

PVCCSP Development Standards for LI	Required	Provided
Minimum Lot Size	15,000 SF	1,109,742 SF
Lot Coverage by Structure	50 % Max	45.84%
Floor Area Ratio (FAR)	0.75 Max	46.29%
Structure Height	50' Max	
Front Setback - Local/Collector	20'	166'-0"
Side Setback - Local/Collector	20'	205'-0"
Rear Setback - Local/Collector	30'	66'-5"
Perimeter Landscape (PMC 19.02 and 19.44.060)	5'	6' Min.
Entries, Parking, Loading	Required	NW & SW corner
Site Landscape Coverage	12%	12.06%

**SITE LEGEND:**

- ON-SITE LANDSCAPED AREA
- OFF-SITE LANDSCAPED AREA
- DECORATIVE AUTO / TRUCK DRIVEWAYS
- SITE PROPERTY LINES
- CITY CURB AND GUTTER LINES
- STREET CENTERLINES
- ON-SITE CURB LINES
- ON-SITE PARKING AND TRAILER STRIPPING

**PROJECT DATA**

SITE AREA:  
GROSS SITE AREA: 00 SF / 00 AC  
CHANNEL DEDICATION: 28,428 SF / 0.65 AC  
STREET DEDICATION: 00 SF / 00 AC  
NET SITE AREA: 1,109,742 SF / 25.47 AC

BUILDING AREA:  
FOOTPRINT: 508,776 SF  
FIRE PUMP HOUSE: 00 SF  
MEZZANINE: 5,000 SF  
GUARD HOUSE: 00 SF  
TOTAL: 513,776 SF

TOTAL INCLUDED PLANNED OFFICE AREA: 10,000 SF

LOT COVERAGE: (50% MAX): 45.84 %  
FAR COVERAGE: 46.29 %

**AUTO PARKING PROVIDED:**

ACCESSIBLE STALLS: 8 STALLS  
STANDARD STALLS: 171 STALLS  
FUTURE STALLS: 00 STALLS  
TOTAL PROVIDED: 179 STALLS

REQUIRED BICYCLE PARKING (5% OF REQUIRED AUTO PARKING): 7 BIKE LOCATIONS

TRUCK DOCK POSITIONS: 96 DOCKS

GRADE DOORS PROVIDED: 3 DOOR

LANDSCAPE AREA PROVIDED ON DEVELOPED SITE: 133,896 SF / 12.06 %

**ASSESSOR'S PARCEL NUMBERS**  
300-170-003, 004, 005, 006, 011, 012, 013, 014, 015, 016, 017

**APPLICATION TYPE**  
DEVELOPMENT PLAN REVIEW 00-00-0000  
ZONING: LIGHT INDUSTRIAL - PVCC; SP - PERRIS VALLEY COMMERCE CENTER  
PERMITTED LAND USE: WAREHOUSE, OFFICE AS PERMITTED

**PROJECT DESCRIPTION**  
NEW INDUSTRIAL WAREHOUSE BUILDING WITH AUTO AND TRAILER PARKING AREAS, PROVIDING FUTURE GUARD SHACK LOCATION ON BOTH TRUCK COURT ENTRIES.

**LAND OWNER**  
LAKE CREEK INDUSTRIAL LLC  
1302 BRITANNY CROSS ROAD  
SANTA ANA, CA 92705

**APPLICANT**  
LAKE CREEK INDUSTRIAL LLC  
1302 BRITANNY CROSS ROAD  
SANTA ANA, CA 92705  
786-200-9681 CONTACT: MICHAEL JOHNSON

**PLAN PREPARER**  
RGA, OFFICE OF ARCHITECTURAL DESIGN, INC.  
15231 ALTON PARKWAY, SUITE 100  
IRVINE, CA 92618  
CONTACT: MIKE GILL

**UTILITIES & SERVICES**  
SEE CIVIL DRAWINGS

**LEGAL DESCRIPTION**  
THE LAND REFERRED TO HEREIN IS SITUATED IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
AS SHOWN BY PARCEL MAP NO. 31743, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 210 PAGE 43 and 44 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY

**KEYNOTES**

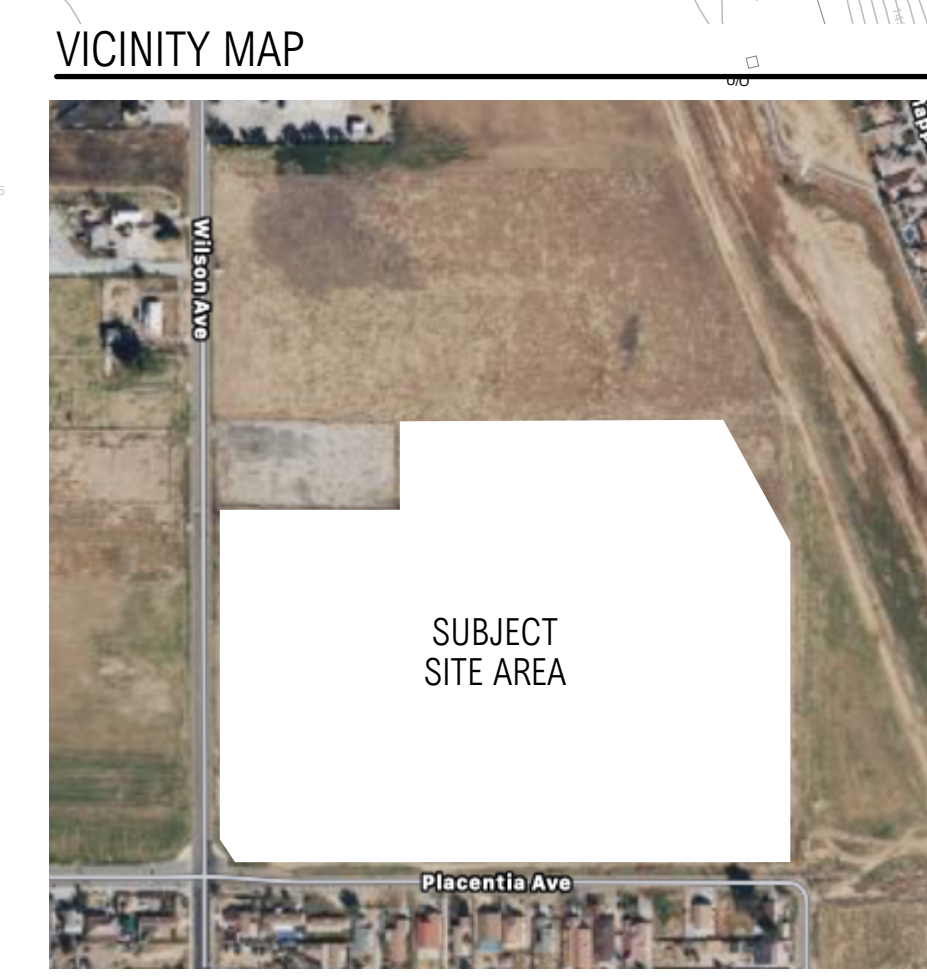
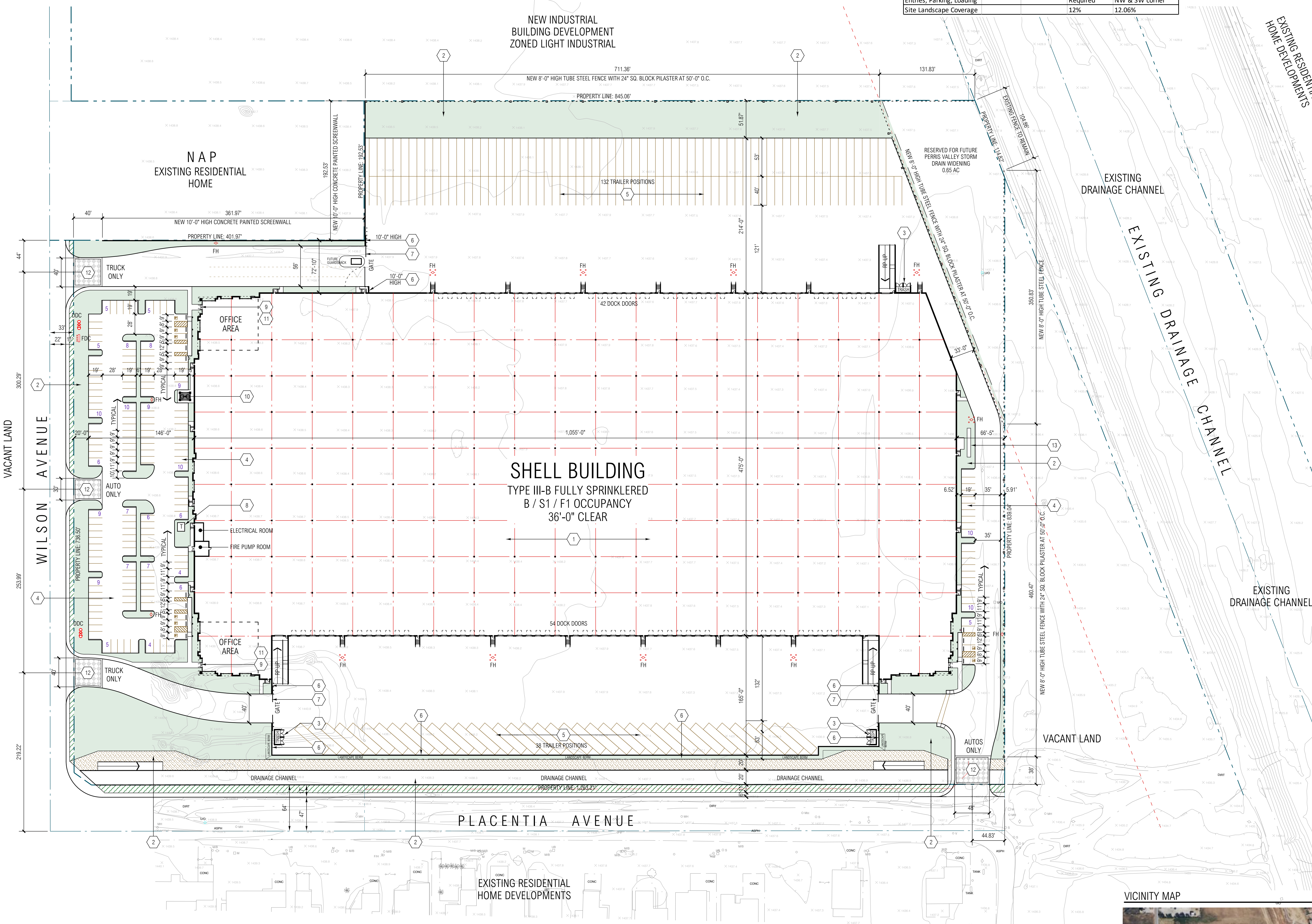
- PAINTED CONCRETE TILT-UP WAREHOUSE / OFFICE / MANUFACTURING FACILITY.
- SHADED AREA: PROPOSED IRRIGATED LANDSCAPING PER CC&R GUIDELINES WITH MIN 6" CONCRETE CURBS AT ALL PERIMETERS.
- PAINTED CONCRETE TRASH ENCLOSURE. SCREEN WALLS SHALL BE MIN. 6'-0" HIGH WITH CANOPY TOP. SEE SHEET A2-1P FOR ELEVATIONS AND SECTIONS
- TYPICAL STANDARD PARKING STALL MIN. 9' X 19' - STRIPE PER CITY STANDARDS.
- TRUCK TRAILER PARKING
- NEW 14'-0" CONCRETE TILT-UP SCREEN WALLS AT TRUCK YARD. SEE PLAN FOR MINIMUM HEIGHTS AS MEASURED FROM INSIDE THE TRUCK YARD.
- ROLLING 8'-0" HIGH WROUGHT IRON FENCE INTO THE TRUCK COURT.
- TRANSFORMER PAD LOCATION.
- ACCESSIBLE PRIMARY ENTRANCE TO THE BUILDING WITH BIKE RACKS.
- CONCRETE COVERED LUNCH PATIO WITH LANDSCAPE FURNITURE. SEE SHEET A3-1P
- CALGREEN REQUIRED BIKE RACKS. SEE TABULATIONS FOR NUMBER OF BIKE RACKS
- DECORATIVE PAVING AT ENTRY DRIVEWAY.
- EXTERIOR BOUCE COURT. SEE LANDSCAPE PLANS

**GENERAL NOTES**

- THE PROPOSED PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE COUNTY RIVERSIDE, CITY OF PERRIS PLANNING PLAN
- A LANDSCAPING PLAN SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS AND SHALL BE IMPLEMENTED PRIOR TO OCCUPANCY.
- THE PROJECT DOES NOT PROPOSE ANY TENANT SIGNAGE AT THIS TIME.
- THERE ARE NO PROTECTED PLANTS ON SITE.
- ALL ROOF DRAINS AT STREET FRONTAGES SHALL BE IN THE INTERIOR OF THE BUILDING ENVELOPE.
- ALL LANDSCAPE SHALL BE BOUND BY A 6" HIGH CONCRETE CURB.
- A LIGHT PLAN SHALL BE SUBMITTED SHOWING CONFORMANCE WITH MINIMUM FOOTCANDLE LEVELS AND MARCH AIR BASE STANDARDS. FIXTURES SHALL BE SHIELDED HIGH PRESSURE SODIUM.
- A SIGN PROGRAM SHALL BE DEVELOPED IN ACCORDANCE WITH MUNICIPAL CODE 19.75.190 FOR APPROVAL BY THE PLANNING DIVISION. THE SIGN PROGRAM SHALL BE INCLUDED AS PART OF THE CC&R'S.
- FUTURE TENANT OFFICE BUILD-OUTS TO INCLUDE INDOOR EMPLOYEE AMENITY AREAS PER CITY GUIDELINES.
- PROJECT WILL BE DESIGNED WITH LEED IN MIND, BUT WILL NOT REQUIRED CERTIFICATION.

**SUBSTAINABILITY FEATURES**

- PROVIDE LIGHT COLORED ROOFING OVER THE OFFICE AREAS.
- BUILDING WILL BE DESIGN TO ACHIEVE LEED POTENTIAL CERTIFICATION.
- PROVIDE UP TO (2) ELECTRIC VEHICLE CHARGING FACILITIES
- PROVIDE "TURN-ON ENGINE" SIGNS WITHIN THE TRUCK COURT.
- FORKLIFTS WITHIN THE BUILDING SHALL BE ELECTRIC OR COMPRESSED NATURAL GAS-POWERED.



**SITE PLAN**  
SCALE: 1" = 80'-0"

CONSULTANT

PROFESSIONAL SEALS

PLACENTIA AVENUE DEVELOPMENT  
0000 PLACENTIA AVENUE  
CITY OF PERRIS, CA

LAKE CREEK INDUSTRIAL LLC  
1302 BRITANNY CROSS ROAD  
SANTA ANA, CA 92705  
OWNER PHONE: 786-200-9681  
OWNER: MICHAEL JOHNSON  
EMAIL: mj@lakecreekindustrial.com

CD	BID	PC	DD	SD	MARK	DATE	DESCRIPTION
				9/15/21			SCHEMATIC DESIGN

RG	PROJECT NO:	21011.00
OW	OWNER PROJECT NO:	00000.00
CA	CAD FILE NAME:	21011-00-A1-1P
DR	DRAWN BY:	MG
CK	CHKD BY:	CS
CP	COPYRIGHT:	RG, OFFICE OF ARCHITECTURAL DESIGN
SH	SHEET TITLE:	SITE PLAN

**SITE LEGEND:**

- ON-SITE LANDSCAPED AREA
- OFF-SITE LANDSCAPED AREA
- DECORATIVE AUTO / TRUCK DRIVEWAYS
- SITE PROPERTY LINES
- CITY CURB AND GUTTER LINES
- STREET CENTERLINES
- ON-SITE CURB LINES
- ON-SITE PARKING AND TRAILER STRIPPING

**PROJECT DATA**

<b>SITE AREA:</b>	
GROSS SITE AREA:	00 SF / 00 AC
CHANNEL DEDICATION:	28,428 SF / 0.65 AC
STREET DEDICATION:	00 SF / 00 AC
NET SITE AREA:	1,109,742 SF / 25.47 AC
<b>BUILDING AREA:</b>	
FOOTPRINT:	508,776 SF
FIRE PUMP HOUSE:	00 SF
MEZZANINE:	5,000 SF
GUARD HOUSE:	00 SF
TOTAL:	513,776 SF
TOTAL INCLUDED PLANNED OFFICE AREA:	10,000 SF
LOT COVERAGE: (50% MAX):	45.84 %
FAR COVERAGE:	46.29 %

<b>AUTO PARKING REQUIRED: (HIGH CUBE PARKING STANDARDS)</b>	
10,000 OFFICE PARKING (LESS THAN 10%):	00 STALLS
WAREHOUSE:	00 STALLS
0-20,000 SF (1/1000 SF):	20 STALLS
20K - 40K (1/2000 SF):	10 STALLS
ABOVE 40K (1/5000 SF):	95 STALLS
TOTAL:	125 STALLS
<b>AUTO PARKING PROVIDED:</b>	
ACCESSIBLE STALLS:	8 STALLS
STANDARD STALLS:	171 STALLS
FUTURE STALLS:	00 STALLS
TOTAL PROVIDED:	179 STALLS

<b>REQUIRED BICYCLE PARKING (5% OF REQUIRED AUTO PARKING):</b>	
	7 BIKE LOCATIONS
<b>TRUCK DOCK POSITIONS:</b>	
	96 DOCKS
<b>GRADE DOORS PROVIDED:</b>	
	3 DOOR
<b>LANDSCAPE AREA PROVIDED ON DEVELOPED SITE:</b>	
	133,896 SF / 12.06 %

**ASSESSOR'S PARCEL NUMBERS**

300-170-003, 004, 005, 006, 011, 012, 013, 014, 015, 016, 017

**APPLICATION TYPE**

DEVELOPMENT PLAN REVIEW 00-00-0000  
ZONING: LIGHT INDUSTRIAL - PUCD SP - PERRIS VALLEY COMMERCE CENTER  
PERMITTED LAND USE: WAREHOUSE, OFFICE AS PERMITTED

**PROJECT DESCRIPTION**

NEW INDUSTRIAL WAREHOUSE BUILDING WITH AUTO AND TRAILER PARKING AREAS, PROVIDING FUTURE GUARD SHACK LOCATION ON BOTH TRUCK COURT ENTRIES.

