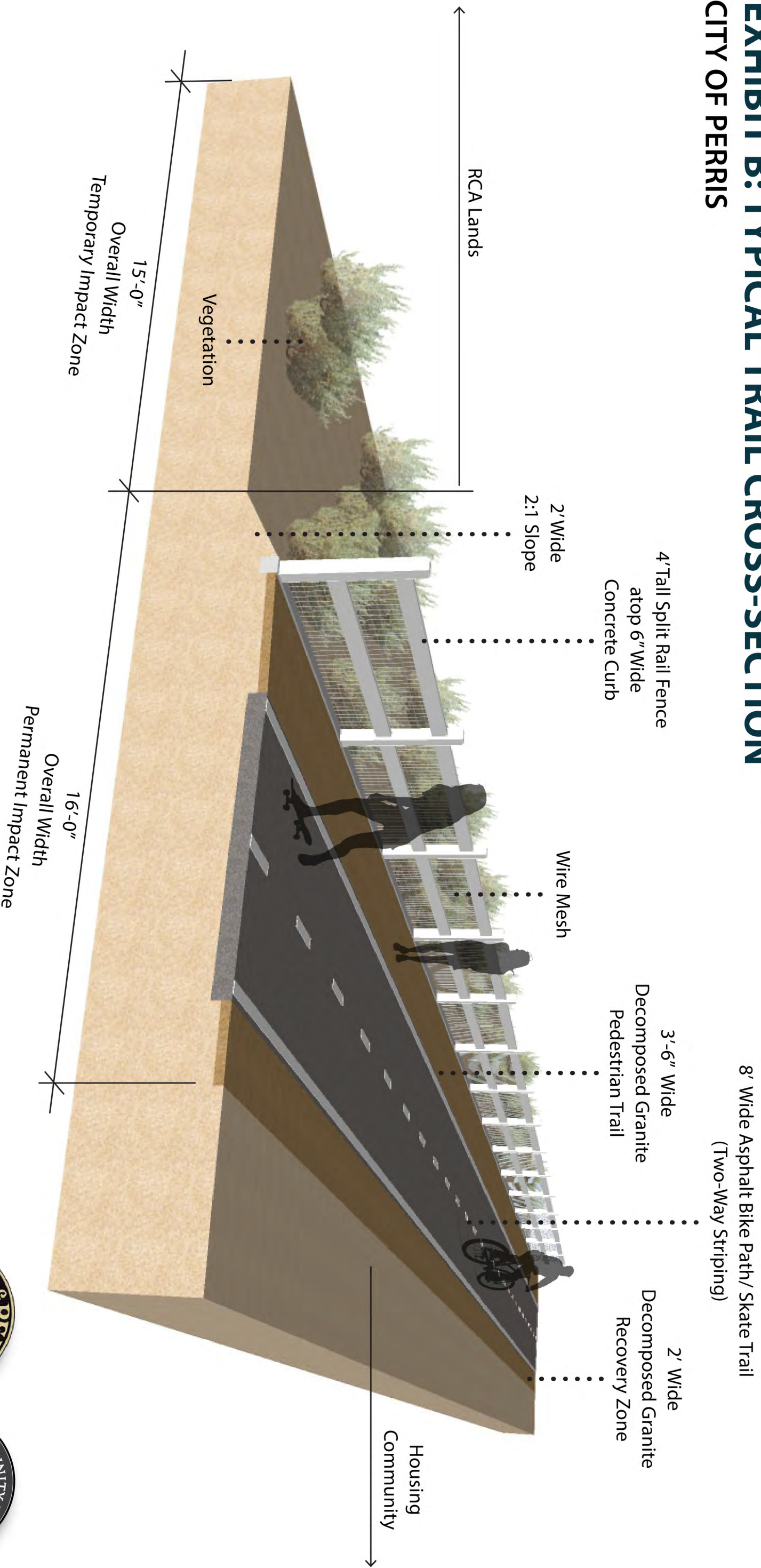
(NOT TO SCALE)



SAN JACINTO RIVER TRAIL PROPOSED PROJECT

EXHIBIT B: TYPICAL TRAIL CROSS-SECTION

CITY OF PERRIS



SECTION A - A



SAN JACINTO RIVER TRAIL PROPOSED PROJECT EXHIBIT C: GOETZ PARK SKATE SPOT CONNECTION CITY OF PERRIS



SAN JACINTO RIVER TRAIL PROPOSED PROJECT

EXHIBIT D: REGIONAL MAP

CITY OF PERRIS

SCHOOLS

HIGH SCHOOLS

- 1 PERRIS HIGH SCHOOL
- 2 VAL VERDE HIGH SCHOOL
- 3 ORANGE VISTA HIGH SCHOOL

MIDDLE SCHOOLS

- 4 LAKESIDE MIDDLE SCHOOL
- 5 PINACATE MIDDLE SCHOOL
- 6 THOMAS RIVERA MIDDLE SCHOOL

ELEMENTARY SCHOOLS

- 7 COLUMBIA SCHOOL
- 8 MANUEL REAL SCHOOL
- 9 MEAD VALLEY SCHOOL
- 10 NAN SANDERS SCHOOL
- 11 PERRIS ELEMENTARY SCHOOL
- 12 SIERRA VISTA SCHOOL
- 13 VAL VERDE SCHOOL
- 14 ENCHANTED HILLS SCHOOL
- 15 PALMS ELEMENTARY SCHOOL

CONTINUATION HIGH SCHOOL

- 16 PERRIS LAKE HIGH SCHOOL

RECREATIONAL FACILITIES

NEIGHBORHOOD PARKS

- 1 BANTA BEATTY PARK
- 2 BOB LONG MEMORIAL PARK
- 3 FOSS FIELD PARK
- 4 FRANK EATON PARK
- 5 MERCADO PARK
- 6 RUSSELL STEWART PARK

COMMUNITY PARKS

- 7 COPPER CREEK PARK
- 8 GOETZ PARK
- 9 LIBERTY PARK
- 10 MAY RANCH PARK
- 11 METZ PARK
- 12 MONUMENT RANCH PARK
- 13 MORGAN PARK
- 14 PARAGON PARK
- 15 PATRIOT PARK
- 16 ROTARY PARK
- 17 SKYDIVE BASEBALL PARK

REGIONAL PARKS

- 18 LAKE PERRIS STATE PARK
- 19 ROY W. KABIAN MEMORIAL PARK

COMMUNITY FACILITIES

- 1 SENIOR CENTER
- 2 BOB GLASS GYMNASIUM

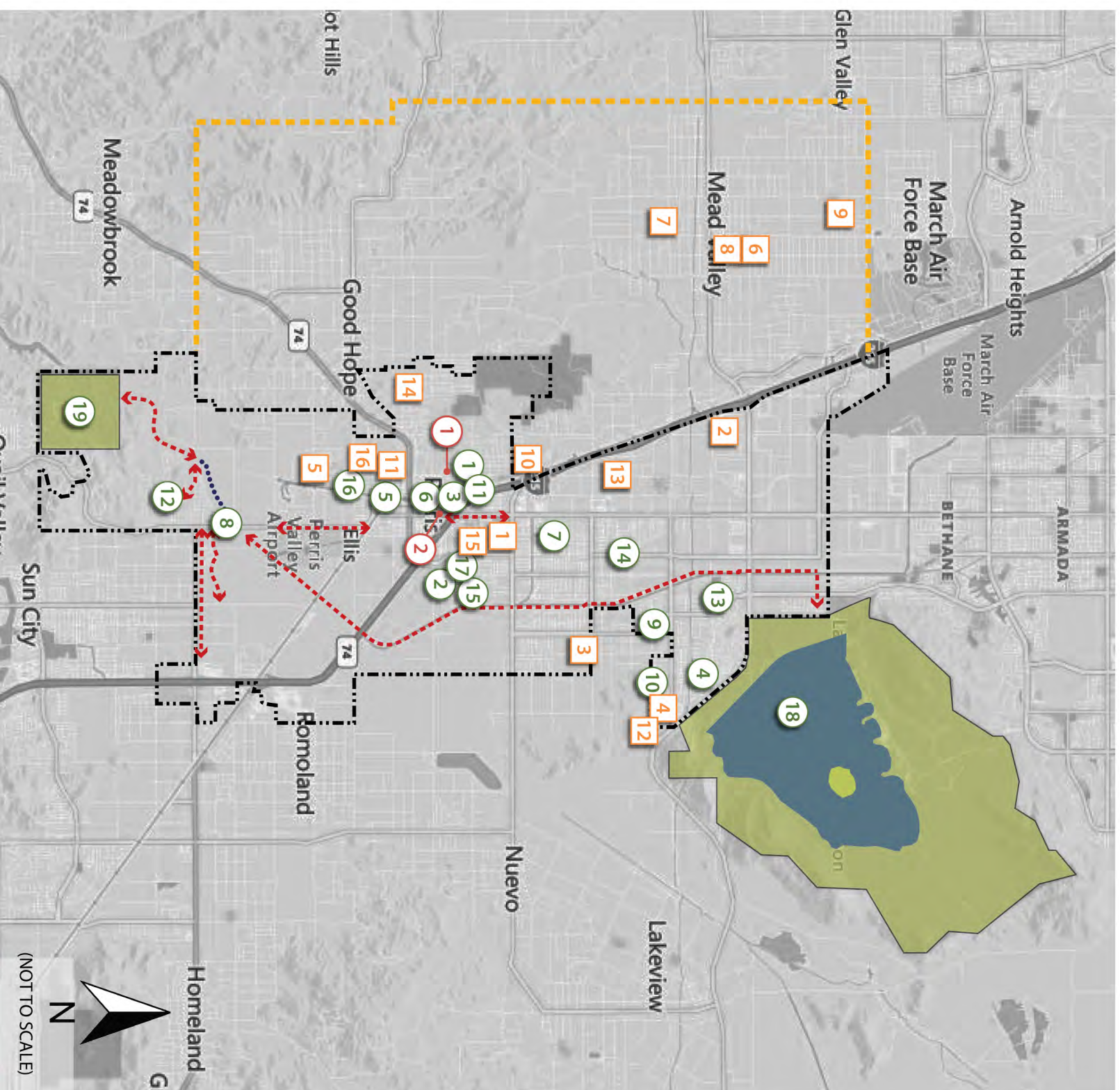


Exhibit B

Location/Aerial Map



EXHIBIT C

General Plan Land Use/Zoning Map

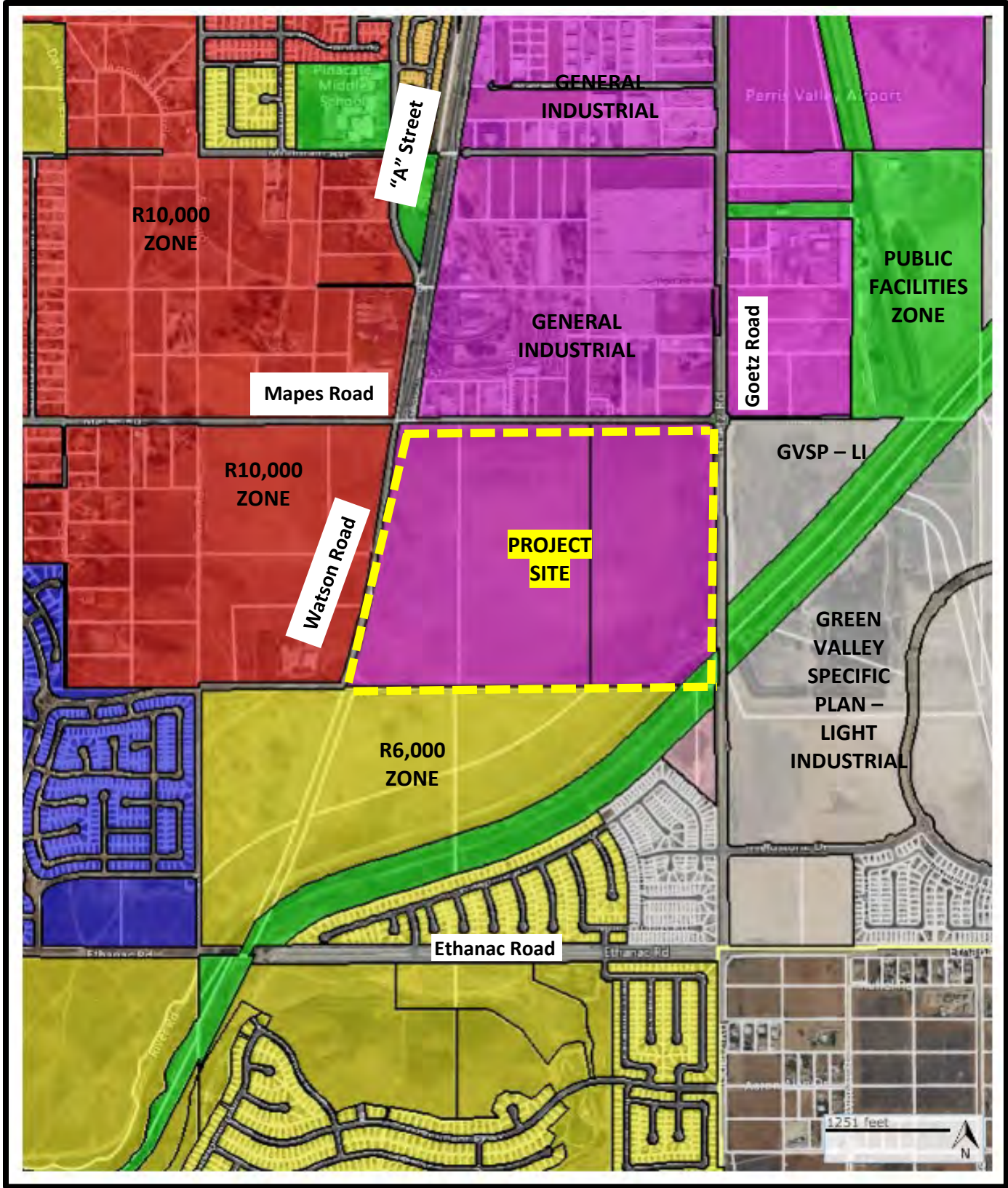


Exhibit D

MARB/IPA Airport Land Use Map

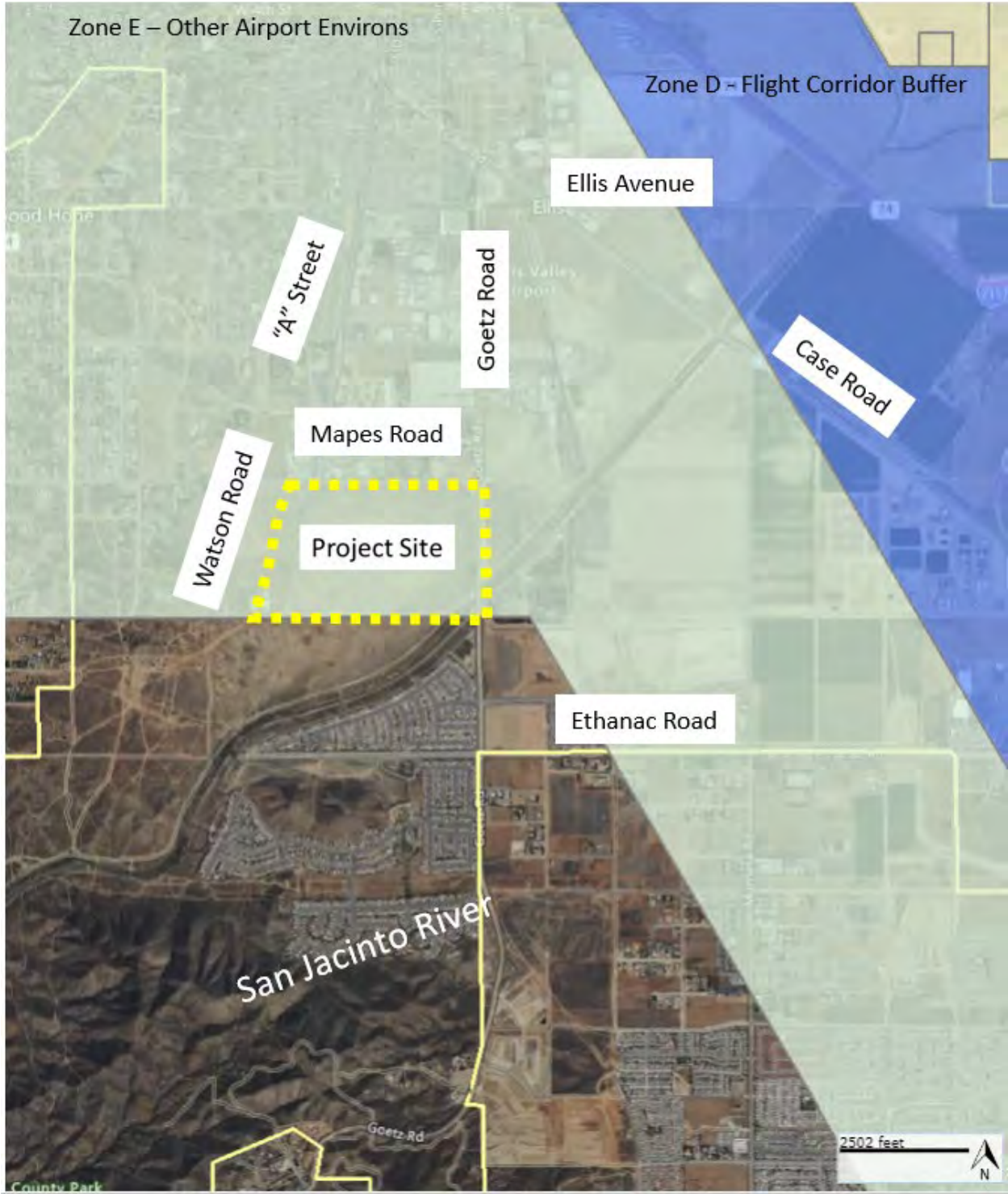


Exhibit E

Perris Valley Airport Land Use Map

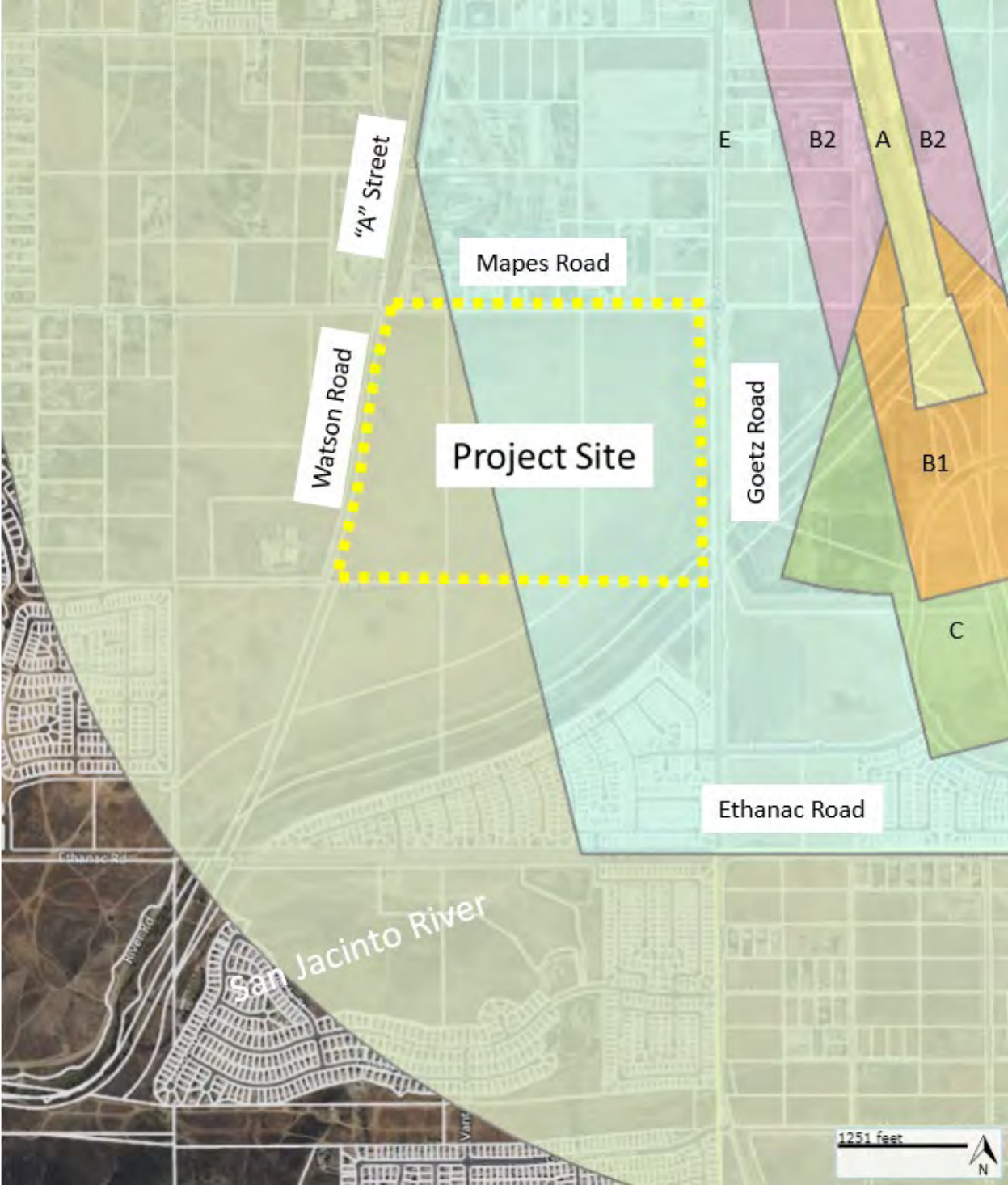


Exhibit F

Project Plans (Site Plan, Floor Plan, Building Elevations, and Conceptual Landscape Plans)