**LAND OWNER**

LAKE CREEK INDUSTRIAL LLC  
1302 BRITANNY CROSS ROAD  
SANTA ANA, CA 92705

**APPLICANT**

LAKE CREEK INDUSTRIAL LLC  
1302 BRITANNY CROSS ROAD  
SANTA ANA, CA 92705  
786-200-9681 CONTACT: MICHAEL JOHNSON

**PLAN PREPARER**

RG, OFFICE OF ARCHITECTURAL DESIGN, INC.  
15231 ALTON PARKWAY, SUITE 100  
IRVINE, CA 92618  
CONTACT: MIKE GILL

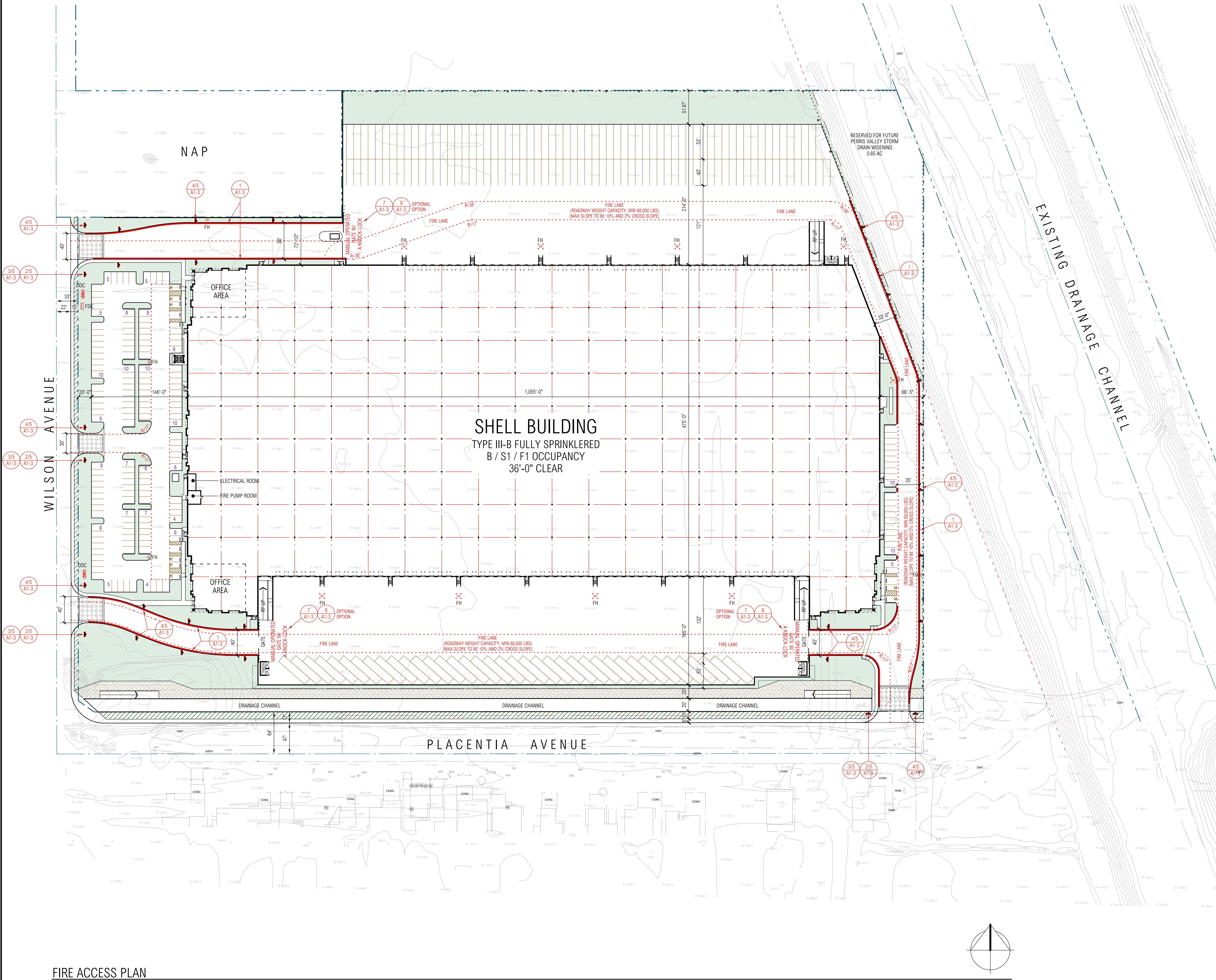
**UTILITIES & SERVICES**

SEE CIVIL DRAWINGS

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN IS SITUATED IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
AS SHOWN BY PARCEL MAP NO. 31743, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 210 PAGE 43 and 44 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY

**VICINITY MAP**



**FIRE ACCESS PLAN**  
SCALE: 1" = 60'-0"

CD		
BID		
FC		
DD		
SD	9/15/21	SCHEMATIC DESIGN
MARK	DATE	DESCRIPTION

RG PROJECT NO:	21011.00
OWNER PROJECT NO:	00000.00
CAD FILE NAME:	21011-00-A1-2P
DRAWN BY:	MG
CHK'D BY:	CS
COPYRIGHT:	RG, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE	
FIRE ACCESS PLAN	

**ATTACHMENT 1**  
**Perris Fire Department Access & Water Plan Notes**  
All of the notes listed in the INSPECTION REQUIREMENTS and GENERAL REQUIREMENTS sections shall be placed, verbatim, on the plan under the heading "FIRE DEPARTMENT ACCESS & WATER NOTES."

- INSPECTION REQUIREMENTS**
- Perris site inspections are required for this project. Please schedule all field inspections at least 48 hours in advance. Inspections canceled after 1 p.m. on the day before the scheduled date will be subject to a re-inspection fee. Call (951) 443-1029 to schedule an inspection.
  - A lumber drop inspection shall be performed prior to bringing combustible materials (or combustible fixtures and finishes for structures of non-combustible construction). All-weather access roads capable of supporting 68,000 lbs., topped with asphalt, concrete, or equivalent shall be in place and hydrants operational at time of lumber drop inspection.
  - For projects with fuel modification, a vegetation clearance inspection is required prior to a lumber drop inspection. Use the fuel modification plan service request number to schedule the vegetation clearance inspection.
  - Phased installation of fire access roads requires additional inspections not covered by the fees paid at plan submittal. Contact (951) 443-1029 to arrange for additional inspections that may be needed and any fees that may be due.
  - An original approved, signed, wet-stamped Perris fire access & water plan shall be available on-site at time of inspection.
  - Access roads and hydrants shall be maintained and remain clear of obstructions at all times during and after construction. Areas where parking is not permitted shall be clearly identified at all times. Obstruction of fire lanes and hydrants may result in cancellation or suspension of inspections.
  - Temporary fuel tanks of 60 or more gallons shall be reviewed, inspected, and permitted by the Office of the Fire Marshal, City of Perris prior to use.
  - The project address shall be clearly posted and visible from the public road during construction.
  - All gates in construction fencing shall be equipped with either a Knox or breakaway padlock.
  - Buildings of four or more stories shall be provided with stairs and a standpipe before reaching 40 feet in height.

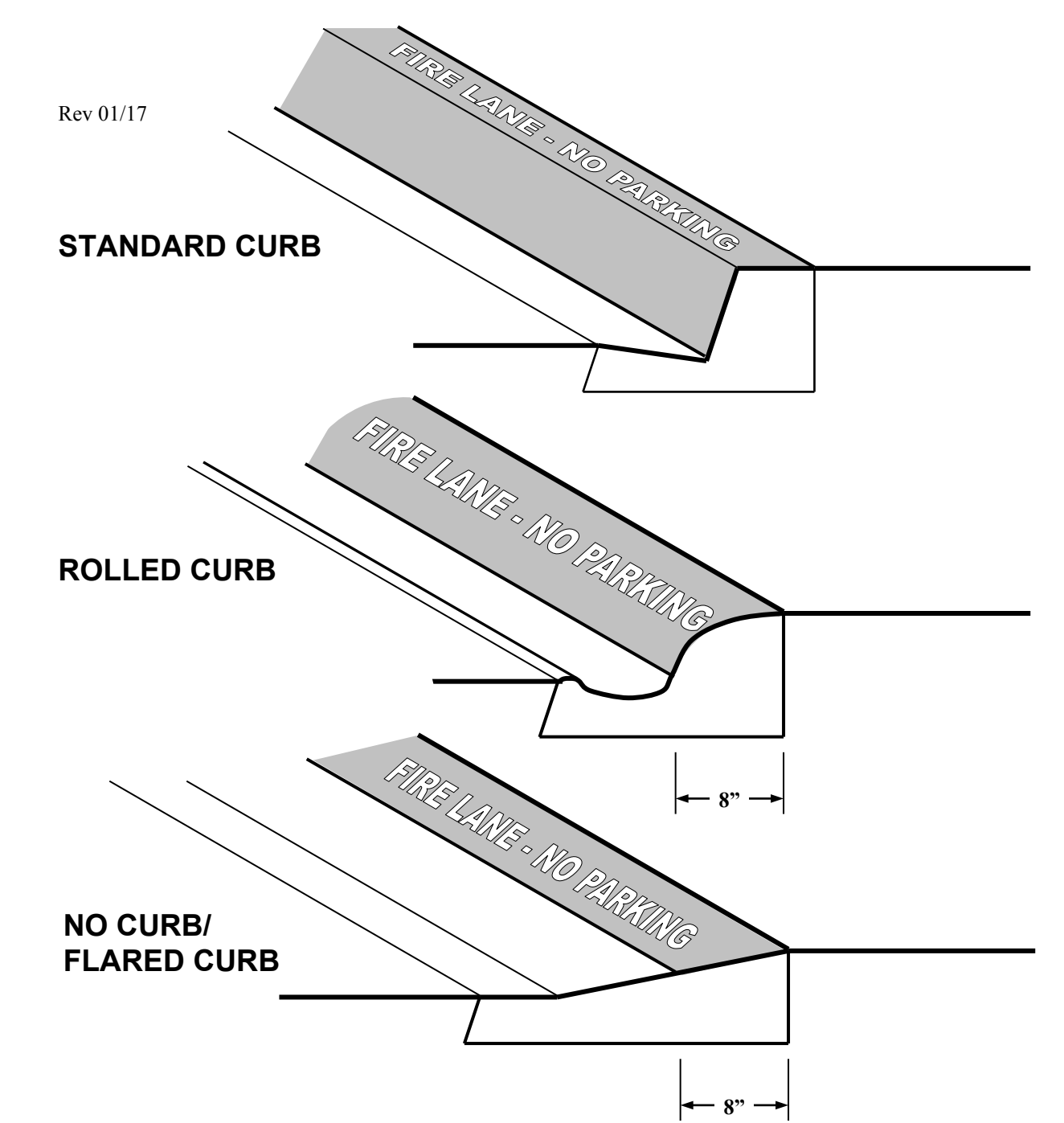
- GENERAL REQUIREMENTS**
- Fire lane widths shall be measured from top face of the curb to top face of the curb for fire lanes with standard curbs and gutters and from flow-line to flow-line for fire lanes with modified curb designs (e.g., rolled, ramped, etc.). The developer is responsible to verify that all approved public works or grading department street improvement plans or precise grading plans conform to the minimum street width measurements per the approved Perris fire department access & water plan and standards identified in Perris Fire Department Access & Water Guideline for all portions of the fire access roads.
  - Permanent, temporary, and phased emergency access roads shall be designed and maintained to support an imposed load of 68,000 lbs. and surfaced to provide all-weather driving capabilities.
  - Fire lane signs and red curbs shall meet the specifications shown in Perris Fire Department Access & Water Guideline and shall be installed as described therein. Additional fire lane markings may be required at the time of inspection depending on field conditions.
  - All fire hydrants shall have a "Blue Reflective Pavement Marker" indicating their location per the Perris standard. On private property markers are to be maintained in good condition by the property owner.
  - Address numbers shall be located and be of a color and size so as to be plainly visible and legible from the roadway from which the building is addressed in accordance with Perris Fire Department Access & Water Guideline.
  - Access gates shall be approved prior to installation and shall be in compliance with Chapter 5 of the CFC and Perris Fire Department Access & Water Guideline.
  - Approved access walkways shall be provided to all required openings and all rescue windows.

Rev 01/17  
City of Perris  
Fire Master Plans for Commercial & Residential Development

- Vegetation shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, fire department connections, pull stations, extinguishers, sprinkler risers, alarm control panels, rescue windows, and other devices or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or strobes.
- Dumpsters and trash containers larger than 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system.
- Any future modification to the approved Fire Department Access & Water Plan or approved site plan, including but not limited to road width, grade, speed humps, turning radii, gates or other obstructions, shall require review, inspection, and approval by the Office of the Fire Marshal, City of Perris.
- Approval of this plan shall not be construed as approval of any information or project conditions other than those items and requirements identified in Perris Fire Department Access & Water Guideline and related portions of the CFC and CBC. This project may be subject to additional requirements not stated herein upon examination of actual site and project conditions or disclosure of additional information.

Rev 01/17  
City of Perris  
Fire Master Plans for Commercial & Residential Development

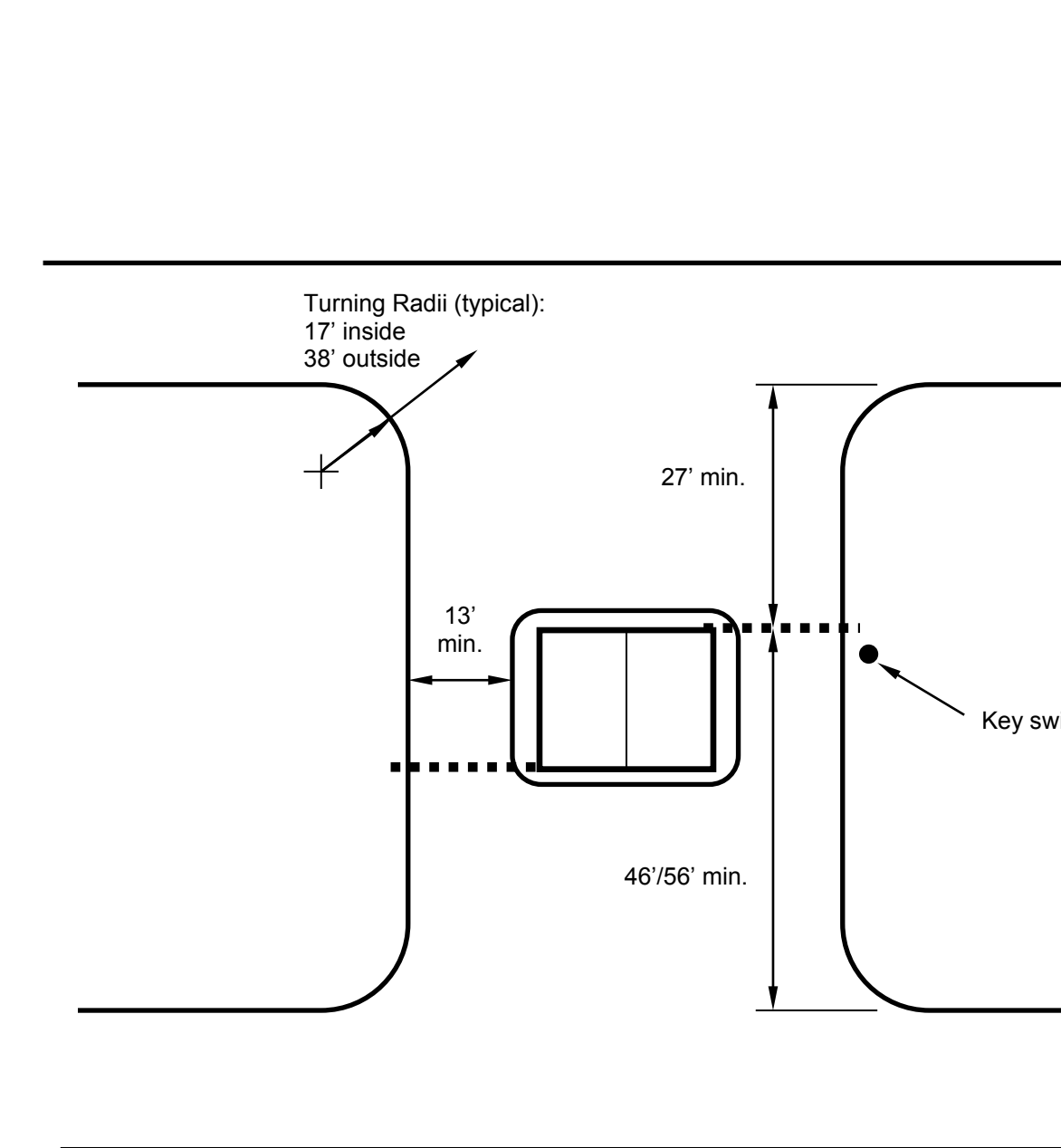
**ATTACHMENT 9**  
**Fire Lane Identification – Red Curbs**



- Fire lane entrance sign(s) shall also be provided per Attachment 10 or 11.
- Curbs shall be painted OSHA safety red.
- "FIRE LANE – NO PARKING" shall be painted on top of curb in 3" white lettering at a spacing of 30' on center or portion thereof.

Rev 01/17  
City of Perris  
Fire Master Plans for Commercial & Residential Development

**ATTACHMENT 15**  
**Minimum Gate Setbacks**



All sign and lettering dimensions shown are *minimums*. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.

Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

Rev 01/17  
City of Perris  
Fire Master Plans for Commercial & Residential Development

**ATTACHMENT 12**  
**Specifications for Fire Lane No Parking Signs**

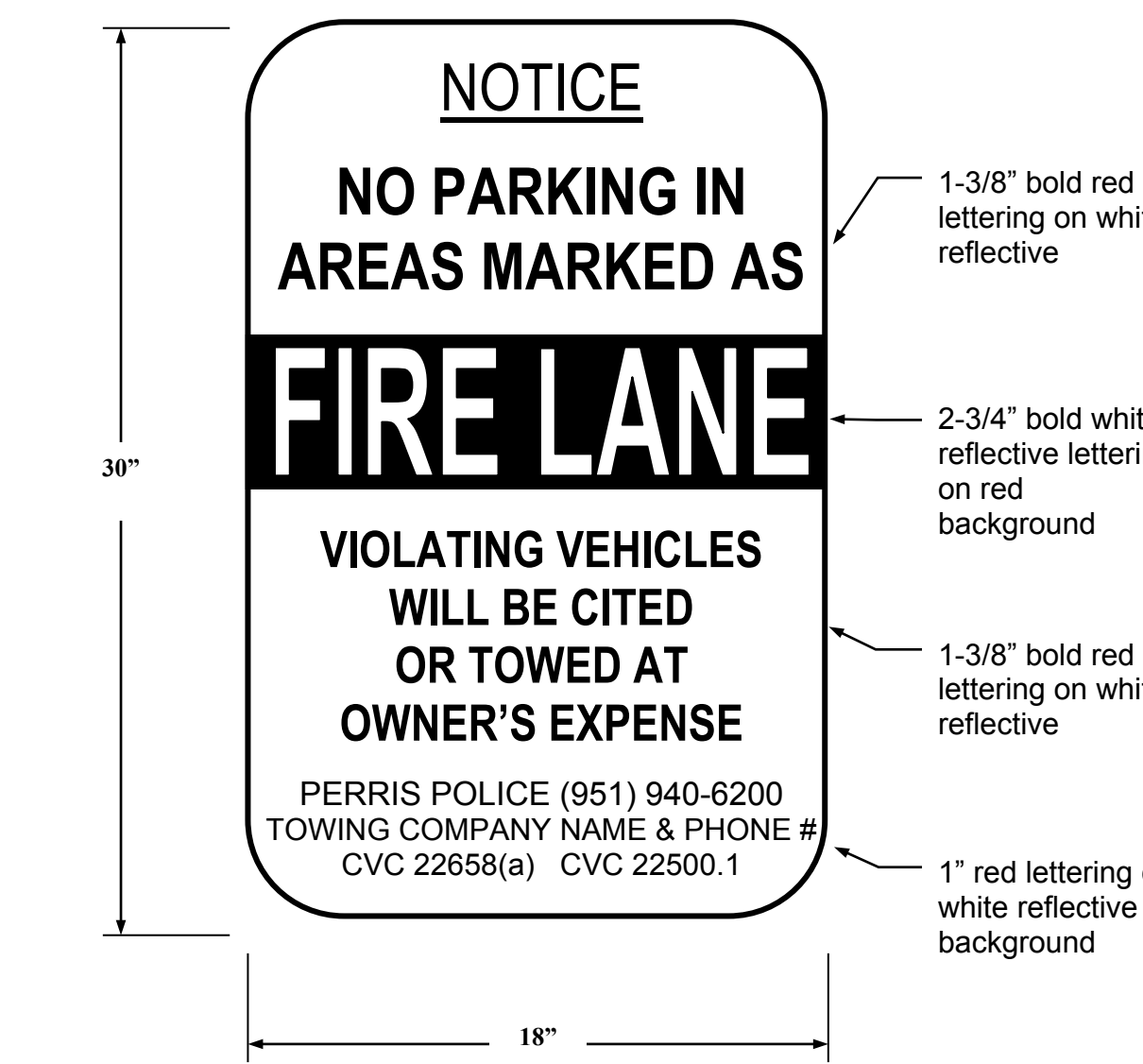


All sign and lettering dimensions shown are *minimums*. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.

Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

Rev 01/17  
City of Perris  
Fire Master Plans for Commercial & Residential Development

**ATTACHMENT 10**  
**Specifications for Fire Lane Entrance Signs**  
To be used only at vehicle entry points to areas that contain "Fire Lane—No Parking" signs or red curbs



All sign and lettering dimensions shown are *minimums*. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.

This sign shall be posted at all vehicle entrances to areas marked with either red curbs or fire lane "No Parking" signs. Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

Towing company contact information is required for all properties with a standing written agreement for services with a towing company per the California Vehicle Code.

Rev 01/17  
City of Perris  
Fire Master Plans for Commercial & Residential Development

6

City of Perris  
Fire Master Plans for Commercial & Residential Development

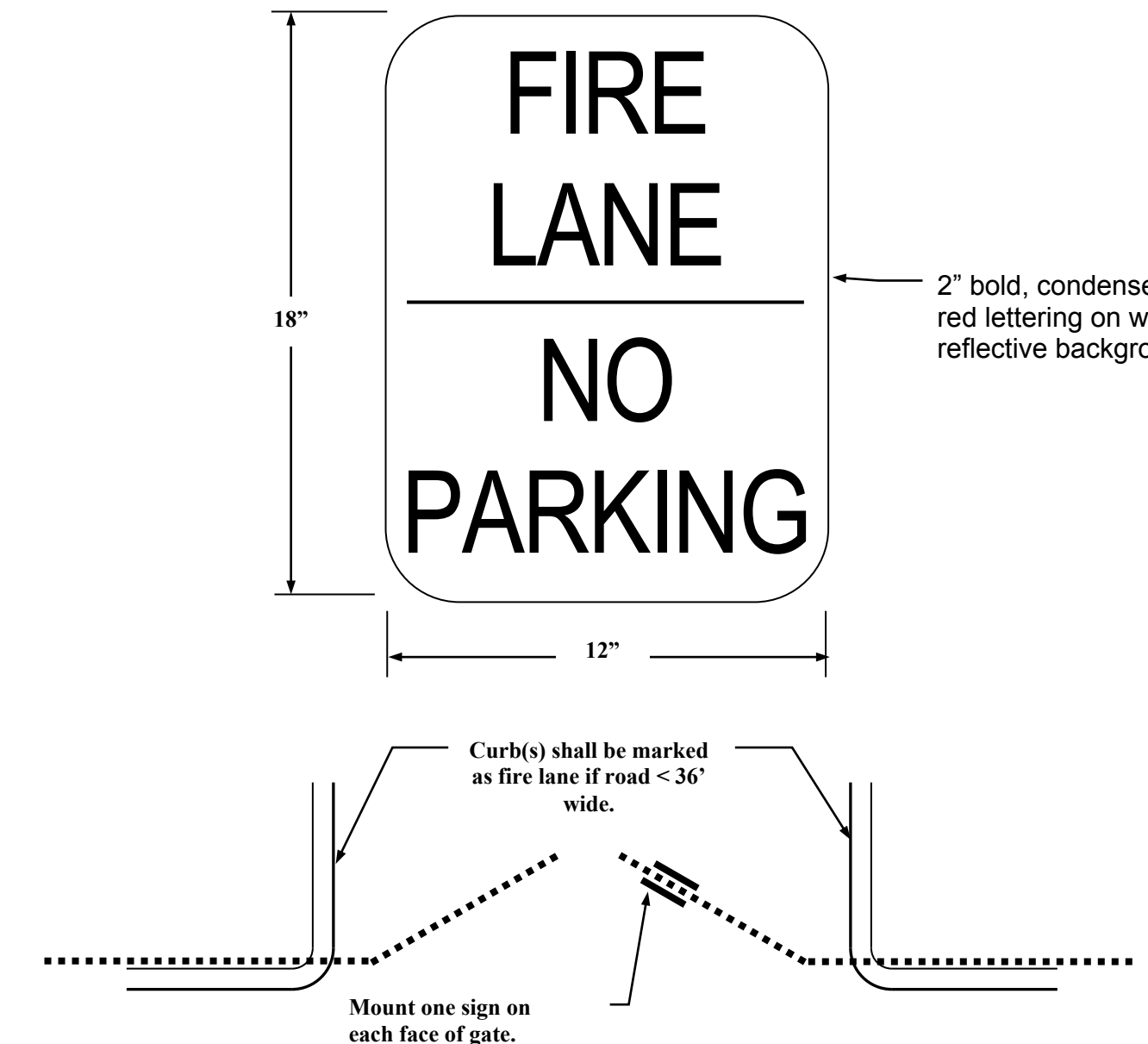
4

City of Perris  
Fire Master Plans for Commercial & Residential Development

2

City of Perris  
Fire Master Plans for Commercial & Residential Development

**ATTACHMENT 16**  
**Specifications for "Fire Lane - No Parking" Signs for Manually Operated Gates and Barriers**

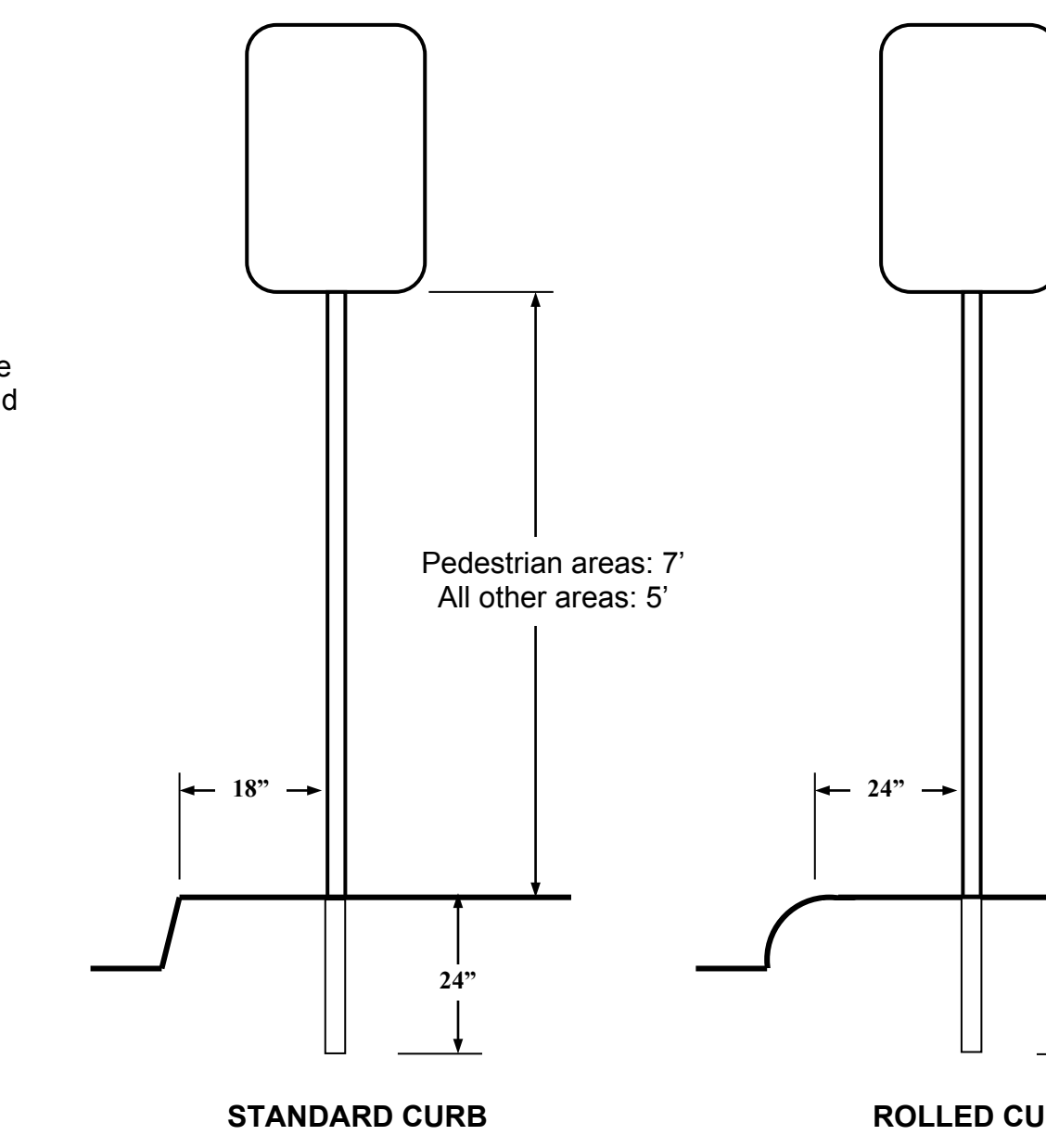


All sign and lettering dimensions shown are *minimums*. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.

"Fire Lane—No Parking" sign shown in Attachment 12 may be used as an alternative. Signs shall be securely mounted on the front and back face of the gate clearly visible to traffic entering the designated area. Signs shall be made of a durable material.