Due to the size of the files, these documents are available online at:

[https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
400#docan1206_1313_479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-400#docan1206_1313_479)

Exhibit G

Addendum to the EIR (23-05252)

*Due to the size of the file, the documents
are available online at:*

[https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
400#docan1206_1313_479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-400#docan1206_1313_479)

Planning Commission Agenda

CITY OF PERRIS

November 01, 2023

Item

6B

*Scoping Meeting for an
Environmental Impact Report
associated with Tentative
Parcel Map 22-05363 (TPM 38643) and
Development Plan Review
(DPR) 22-00035*



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

MEETING DATE: November 1, 2023

SUBJECT: Scoping Meeting for an Environmental Impact Report associated with Tentative Parcel Map 22-05363 (TPM 38643) and Development Plan Review (DPR) 22-00035 – A proposal to facilitate the construction of a 551,922 square-foot industrial building consisting of the following: 1) Tentative Parcel Map to consolidate 13 existing parcels into one 29.7 acre-parcel; and 2) Development Plan Review for review of the site plan and building elevations. The project site is located on the southeast corner of Ramona Expressway and Webster Avenue, in the Light Industrial (LI) Zone of the Perris Valley Commerce Center Specific Plan. Applicant: Nicole Torstvet, Prologis.

REQUESTED ACTION: Conduct a public Scoping Meeting to review, discuss, and provide comments on the potential environmental impacts associated with the project.

CONTACT: Patricia Brenes, Planning Manager

BACKGROUND/ SETTING:

The 29.7-acre project site consists of 13 relatively flat parcels covered with native vegetation. The site is surrounded by an existing commercial shopping center to the north across Ramona Expressway, recently approved industrial and commercial development to the west across Webster Avenue, existing commercial, industrial uses, and Lowe's Distribution Center to the east, and industrial uses to the south.

PROJECT DESCRIPTION

The proposed 551,922-square-foot building, referred to as the Perris DC 11 project, consists of 20,000 square feet of ground floor office area, 5,000 square feet of mezzanine office area, and 531,922 square feet of warehouse area. The primary office is proposed on the northwest corner of the building, and a secondary office and mezzanine area is proposed on the northeast corner. A total of 69 dock doors are proposed on the east side of the building and will be screened with 14-foot-high tilt up screen walls. The design of the building is modern industrial, with an overall height of 42 feet. A 46-foot landscape setback is proposed along the Western Avenue frontage.

A total of 199 parking spaces are proposed for employees and visitors along the east side of the site facing Ramona Expressway, as well as the west side of the building. In addition, 254 trailer parking spaces are provided along the east and south sides of the site. Two (2) points of separate

access are provided along both Ramona Expressway and Webster Avenue for passenger vehicles. Two (2) driveways are provided along Brennan Avenue solely for trucks. Trucks are anticipated to access the site from the I-215 Freeway at the Placentia Avenue interchange to Indian Avenue and to Brennan Avenue, consistent with the City's adopted truck route.

The proposed Project requires a Tentative Parcel Map to consolidate thirteen (13) existing parcels into one 29.7 acre-parcel and a Development Plan Review for review of the site plan and building elevations; and preparation of an Initial Study, which concludes that the project has the potential to "significantly" impact the environment. Therefore, in accordance with the CEQA Guidelines, an EIR will be prepared.

ENVIRONMENTAL IMPACT REPORT (EIR):

- ***Scoping Meeting***

The purpose of the scoping meeting is to provide information on the project and allow the Planning Commission, interested persons, organizations, and agencies the opportunity to comment on the preliminary assessment of the environmental issues that would need to be addressed in the project-specific Environmental Impact Report. After the scoping meeting, staff will work with the applicant and the Project environmental consultant on addressing any Project design concerns to reduce or eliminate, if possible, any environmental impacts. Upon completion of the Draft EIR, responses to comments received during the circulation period of the DEIR will be prepared as part of the Final EIR. The Final EIR will be presented to the Planning Commission for consideration and recommendation to the City Council.

- ***Notice of Preparation***

A Notice of Preparation (NOP) and Initial Study prepared for this project identifies the need for an EIR (Exhibit F). The public review period for the NOP commenced on October 20, 2023, and ends on November 20, 2023. As of the writing of this staff report, no letters have been received by staff regarding this project. All comments received will be addressed in the Final EIR, and all commenting agencies will receive a response to their comments.

- ***Environmental Impact Report***

The Draft EIR for the project will contain a detailed Project Description, a description of the existing environmental setting of the project site and surrounding area, an analysis of project-specific environmental impacts, an analysis of cumulative impacts, identification of additional project-specific mitigation measures required to reduce potentially significant impacts, and an analysis of alternatives to the project that could reduce one or more of the potentially significant impacts of the project.

The Initial Study found that the project could impact the following environmental issues. Therefore, these issues will be analyzed in the Draft Environmental Impact Report:

-
- | | |
|-----------------------------------|---------------------------------|
| - Aesthetics | - Land Use and Planning |
| - Air Quality | - Noise |
| - Biological Resources | - Population and Housing |
| - Cultural Resources | - Public Services |
| - Energy | - Recreation |
| - Geology and Soils | - Transportation |
| - Greenhouse Gas Emissions | - Tribal Cultural Resources |
| - Hazards and Hazardous Materials | - Utilities and Service Systems |
| - Hydrology and Water Quality | |
- ***Aesthetics.*** The proposed project would change the scenic quality of the vacant site with the construction of the warehouse building. The Project site is surrounded by both undeveloped and underdeveloped properties, including properties developed with other industrial buildings. As the project would develop on a currently vacant site, it could potentially impact the existing visual character of the site and its surroundings. Therefore, this topic will be further evaluated in the EIR.
 - ***Air Quality.*** The Project site is located within the South Coast Air Basin (Basin) and administered by the South Coast Air Quality Management District (SCAQMD). The SCAQMD developed the comprehensive Air Quality Management Plan designed to bring the Basin into compliance with all federal and state air quality standards. The implementation of the Project may increase the Basin's air pollution. A comprehensive air quality analysis and health risk assessment will be prepared further to assess the Project's contribution to air quality impacts, consistency with the Air Quality Management Plan, potential violation of any air quality standard, cumulatively considerable net increase of any criteria pollutant, and potential exposure to sensitive receptors to substantial pollutant concentrations. Therefore, this topic will be further evaluated in the EIR.
 - ***Biological Resources.*** Site-specific biological resource surveys will be prepared for the project site to assess existing biological conditions. The results of these surveys will be discussed in the Draft EIR.
 - ***Cultural Resources.*** The Project site is in an area with a generally low-density probability of cultural resources according to the City's General Plan. However, the site has not been surveyed for cultural resources. To further assess the Project's potential to impact cultural resources, a Phase I Cultural Resources Assessment of the site will be prepared as part of the EIR documentation. Without more information, impacts to historical resources, archaeological resources, and human remains are considered potentially significant. Therefore, this topic will be further evaluated in the EIR.
 - ***Energy.*** The Project would increase the site's demand for energy compared to its existing undeveloped condition. An energy study will quantify the amount of energy that would be used by both construction and operation of the proposed Project to identify if wasteful, inefficient, or unnecessary consumption of energy resources would occur from the implementation of the Project. Upon quantifying the Project's anticipated energy usage, additional analysis will be conducted to determine whether the Project would conflict with

or obstruct a state or local plan for renewable energy or energy efficiency. Therefore, this topic will be further evaluated in the EIR.

- ***Geology and Soils.*** The Project site consists of undeveloped disturbed land. According to the City's General Plan, the project site is in an area with a high paleontological sensitivity. Specifically, the Project site is in Area 2, which contains Pleistocene older fan deposits that have a high potential to contain fossil resources. Since the Project requires earth-disturbing actions, the Project may have the potential to directly or indirectly destroy a unique paleontological resource or site or unique geologic features. Therefore, this topic will be further evaluated in the EIR.
- ***Greenhouse Gas Emissions (GHG).*** The Project may potentially generate substantial greenhouse gas emissions and/or be inconsistent with any applicable plans, policies, or regulations adopted for the purpose of reducing the emissions of greenhouse gases. A greenhouse gas analysis will be prepared to determine the Project's potential for impacts. Therefore, this topic will be further evaluated in the EIR.
- ***Hazards and Hazardous Materials.*** The proposed construction activities would involve transport, use, and disposal of hazardous materials such as paints, solvents, oils, grease, and caulking during construction activities. In addition, hazardous materials would be needed for fueling and servicing construction and transportation equipment on the site. Therefore, this topic will be further evaluated in the EIR.
- ***Hydrology and Water Quality.*** Implementation of the Project would increase impervious surfaces from existing conditions, thus increasing runoff. Due to the increase of impervious surfaces and the potential for drainage pattern changes, the Project may result in substantial erosion or siltation, an increased rate of surface runoff, impede or redirect flood flows, and may exceed the capacity of existing or planned stormwater drainage systems. Additionally, the Project may conflict with or obstruct the implementation of a water quality control plan or sustainable groundwater management plan. Therefore, a drainage study will be needed to determine the site's existing hydrologic conditions and determine the capacity of existing drainage facilities. Therefore, this topic will be further evaluated in the EIR.
- ***Land Use and Planning.*** The proposed Project will require a Tentative Parcel Map and Development Plan Review. The Project will be evaluated using the policies identified in the General Plan and with the newly adopted Good Neighbor Guidelines for Siting New and/or Modified Industrial Facilities and may potentially result in impacts to an applicable plan, policy, or regulation related to the avoidance or mitigation of an environmental effect. Therefore, this topic will be further evaluated in the EIR.
- ***Noise.*** The Project may potentially generate an increase of substantial temporary or permanent noise levels, ground-borne vibration, and ground-borne noise levels during construction and operation activities. A noise study will be needed to determine the potential impact. Therefore, this topic will be further evaluated in the EIR.

- **Public Services.** The City of Perris contracts with the Riverside County Fire Department/Cal Fire (RCFD) for all fire and emergency services and the Riverside County Sheriff's Department. The proposed project would develop a vacant site with a new warehouse. Project construction and operation would increase the number of structures and employees in the Project area, resulting in additional calls for protection services. Therefore, this topic will be further evaluated in the EIR.
- **Transportation.** The Project may potentially conflict with a program plan, ordinance, or policy addressing circulation system, including transit, roadway, bicycle, and pedestrian facilities, and may exceed the City's established standards and regulations for vehicle miles traveled. A traffic impact analysis will be conducted to assess impacts to levels of service on surrounding streets and intersections, and a VMT analysis will be conducted to evaluate transportation impacts for land use projects as required by CEQA Guidelines section 15064.3 subdivision (b). Therefore, this topic will be further evaluated in the EIR.
- **Tribal Cultural Resources.** On September 28, 2023, the City of Perris notified local tribal governments in writing of the proposed Project pursuant to Assembly Bill 52 pertaining to tribal cultural resources consultation. A cultural resources assessment will be prepared with a literature review and records search related to potential site-specific tribal cultural resources that may be listed or eligible for listing in the California Register of Historical Resources or in a local register of historical resources as defined in Public Resources Code section 5020.1(k). Additionally, a Sacred Lands search request will be obtained from the Native American Heritage Commission (NAHC) as part of the tribal consultation process to determine if tribal cultural resources are present based on significance set forth in the subdivision (c) of the Public Resource Code Section 5024.1. Therefore, this topic will be further evaluated in the EIR.
- **Utilities and Service Systems.** The Project includes the construction of water, sewer, storm drain, electric, and gas infrastructure. Existing adjacent utility lines for water, sewer, telecommunications, and electrical are located along Ramona Expressway, Webster Avenue and Brennan Avenue. Currently, there are no existing storm drain facilities located adjacent to the Project site; thus, the Project would be required to construct off-site drainage facilities. Therefore, this topic will be further evaluated in the EIR.

RECOMMENDATION:

Staff recommends that the Planning Commission conduct a public Scoping Meeting; and review, discuss, and provide feedback on issues that should be addressed in the EIR for Tentative Parcel Map 22-005363 (TPM 38643) and Development Plan Review (DPR) 22-00035.

BUDGET (or FISCAL) IMPACT: There is no impact associated with this project since all project costs are borne by the applicant.

Prepared by: Mathew Evans, Contract Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Location/ Aerial Map
- B. PVCCSP Land Use Map
- C. MARB Airport Land Use Map
- D. Tentative Parcel Map No. 38643
- E. Project Plans (Site Plan, Floor Plan, and Building Elevations)
- F. Initial Study with Appendices

Due to the size of the document files, the documents are on file with the Planning Division and available on the City's website at:

https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-399#docan1206_1313_479

Consent:
Public Hearing: X
Business Item:
Presentation:
Other:

Exhibit A

Location/Aerial Map

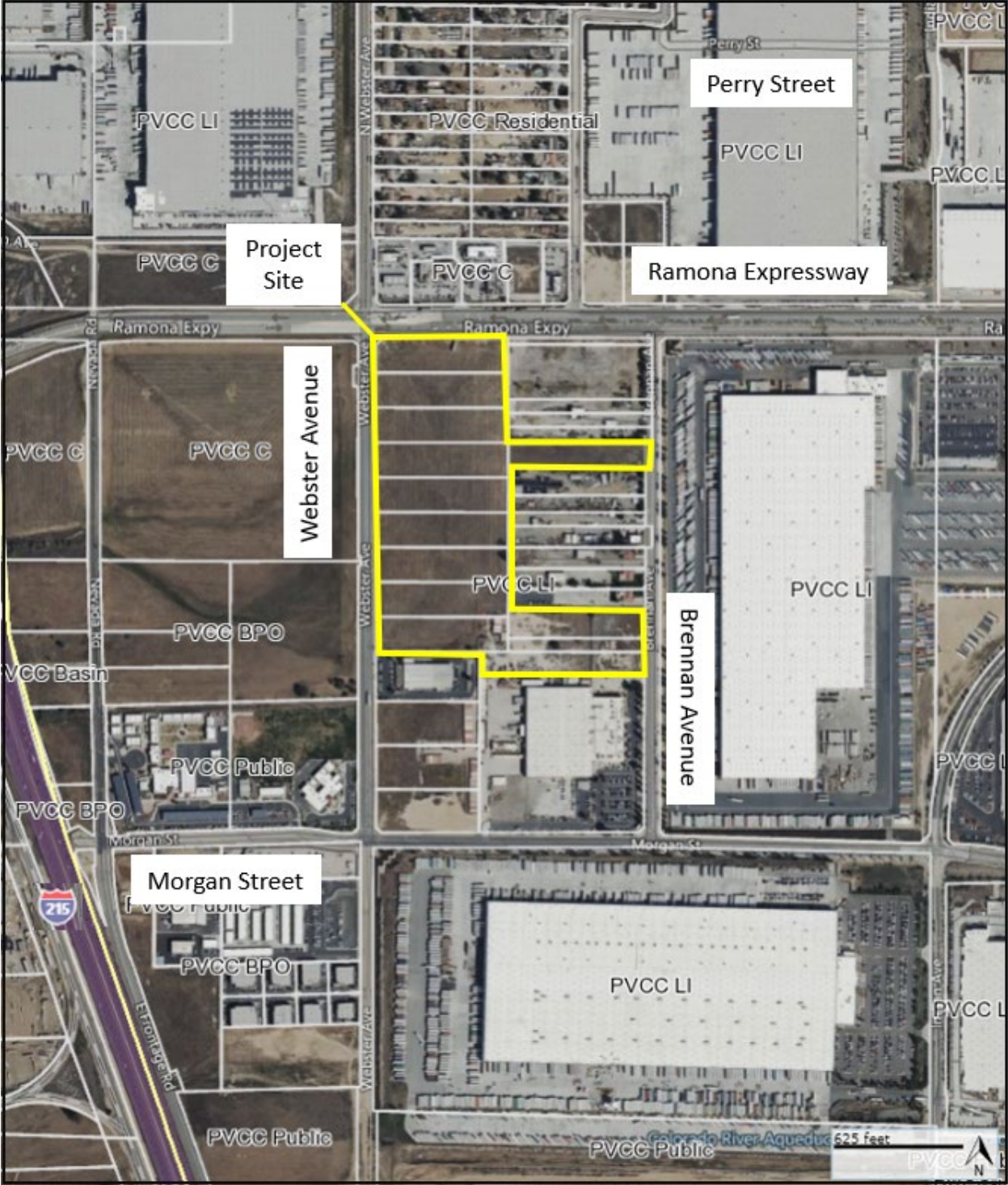


Exhibit B

PVCCSP Land Use Map

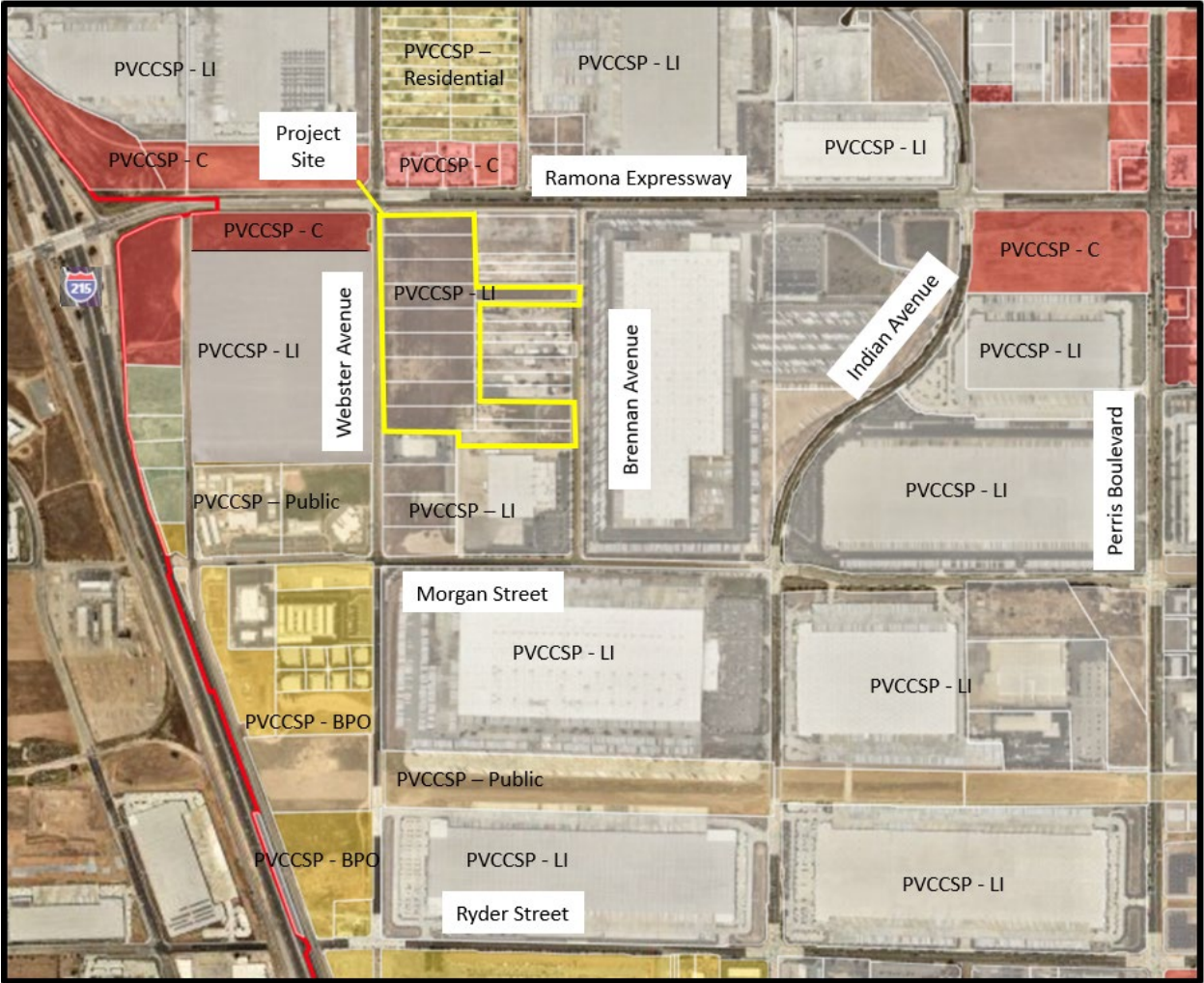


Exhibit C

MARB Airport Land Use Map

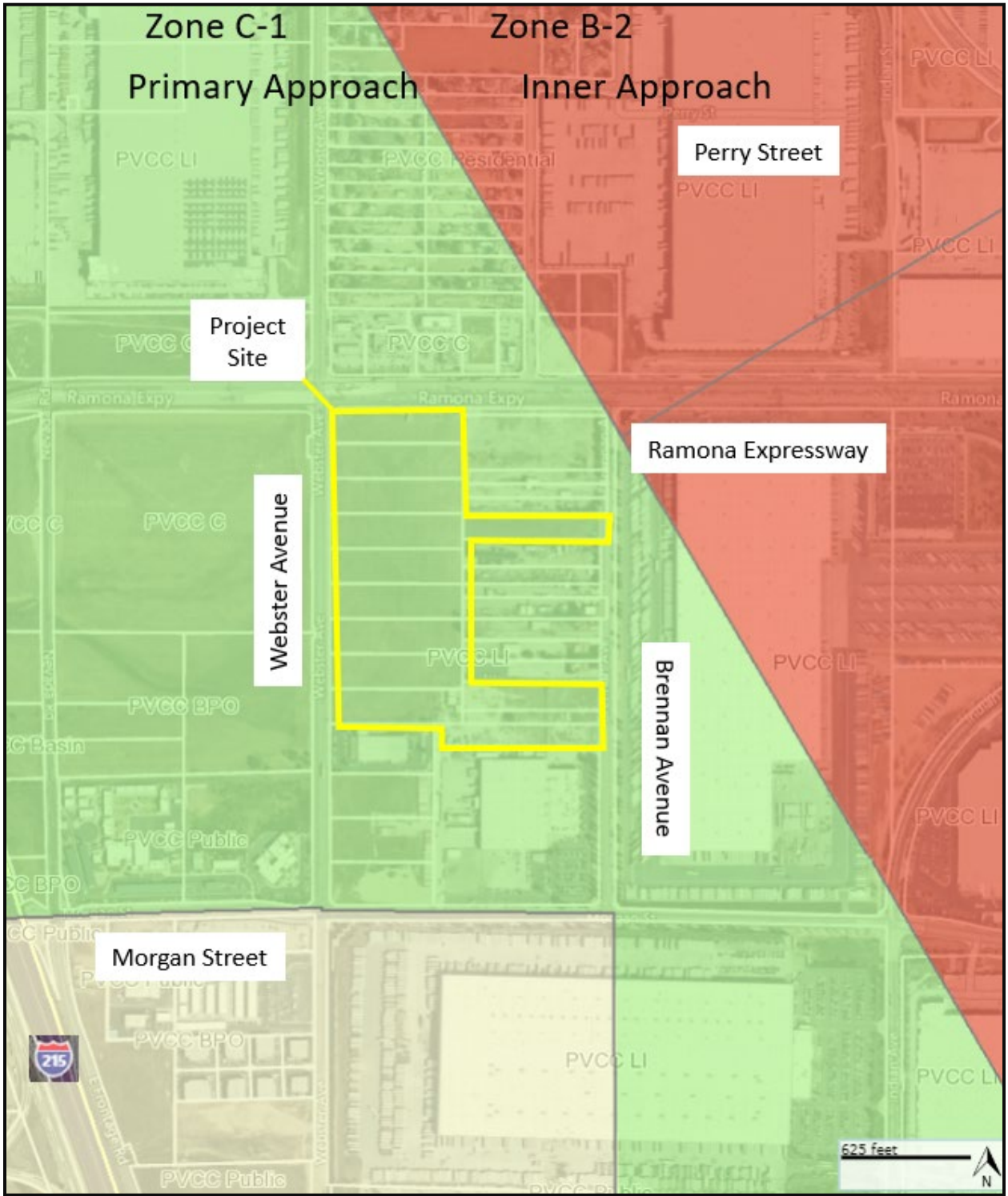
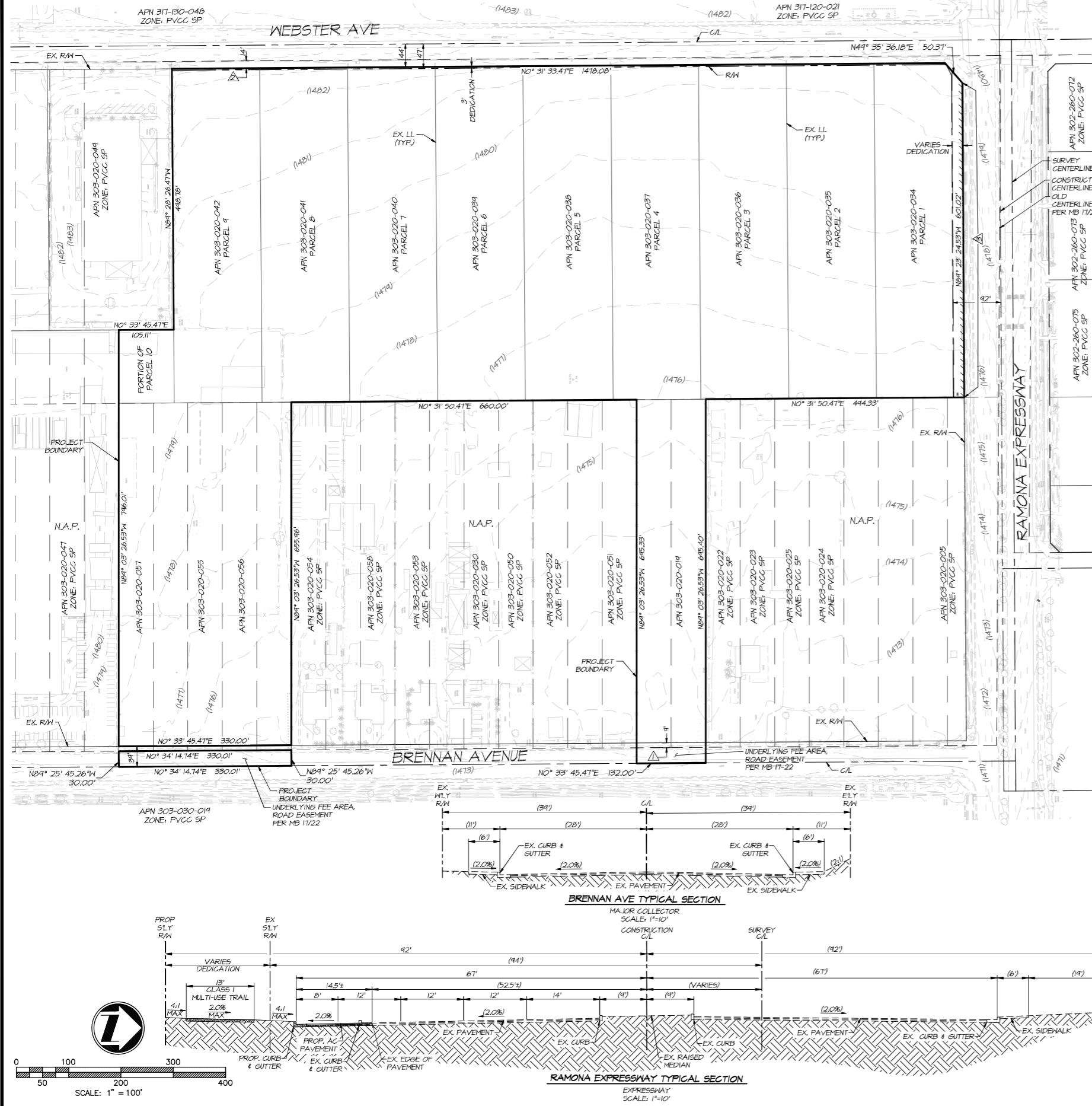
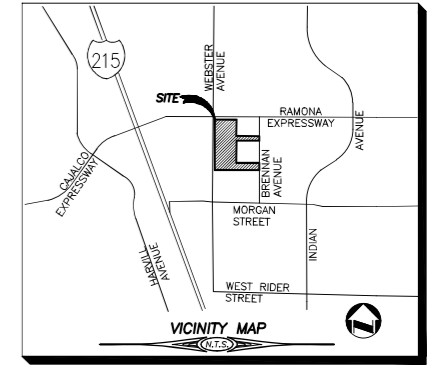


Exhibit D

Tentative Parcel Map No. 38643

IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PROLOGIS - RAMONA EXPRESSWAY & WEBSTER AVENUE
 TENTATIVE PARCEL MAP 38643



LEGAL DESCRIPTION

PARCELS 1 THROUGH 9, INCLUSIVE OF PARCEL MAP 19113, IN THE CITY OF PERRIS, AS PER MAP RECORDED IN BOOK 121, PAGES 9 TO 11, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

LOTS 9 AND 10 OF GOLDEN VALLEY FARMS TRACT NO. 3, IN THE CITY OF PERRIS, AS SHOWN BY MAP RECORDED IN BOOK 11, PAGE 22 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

LOTS 21, 22 AND 23 OF GOLDEN VALLEY FARMS TRACT NO. 3, IN THE CITY OF PERRIS, AS PER MAP RECORDED IN BOOK 11, PAGE 22, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, EXCEPT THE EAST 9.00 FEET AS CONDEMNED IN FAVOR OF THE CITY OF PERRIS BY FINAL ORDER OF CONDEMNATION RECORDED JUNE 25, 1991 AS INSTRUMENT NO. 213986, OFFICIAL RECORDS.

PARCEL 1 OF CERTIFICATE OF COMPLIANCE RECORDED DECEMBER 24, 1986 AS INSTRUMENT NO. 331443 OF OFFICIAL RECORDS, BEING LOTS 24 AND 25 OF GOLDEN VALLEY FARMS TRACT NO. 3, IN THE CITY OF PERRIS, AS PER MAP RECORDED IN BOOK 11, PAGE 22, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA TOGETHER WITH THAT PORTION OF PARCEL 10 OF PARCEL MAP 19113, AS PER MAP RECORDED IN BOOK 121, PAGES 9 TO 11, INCLUSIVE, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHEASTERLY CORNER OF SAID PARCEL 10; THENCE SOUTH 00° 01' 15" WEST ALONG THE MOST EASTERLY PROPERTY LINE OF SAID PARCEL 10, 106.13 FEET TO THE NORTHERLY LINE OF PARCEL 14 OF SAID PARCEL MAP 19113; THENCE NORTH 84° 34' 02" WEST ALONG THE NORTHERLY LINE OF SAID PARCEL 14, 140.23 FEET TO THE NORTHWEST CORNER OF SAID PARCEL 14;
 THENCE NORTH 00° 03' 10" EAST 105.94 FEET TO THE NORTHERLY LINE OF SAID PARCEL 10; THENCE NORTH 84° 51' 02" WEST ALONG THE NORTHERLY LINE OF SAID PARCEL 10, 140.11 FEET TO THE POINT OF BEGINNING EXCEPT THE EAST 9.00 FEET OF LOTS 24 AND 25 AS CONDEMNED IN FAVOR OF THE CITY OF PERRIS BY FINAL ORDER OF CONDEMNATION RECORDED JUNE 25, 1991 AS INSTRUMENT NO. 213986, OFFICIAL RECORDS.

NOTES

- 2004 THOMAS BROTHERS MAP, PAGE T71, GRID E2 & F2
- THIS PROJECT IS WITHIN THE PERRIS VALLEY COMMERCIAL CENTER SPECIFIC PLAN (PVC SP).
- THIS PROJECT IS WITHIN THE UNMATCHED AREA OF ZONE X PER FLOOD INSURANCE RATE MAP NUMBER 06065C14304, DATED AUGUST 18, 2014.
- THIS PROJECT IS NOT WITHIN A COMMUNITY SERVICES DISTRICT.
- ALL PARCELS WITHIN PROJECT BOUNDARY TO BE COMBINED VIA PARCEL MAP.

EASEMENT NOTES

- AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR PUBLIC STREET AND HIGHWAY PURPOSES AND MAINTAIN UTILITIES, SEWERS AND DRAINS, RECORDED AUGUST 12, 1985 AS INSTRUMENT NO. 85-178364, OFFICIAL RECORDS.
- ROAD EASEMENT PER PARCEL MAP 19113, PNB 12/14-11
- RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY HAVE BEEN RELINQUISHED BY DOCUMENT RECORDED DECEMBER 24, 1988 AS INSTRUMENT NO. 92762, IN BOOK 2386, PG 217, OFFICIAL RECORDS.

ACREAGE

GROSS SITE AREA: 1291634 SF. 29.79 A.C.
 STREET DEDICATION: 32,272 SF. 0.74 A.C.
 NET SITE AREA: 1259362 SF. 29.05 A.C.

PROPERTY OWNER

APN: 303-020-019 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764	APN: 303-020-037 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764	APN: 303-020-040 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764	APN: 303-020-055 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764
APN: 303-020-034 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764	APN: 303-020-038 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764	APN: 303-020-041 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764	APN: 303-020-056 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764
APN: 303-020-035 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764	APN: 303-020-039 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764	APN: 303-020-042 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764	APN: 303-020-057 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764
APN: 303-020-036 DUKE REALTY R4W LP 3546 CONCOURS ST. ONTARIO, CA 91764			

APPLICANT	ENGINEER
COMPANY: PROLOGIS CONTACT: D.J. ARELLANO ADDRESS: 3546 CONCOURS ST. ONTARIO, CA 91764 PHONE: (951) 673-8700	COMPANY: ADKAN ENGINEERS CONTACT: RICHARD REAVES ADDRESS: 6879 AIRPORT DRIVE RIVERSIDE, CA 92504 PHONE: (951) 688-0241 FAX: (951) 688-0549
TOPOGRAPHY	ZONING
PHOTO GEODETIC CORPORATION 2806 ALPINE BLVD., STE C ALPINE, CA 91901 PHONE: (619) 631-1366 DATED: 01-26-2022	PVCC SP (PERRIS VALLEY COMMERCIAL CENTER SPECIFIC PLAN)

BENCHMARK

NGS BENCHMARK IS DESIGNATED AS D5442 BEING A STANDARD 3-1/4 INCH ALUMINUM DISK SET FLUSH IN TOP OF CURB, LOCATED 1300 FEET WEST OF AT&T RAILROAD ALONG RIDER STREET, ON TOP OF NORTH CURB FACE OF RIDER STREET 28 FEET NORTH OF RIDER STREET.

ELEVATION 1515.12 FEET NAVD88

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA STATE PLANE COORDINATE SYSTEM, CGS83, ZONE 6, BASED LOCALLY ON CONTROL STATIONS 1947B, 19600, AND 1955C (NAD 83/NAD 2011) EPOCH 2010.00 AS SHOWN HEREON. ALL BEARINGS SHOWN ON THIS MAP ARE GRID, QUOTED BEARINGS AND DISTANCES FROM REFERENCE MAPS OR DEEDS ARE AS SHOWN PER THAT RECORD REFERENCE. ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS SPECIFIED OTHERWISE. GRID DISTANCES MAY BE OBTAINED BY MULTIPLYING THE GROUND DISTANCE BY A COMBINATION FACTOR OF 0.99992663. CALCULATIONS ARE MADE AT POINT 305 FOUND MAP, FLUSH, L54343 PER PM 19113 BOOK 121 PAGES 9-11 WITH COORDINATES OF:

N: 6254933.871 E: 2244921.921

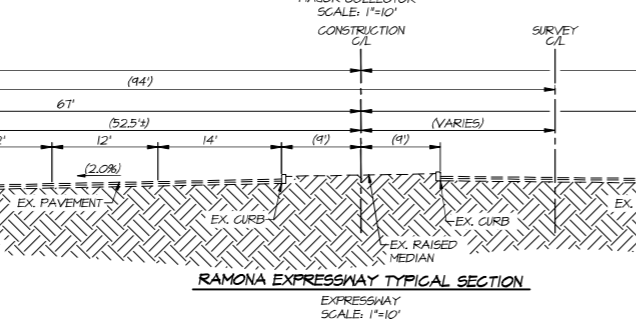
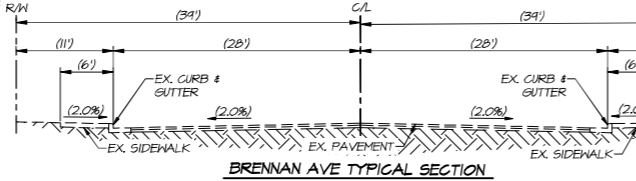
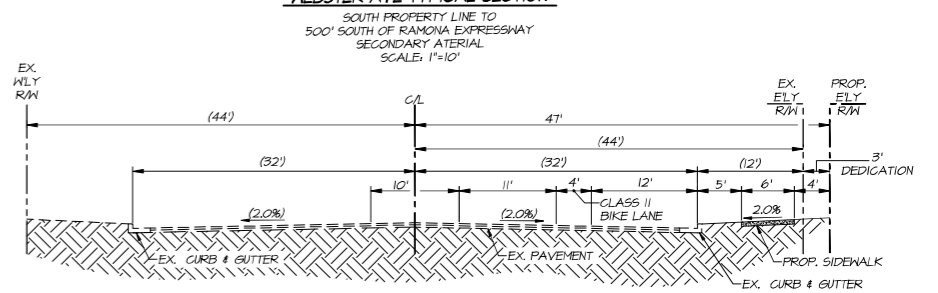
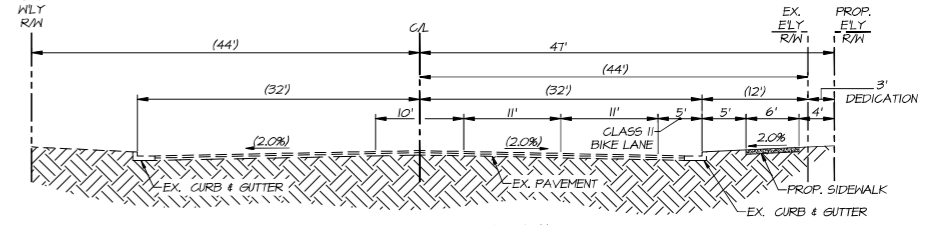
USING AN ELEVATION OF 1488.808

UTILITY COMPANIES

WATER:	EASTERN MUNICIPAL WATER DISTRICT PHONE: (800) 426-3643
SEWER:	EASTERN MUNICIPAL WATER DISTRICT PHONE: (800) 426-3643
ELECTRIC:	SOUTHERN CALIFORNIA EDISON COMPANY PHONE: (800) 684-8123
TELEPHONE:	CHARTER COMMUNICATIONS PHONE: (951) 644-4254
GAS:	SOUTHERN CALIFORNIA GAS COMPANY PHONE: (800) 421-2200
SCHOOL:	VAL VERDE UNIFIED SCHOOL DISTRICT PHONE: (951) 940-6100

A.P.N.