Rev 01/17  
City of Perris  
Fire Master Plans for Commercial & Residential Development

**ATTACHMENT 14**  
**Mounting Specifications for Fire Lane Entrance and No Parking Signs**

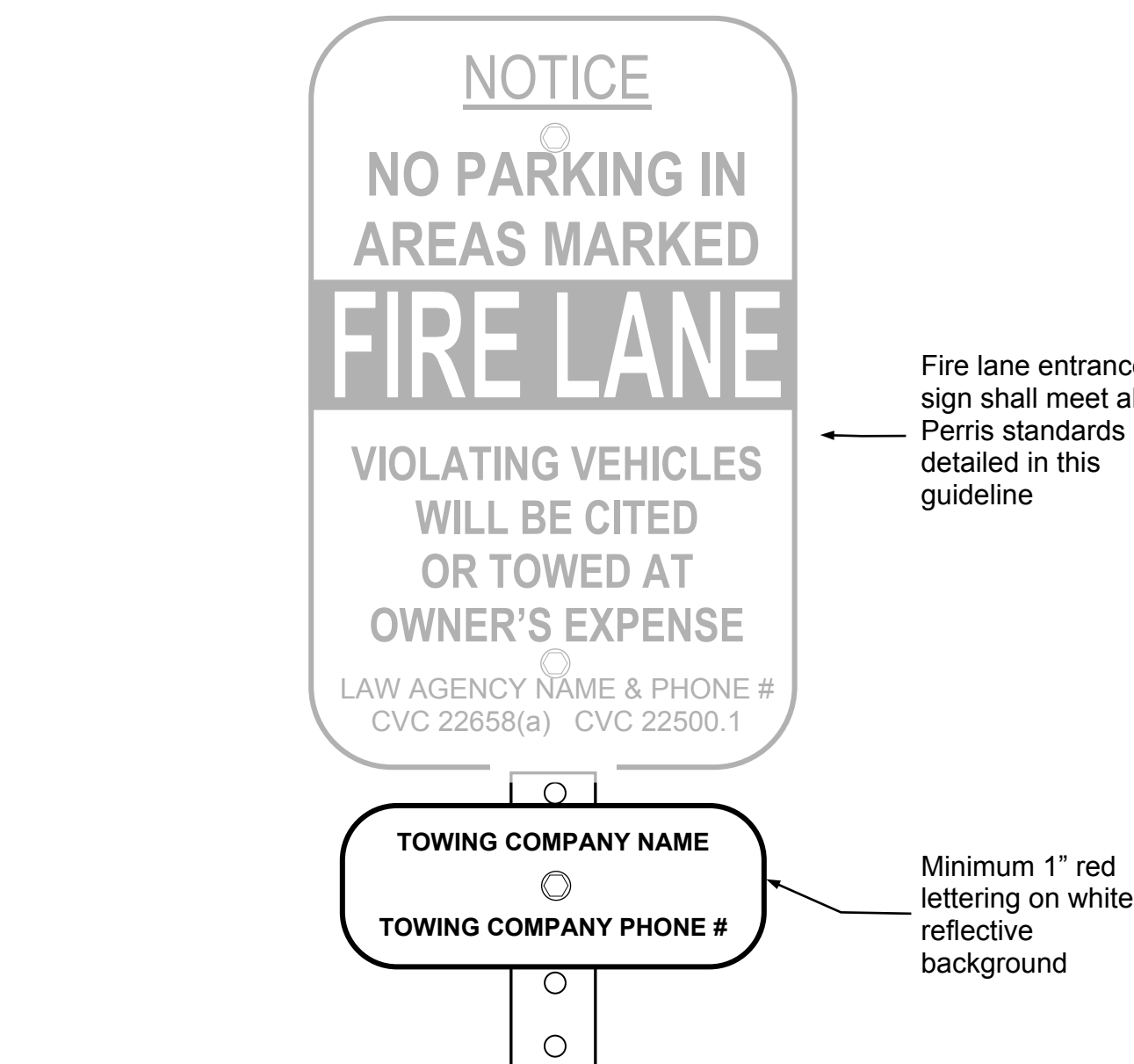


Signs shall be mounted facing the direction of vehicular travel. Signs may be mounted on existing posts or buildings where the centerline of the sign is no more than 24" from the edge of the roadway.

Depth of bury shall be a *minimum* of 24" and rebar, a concrete footing, or another method to prevent removal of the sign is recommended. Footings for signs located in the public right-of-way shall be per the local jurisdiction's requirements.

Rev 01/17  
City of Perris  
Fire Master Plans for Commercial & Residential Development

**ATTACHMENT 11**  
**Specifications for Alternate Location of Towing Company Information**



Towing company contact information is required for all properties with a standing written agreement for services with a towing company per the California Vehicle Code.

To facilitate periodic changes in towing company contracts, the towing company contact information may be posted on a separate sign mounted directly below the fire lane entrance sign instead of on the entrance sign itself. The method of attachment to the post shall not obscure the wording on either sign.

Rev 01/17  
City of Perris  
Fire Master Plans for Commercial & Residential Development

7

City of Perris  
Fire Master Plans for Commercial & Residential Development

5

City of Perris  
Fire Master Plans for Commercial & Residential Development

3

City of Perris  
Fire Master Plans for Commercial & Residential Development

CONSULTANT

PROFESSIONAL SEALS

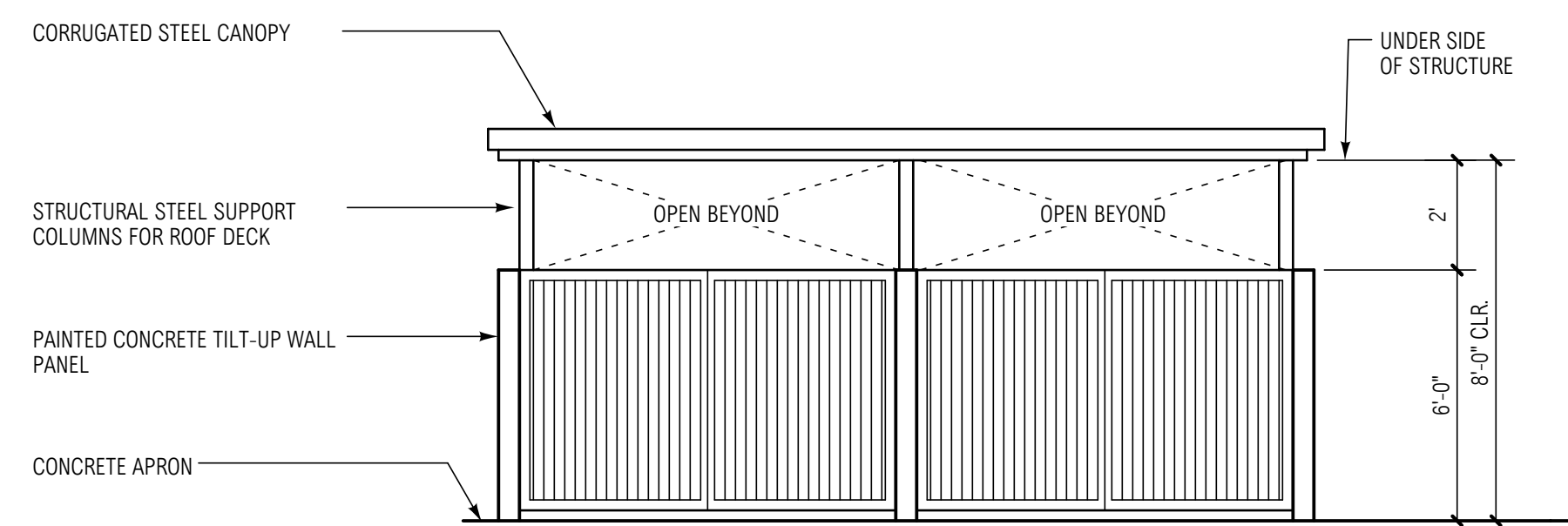
PLACENTIA AVENUE  
DEVELOPMENT  
0000 PLACENTIA AVENUE  
CITY OF PERRIS, CA

LAKE CREEK INDUSTRIAL LLC  
1302 BRITANY CROSS ROAD  
SANTA ANA, CA 92705  
OWNER PHONE: 786-200-9681  
OWNER: MICHAEL JOHNSON  
EMAIL: mj@lakecreekindustrial.com

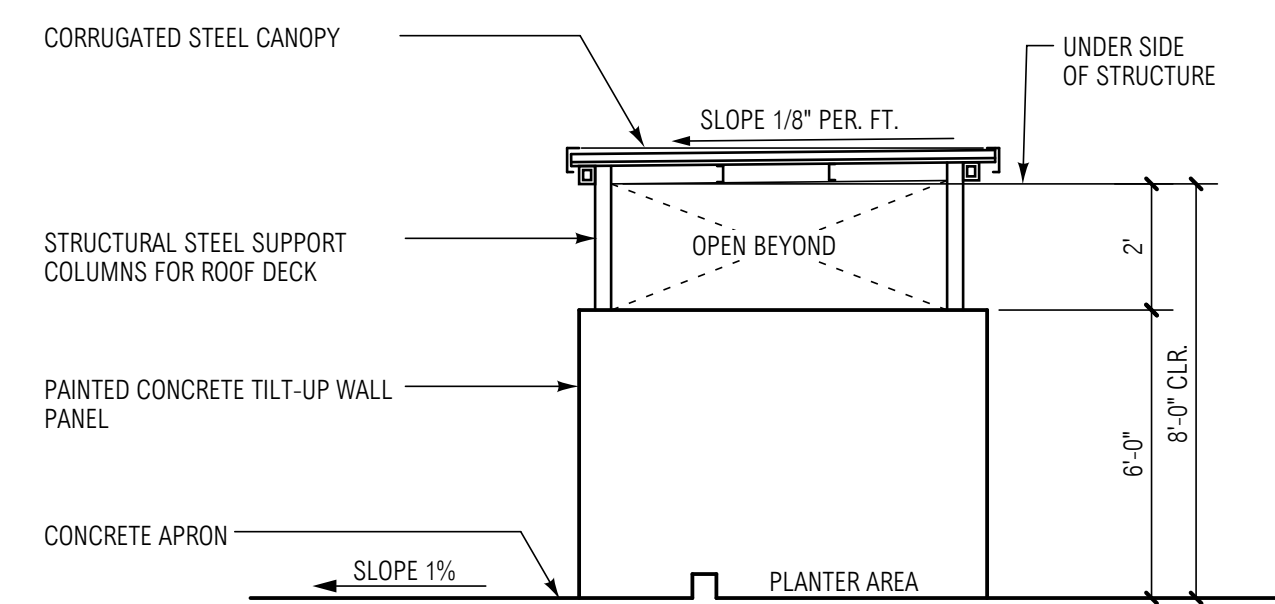
MARK	DATE	DESCRIPTION
SD	9/15/21	SCHEMATIC DESIGN

RG A PROJECT NO:	21011.00
OWNER PROJECT NO:	00000.00
CAD FILE NAME:	21011-00-A1-3P
DRAWN BY:	MG
CHK'D BY:	CS
COPYRIGHT:	RG A, OFFICE OF ARCHITECTURAL DESIGN

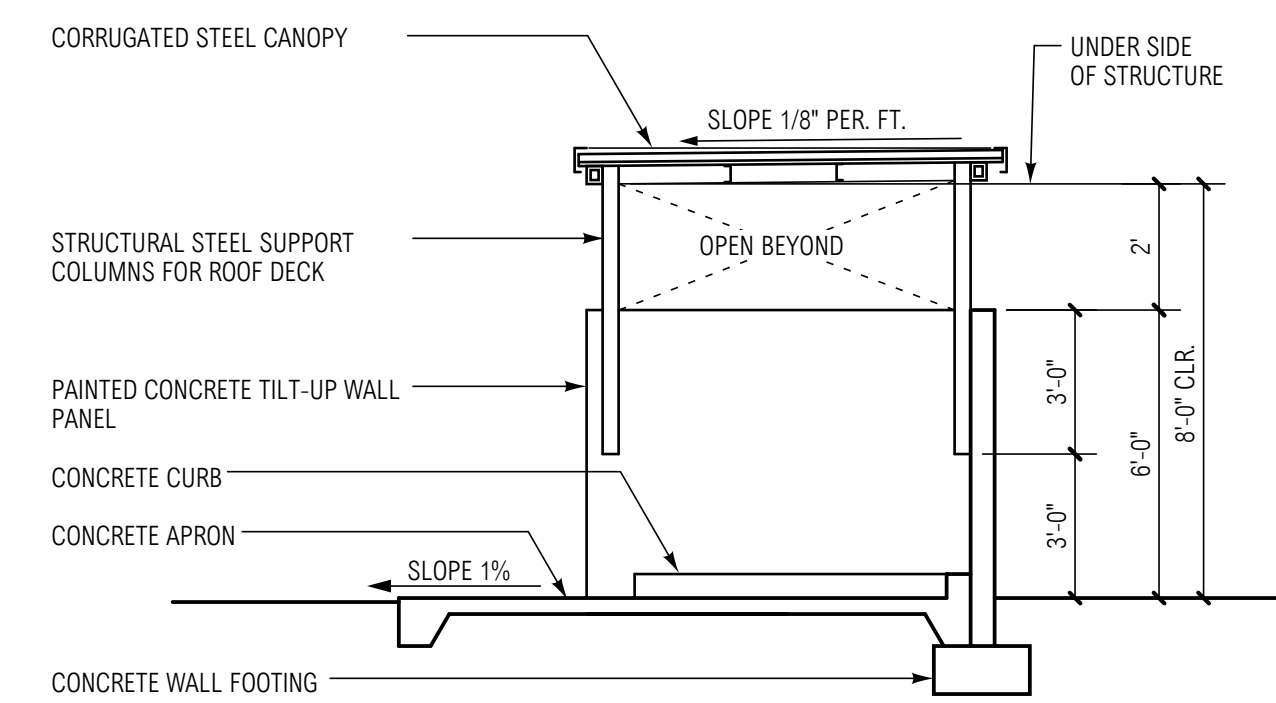
SHEET TITLE  
FIRE SIGNAGE PLAN



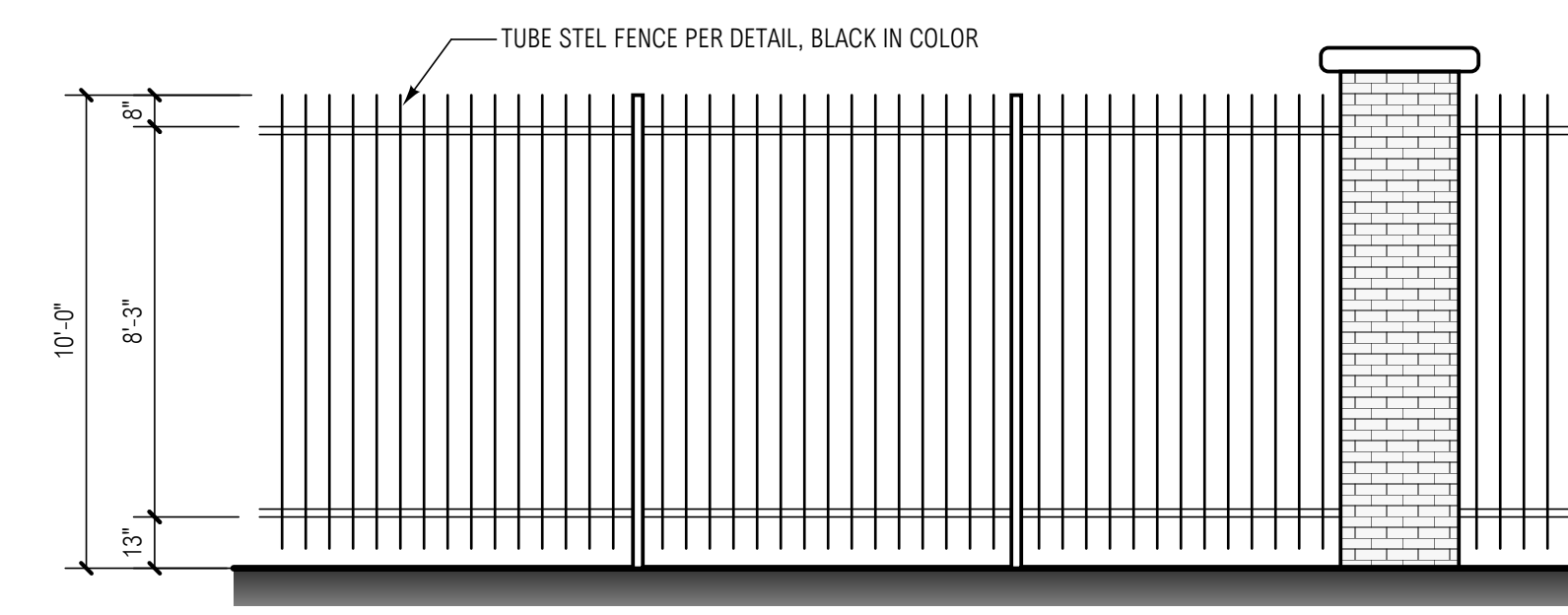
**TRASH ENCLOSURE FRONT ELEVATIONS**  
 SCALE: 1/4" = 1'-0"



**TRASH ENCLOSURE SIDE ELEVATIONS**  
 SCALE: 1/4" = 1'-0"



**TYPICAL TRASH ENCLOSURE SECTION**  
 SCALE: 1/4" = 1'-0"



**TYPICAL TUBE STEEL FENCE ELEVATION**  
 SCALE: 1/4" = 1'-0"

CONSULTANT

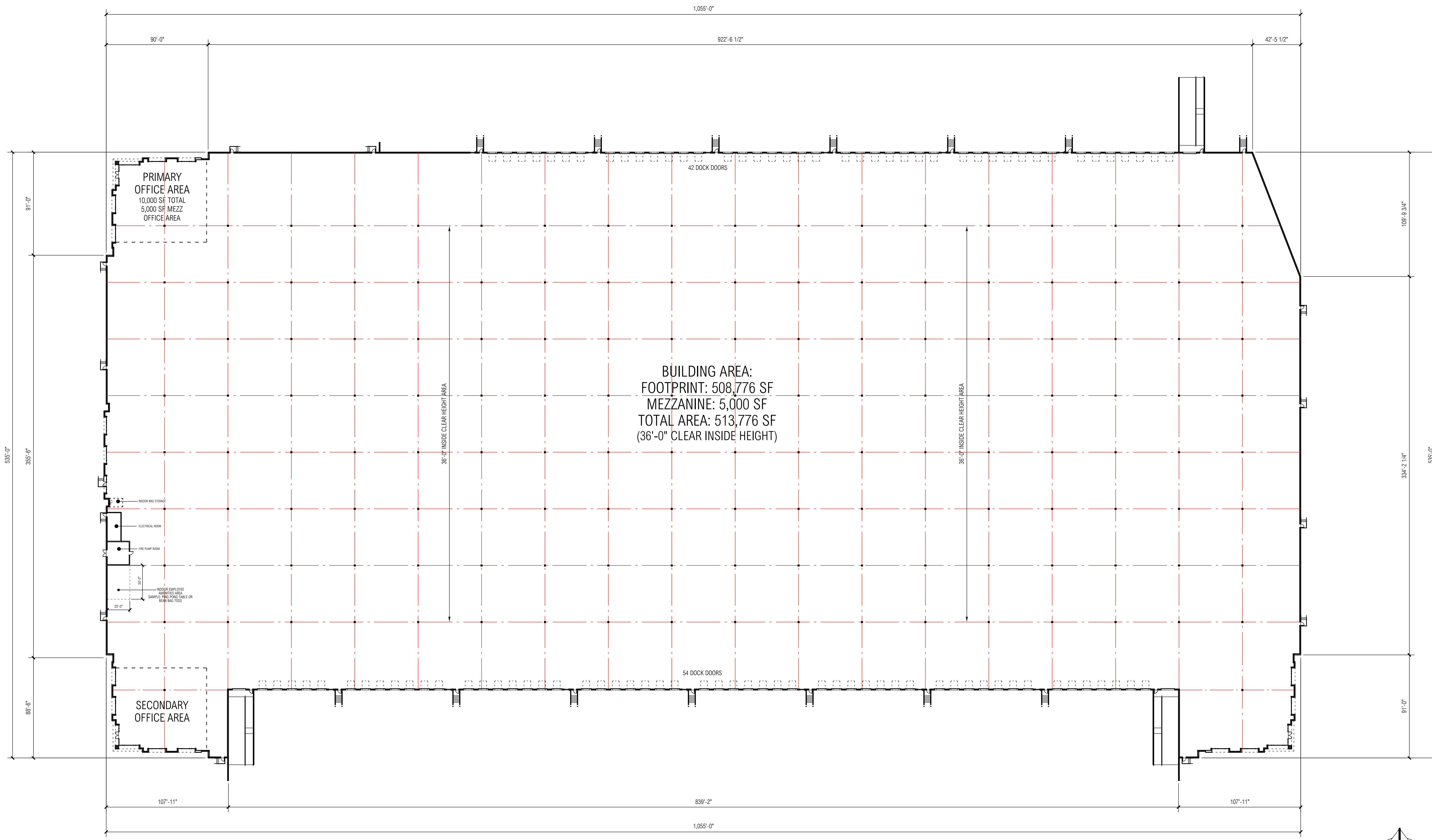
PROFESSIONAL SEALS

**PLACENTIA AVENUE DEVELOPMENT**  
 0000 PLACENTIA AVENUE  
 CITY OF PERRIS, CA

**LAKE CREEK INDUSTRIAL LLC**  
 1302 BRITANNY CROSS ROAD  
 SANTA ANA, CA 92705  
 OWNER PHONE: 786-200-9681  
 OWNER: MICHAEL JOHNSON  
 EMAIL: mj@lakecreekindustrial.com

MARK	DATE	DESCRIPTION
CD		
BID		
FC		
DD		
SD	9/15/21	SCHEMATIC DESIGN

RG PROJECT NO:	21011.00
OWNER PROJECT NO:	00000.00
CAD FILE NAME:	21011-00-A2-1P
DRAWN BY:	MG
CHK'D BY:	CS
COPYRIGHT:	RG, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE:	FLOOR PLAN



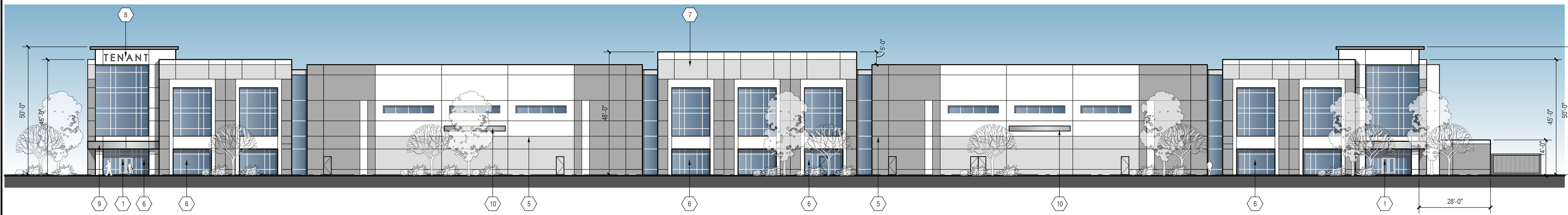
**FLOOR PLAN**  
 SCALE: 1" = 30'-0"

### KEYNOTES

1. PRIMARY ENTRANCE.
2. PAINTED 12' WIDE X 14' HIGH VERTICAL LIFT TRUCK DOOR, FACTORY PAINTED WHITE.
3. PAINTED 9' WIDE X 10' HIGH VERTICAL LIFT TRUCK DOOR, FACTORY PAINTED WHITE.
4. 3' X 7' PAINTED METAL MAN DOOR.
5. 2" WIDE X 3/4" DEEP HORIZONTAL / VERTICAL REVEAL.
6. BLUE GLASS IN ANODIZED ALUMINUM STOREFRONT FRAME SYSTEM.
7. PAINTED CONCRETE TILT-UP EXTERIOR WALL CONSTRUCTION.
8. PROPOSED FUTURE TENANT SIGNAGE LOCATION.
9. ALUM. ENTRY TRELLIS CANOPY
10. 20' X 2' LIGHT BOX WITH DOWNWARD LIGHTS

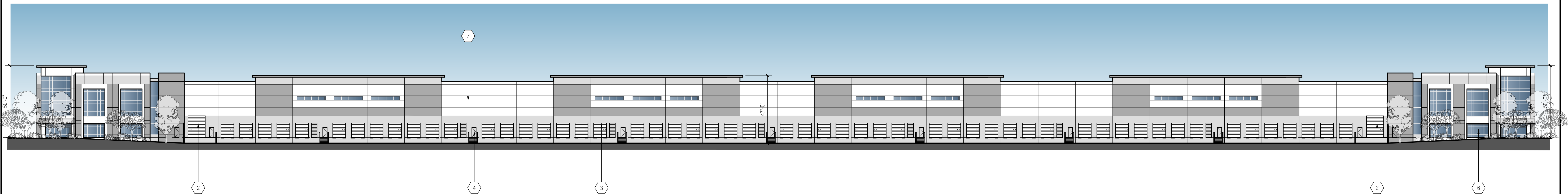
### FINISH SCHEDULE:

- |  |   |
|--|---|
|  | 1. FIELD COLOR<br>SW-7063 NEBULOUS WHITE            |
|  | 2. MEDIUM ACCENT COLOR<br>SW-7072 ONLINE            |
|  | 3. DARK ACCENT COLOR<br>SW-7664 STEELY GRAY         |
|  | 4. TRELLISES -<br>BRUSHED STAINLESS                 |
|  | 5. GLASS - PRIMARY WINDOW<br>PPG SOLARCOOL PACIFICA |



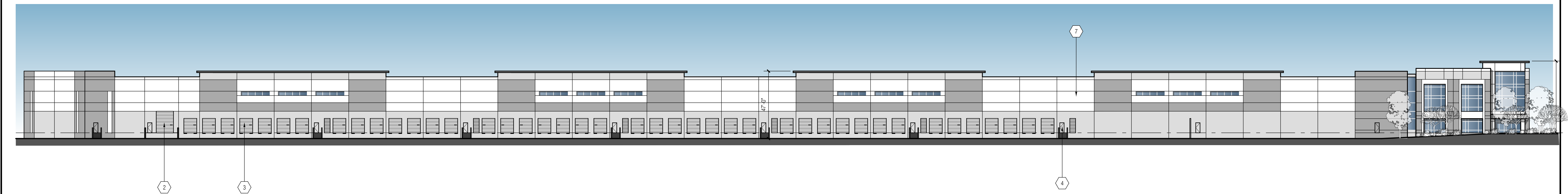
WEST ELEVATION

SCALE: 1" = 20'-0"



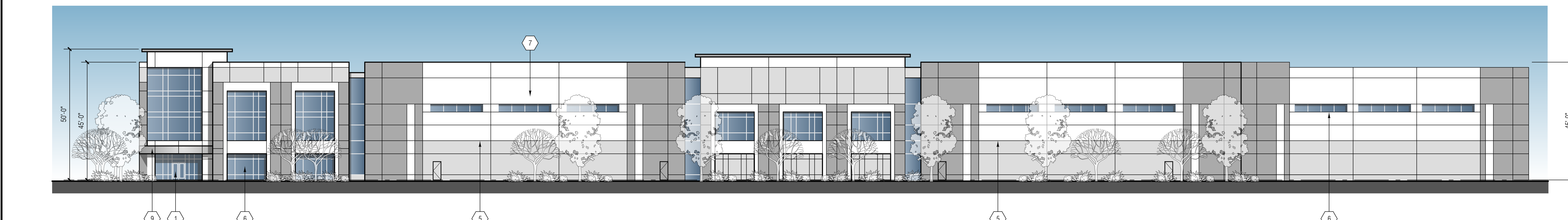
SOUTH ELEVATION

SCALE: 1" = 30'-0"



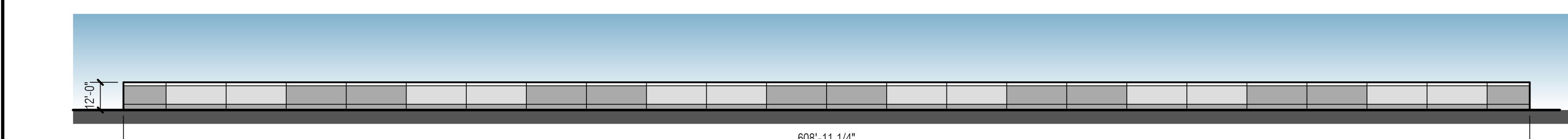
NORTH ELEVATION

SCALE: 1" = 30'-0"



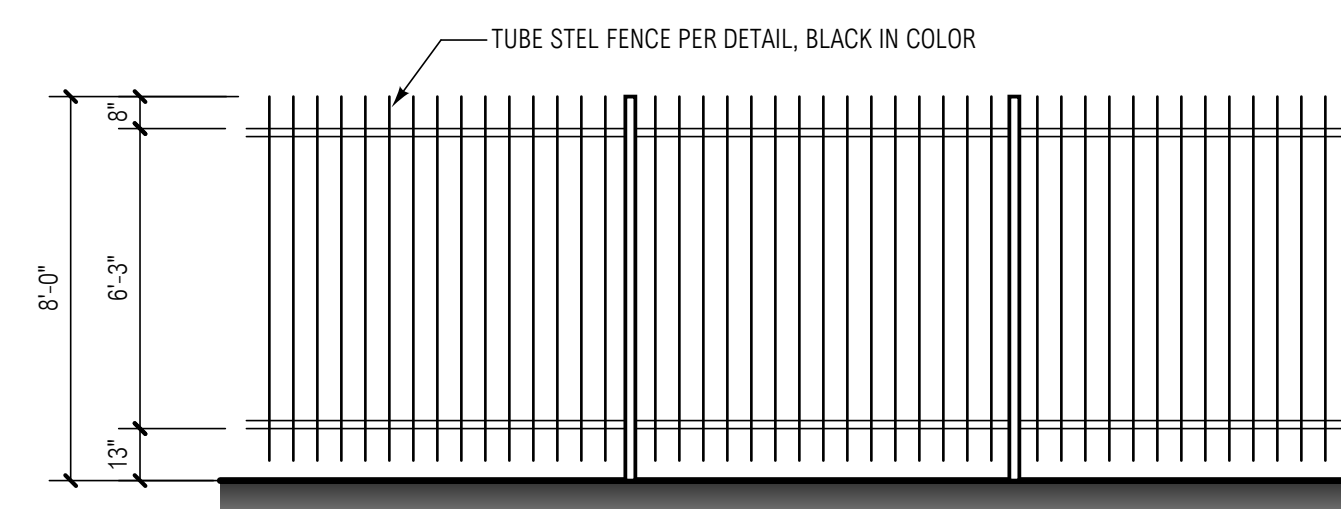
EAST ELEVATION

SCALE: 1" = 20'-0"



SOUTH SCREENWALL ELEVATION

SCALE: 1" = 40'-0"



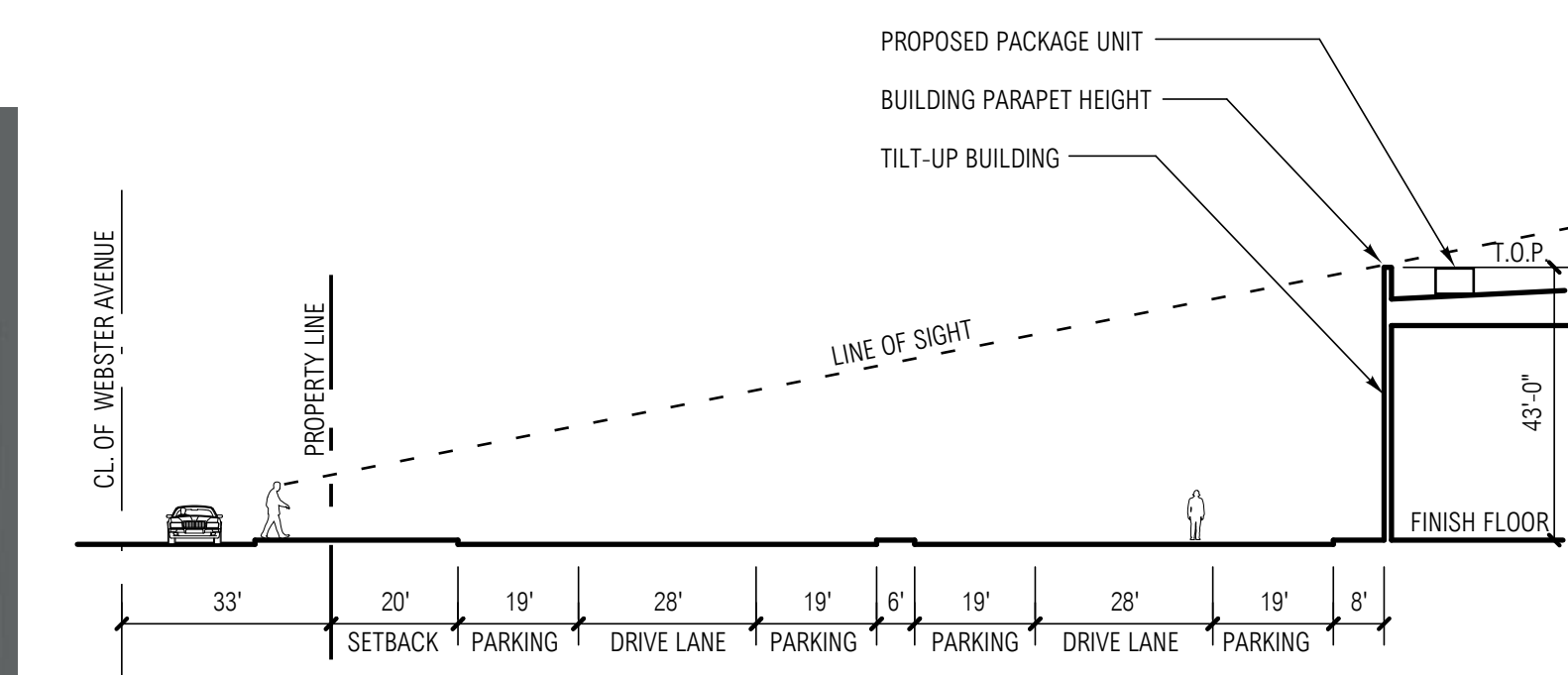
TYPICAL TUBE STEEL FENCE ELEVATION

SCALE: 1/4" = 1'-0"



SIMILAR SITE LIGHTING STYLE

SCALE: N.T.S.