303-020-019 #303-020-034 THROUGH 303-020-042
 #303-020-055 THROUGH 303-020-057

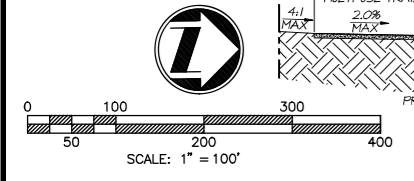


SCALE: AS NOTED
 DATE: 7/7/2023
 DESIGNED: RI
 CHECKED: RR
 PLN CK REF:
 F.B.

PLANS PREPARED BY:
adkan ENGINEERS
 Civil Engineering • Surveying • Planning
 6879 Airport Drive, Riverside, CA 92504
 Tel:(951) 688 0241 Fax:(951) 688 0599

TENTATIVE PARCEL MAP 38643
 CITY OF PERRIS
 PROLOGIS

JN 10331
 SHEET 1
 OF 1 SHEETS
 DWG. NO.



J:\Projects\Prologis\10331 - Ramona & Webster\Engineering\Tentative Parcel Map\10331_TPM_01.dwg

Exhibit E

Project Plans (Site Plan, Floor Plan, and
Building Elevations)



PREPARED BY:
REGA
 Office of Architectural Design
 15231 Alton Parkway, Suite 100
 Irvine, CA 92618
 T 949 341-0920
 F 949-341-0922

DEVELOPER / OWNER / APPLICANT:
 PROLOGIS
 2401 COOKCROSS ST, SUITE 100
 CHINA LAKE, CA 91704
 CONTRACT: SJ ARELAND
 576-229-6265
 DARELAND@PROLOGIS.COM



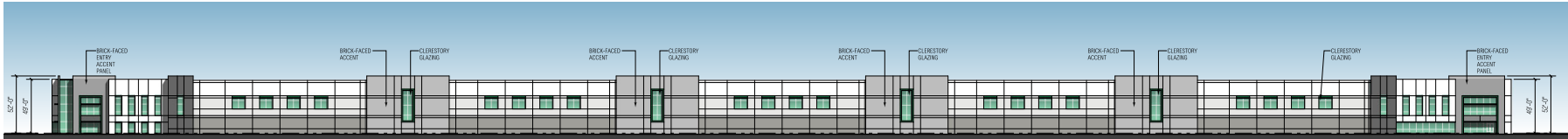
PROLOGIS

RAMONA / WEBSTER AVE

0000 WEBSTER AVENUE, CITY OF PERRIS
 SCHEMATIC RENDERING

MARK	DATE	DESCRIPTION
7/10/21		3RD SUBMITTAL SET
4/28/23		2ND SUBMITTAL SET
1/02/22		PLANNING SUBMITTAL SET
10/10/22		SCHEMATIC SITE PLAN

RGA PROJECT NO.	21107-00
DWG FILE NAME	21177-01-RAS-01
DRAWN BY	CS
CHECKED BY	CS
COPYRIGHT	REGA, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE	
A3-2-P	



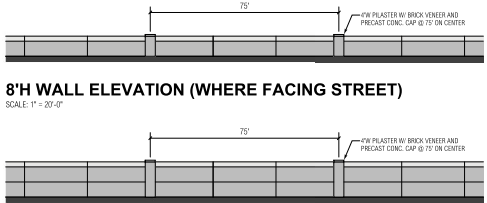
WEST ELEVATION

SCALE: 1" = 40'-0"



SOUTH ELEVATION

SCALE: 1" = 20'-0"



8'H WALL ELEVATION (WHERE FACING STREET)

SCALE: 1" = 20'-0"

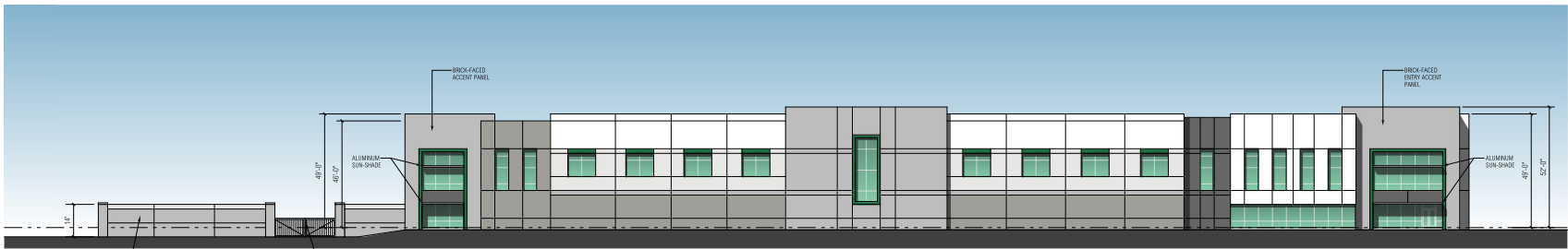
14'H WALL ELEVATION

SCALE: 1" = 20'-0"



EAST ELEVATION

SCALE: 1" = 40'-0"



NORTH ELEVATION

SCALE: 1" = 20'-0"

NOTES:

1. ALL ROOFTOP MECH. EQUIPMENT SHALL BE SCREENED FROM VIEW.

FINISH LEGEND

- P-1 SHERWIN WILLIAMS SW 7005 - PURE WHITE PLD-9
- P-2 SHERWIN WILLIAMS SW 7048 - FIRST STAR PLD-10
- P-3 SHERWIN WILLIAMS SW 7015 - SABLE PLD-5
- P-4 SHERWIN WILLIAMS SW 7016 - LUDGORCE TINT PLD-5
- P-5 SHERWIN WILLIAMS SW 6762 - NEW DARK GREEN PLD-5
- GL-1 PIELKINGTON EVERGREEN - CLEAR INSULATED
- BR-1 BRICK FACING IRONSPOT GRAY

PREPARED BY:
RG&A
Office of Architectural Design
15231 Alton Parkway, Suite 100
Irvine, CA, 92618
T 949-441-0020
F 949-341-0022

DEVELOPER / OWNER / APPLICANT:
PROLOGIS
5810 COUGOURS ST, SUITE 100
DALLAS, TEXAS 75214
CONTACT: SJI ARELLANO
SJI-2810103
DARELANDSPROLOGIS.COM



PROLOGIS

RAMONA / WEBSTER AVE

**0000 WEBSTER AVENUE, CITY OF PERRIS
SCHEMATIC ELEVATIONS**

MARK	DATE	DESCRIPTION

RG&A PROJECT NO:	21177-01-A3-1
DWG FILE NAME:	
DESIGNED BY:	CS
CHECKED BY:	CS
COPYRIGHT:	RG&A OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE:	

A3-1-P

PROJECT INFORMATION:

SPECIFIC PLAN AREA PERRIS VALLEY COMMERCE CENTER
 ZONE LIGHT INDUSTRIAL
 APN

PROJECT DESCRIPTION:

ONE NEW CONCRETE TILT-UP INDUSTRIAL BUILDING INCLUDING
 PARKING AND DOCK LOADING AREAS TOTTALING APPROX. 552,000 SF
 ON 29.5 ACRES.

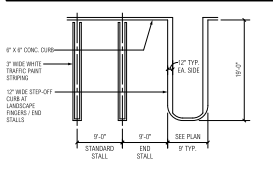
PROJECT DATA:

NET SITE AREA:	1,265,382 SF / 29.05 AC
BUILDING AREA:	546,922 SF
FOOTPRINT:	5,000 SF
MEZZANINE:	551,922 SF
TOTAL:	551,922 SF
COVERAGE:	42.64 %
F.A.R.:	0.430
PARKING REQUIRED:	90 STALLS
20,000 SF OFFICE (LESS THAN 10%):	20 STALLS
0-20,000 SF W/HS @ 1/1000 SF:	10 STALLS
20K-40K SF W/HS @ 1/2000 SF:	100 STALLS
40K AND ADV (1/5000 SF):	132 STALLS
TOTAL REQUIRED:	132 STALLS
PARKING PROVIDED:	199 STALLS
STANDARD STALLS:	8 STALLS
ACCESSIBLE STALLS:	207 STALLS
TOTAL PROVIDED:	215 STALLS
DOCK POSITIONS PROVIDED:	69 DOCK POSITIONS
TRAILER POSITIONS PROVIDED:	258 TRAILER STALLS
ONSITE LANDSCAPE REQUIRED (NET):	177,151 SF / 14 %
ONSITE LANDSCAPE PROVIDED (NET):	178,922 SF / 14.14 %

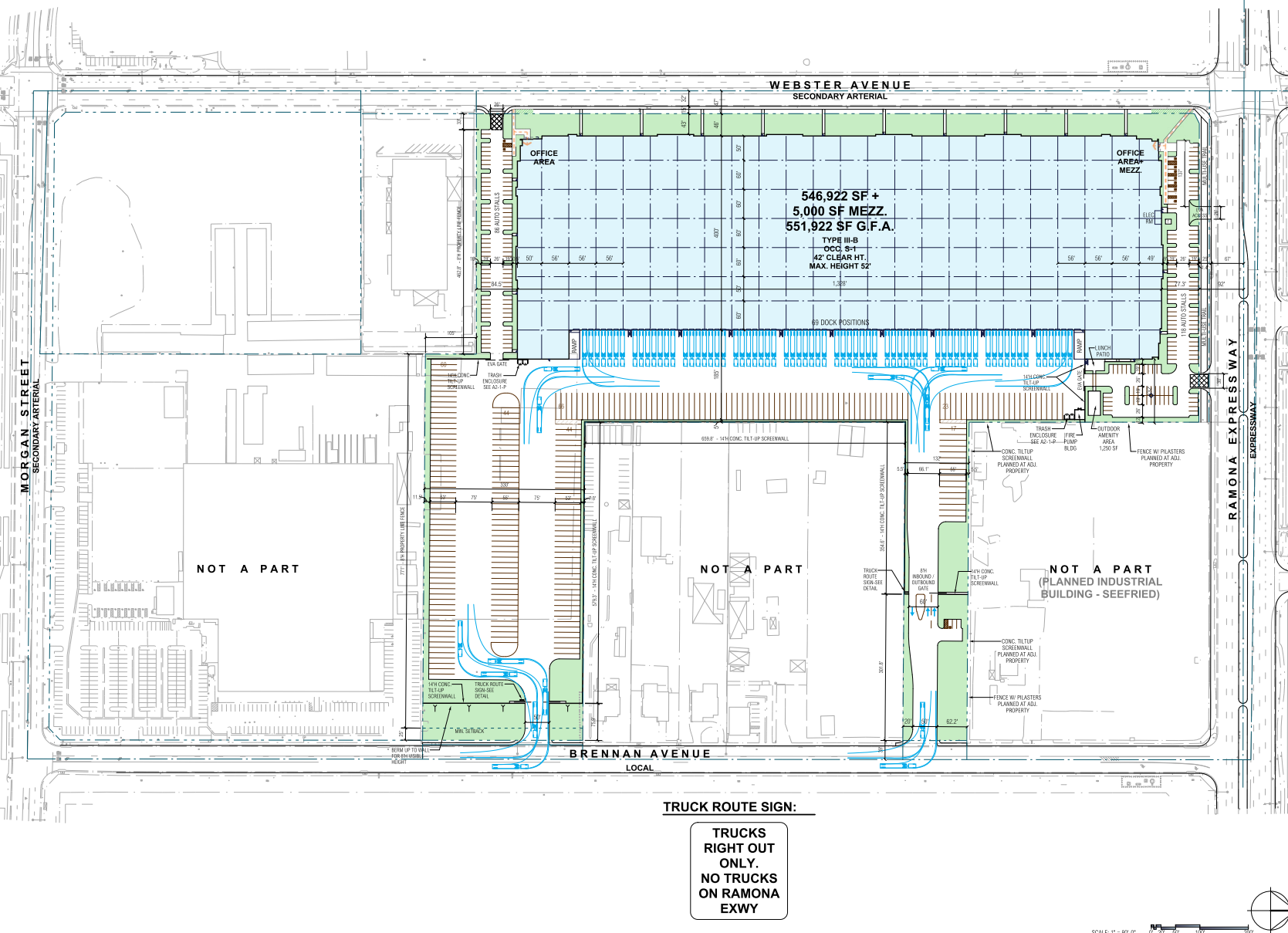
SITE LEGEND:

- ADA PATH OF TRAVEL
- NEW #18 BLACK TUBE STEEL FENCE
- LANDSCAPE AREA
- DECORATE PAVING AT DRIVEWAYS:
SAWCUT SCORE PATTERN W/ 36"x36" DIAGONAL PATTERN
- SEE PAD-MOUNT TRANSFORMER
- TYPICAL PARKING STALLS - 9' X 19'
STRIPED PER CITY STANDARDS

AUTO PARKING DETAIL:



VICINITY MAP:



TRUCK ROUTE SIGN:

**TRUCKS
 RIGHT OUT
 ONLY.
 NO TRUCKS
 ON RAMONA
 EXWY**

SCALE: 1" = 80'-0"

PREPARED BY:

 Office of Architectural Design
 15231 Alton Parkway, Suite 100
 Irvine, CA 92618
 T 949 441 0920
 F 949 441 0922

DEVELOPER / OWNER / APPLICANT:

 PROLOGIS
 2948 CONCORS ST, SUITE 100
 DUBLIN, CALIFORNIA
 CONTRACT: 20 ARELAND
 DSN: 20-0002
 DARELANDS@PROLOGIS.COM

RAMONA / WEBSTER AVE
 0000 WEBSTER AVENUE, CITY OF PERRIS
 SCHEMATIC SITE PLAN

MARK	DATE	DESCRIPTION

RGA PROJECT NO.	21107.00
CDR FILE NAME:	2117-00-A1-1-P
DRAWN BY:	CSL
CHECKED BY:	CSL
COPYRIGHT:	RGA, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE:	

ATTACHMENT 1

Perris Fire Department Access & Water Plan Notes

All of the notes listed in the **INSPECTION REQUIREMENTS** and **GENERAL REQUIREMENTS** sections shall be placed, verbatim, on the plan under the heading "FIRE DEPARTMENT ACCESS & WATER NOTES."

INSPECTION REQUIREMENTS

- Perris site inspections are required for this project. Please schedule all field inspections at least 48 hours in advance. Inspections canceled after 1 p.m. on the day before the scheduled date will be subject to a re-inspection fee. Call (951) 443-1020 to schedule an inspection.
- A lumber drop inspection shall be performed prior to bringing combustible materials (for combustible frames and finishes for structures of non-combustible construction). All weather access roads capable of supporting 68,000 lbs., topped with asphalt, concrete, or equivalent shall be in place and hydrants operational at time of lumber drop inspection.
- For projects with fuel modification, a vegetation clearance inspection is required prior to a lumber drop inspection. Use the fuel modification plan service request number to schedule the vegetation clearance inspection.
- Planned installation of fire access roads requires additional inspections not covered by the fees paid at plan submittal. Contact (951) 443-1020 to arrange for additional inspections that may be needed and any fees that may be due.
- An original approved, signed, wet-stamped Perris fire access & water plan shall be available on-site at all times.
- Access roads and hydrants shall be maintained and remain clear of obstructions at all times during and after construction. Areas where parking is not permitted shall be clearly identified at all times. Obstruction of fire lanes and hydrants may result in cancellation or suspension of inspections.
- Temporary fuel lanes of 50' or more gallons shall be reviewed, inspected, and permitted by the Office of the Fire Marshal, City of Perris prior to use.
- The project address shall be clearly posted and visible from the public road during construction.
- All gates in construction fencing shall be equipped with either a Knox or breakaway padlock.
- Buildings of four or more stories shall be provided with stairs and a stoppage before reaching 40 feet in height.

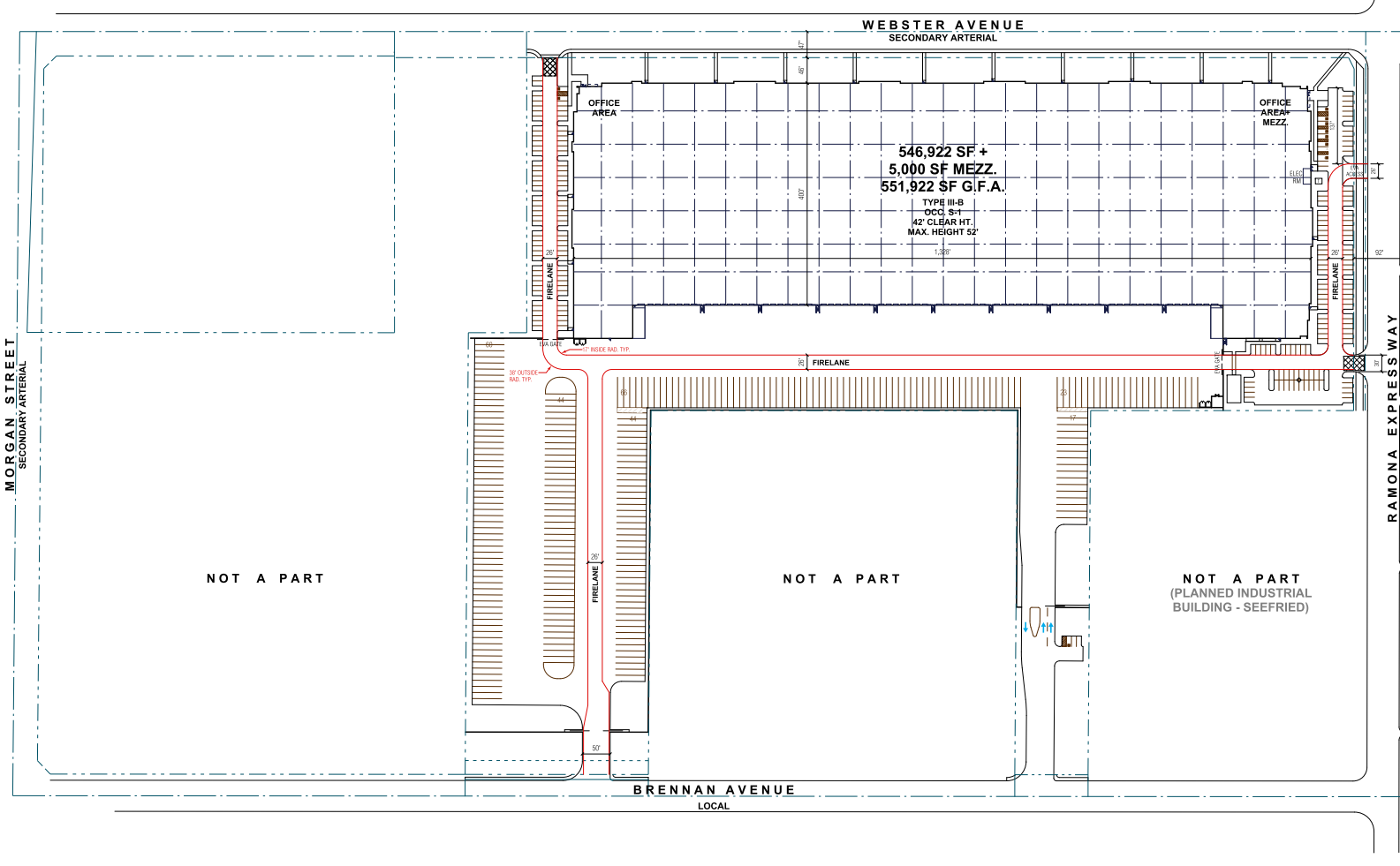
GENERAL REQUIREMENTS

- Fire lane widths shall be measured from top face of the curb to top face of the curb for fire lanes with standard curbs and gutters and from flow-line to flow-line for fire lanes with modified curb designs (i.e., rolled, stamped, etc.). The developer is responsible to verify that all approved public works or grading department street improvement plans or precise grading plans conform to the minimum street width measurements per the approved Perris fire department access & water plan and standards identified in Perris Fire Department Access & Water Guideline for all portions of the fire access roads.
- Permanent, temporary, and phased emergency access roads shall be designed and maintained to support an imposed load of 68,000 lbs. and surfaced to provide all weather driving capability.
- Fire lane signs and red curbs shall meet the specifications shown in Perris Fire Department Access & Water Guideline and shall be installed as described therein. Additional fire lane markings may be required at the time of inspection depending on field conditions.
- All fire hydrants shall have a "Blue Reflective Pavement Marker" indicating their location per the Perris standards. On private property markers are to be maintained in good condition by the property owner.
- Address numbers shall be located and be of a color and size so as to be plainly visible and legible from the roadway from which the building is addressed in accordance with Perris Fire Department Access & Water Guideline.
- Access gates shall be approved prior to installation and shall be in compliance with Chapter 5 of the CFC and Perris Fire Department Access & Water Guideline.
- Approved access walkways shall be provided to all required openings and all rescue windows.