TYPICAL EQUIPMENT SCREEN LINE OF SIGHT

SCALE: 1" = 30'-0"

NOTE: LINE OF SIGHT TAKEN FROM 6'-0" ABOVE FINISH GRADE

### NOTES:

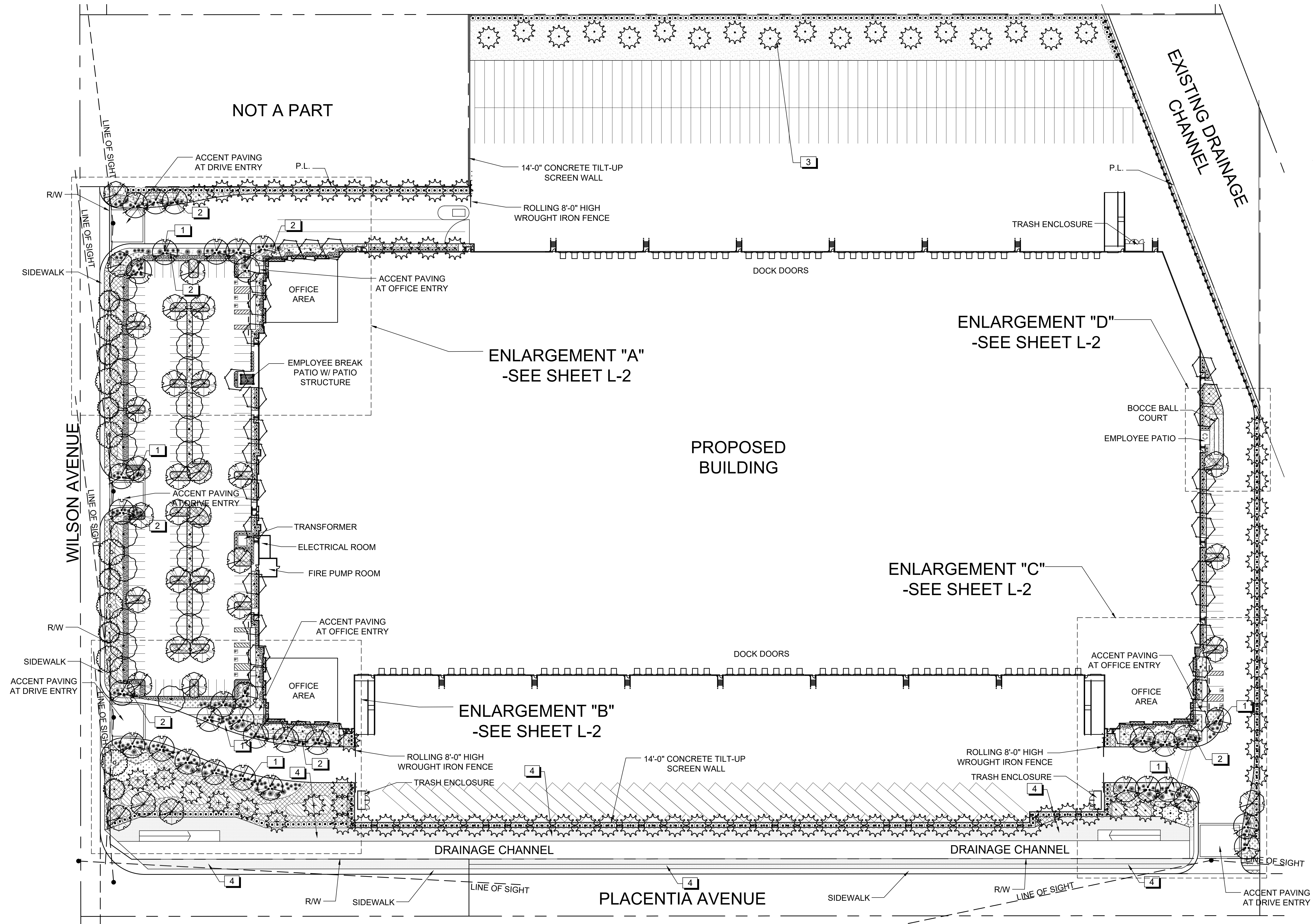
1. ALL ROOFTOP MECH. EQUIPMENT SHALL BE SCREENED FROM VIEW.
2. PROVIDE GRAFFITI RESISTANT COATING TO A HEIGHT OF 12 FEET ON THE WEST ELEVATION.

MARK	DATE	DESCRIPTION
CD		
BID		
FC		
DD		
SD	9/15/21	SCHEMATIC DESIGN

RG&A PROJECT NO:	21011-00
OWNER PROJECT NO:	00000.00
CAD FILE NAME:	21011-00-A3-1P
DRAWN BY:	MG
CHK'D BY:	CS
COPYRIGHT:	RG&A, OFFICE OF ARCHITECTURAL DESIGN

SHEET TITLE

EXTERIOR ELEVATION



### PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	WUCOLS	QTY
	Cercidium x 'Desert Museum' / Thornless Palo Verde	36"box	Low	35
	Koeleruteria bipinnata / Chinese Flame Tree - Standard	24"box	Med	32
	Lagerstroemia x 'Muskogee' / Lavender Crape Myrtle Std.	24"box	Med	6
	Pinus eldarica / Afghan Pine	15 gal	Low	7
	Pinus eldarica / Afghan Pine	24"box	Low	88
	Platanus x acerifolia / London Plane Tree	24"box	Med	7
	Rhus lancea / African Sumac	24"box	Low	23
	Tristania conferta / Brisbane Box	24"box	Med	32

### CONCEPT PLANT SCHEDULE

- FOUNDATION PLANTING / HEDGE SCREEN - MED WATER  
PLANT FROM 5 GAL. CONTAINERS  
Buxus microphylla japonica 'Green Beauty' / Green Beauty Boxwood  
Ligustrum texanum / Texas Privet  
Nandina domestica 'Gulf Stream' TM / Dwarf Heavenly Bamboo  
Pittosporum tenuifolium 'Silver Sheen' / Tawhiwhi  
Podocarpus gracilior 'Column' / Fern Pine  
Rhaphelepis indica 'Jack Evans' / Indian Hawthorn  
Xylosma congestum / Shiny Xylosma
- LARGE SCALE FOUNDATION PLANTING / PERIMETER SHRUB - LOW WATER  
PLANT FROM 5 GAL. CONTAINERS  
Arbutus unedo / Strawberry Tree Shrub  
Callistemon citrinus / Lemon Bottlebrush Shrub  
Elaeagnus pungens / Silverberry  
Heteromeles arbutifolia / Toyon
- SMALL SCALE FOUNDATION PLANTING / SCREEN - LOW WATER  
PLANT FROM 5 GAL. CONTAINERS  
Callistemon citrinus 'Little John' / Dwarf Bottle Brush  
Elaeagnus pungens / Silverberry  
Rosmarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary  
Westringia fruticosa 'Morning Light' / Dwarf Coast Rosemary
- LARGE ACCENT SHRUBS IN DECORATIVE GRAVEL - LOW WATER  
PLANT FROM 5 GAL. & 15 GAL. CONTAINERS  
Agave americana / Century Plant  
Agave americana 'Marginata' / Variegated Century Plant  
Dasylirion wheeleri / Grey Desert Spoon
- SMALLER ACCENT SHRUBS IN DECORATIVE GRAVEL - LOW WATER  
PLANT FROM 1 GAL. & 5 GAL. CONTAINERS  
Agave attenuata / Agave  
Angoanthos flavidus 'Big Red' / Red Kangaroo Paw  
Angoanthos flavidus 'Gold Velvet' / Kangaroo Paw  
Baccharis pilularis 'Pigeon Point' / Coyote Brush  
Hesperaloe parviflora / Red Yucca  
Muhlenbergia capillaris / Pink Muhly  
Muhlenbergia lindheimeri 'Autumn Glow' TM / Lindheimer's Muhly  
Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary  
Yucca recurvifolia 'Color Guard' / Soft Leaf Yucca
- VINES FOR SCREENING - LOW WATER  
PLANT FROM 5 GAL. CONTAINERS 8' O.C.
- ACCENT SHRUBS - MEDIUM WATER USE  
PLANT FROM 5 GAL. CONTAINERS  
Abelia x grandiflora 'Edward Goucher' / Glossy Abelia  
Miscanthus transmontanensis / Evergreen Eulalia  
Muhlenbergia lindheimeri / Lindheimer's Muhly  
Muhlenbergia lindheimeri 'Autumn Glow' TM / Lindheimer's Muhly  
Phormium tenax 'Tom Thumb' / Dwarf Green Flax  
Phormium tenax 'Yellow Wave' / New Zealand Flax  
Rhaphelepis indica 'Jack Evans' / Indian Hawthorn  
Rosa floribunda 'Iceberg' / Iceberg Rose
- ACCENT SHRUBS - LOW WATER USE  
PLANT FROM 5 GAL. CONTAINERS  
Agave attenuata / Agave  
Angoanthos flavidus 'Big Red' / Red Kangaroo Paw  
Angoanthos x 'Gold Velvet' / Kangaroo Paw  
Arbutus unedo / Strawberry Tree Shrub  
Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry  
Callistemon citrinus / Lemon Bottlebrush Shrub  
Callistemon citrinus 'Little John' / Dwarf Bottle Brush  
Cassia artemisioides / Feathery Cassia  
Cistus x purpureus / Orchid Rockrose  
Dodonaea viscosa 'Purpurea' / Purple Leafed Hopseed Bush  
Elaeagnus pungens 'Fruittandi' / Silverberry  
Heteromeles arbutifolia / Toyon  
Leucophyllum frutescens 'Green Cloud' TM / Green Cloud Texas Ranger - Space 4' o.c.  
Muhlenbergia capillaris / Pink Muhly  
Nerium oleander 'Pette Pink' / Petite Pink Oleander  
Pennisetum 'Fairy Tales' / Fairy Tales Fountain Grass  
Rosmarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary  
Salvia clevelandii 'Allen Chickering' / Cleveland Sage  
Salvia greggii 'Furmans Red' / Furman's Red Salvia  
Westringia fruticosa 'Morning Light' / Dwarf Coast Rosemary
- GROUND COVER PALETTE - LOW WATER USE  
PLANT FROM 1 GAL. CONTAINERS  
Acacia redolens 'Desert Carpet' TM / Bank Catclaw  
Baccharis pilularis 'Pigeon Point' / Coyote Brush  
Lantana montevidensis 'New Gold' / Trailing Lantana  
Lonchocarpus japonica 'Haitiano' / Haitian Honeysockle Flowering Vine  
Myoporum parvifolium 'Putah Creek' / Putah Creek Myoporum  
Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary
- GROUND COVER PALETTE - MEDIUM WATER USE  
PLANT FROM 1 GAL. CONTAINERS  
Dianella tasmanica 'Casa Blue' / Flax Lily  
Rosa x 'Flower Carpet Red' / Flower Carpet Red Rose  
Trachelospermum jasminoides / Star Jasmine

### NOTES

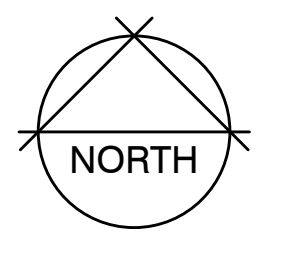
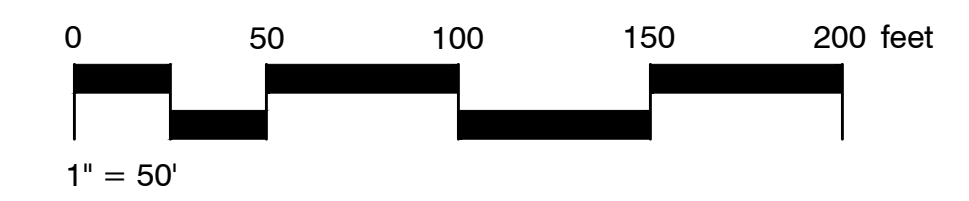
- ALL TREES WITHIN 6' OF HARDSCAPE SHALL BE IN A SHAWTOWN LINEAR (WRAP AROUND NOT ALLOWED) ROOT BARRIER 24" HIGH LINEAR ROOT BARRIER SHALL BE CENTERED ON TREE AND EXTEND 5' IN BOTH DIRECTIONS FOR A TOTAL OF 10'
- NOTE: QUANTITIES AND AREA CALCULATIONS SHOWN IN LEGEND ARE FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE FOR ALL QUANTITY TAKE-OFFS AND AREA CALCULATIONS FOR DETERMINING COST AND DELIVERY OF MATERIALS TO SITE.

### SHREDDED MULCH NOTE

ALL PLANTER AREAS TO RECEIVE A 3" LAYER OF SHREDDED COVER MULCH AVAILABLE FROM EARTHWORKS (951)782-0260

### REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	3" THICK 3/4" DECORATIVE CRUSHED ROCK GRAVEL - MOJAVE GOLD OVER WEED BARRIER
	6"X6" CONCRETE MOW CURB TO SEPARATE SHRUB AREAS FROM DECORATIVE GRAVEL
	3" THICK 3/4" NATURAL COLORED CRUSHED ROCK GRAVEL - OVER WEED BARRIER
	4" THICK DECOMPOSED GRANITE FOR STORM CHANNEL ACCESS PER CITY STANDARDS



DEVELOPED BY:

LAKE CREEK INDUSTRIAL LLC  
1302 BRITANNY CROSS ROAD  
SANTA ANA, CA 92705  
ATTN: MICHAEL JOHNSON  
PHONE: (766) 200-9681

SHEET TITLE: PRELIMINARY LANDSCAPE PLAN

PLACENTIA AVENUE  
DEVELOPMENT  
0000 PLACENTIA AVENUE  
CITY OF PERRIS, CA

DRAWN BY:

BFK

DATE:

09-15-21

JOB NO.:

RGA00146

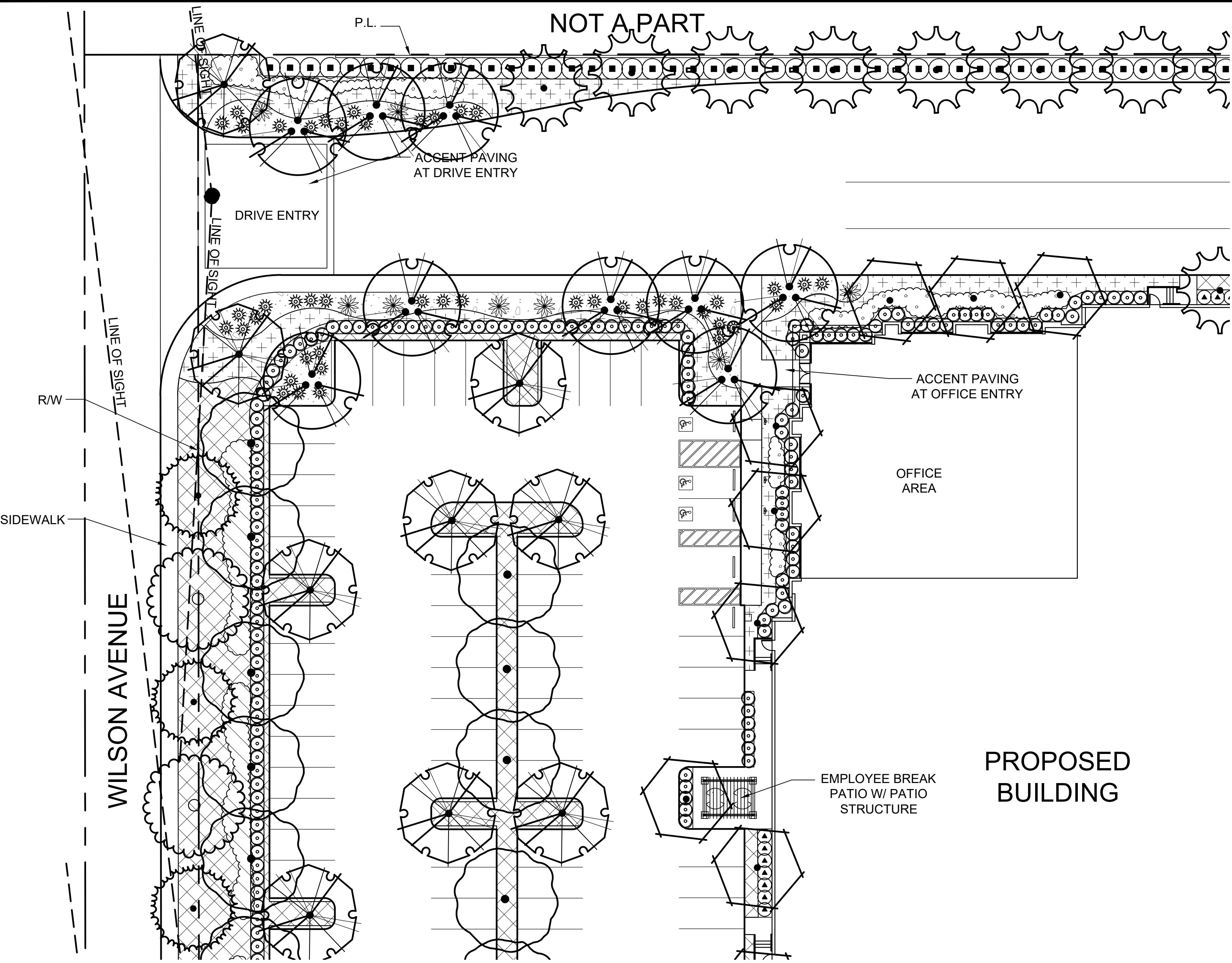
SHEET NO.:

L-2

2 OF 2 SHEETS.

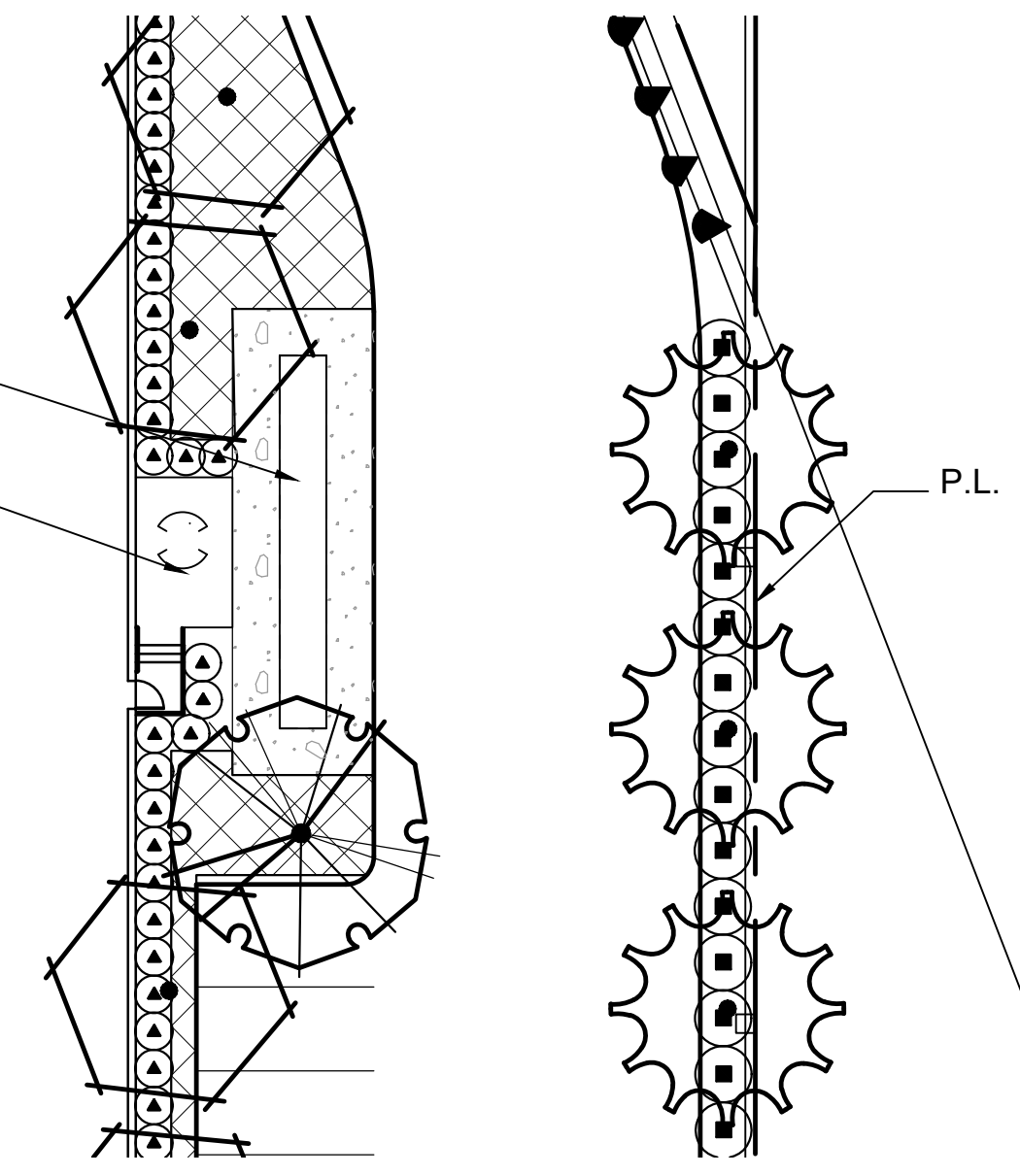
Creating Sustainable & Water Conserving Solutions  
801 E. Bascom Avenue, Suite 400, San Jose, CA 95128  
PH: (408) 434-4465

NOT A PART

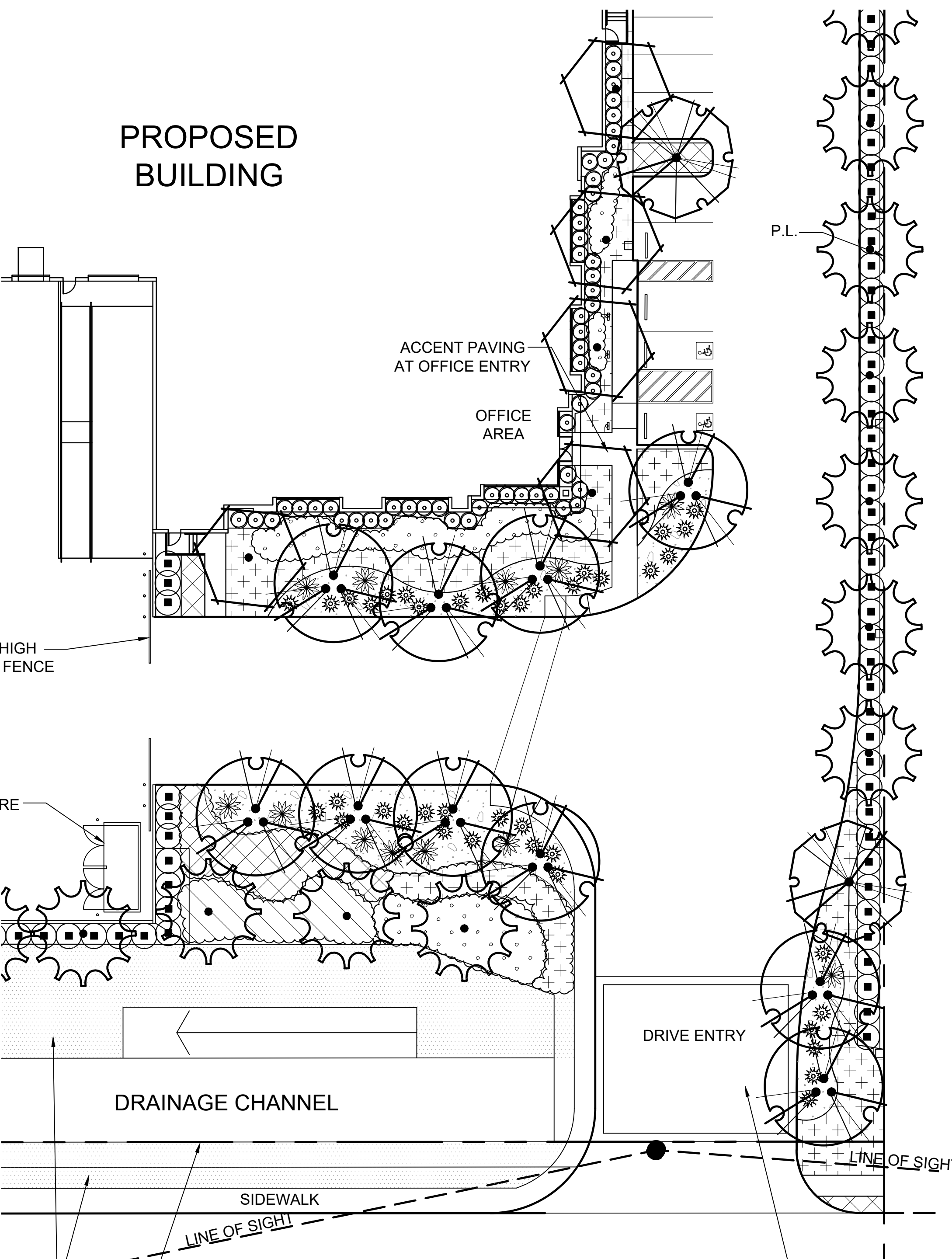


ENLARGEMENT "A"  
SCALE 1:20

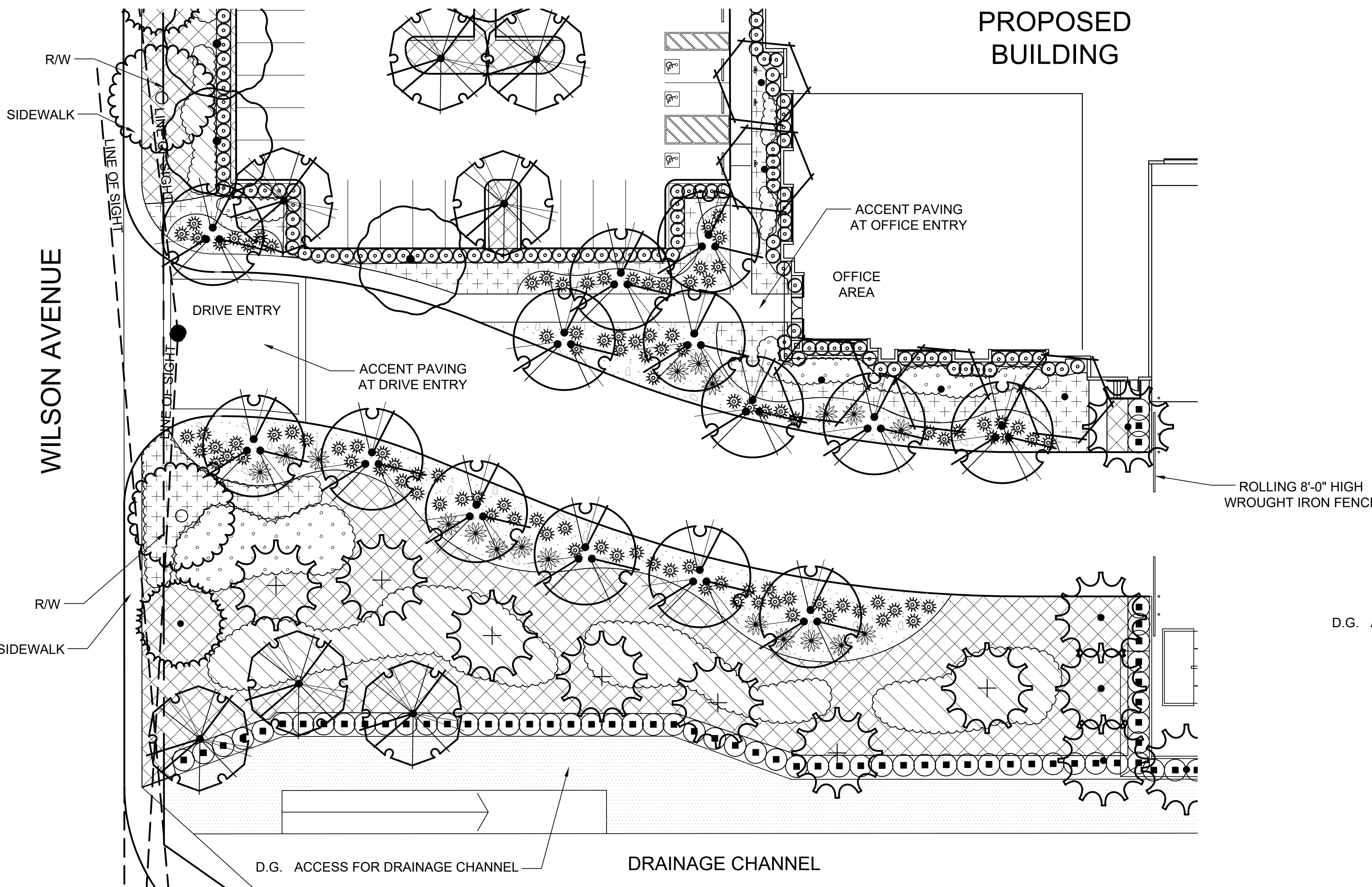
BOCCE BALL COURT  
EMPLOYEE PATIO



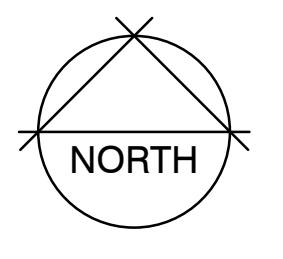
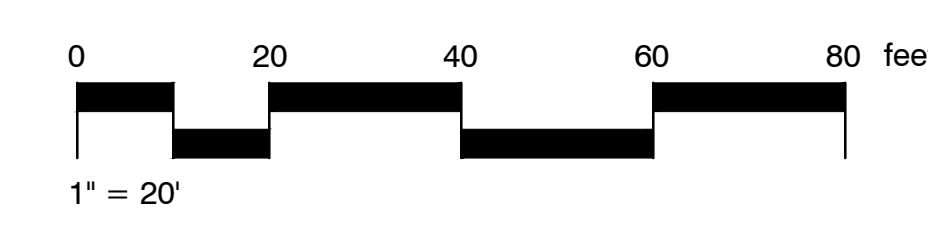
ENLARGEMENT "D"  
SCALE 1:20



PLACENTIA AVENUE  
ENLARGEMENT "C"  
SCALE 1:20



ENLARGEMENT "B"  
SCALE 1:20

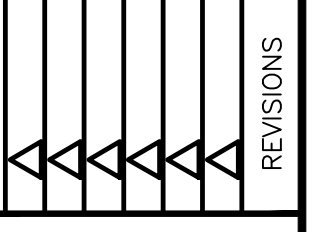


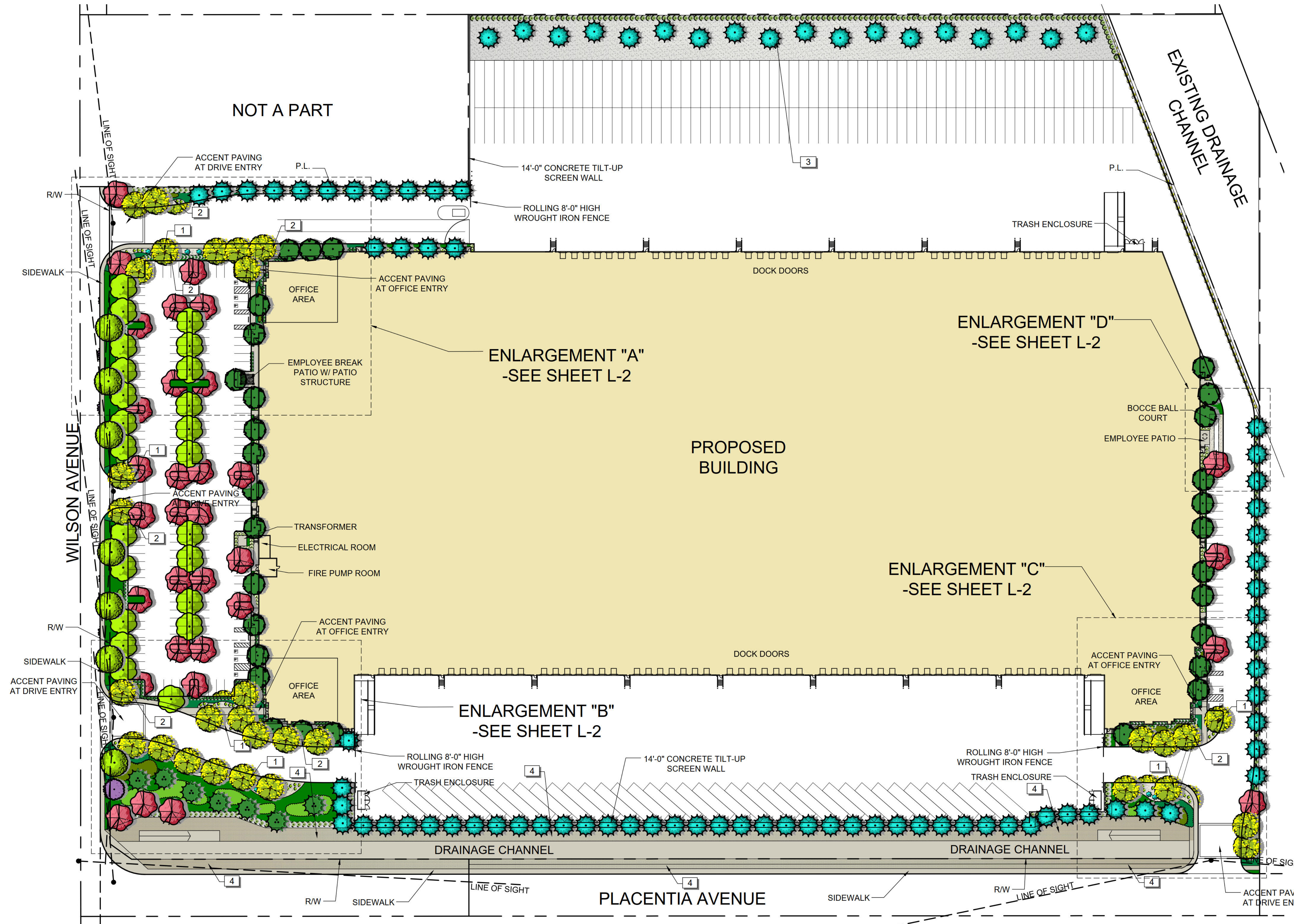
DRAWN BY DATE  
BFK 09-15-21  
JOB NO.  
RGA00146  
SHEET NO.  
L-2  
2 OF 2 SHTS.