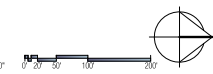
Rev 01.17

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- Hydrants shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, fire department connections, pull stations, extinguishers, sprinker risers, alarm control panels, rescue windows, and other openings or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or sirens.
- Dumpsters and trash containers larger than 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof areas unless protected by an approved sprinkler system.
- Any future modifications to the approved Fire Department Access & Water Plan or approved site plan, including but not limited to road width, grade, speed humps, turning radii, gates or other obstructions, shall require review, inspection, and approval by the Office of the Fire Marshal, City of Perris.
- Approval of this plan shall not be construed as approval of any information or project conditions other than those items and requirements identified in Perris Fire Department Access & Water Guideline and related portions of the CFC and CBC. This project may be subject to additional requirements not stated herein upon examination of actual site and project conditions or disclosure of additional information.



SCALE: 1" = 80'-0"



PREPARED BY:
RG&A
Office of Architectural Design
15231 Alton Parkway, Suite 100
Irvine, CA 92618
T 949-441-0920
F 949-341-0922

DEVELOPER / OWNER / APPLICANT:
PROLOGIS
300 CONCORDS ST, SUITE 100
DUBLINO, CA 94568
CONTRACT: SJ ARELAND
SIN-2016-0103
DARELAND@PROLOGIS.COM

RAMONA / WEBSTER AVE

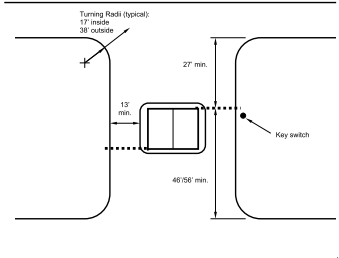
0000 WEBSTER AVENUE, CITY OF PERRIS FIRE ACCESS PLAN

MARK	DATE	DESCRIPTION

RG&A PROJECT NO.	21107-00
DATE FILE NAME:	2117-00-A1-2-P
DRAWN BY:	CS
CHECKED BY:	CS
DRAWN/ISSUED BY:	RG&A OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE	

A1-2-P

ATTACHMENT 15
Minimum Gate Setbacks



All sign and lettering dimensions shown are minimums. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.

Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

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ATTACHMENT 12
Specifications for Fire Lane No Parking Signs



All sign and lettering dimensions shown are minimums. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.

This sign shall be posted at all vehicle entrances to areas marked with either red curbs or fire lane "No Parking" signs. Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

Towing company contact information is required for all properties with a standing written agreement for services with a towing company per the California Vehicle Code.

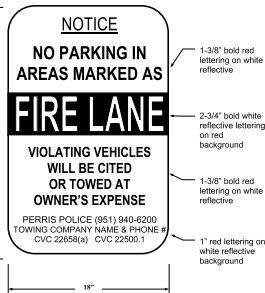
Rev 01/17

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ATTACHMENT 10
Specifications for Fire Lane Entrances Signs

To be used only at vehicle entry points to areas that contain "Fire Lane-No Parking" signs or red curbs



All sign and lettering dimensions shown are minimums. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.

This sign shall be posted at all vehicle entrances to areas marked with either red curbs or fire lane "No Parking" signs. Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

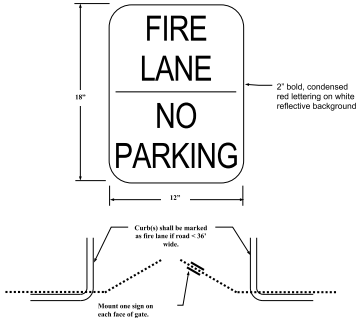
Towing company contact information is required for all properties with a standing written agreement for services with a towing company per the California Vehicle Code.

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ATTACHMENT 16
Specifications for "Fire Lane - No Parking" Signs for Manually Operated Gates and Barriers



All sign and lettering dimensions shown are minimums. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.

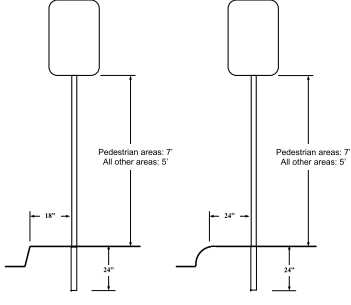
"Fire Lane-No Parking" sign shown in Attachment 12 may be used as an alternative. Signs shall be securely mounted on the front and back face of the gate clearly visible to traffic entering the designated area. Signs shall be made of a durable material.

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ATTACHMENT 14
Mounting Specifications for Fire Lane Entrance and No Parking Signs



Signs shall be mounted facing the direction of vehicular travel.

Signs may be mounted on existing posts or buildings where the centerline of the sign is no more than 24" from the edge of the roadway.

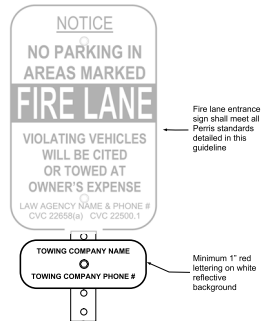
Depth of bury shall be a minimum of 24" and rebar, a concrete footing, or another method to prevent removal of the sign is recommended. Footings for signs located in the public right-of-way shall be per the local jurisdiction's requirements.

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ATTACHMENT 11
Specifications for Alternate Location of Towing Company Information



Towing company contact information is required for all properties with a standing written agreement for services with a towing company per the California Vehicle Code.

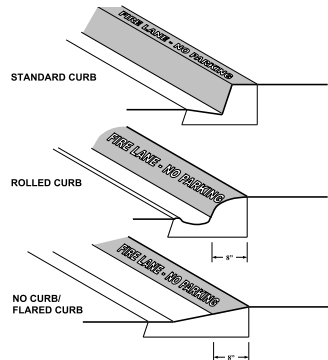
To facilitate periodic changes in towing company contracts, the towing company contact information may be posted on a separate sign mounted directly below the fire lane entrance sign instead of on the entrance sign itself. The method of attachment to the post shall not obscure the wording on either sign.

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ATTACHMENT 9
Fire Lane Identification - Red Curbs



1. Fire lane entrance sign(s) shall also be provided per Attachment 10 or 11.
2. Curbs shall be painted OSHA safety red.
3. "FIRE LANE - NO PARKING" shall be painted on top of curb in 3" white lettering at a spacing of 30" on center or portion thereof.

Rev 01/17

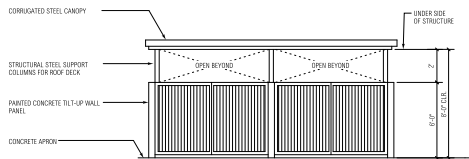
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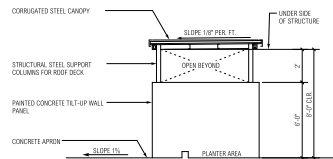
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7/6/23		3RD SUBMITTAL SET
4/19/23		2ND SUBMITTAL SET
3/22/23		REVISED SITE PLAN
1/12/22		PLANNING SUBMITTAL SET
10/19/22		SCHEMATIC SITE PLAN

RGA PROJECT NO:	21107.00
DWG FILE NAME:	2117-00A1-S-01
DESIGNED BY:	CS
CHECKED BY:	CS
COPYRIGHT:	RGA, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE:	

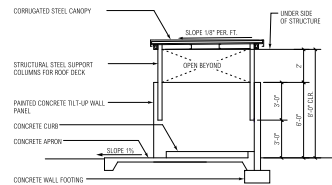
A1-3-P



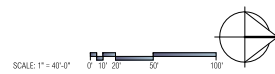
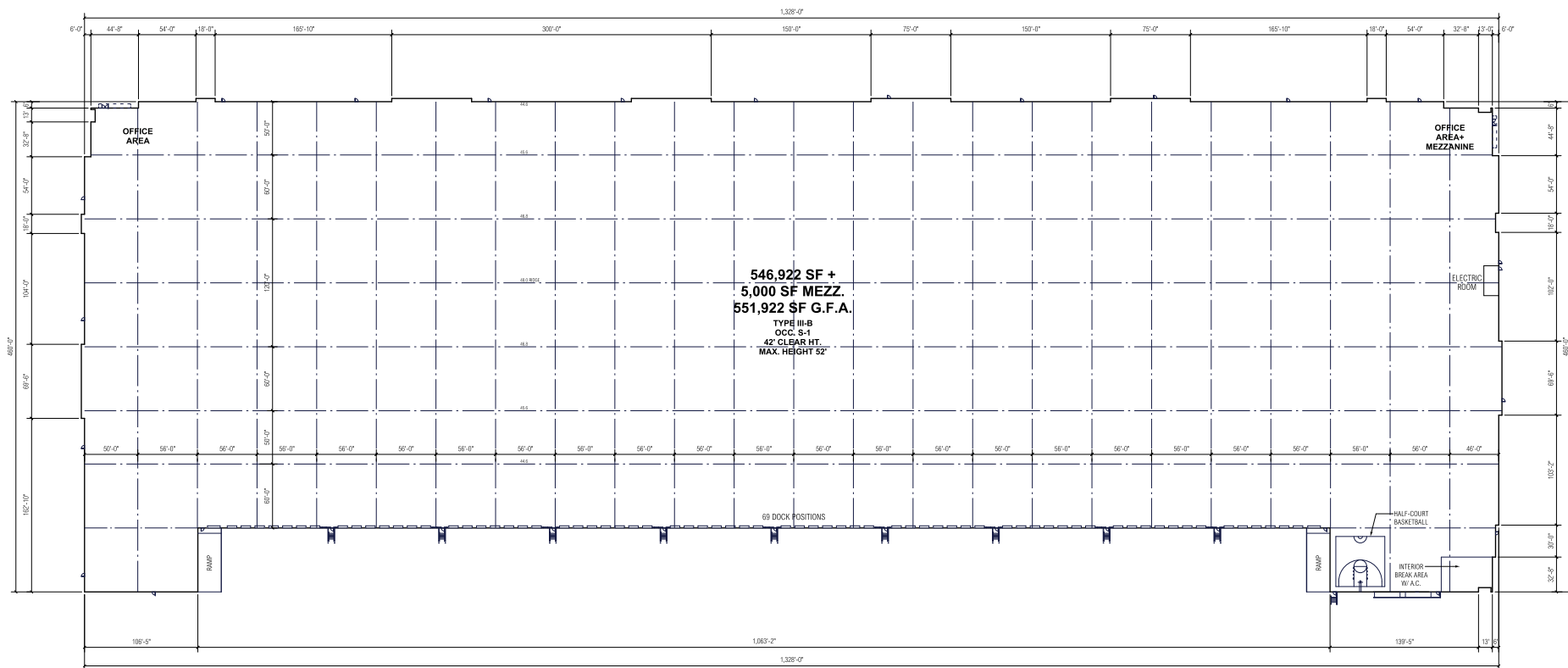
TRASH ENCLOSURE FRONT ELEVATIONS
SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE SIDE ELEVATIONS
SCALE: 1/4" = 1'-0"



TYPICAL TRASH ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"



PREPARED BY:
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Office of Architectural Design
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DEVELOPER / OWNER / APPLICANT:
PROLOGIS
2600 SANDHOGGERS ST., SUITE 100
DUBLIN, CALIFORNIA
CONTACT: S.J. ARELLANO
S.J.ARELLANO@PROLOGIS.COM

PROLOGIS

RAMONA / WEBSTER AVE

0000 WEBSTER AVENUE, CITY OF PERRIS
SCHEMATIC FLOOR PLAN

MARK	DATE	DESCRIPTION

REGA PROJECT NO.	21107-00
DWG FILE NAME:	2117-00-A2-1-P
DRAWN BY:	CS
CHECKED BY:	CS
COPYRIGHT: REGA, OFFICE OF ARCHITECTURAL DESIGN	
SHEET TITLE	

A2-1-P

Exhibit F

Initial Study with Appendices

Due to the size of the document files, the documents are on file with the Planning Division and available on the City's website at:

[https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
399#docan1206 1313 479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-399#docan1206_1313_479)

Planning Commission Agenda

CITY OF PERRIS

November 01, 2023

Item

6C

*Scoping Meeting for an
Environmental Impact Report
associated with Tentative
Parcel Map 22-05046
(TPM 38412),
Conditional Use Permit
(CUP) 23-05107,
and Development Plan Review
(DPR) 22-00005*



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

MEETING DATE: November 1, 2023

SUBJECT: Scoping Meeting for an Environmental Impact Report associated with Tentative Parcel Map 22-05046 (TPM 38412), Conditional Use Permit (CUP) 23-05107, and Development Plan Review (DPR) 22-00005 – A proposal to consider the following entitlements to facilitate the construction of two (2) industrial buildings totaling 867,070 square feet and a truck and trailer storage facility, located on the south side of Ellis Avenue between Goetz Road and Case Road: 1) Tentative Parcel Map to consolidate seven (7) parcels into two (2) parcels; 2) a Conditional Use Permit to establish and operate a truck and trailer storage facility; and 3) Development Plan Review for review of the industrial site plan and building elevations. Applicant: Mike Masterson.

REQUESTED ACTION: Conduct a public Scoping Meeting to review, discuss, and provide comments on the potential environmental impacts associated with the project.

CONTACT: Kenneth Phung, Director of Development Services

BACKGROUND:

The project site consists of seven (7) parcels, totaling 82.71 acres, located on the south side of Ellis Avenue between Goetz Road and Case Road, which is relatively flat with native vegetation. The site is bisected by the Perris Valley Airport runway. The westerly portion of the site is surrounded by vacant land to the north; vacant parcels, CR&R, concrete batch plant, and outdoor storage yards to the west; the Perris Valley Airport runway to the east; and the Perris Valley Airport parking lot to the south. The easterly portion of the site is surrounded by railroad tracks to the north across Ellis Avenue; the Perris Valley Airport runway to the west; recycling center to the east across Case Road, and the Perris Valley Airport to the south.

PROJECT DESCRIPTION:

The project, referred to as the Perris Airport Logistics Center, is subdivided into two (2) parcels. Parcel 1, proposed for industrial development, encompasses 59.85 acres (APNs: 330-090-031, -033, -036, -038, -040, and 330-100-031) located at the southeast corner of Goetz Road and Ellis Avenue, west of the Perris Valley Airport runway. Parcel 2, proposed for a truck and trailer facility, encompasses 22.86 acres (APN: 330-090-034) and is located at the southwest corner of Ellis

Avenue and Case Road, east of the Perris Valley Airport runway. Following is a summary of the proposed development:

1. *Industrial Development (Parcel 1) located at the southeasterly corner of Goetz Road and Ellis Avenue:*

Parcel 1 is proposed to be developed with two (2) industrial buildings totaling 867,070 square feet. Building 1 is a 795,109-square-foot warehouse building consisting of two ground-floor office area areas totaling 18,500 square feet, 10,000 square feet of mezzanine office area, and 766,609 square feet of high-cubed warehouse area. The design of the building is modern industrial, with an overall height ranging from 48 feet to 54 feet. A total of 115 high dock doors are proposed on the east side of the building. A total of 350 parking spaces are proposed for employees and visitors along the north side of the site. In addition, 290 trailer parking spaces are provided on the easterly side of the site. Three (3) points of access are proposed for the site, a 30-foot-wide northerly driveway along Goetz Road for passenger vehicles, a 45-foot-wide driveway along Ellis Avenue for truck access, and a 40-foot-wide southerly driveway along Goetz Road for secondary truck access. A guard shack is proposed approximately 570 feet from Ellis Avenue frontage to allow queuing of trucks/trailers prior to entering and exiting the loading dock and trailer parking area. Also, Trucks are anticipated to access the I-215 Freeway/Bonnie Drive Interchange by exiting the project site via Goetz Road, Ellis Road, Case Road, and Bonnie Drive, consistent with the City's adopted truck route.

Building 2 is a 71,961-square-foot warehouse building consisting of 6,000 square feet of ground floor office area and 65,461 square feet of warehouse area. A total of 31 high dock doors are proposed on the south side of the building. A total of 125 parking spaces are proposed for employees and visitors along the west side of the site. In addition, seven (7) trailer parking spaces are provided on the easterly side of the site. Access for passenger and emergency vehicles is provided via the most southerly 30-foot-wide driveway along Goetz Road. Truck access is provided via a 40-foot-wide driveway along Goetz Road, shared with Building 1 to the north. Trucks are anticipated to access the I-215 Freeway/Bonnie Drive Interchange by exiting the project site via Goetz Road, Ellis Road, Case Road, and Bonnie Drive, consistent with the City's adopted truck route.

2. *Truck and Trailer Storage Facility (Parcel 2) located at the southwesterly corner of Case Road and Ellis Avenue:*

Parcel 2 is proposed to be developed with a truck/trailer storage facility that includes a 100-square-foot office/guard shack consisting of a restroom and an office area, 323 truck/trailer spaces 12 feet in width by 55 feet in depth, 20 tractor parking spaces, two (2) passenger vehicle parking spaces, landscaping along the perimeter of the project site, and one (1) bioswale along the southerly property line. A 14-foot-high concrete screen wall is proposed along the Case Road frontage to screen trucks and trailers from public view. Access is provided by a 60-foot-wide southerly driveway. A guard shack is proposed approximately 560 feet from Case Road frontage to allow queuing of trucks/trailers. Emergency access is provided at the northerly driveway. Trucks are anticipated to access the I-215 Freeway by exiting the project site via Case Road to Bonnie Drive to the I-215 Freeway, consistent with the City's adopted truck route.

The proposed Project requires a Tentative Parcel Map to consolidate seven (7) existing parcels into two (2) parcels; a Development Plan Review for review of the site plan and building elevations; a Conditional Use Permit (CUP) to establish and operate a truck and trailer storage facility and preparation of an Initial Study, which concludes that the project has the potential to "significantly" impact the environment. Therefore, in accordance with the CEQA Guidelines, an EIR will be prepared.

ENVIRONMENTAL IMPACT REPORT (EIR):

- ***Scoping Meeting***

The purpose of the scoping meeting is to provide information on the project and allow the Planning Commission, interested persons, organizations, and agencies the opportunity to comment on the preliminary assessment of the environmental issues that would need to be addressed in the project-specific Environmental Impact Report. After the scoping meeting, staff will work with the applicant and the Project environmental consultant on addressing any Project design concerns to reduce or eliminate, if possible, any environmental impacts. Upon completion of the Draft EIR, responses to comments received during the circulation period of the DEIR will be prepared as part of the Final EIR. The Final EIR will be presented to the Planning Commission for consideration.

- ***Notice of Preparation***

A Notice of Preparation (NOP) and Initial Study prepared for this project identifies the need for an EIR (Exhibit E). The public review period for the NOP commenced on October 20, 2023, and ends on November 20, 2023. As of the writing of this staff report, no letters have been received by staff regarding this project. All comments received will be addressed in the Final EIR, and all commenting agencies will receive a response to their comments.

- ***Environmental Impact Report***

The Draft EIR for the project will contain a detailed Project description, a description of the existing environmental setting of the project site and surrounding area, an analysis of project-specific environmental impacts, an analysis of cumulative impacts, identification of additional project-specific mitigation measures required to reduce potentially significant impacts, and an analysis of alternatives to the project that could reduce one or more of the potentially significant impacts of the project.

The Initial Study prepared for this project determined that the proposed project will not affect the following environmental issues. Therefore, these issues will not be addressed in the EIR:

- Agriculture and Forest Resources
- Mineral Resource
- Population and Housing
- Public Services
- Recreation
- Wildfire

The Initial Study found that the project could impact the following environmental issues.

Therefore, these issues will be analyzed in the Draft Environmental Impact Report:

- **Aesthetics.** The Project Site is not located within a state scenic highway. The Draft EIR will evaluate the potential for the proposed Project to have an impact on scenic vistas, visual character, and light and glare effects.
- **Air Quality.** Impacts related to the air quality will be addressed in the forthcoming Draft EIR. The Draft EIR will discuss these issues and include the results of a technical report and Health Risk Assessment.
- **Biological Resources.** Discussion of the results of a biological resources assessment and consistency with the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) will be included in the Draft EIR, which will also evaluate potential impacts to sensitive species and communities, riparian habitats, protected wetlands, wildlife movement, and local plans and policies.
- **Cultural Resources.** A Cultural Resources Survey will be prepared for the proposed Project and discussed in the Draft EIR. The Proposed Project's potential to cause adverse changes to historical or archaeological resources pursuant to CEQA Guidelines Section 15064.5 or unknown human remains will be evaluated in the Draft EIR.
- **Energy.** Potential impacts related to wasteful, inefficient, or unnecessary consumption of energy resources will be addressed in the Draft EIR. The Draft EIR will also address the Proposed Project's consistency with applicable renewable energy and energy efficiency plans.
- **Geology and Soils.** While the Project's Site is not expected to have impacts related to geological and seismic hazards, the site does have potential for discovery of paleontological resources. The Draft EIR will address potential impacts related to geological or seismic hazards and paleontological resources.
- **Greenhouse Gas Emissions.** To determine the proposed Project's construction and operational greenhouse gas emissions, a technical report will be prepared for the Proposed Project and potential impacts related to emissions and regulations will be analyzed in the Draft EIR.
- **Hazards and Hazardous Materials.** The Project's Site is not located within one-quarter mile of a school and is not on a hazardous materials site pursuant to Government Code Section 65692.5. The Project Site is also not located in a Very High Fire Hazard Severity Zone and therefore has limited potential for wildland fires. Therefore, these issues will not be further addressed in the EIR. Impacts related to the following topics will be addressed in the forthcoming Draft EIR: impacts related to hazardous materials transport, use, disposal, and accidents; potential safety and noise impacts related to the proposed Project's proximity to the Perris Valley Airport and consistency with applicable provisions of the Perris Valley Airport ALUCP; compatibility with emergency response and evacuation plans.

- **Hydrology and Water Quality.** The Draft EIR will address the potential for impacts related to water quality violations and the proposed Project's Water Quality Management Plan (WQMP). Changes to groundwater recharge rates or issues related to impervious surfaces will also be addressed in the Draft EIR. Lastly, the Draft EIR will discuss the possible risk of pollutant release due to inundation as well as consistency with any applicable water quality control plan or sustainable groundwater management plan.
- **Land Use and Planning.** The proposed Project would develop a vacant lot and would not physically divide an established community. The consistency of the proposed Project with each of the applicable policies from the City of Perris General Plan that have been adopted for the purpose of avoiding or mitigating an environmental effect will be addressed in the Draft EIR. Analysis of the proposed Project's consistency with applicable provisions of the Perris Valley Airport ALUCP will also be provided.
- **Noise.** The Draft EIR will address impacts regarding noise and vibration, including impacts related to the nearby March ARB/IPA and the Perris Valley Airport, as the Project Site is within the Airport Influence Area (AIA).
- **Transportation.** The Draft EIR will evaluate impacts regarding transportation.
- **Tribal Cultural Resources.** Potential impacts related to historical resources or otherwise important tribal cultural resources will be discussed in the Draft EIR. Results of consultation activities required by AB 52 will also be included in the Draft EIR.
- **Utilities and Service Systems.** The physical environmental impacts resulting from the installation of utility infrastructure on- and off-site will be addressed in the Draft EIR. Potential environmental impacts related to this expansion as well as other utility infrastructure will be included in the Draft EIR. Further discussion of water supplies, wastewater treatment capacity, solid waste production, and regulatory compliance will be addressed in the Draft EIR.

RECOMMENDATION:

Staff recommends that the Planning Commission conduct a public Scoping Meeting; and review, discuss, and provide feedback on issues that should be addressed in the EIR for Tentative Parcel Map 22-05046 (TPM 38412), Conditional Use Permit (CUP) 23-05107 and Development Plan Review (DPR) 22-00005.

BUDGET (or FISCAL) IMPACT: There is no impact associated with this project since all project costs are borne by the applicant.

Prepared by: Nathan Perez, Senior Planner

Reviewed by: Patricia Brenes, Planning Manager

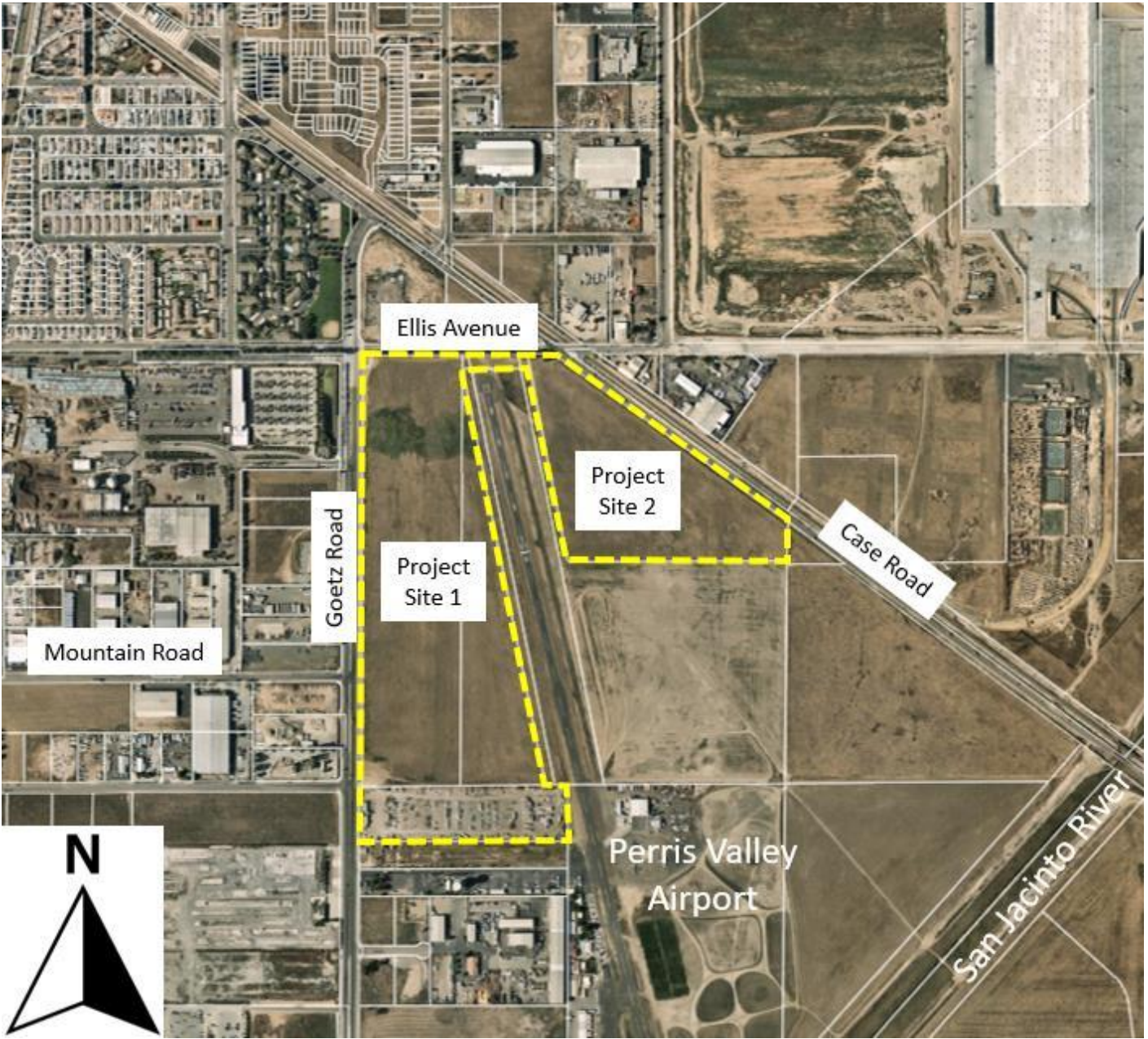
EXHIBITS:

- A. Vicinity and Aerial Map
- B. General Plan/Zoning Map
- C. MARB/IPA ALUC
- D. Perris Valley Airport Map
- E. Tentative Parcel Map 38412
- F. Industrial Project Plans (Site Plan, Floor Plans, Conceptual Landscape Plan, and Building Elevations)
Due to the size of the document files, the documents are on file with the Planning Division and available on the City's website at:
https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-402#docan1206_1313_479
- G. Truck and Trailer Storage Facility (Site Plan and Conceptual Landscape Plan)
Due to the size of the document files, the documents are on file with the Planning Division and available on the City's website at:
https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-402#docan1206_1313_479
- H. Initial Study
Due to the size of the document files, the documents are on file with the Planning Division and available on the City's website at:
https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-402#docan1206_1313_479

Consent:
Public Hearing: X
Business Item:
Presentation:
Other:

Exhibit A

Vicinity and Aerial Map



Ellis Avenue

Project Site 2

Project Site 1

Case Road

Mountain Road

Goetz Road

Perris Valley Airport

San Jacinto River

N

Exhibit B

General Plan/Zoning Map

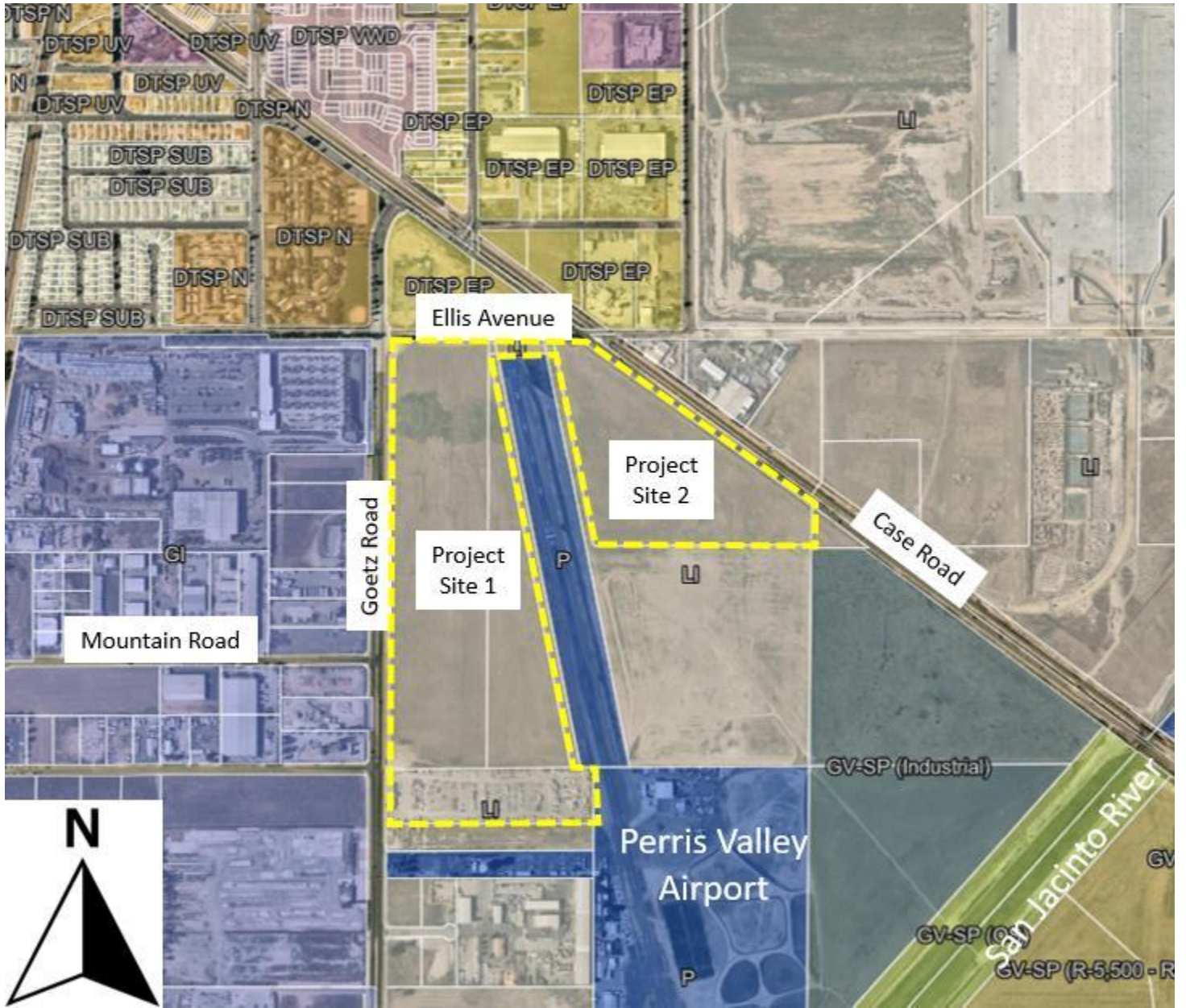


Exhibit C

MARB/IPA ALUC Map

MARB/IPA MAP

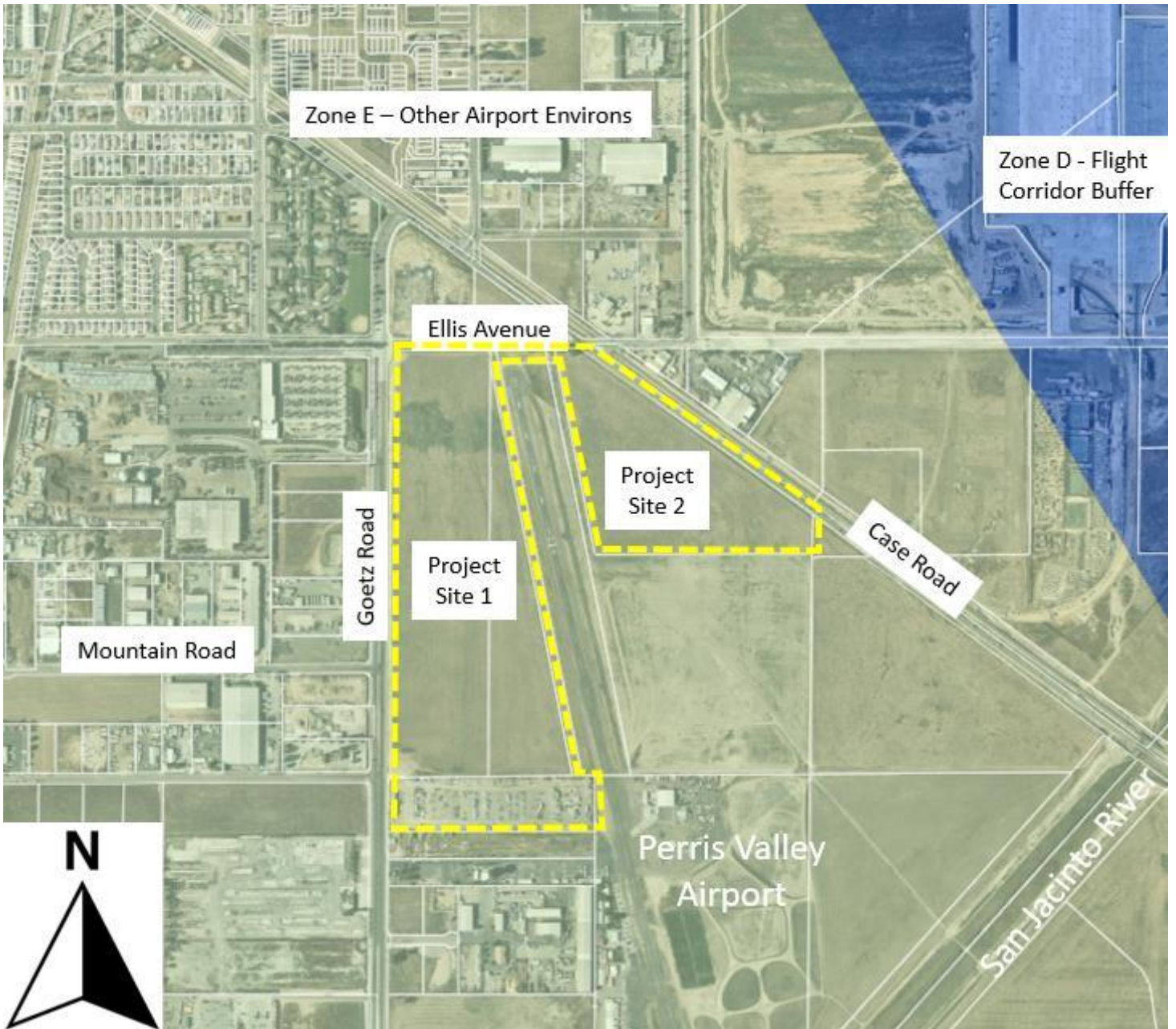


Exhibit D

Perris Valley Airport Map

Perris Valley Airport Map

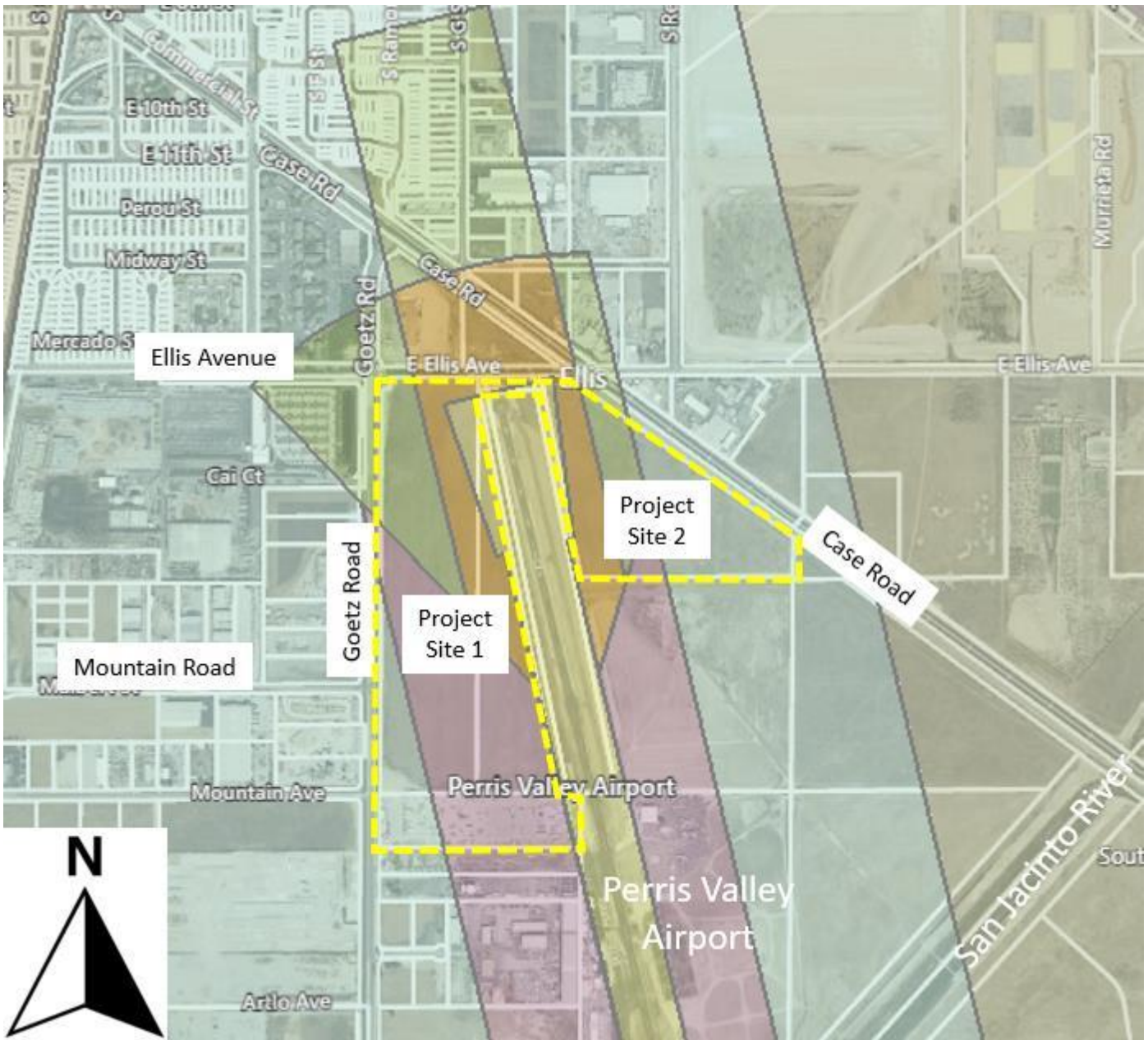


Exhibit E

Tentative Parcel Map 38412

IN THE CITY OF FERRIS COUNTY OF RIVERSIDE STATE OF CALIFORNIA
TENTATIVE PARCEL MAP NO. 38412
 LOCATED IN SECTION 5, T. 5 S., R. 3 N., S.B.M.

OWNER/APPLICANT
 PROJECT REPRESENTATIVE: ENGINEER
 ARCHITECT
 PROJECT ASSOCIATES
 15231 ALTON PARKWAY, SUITE 100
 RIVERSIDE, CA 92505
 CONTACT: MIKE MASTERS
 PHONE: (951) 688-1070
 FAX: (951) 688-1070

UTILITY PROVIDERS
 WATER: EASTERN MUNICIPAL WATER DISTRICT
 ELECTRIC: SOUTHERN CALIFORNIA Edison ENERGY COMPANY
 TELEPHONE: FRONTIER COMMUNICATIONS COMPANY
 CABLE TV: CHARTER COMMUNICATIONS

LAND USE
 EXISTING PROPOSED GENERAL PLAN LAND USE LIGHT INDUSTRIAL (LI)
 EXISTING PROPOSED ZONING LIGHT INDUSTRIAL (LI)

A.P.N.
 390-090-091, 093, 094, 096, 098, 099, 090, AND 390-000-081

SCHOOL DISTRICT
 FERRIS ELEMENTARY AND FERRIS UNION HIGH SCHOOL DISTRICTS

TOPOGRAPHY SOURCE
 TOPOGRAPHY FROM BY ISLAND AERIAL SURVEYS, INC. ON 08/10/2021

EASEMENT NOTES

- 1 AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUTTS AND INCIDENTAL PURPOSES, RECORDED MAY 21, 1918 IN BOOK 871 OF DEEDS PAGE 18, IN FAVOR OF SOUTHERN SIERRA POWER COMPANY.
- 2 AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUTTS AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 04, 1971 AS BOOK 95 PAGE 66 OF OFFICIAL RECORDS, IN FAVOR OF SOUTHERN CALIFORNIA TELEPHONE COMPANY.
- 3 AN OFFER OF DEDICATION FOR PUBLIC STREET AND HIGHWAY AND INCIDENTAL PURPOSES, RECORDED JUNE 29, 2000 AS INSTRUMENT NO. 2000-00164 OF OFFICIAL RECORDS, IN FAVOR OF SOUTHERN CALIFORNIA TELEPHONE COMPANY.
- 4 THE TERMS, PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED APRIL 10, 2017 AS INSTRUMENT NO. 2017-01146 OF OFFICIAL RECORDS.
- 5 EASEMENTS FOR THE PURPOSES SHOWN BELOW AND RIGHTS INCIDENTAL THEREOF, AS GRANTED IN A DOCUMENT, RECORDED FOR THE PURPOSES OF THIS PARCEL MAP, TO THE FOLLOWING: POLE LINES AND INCIDENTAL PURPOSES RECORDED IN BOOK 028 PAGE 16 OF OFFICIAL RECORDS.
- 6 AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF PARCEL 2 AND PARCEL 3 FOR PUBLIC STREET AND HIGHWAY PURPOSES, TOGETHER WITH ALL RIGHT TO CONSTRUCT AND MAINTAIN UTILITIES, SEWER DRAINAGE AND OTHER IMPROVEMENTS CONSISTENT WITH THE USE AS A PUBLIC STREET AND HIGHWAY RECORDED IN BOOK 028 PAGE 16 OF OFFICIAL RECORDS.
- 7 THE TERMS, PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED APRIL 10, 2017 AS INSTRUMENT NO. 2017-01146 OF OFFICIAL RECORDS.

GENERAL INFORMATION

1. THOMAS BRON, MAP BOOK PAGE 607 GRID: 14, 16 & 18.
2. PARCEL 1 IS NOT WITHIN A SPECIAL ZONING PLAN.
3. PARCELS 2 AND 3 ARE WITHIN THE FERRIS UNION HIGH SCHOOL DISTRICT.
4. PROJECT IS WITHIN VALLEY AREA PLAN (VAP).
5. TOPOGRAPHY FROM ISLAND AERIAL SURVEYS, INC.
6. SETBACKS OF SLOPES TO PROPERTY LINES SHALL CONFORM TO COUNTY OF RIVERSIDE SPECIFIC TOPOGRAPHY ORDINANCE.
7. LAND IS NOT WITHIN A SPECIAL ZONING PLAN.
8. NO UNDESIRABLE USES OR UNDESIRABLE OCCUPANCIES ARE INTENDED.
9. EXISTING UTILITIES ON APN 390-000-081 ARE TO BE REMOVED.
10. SPECIAL ZONING AREA OF SPECIAL FLOOD HAZARD PER FEMA PANEL 17-0001-0001.
11. PROJECT IS WITHIN AIRPORT COMPATIBILITY ZONE E (MARCH AIR FORCE BASE). PROJECT IS WITHIN AIRPORT COMPATIBILITY ZONES A, B, C, D AND F.
12. APPROXIMATE DIFFERENCES BETWEEN GOETZ ROAD CENTERLINE AND APPROXIMATE CENTERLINE USED IN 19187 ARE SHOWN ALONG GOETZ ROAD.
13. CONSTRUCTION CENTERLINE USED IN 19187 ARE SHOWN ALONG GOETZ ROAD.

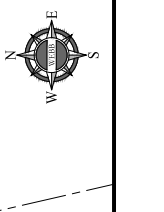
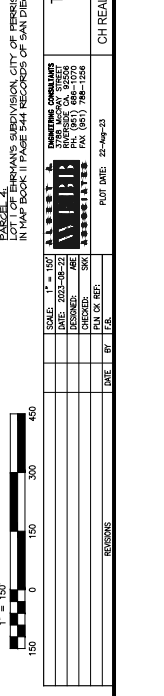
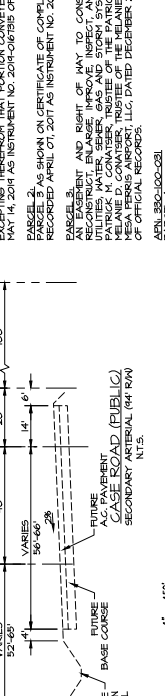
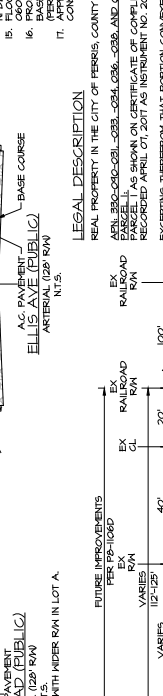
LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF FERRIS, COUNTY OF RIVERSIDE STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1, 5.80 AC, SHOWN ON CERTIFICATE OF COMPLIANCE, LOT LINE ADJUSTMENT NO. 16-05261, AS EVIDENCED BY DOCUMENT RECORDED APRIL 07, 2017 AS INSTRUMENT NO. 2017-040974 OF OFFICIAL RECORDS.

PARCELS 2 & 3, 22.26 AC, SHOWN ON CERTIFICATE OF COMPLIANCE, LOT LINE ADJUSTMENT NO. 16-05261, AS EVIDENCED BY DOCUMENT RECORDED APRIL 07, 2017 AS INSTRUMENT NO. 2017-040974 OF OFFICIAL RECORDS.

PARCEL 4, 5.80 AC, SHOWN ON CERTIFICATE OF COMPLIANCE, LOT LINE ADJUSTMENT NO. 16-05261, AS EVIDENCED BY DOCUMENT RECORDED APRIL 07, 2017 AS INSTRUMENT NO. 2017-040974 OF OFFICIAL RECORDS.



DATE	BY	REVISIONS

PRELIMINARY

APPROVED FOR THE CITY OF FERRIS, COUNTY OF RIVERSIDE STATE OF CALIFORNIA, AS PER MAP RECORDED IN MAP BOOK 11 PAGE 544 RECORDS OF SAN DIEGO COUNTY, CALIFORNIA.

APPROVED

APN 390-000-081
 15231 ALTON PARKWAY, SUITE 100
 RIVERSIDE, CA 92505
 CONTACT: MIKE MASTERS
 PHONE: (951) 688-1070
 FAX: (951) 688-1070

PLAT AREA: 22.49± AC

TENTATIVE PARCEL MAP NO. 38412

CITY OF PERRIS

CH REALTY I/M/C IRVINGSIDE PERRIS AIRPORT CENTER, L.P.

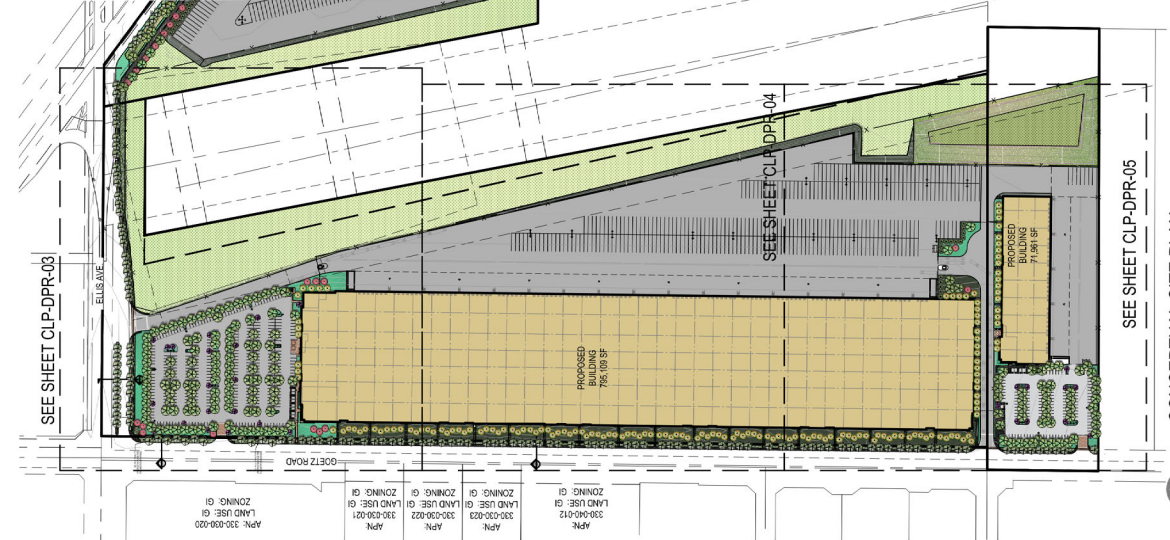
NO. 2021-0233
 SHEET 1
 OF 1 SHEETS
 DATE: 11/20/21

Exhibit F

Industrial Project Plans (Site Plan, Floor Plans, Conceptual Landscape Plan, and Building Elevations)

Due to the size of the document files, the documents are on file with the Planning Division and available on the City's website at:

[https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
402#docan1206_1313_479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-402#docan1206_1313_479)



LANDSCAPE AREA TABULATION - DPR

TOTAL NET SITE AREA	99.89 ACRES
BUILDING AREA	716,109 SF
BUILDING 1 (W/SHROES)	89,770 SF
BUILDING 2 (W/SHROES)	260,883 SF
BUILDING 3 (W/SHROES)	42,020 SF
TOTAL	392,673 SF

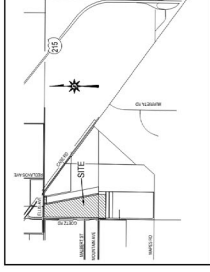
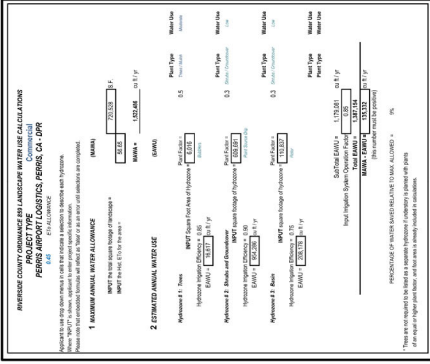
ON-SITE LANDSCAPE AREA REQUIRED: 280,883 SF
ON-SITE LANDSCAPE AREA PROVIDED: 42,020 SF

ASBESTOS REMEDIATION: 100 SF
BUILDING 1: 89,770 SF
BUILDING 2: 260,883 SF
BUILDING 3: 42,020 SF
TOTAL: 392,673 SF

PARKING LOT TREE SIZE TABULATION:
 3" BOX TREES = 100 TREES

LANDSCAPE SHRUBS/GROUND-COVER PLANT MATERIAL SIZE TABULATION

REQUIRED	5 GALLON (80%) / 1 GALLON (20%)
PROVIDED	5 GALLON (80%) / 1 GALLON (20%)
SHRUB AND GROUND COVER	89,770 SF @ 5 GAL (80%) / 1 GAL (20%)
STREETSCAPE PLANTING	42,020 SF @ 5 GAL (80%) / 1 GAL (20%)
TOTAL	131,790 SF @ 5 GAL (80%) / 1 GAL (20%)



VICINITY MAP

ENGINEER/LANDSCAPE ARCHITECT:
 PERISS LANDSCAPE ARCHITECTS
 1000 LONDON DRIVE, SUITE 207
 RIVERSIDE, CA 92506
 CONTACT: MICHAEL WATSON
 PHONE: (951) 898-1070

SOLS ENGINEER:
 SOLS ENGINEERING
 1321 ALTON PARKWAY, SUITE 200
 YORBA LINDA, CA 92887
 PHONE: (714) 685-1113
 FAX: (714) 685-1118

ASSESSOR'S PARCEL NUMBER:
 330-100-021, 330-100-022, 330-100-023
 330-100-024, 330-100-025, 330-100-026
 330-100-027, 330-100-028, 330-100-029
 330-100-030

ACREAGE:
 1.4 AC
 1.9 AC
 2.4 AC
 2.9 AC
 3.4 AC
 3.9 AC
 4.4 AC

PROPERTY DESCRIPTION:
 THIS PROPERTY IS DESCRIBED IN THE
 FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY REPORT NO. WCS-109672-50, DATED
 AS OF JUNE 22, 2021, UPDATED AND AMENDED JUL 16, 2021.

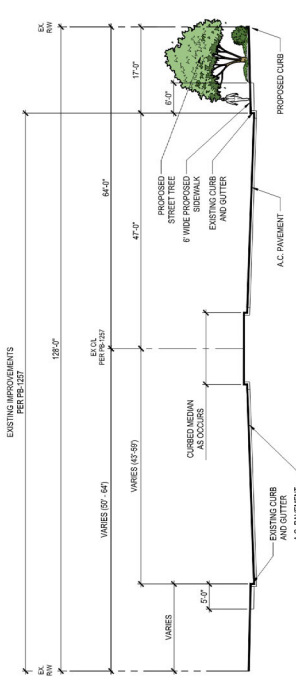
PROJECT DESCRIPTION:
 EXISTING IMPROVEMENTS: 1.5 AC
 EXISTING IMPROVEMENTS: 1.5 AC

PROJECT DESCRIPTION:
 EXISTING IMPROVEMENTS: 1.5 AC
 EXISTING IMPROVEMENTS: 1.5 AC

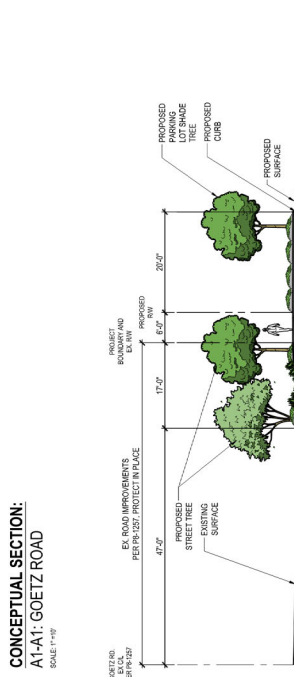
PROJECT DESCRIPTION:
 EXISTING IMPROVEMENTS: 1.5 AC
 EXISTING IMPROVEMENTS: 1.5 AC

PROJECT DESCRIPTION:
 EXISTING IMPROVEMENTS: 1.5 AC
 EXISTING IMPROVEMENTS: 1.5 AC

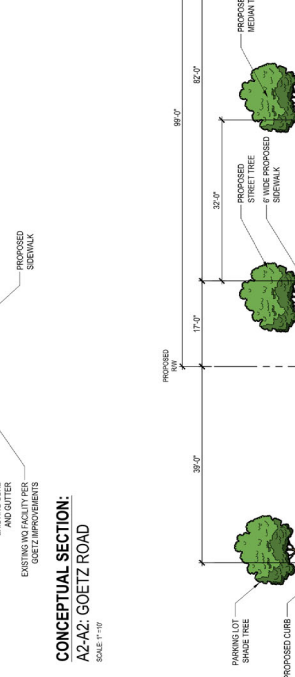
PROJECT DESCRIPTION:
 EXISTING IMPROVEMENTS: 1.5 AC
 EXISTING IMPROVEMENTS: 1.5 AC



CONCEPTUAL SECTION:
 A1-A1: GOETZ ROAD
 SCALE 1"=10'



CONCEPTUAL SECTION:
 A2-A2: GOETZ ROAD
 SCALE 1"=10'



CONCEPTUAL SECTION:
 C-C: ELLIS AVE
 SCALE 1"=10'

PERISS LANDSCAPE ARCHITECTS

PROJECT NUMBER: 2021-02335

DATE PREPARED/MODIFIED:

21-02335 PERRIS AIRPORT DPR CLP

SHEET 1 OF 5

ALBERT A. WATSON & ASSOCIATES

ENGINEERING CONSULTANTS

3785 MCCRAY STREET
 RIVERSIDE, CA 92506
 PH: (951) 686-1070
 FAX: (951) 788-1256

GENERAL NOTE:
 ALL EXPOSED LANDSCAPE AREAS, EXCLUDING BASIN SLOPES, ARE TO BE COVERED WITH 3 LAYERS OF WOOD MULCH AFTER ALL PLANTING AND INSTALLATION OF PLANTING AREAS THAT CONTAIN HYDRO-SOIL MIX.

GENERAL NOTE:
 UPON APPROVAL OF THIS CONCEPTUAL LANDSCAPE PLAN, FINAL APPROVAL OF THE CITY OF PERRIS IS REQUIRED. ALL LANDSCAPE AREAS RESPECTIVELY AS SHOWN ON THIS PLAN ARE SUBJECT TO CHANGE BASED ON FINAL NORTH ENTRY CONDITIONS.

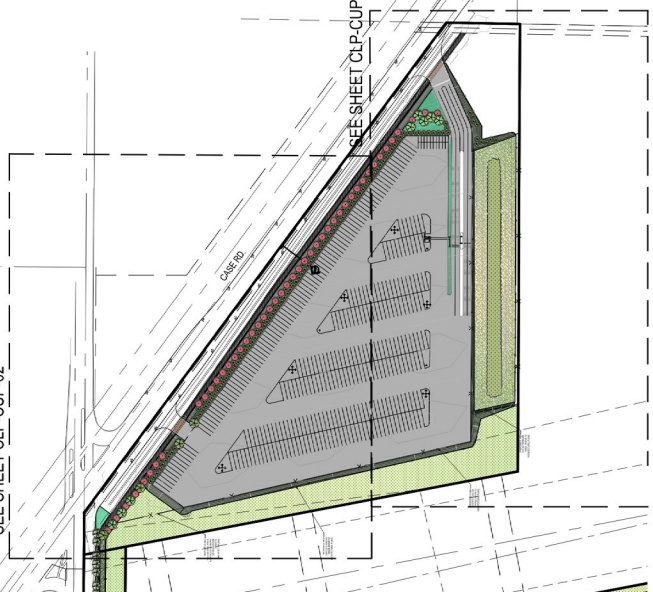
Exhibit G

Truck and Trailer Storage Facility (Site Plan
and Conceptual Landscape Plan)

*Due to the size of the document files, the
documents are on file with the Planning
Division and available on the City's website
at:*

[https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
402#docan1206 1313 479](https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
402#docan1206_1313_479)

SEE SHEET CLP-CUP-02



CONCEPTUAL SITE PLAN
SCALE: 1"=150'

NOTES:
1. ALL EXPOSED LANDSCAPE AREAS (INCLUDING BASIN SLOPES) ARE TO BE COVERED WITH 3" LAYER OF WOOD MULCH AFTER ALL PLANTING AND FINISHING IS COMPLETE. MULCH IS TO BE REPLACED AS NECESSARY.
2. MULCH IS TO BE INSTALLED ON PLANTING AREAS THAT CONTAIN HYDROSEED MIX.

GENERAL NOTE:
1. UPON APPROVAL OF THIS CONCEPTUAL LANDSCAPE PLAN, FINAL PLANTING AND FINISHING SHALL BE COMPLETED WITHIN 90 DAYS OF THE DATE OF APPROVAL. PERMITS SHALL BE OBTAINED AS NECESSARY. PERMITS SUBJECT TO CHANGE BASED ON FINAL NORTH ENTRY CONDITIONS.

ALBERT A. WBBB ASSOCIATES
ENGINEERING CONSULTANTS
3785 MCCRAY STREET
PERRIS, CA 92571
PH: (951) 686-1070
FAX: (951) 789-1256

LANDSCAPE AREA TABULATION - CUP

ACREAGE	22.86 ACRES
TOTAL NET SITE AREA	150.00 SF
BUILDING AREA	100.00 SF
LANDSCAPE AREA	50.00 SF
TOTAL	150.00 SF
ON-SITE LANDSCAPE AREA REQUIRED:	140.28 SF
ON-SITE LANDSCAPE AREA PROVIDED:	37,206 SF
OFF-SITE LANDSCAPE AREA PROVIDED:	1,234 SF

PARKING LOT TREE TABULATION

TRUCK OR PARKING	20 STALLS
ACCESSIBLE STALLS PROVIDED:	1 STALL
TREES REQUIRED @ 1 TREE PER STALL = 10 TREES	TREES PROVIDED = 10 TREES

HYDROLOGICAL CALCULATIONS

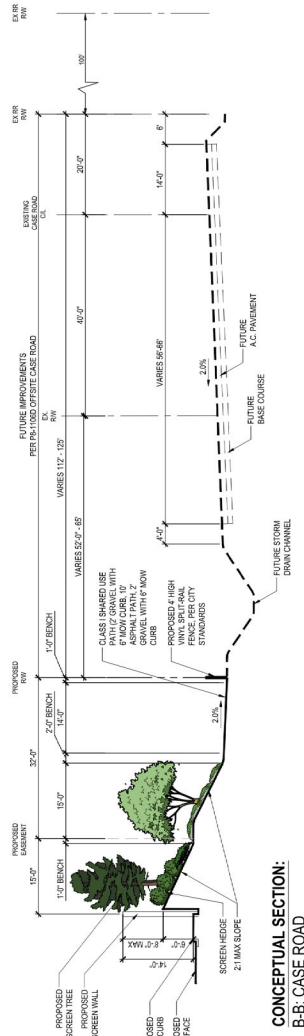
PERMISSIBLE CONCENTRATIONS FOR LANDSCAPE RUNOFF (CALIFORNIA STATE WATER CONTROL BOARD)

PROJECT TYPE: PERRIS AIRPORT LOGISTICS CENTER, CALIFORNIA

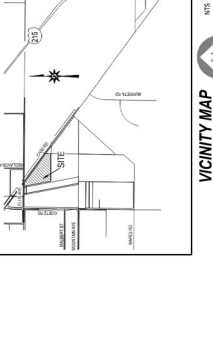
Hydrograph 1.1 - Storm	Hydrograph 1.2 - Storm	Hydrograph 1.3 - Storm	Hydrograph 1.4 - Storm	Hydrograph 1.5 - Storm
Flow (cfs)	Flow (cfs)	Flow (cfs)	Flow (cfs)	Flow (cfs)
Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)
Time to Peak (min)	Time to Peak (min)	Time to Peak (min)	Time to Peak (min)	Time to Peak (min)
Base Flow (cfs)	Base Flow (cfs)	Base Flow (cfs)	Base Flow (cfs)	Base Flow (cfs)
Peak Time (min)	Peak Time (min)	Peak Time (min)	Peak Time (min)	Peak Time (min)
Time to Base (min)	Time to Base (min)	Time to Base (min)	Time to Base (min)	Time to Base (min)
Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)
Time to Base (min)	Time to Base (min)	Time to Base (min)	Time to Base (min)	Time to Base (min)

LANDSCAPE SUBSTRATE/UNDERCOVER PLANT MATERIAL SIZE TABULATION

REQUIRED	6 GALLON (60%) / 1 GALLON (20%)
PERMITTED	1 GALLON (20%) / 0.5 GALLON (5%)
SHRUBS: 6" - 12" CALIBER	6" - 12" CALIBER
BASIN SLOPES: 6" - 12" CALIBER	6" - 12" CALIBER
HYDROSEED: 6" - 12" CALIBER	6" - 12" CALIBER
TOTAL:	252,528 SF @ 6" CALIBER
	52,528 SF @ 12" CALIBER
	28,745 SF @ 1" CALIBER
	28,745 SF - TOTAL



CONCEPTUAL SECTION:
B-R: CASE ROAD
SCALE: 1"=2'



VICINITY MAP

OWNER/APPLICANT:
PERISS LOGISTICS
10000 LINDEN DRIVE, SUITE 207
PERRIS, CA 92571
CONTACT: MICHAEL WATSON
PHONE: (951) 295-6549

ENGINEER/LANDSCAPE ARCHITECT:
ALBERT A. WBBB ASSOCIATES
3785 MCCRAY STREET
PERRIS, CA 92571
CONTACT: MICHAEL WATSON
PHONE: (951) 686-1070

ARCHITECT:
CONCEPTUAL DESIGN, INC.
1321 ALTON PARKWAY, SUITE 100
YORBA LINDA, CA 92687
PHONE: (949) 341-0200

ASSESSOR'S PARCEL NUMBER:
330-090-034

SURVEYOR:
MORTENSON SURVEYING AND MAPPING, INC.
15051 182ND STREET
DUBLIN, CA 94568

ACREAGE:
RW RELOCATION AREAS: 0.2 AC
PERRIS AIRPORT CASE ROAD: 2.2 AC
TOTAL: 2.4 AC
GROSS SITE AREA: 25.4 AC

PROPERTY DESCRIPTION:
THIS PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME PROPERTY AS DESCRIBED IN THE SURVEY MAP OF THE PERRIS AIRPORT CASE ROAD, FILED IN THE OFFICE OF THE COUNTY CLERK OF THE COUNTY OF RIVERSIDE, CALIFORNIA, ON JUNE 22, 2011, AND AMENDED JULY 8, 2021.

REAL PROPERTY IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
SECTION 15, T4N, R4E, S4E, 2011 AS INSTRUMENT NO. 2011-04-0007-02

PARCEL 2:
SECTION 15, T4N, R4E, S4E, 2011 AS INSTRUMENT NO. 2011-04-0007-02

PARCEL 3:
SECTION 15, T4N, R4E, S4E, 2011 AS INSTRUMENT NO. 2011-04-0007-02

PROJECT DESCRIPTION:
EXISTING PROPOSED GREEN PLAINLAND USE (LIGHT INDUSTRIAL (LI))
EXISTING PROPOSED DRAINAGE (LIGHT INDUSTRIAL (LI))

BENEFIT ZONE QUANTITIES (OFF-SITE):
SHRUB AND GROUND COVER = 1,234 SF
PERMITTED MULCH = 0 SF
HYDROSEED = 0 SF (IMPORTED CORBLE)
HYDROSEED = 0 SF (FINANCED PAVING)

ASSESSMENT AND REPORT OF WAY TO CONSTRUCT:
USE: MAINTAIN, OPERATE, AND REPAIR. ADD TO, REPAIR, REPLACE, RECONSTRUCT, ENLARGE, IMPROVE, INSPECT, AND REMOVE. AND RELOCATE UNDERGROUND UTILITIES AND FACILITIES. WATER, SEWER, GAS, AND TELEPHONE LINES SHALL BE MAINTAINED AND PROTECTED. SET POINTS SHALL BE MAINTAINED AND PROTECTED. ALL UTILITIES SHALL BE MAINTAINED AND PROTECTED. THE PUBLIC WORKS DEPARTMENT HAS REVIEWED THIS PLAN AND HAS DATED THIS REPORT AS OF JUNE 22, 2021, UPDATED AND AMENDED JULY 8, 2021.


ASSESSMENT AND REPORT OF WAY TO CONSTRUCT:
USE: MAINTAIN, OPERATE, AND REPAIR. ADD TO, REPAIR, REPLACE, RECONSTRUCT, ENLARGE, IMPROVE, INSPECT, AND REMOVE. AND RELOCATE UNDERGROUND UTILITIES AND FACILITIES. WATER, SEWER, GAS, AND TELEPHONE LINES SHALL BE MAINTAINED AND PROTECTED. SET POINTS SHALL BE MAINTAINED AND PROTECTED. ALL UTILITIES SHALL BE MAINTAINED AND PROTECTED. THE PUBLIC WORKS DEPARTMENT HAS REVIEWED THIS PLAN AND HAS DATED THIS REPORT AS OF JUNE 22, 2021, UPDATED AND AMENDED JULY 8, 2021.











CLP-CUP-01

PERRIS AIRPORT CONCEPTUAL LANDSCAPE PLAN - CUP

CONCEPT PLANT SCHEDULE CUP

	12	BARNSI LOT BLAKE TREE PITALANUS X ACERIFOLIA BLOODGOOD / BLOODGOOD LONDON-PLANE TREE
	2	SHRUB TREES CHALCIS LILACUS / DESERT WILLOW LOPSTEMMUM CONFERTUS / RIBESMAEBOX LAPORTEA GIBBERNA / BLOODGOOD / BLOODGOOD LONDON-PLANE TREE OEBOLUS LEZY / HOLLY OAK TABERNAEMONTANA / PINK LIPACHO
	46	ACCENT TREES SERRANUS / EASTERN REDBUD CERIS OCCIDENTALIS / WESTERN REDBUD X CHITULA / FASHIENENSIS / CHITULA
	141	SCREENING TREES ARBUZUS X MARANN / MARINA STRAWBERRY TREE MULTI-TRUNK HETEROMELES ARBUTIFOLIA / TOYON
	26.95 SF	SHRUBS AND GROUNDCOVER ARCTOSTAPHYLOS THICKER / MONTEREY CARPET THICKER / MANZANITA LANTANA / NEW DOLY / NEW GOLD LANTANA HEPACALIX / PINK BLOSSOM ROSEMARYS OFFICINALIS / DWARF ROSEMARY SALVA GRECCI / TURMANS REED / TURMANS REED AUTUMN USE WESTRINGIA FRUTICOSA / MARS FICHERY / MARS FICHERY WESTRINGIA
	68.66 SF	BASIS SLOPES BACCHARIS PILLULARIS / PROTON POINT / PROTON POINT COYOTE BRUSH HETEROMELES ARBUTIFOLIA / TOYON LEPISODERMIS / GREAT BASIN WILDBLUE MULLENBURGA CAPILLARIS / PINK MULLY GRASS
	1.28 SF	STREETSCAPE SHRUB PLANTING DARTLEDON WHEELERT / GREY / DESERT SPOON LANTANA / NEW DOLY / NEW GOLD LANTANA ROSEMARYS OFFICINALIS / HUNTINGTON CARPET / HUNTINGTON CARPET ROSEMARY WESTRINGIA FRUTICOSA / MARS THICKER / MARS THICKER WESTRINGIA
	84.03 SF	SLOPES BACCHARIS PILLULARIS / PROTON POINT / PROTON POINT COYOTE BRUSH MULLENBURGA CAPILLARIS / PINK CLOUD / PINK CLOUD / PINK MULLY GRASS ROSEMARYS OFFICINALIS / PROSTRATUS / DWARF ROSEMARY
	126.86 SF	BRUSH PLANTING ARTLEMIS PULCHERRIMA / BEACH SAGEWORT GOMPHENA CAESPIOSA / TUFTED EVENING PRIMROSE TRACHELOSPERMA / ASHWOODS / CONFEDERATE / JASMINE ZANUSCHNERIA CALIFORNICA / CATALINA / CALIFORNIA FUCHSIA
	26.28 SF	WATERSCREENS SEED MIX TO INCLUDE LOW WATER USE, GRASSES TO BE NO TALLER THAN 36" HIGH

REFERENCE NOTES SCHEDULE CUP

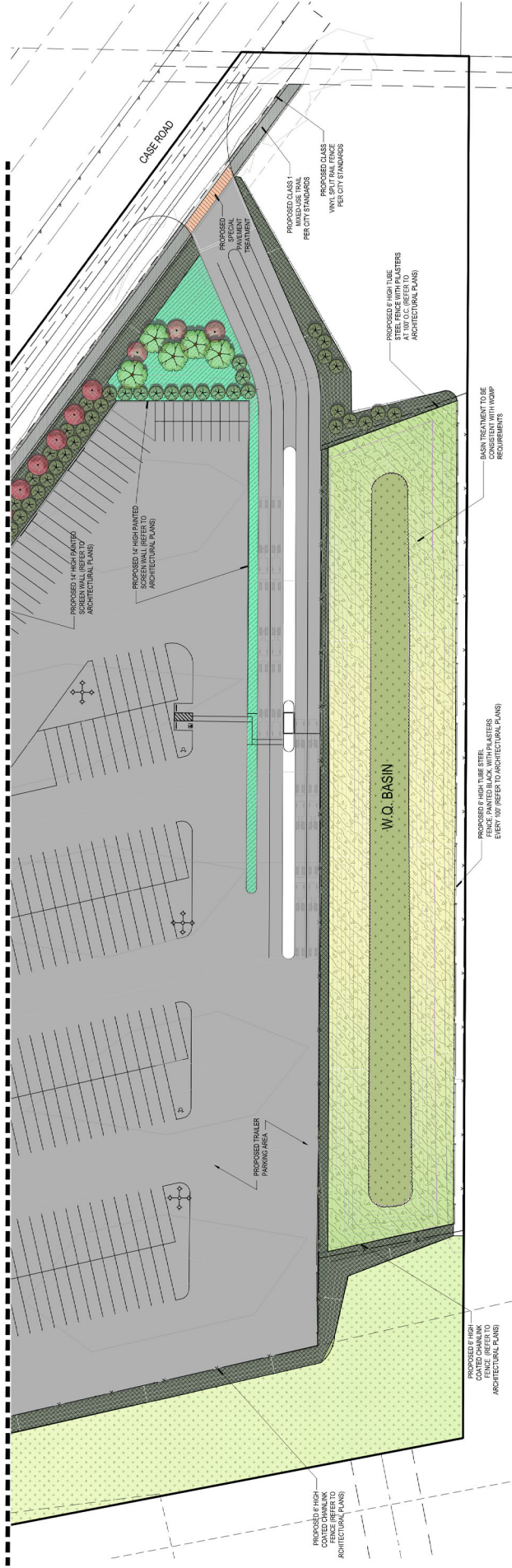
SYMBOL	DESCRIPTION	QTY
	ASPHALT PAVING	11,788 SF
	ASPHALT	
	CONCRETE PAVING	1,298 SF
	COLOR D CONCRETE	
	UNIT PAVING	
	CONCRETE	448 SF
	ASBESTOS SURFACE	
	DECOMPOSED GRANITE	7,748 SF



CLP-CUP-02



MATCHLINE - SEE SHEET CLP-CUP-02

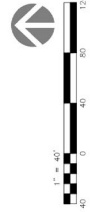


CONCEPT PLANT SCHEDULE CUP

SYMBOL	PLANTING DESCRIPTION	QTY	AREA (SF)
	BANKS LANE TREES FLORIDA CHENSIS / CHENSIS PISTACHE FLORIDA X ABERCROMBIA BLOODWOOD / BLOODWOOD LONDON PLANE TREE	12	1,294 SF
	STREET TREES LUPHASTEMBA DESERT WILLOW LUPHASTEMBA CONIFERUS / BRISBANE BOX CLEOMEA LEXA / HOLLY CACTUS TABERBERGIA MELLANDEAE / PINK LAPPACHO	2	84,000 SF
	ACCENT TREES CERES OCCIDENTALS / WESTERN REDBUD X CHITALPA TASHIGENTENSIS / CHITALPA	48	120,840 SF
	SUPPORTING TREES ARBUCLUS X MARINA / MARINA STRAWBERRY TREE MULTI TRUNK HETTEROLEIA ARBUPTOLIA / TOYON	141	26,138 SF
	SHRUBS AND GROUNDCOVER ARIZONIA POLYLOS / HOOKER / MONTEREY CARPET / MONTEREY CARPET HOOKERS MANZANITA HEPTAPETALAE ANABOS CALA / RED WOODS LANTANA X NEW GOLD / NEW GOLD LANTANA ROSMARINUS OFFICINALIS / PROSTRATUS / DWARF ROSEMARY SALVIA GREGOR FURMANI REY / FURMANI RED AUTUMN SAGE WESTRINGIA FRUTICOSA / MRS WOODLEY / MRS WOODLEY WESTRINGIA	20,518	68,861 SF
	BASINS / GRES BACCHARIS FILLIARIS / FRIEDEN POINT / FRIEDEN POINT COYOTE BRUSH LANTANA X NEW GOLD / NEW GOLD LANTANA METROSTYLIS ARBUTIFOLIA / TOYON LETMUS CHEIFELIS / GREAT BASIN WALWORTHY MULLENBERGIA CAPILLARIS / PINK WAXY GRASS	68,861	26,138 SF

REFERENCE NOTES SCHEDULE CUP

SYMBOL	DESCRIPTION	QTY
	ASPHALT	17,199 SF
	CONCRETE PAVING	1,208 SF
	COLORS CONCRETE	448 SF
	UNIT PAVING	7,184 SF
	AGGREGATE SURFACE	7,184 SF
	DECOMPOSED GRANITE	7,184 SF



CLP-CUP-03

1/20/21 12:12:12-10235 PERMANENT PLAN SHEETS 12-10235 CLP-DWG 8/25/2021 10:22 12:03 PM NICK...

Exhibit H

Initial Study -

Due to the size of the document files, the documents are on file with the Planning Division and available on the City's website at:

[https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
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