PRELIMINARY LANDSCAPE PLAN  
PROPOSED DEVELOPMENT: PLACENTIA AVENUE  
DEVELOPMENT  
00000 PLACENTIA AVENUE  
CITY OF PERRIS, CA

DEVELOPED BY:  
LAKE CREEK INDUSTRIAL LLC  
1302 BRITTANY CROSS ROAD  
SANTA ANA, CA 92705  
ATTN: MICHAEL JOHNSON  
PHONE: (786) 200-9681

EnviroN  
LANDSCAPE ARCHITECTURE  
Creating Sustainable & Water Conserving Solutions  
801 E. Blinn, Santa Ana, CA 92701  
Phone: (949) 566-5665  
PERRIS, CA





**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	WULCOL	QTY
	Cercidium x 'Desert Museum' / Thornless Palo Verde	36"box	Low	35
	Koeleruteria bipinnata / Chinese Flame Tree - Standard	24"box	Med	32
	Lagerstroemia x 'Muskogee' / Lavender Crape Myrtle Std.	24"box	Med	6
	Pinus eldarica / Afghan Pine	15 gal	Low	7
	Pinus eldarica / Afghan Pine	24"box	Low	88
	Platanus x acerifolia / London Plane Tree	24"box	Med	7
	Rhus lancea / African Sumac	24"box	Low	23
	Tristania conferta / Brisbane Box	24"box	Med	32

**CONCEPT PLANT SCHEDULE**

- FOUNDATION PLANTING / HEDGE SCREEN - MED WATER  
PLANT FROM 5 GAL. CONTAINERS  
Buxus microphylla japonica 'Green Beauty' / Green Beauty Boxwood  
Ligustrum texanum / Texas Privet  
Nandina domestica 'Gulf Stream' TM / Dwarf Heavenly Bamboo  
Pittosporum tenuifolium 'Silver Sheen' / Tawhiwhi  
Podocarpus gracilior 'Column' / Fern Pine  
Rhaphelepis indica 'Jack Evans' / Indian Hawthorn  
Xylosma congestum / Shiny Xylosma
- LARGE SCALE FOUNDATION PLANTING / PERIMETER SHRUB - LOW WATER  
PLANT FROM 5 GAL. CONTAINERS  
Arbutus unedo / Strawberry Tree Shrub  
Callistemon citrinus / Lemon Bottlebrush Shrub  
Elaeagnus pungens / Silverberry  
Heteromeles arbutifolia / Toyon
- SMALL SCALE FOUNDATION PLANTING / SCREEN - LOW WATER  
PLANT FROM 5 GAL. CONTAINERS  
Callistemon citrinus 'Little John' / Dwarf Bottle Brush  
Elaeagnus pungens / Silverberry  
Rosmarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary  
Westringia fruticosa 'Morning Light' / Dwarf Coast Rosemary
- LARGE ACCENT SHRUBS IN DECORATIVE GRAVEL - LOW WATER  
PLANT FROM 5 GAL. & 15 GAL. CONTAINERS  
Agave americana / Century Plant  
Agave americana 'Marginata' / Variegated Century Plant  
Dasylirion wheeleri / Grey Desert Spoon
- SMALLER ACCENT SHRUBS IN DECORATIVE GRAVEL - LOW WATER  
PLANT FROM 1 GAL. & 5 GAL. CONTAINERS  
Agave attenuata / Agave  
Anigozanthos flavidus 'Big Red' / Red Kangaroo Paw  
Anigozanthos flavidus 'Gold Velvet' / Kangaroo Paw  
Baccharis pilularis 'Pigeon Point' / Coyote Brush  
Hesperaloe parviflora / Red Yucca  
Muhlenbergia capillaris / Pink Muhly  
Muhlenbergia lindheimeri 'Autumn Glow' TM / Lindheimer's Muhly  
Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary  
Yucca recurvifolia 'Color Guard' / Soft Leaf Yucca
- VINES FOR SCREENING - LOW WATER  
PLANT FROM 5 GAL. CONTAINERS 8' O.C.
- ACCENT SHRUBS - MEDIUM WATER USE  
PLANT FROM 5 GAL. CONTAINERS  
Abelia x grandiflora 'Edward Goucher' / Glossy Abelia  
Miscanthus transmontanensis / Evergreen Eulalia  
Muhlenbergia lindheimeri / Lindheimer's Muhly  
Muhlenbergia lindheimeri 'Autumn Glow' TM / Lindheimer's Muhly  
Phormium tenax 'Tom Thumb' / Dwarf Green Flax  
Phormium tenax 'Yellow Wave' / New Zealand Flax  
Rhaphelepis indica 'Jack Evans' / Indian Hawthorn  
Rosa floribunda 'Iceberg' / Iceberg Rose
- ACCENT SHRUBS - LOW WATER USE  
PLANT FROM 5 GAL. CONTAINERS  
Agave attenuata / Agave  
Anigozanthos flavidus 'Big Red' / Red Kangaroo Paw  
Anigozanthos x 'Gold Velvet' / Kangaroo Paw  
Arbutus unedo / Strawberry Tree Shrub  
Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry  
Callistemon citrinus / Lemon Bottlebrush Shrub  
Callistemon citrinus 'Little John' / Dwarf Bottle Brush  
Cassia artemisioides / Feathery Cassia  
Cistus x purpureus / Orchid Rockrose  
Dodonaea viscosa 'Purpurea' / Purple Leafed Hopseed Bush  
Elaeagnus pungens 'Fruittandi' / Silverberry  
Heteromeles arbutifolia / Toyon  
Leucophyllum frutescens 'Green Cloud' TM / Green Cloud Texas Ranger - Space 4' o.c.  
Muhlenbergia capillaris / Pink Muhly  
Nerium oleander 'Pette Pink' / Petite Pink Oleander  
Pennisetum 'Fairy Tales' / Fairy Tales Fountain Grass  
Rosmarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary  
Salvia clevelandii 'Allen Chickering' / Cleveland Sage  
Salvia greggii 'Furmans Red' / Furman's Red Salvia  
Westringia fruticosa 'Morning Light' / Dwarf Coast Rosemary
- GROUND COVER PALETTE - LOW WATER USE  
PLANT FROM 1 GAL. CONTAINERS  
Acacia redolens 'Desert Carpet' TM / Bank Catclaw  
Baccharis pilularis 'Pigeon Point' / Coyote Brush  
Lantana montevidensis 'New Gold' / Trailing Lantana  
Lonocera japonica 'Halliana' / Hall's Honeysuckle Flowering Vine  
Myoporum parvifolium 'Putah Creek' / Putah Creek Myoporum  
Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary
- GROUND COVER PALETTE - MEDIUM WATER USE  
PLANT FROM 1 GAL. CONTAINERS  
Dianella lasmanica 'Casa Blue' / Flax Lily  
Rosa x 'Flower Carpet Red' / Flower Carpet Red Rose  
Trachelospermum jasminoides / Star Jasmine

**NOTES**

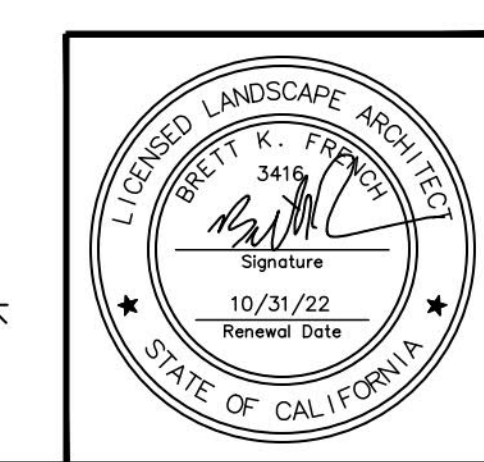
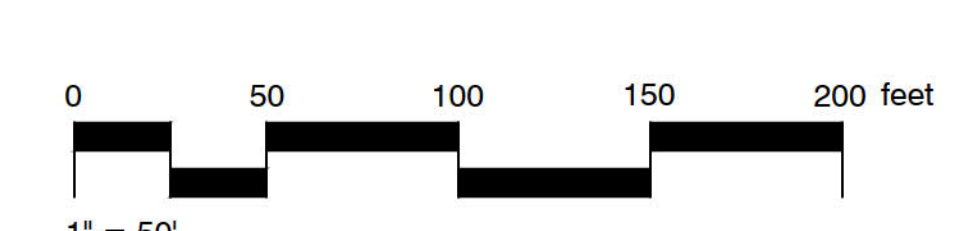
- ALL TREES WITHIN 6' OF HARDSCAPE SHALL BE IN A SHAWTOWN LINEAR (WRAP AROUND NOT ALLOWED) ROOT BARRIER 24" HIGH LINEAR ROOT BARRIER SHALL BE CENTERED ON TREE AND EXTEND 5' IN BOTH DIRECTIONS FOR A TOTAL OF 10'
- NOTE: QUANTITIES AND AREA CALCULATIONS SHOWN IN LEGEND ARE FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE FOR ALL QUANTITY TAKE-OFFS AND AREA CALCULATIONS FOR DETERMINING COST AND DELIVERY OF MATERIALS TO SITE.

**SHREDDED MULCH NOTE**

ALL PLANTER AREAS TO RECEIVE A 3" LAYER OF SHREDDED COVER MULCH AVAILABLE FROM EARTHWORKS (951)782-0260

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION
	3" THICK 3/4" DECORATIVE CRUSHED ROCK GRAVEL - MOJAVE GOLD OVER WEED BARRIER
	6"X6" CONCRETE MOW CURB TO SEPARATE SHRUB AREAS FROM DECORATIVE GRAVEL
	3" THICK 3/4" NATURAL COLORED CRUSHED ROCK GRAVEL - OVER WEED BARRIER
	4" THICK DECOMPOSED GRANITE FOR STORM CHANNEL ACCESS PER CITY STANDARDS



DEVELOPED BY: LAKE CREEK INDUSTRIAL LLC  
1302 BRITANNY CROSS ROAD  
SANTA ANA, CA 92705  
ATTN: MICHAEL JOHNSON  
PHONE: (786) 200-9681

PROPOSED DEVELOPMENT: PLACENTIA AVENUE DEVELOPMENT  
0000 PLACENTIA AVENUE  
CITY OF PERRIS, CA

PRELIMINARY LANDSCAPE PLAN

DRAWN BY: DATE  
BFK 09-15-21

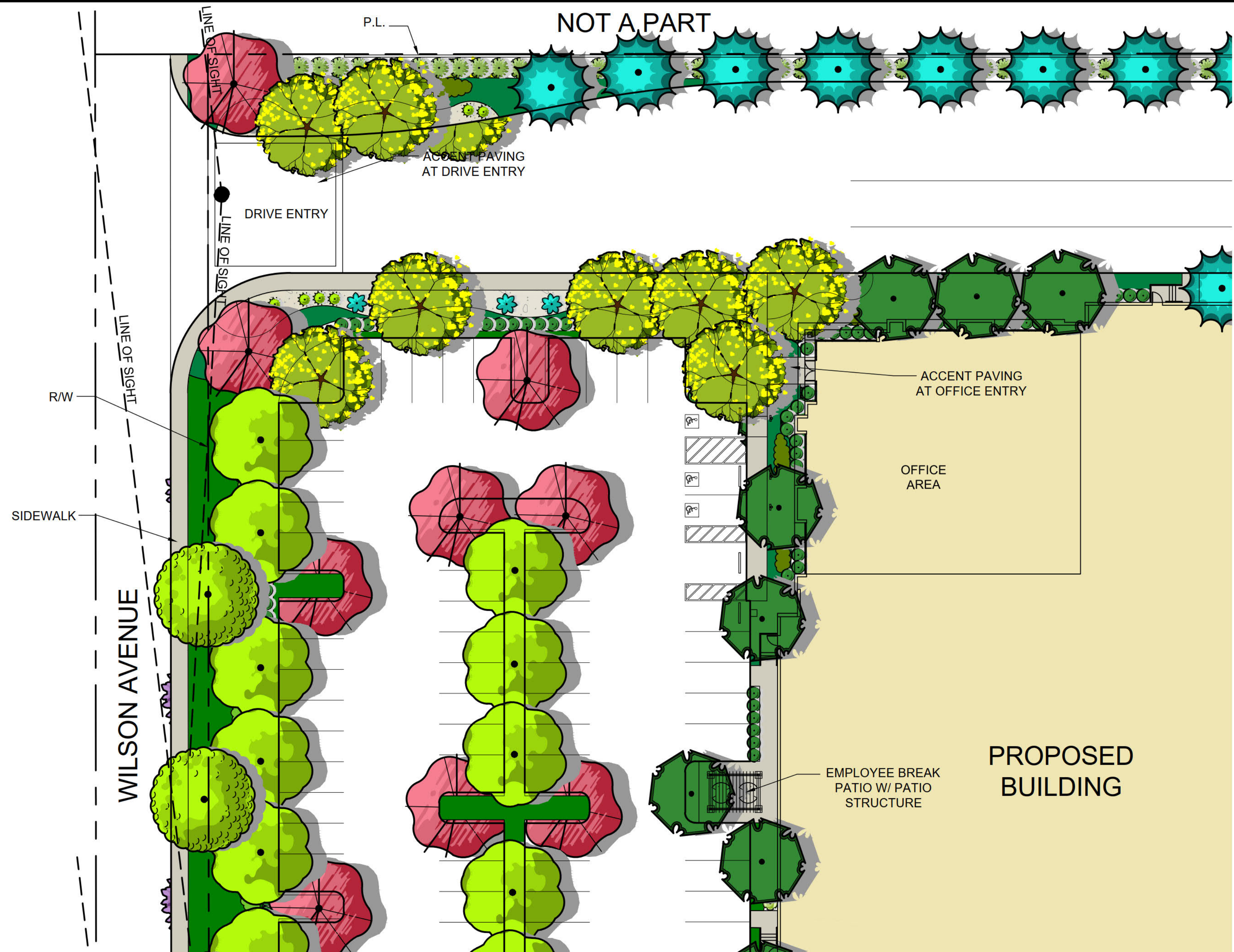
JOB NO.  
RGA00146

SHEET NO.  
L-2  
2 OF 2 SHEETS.

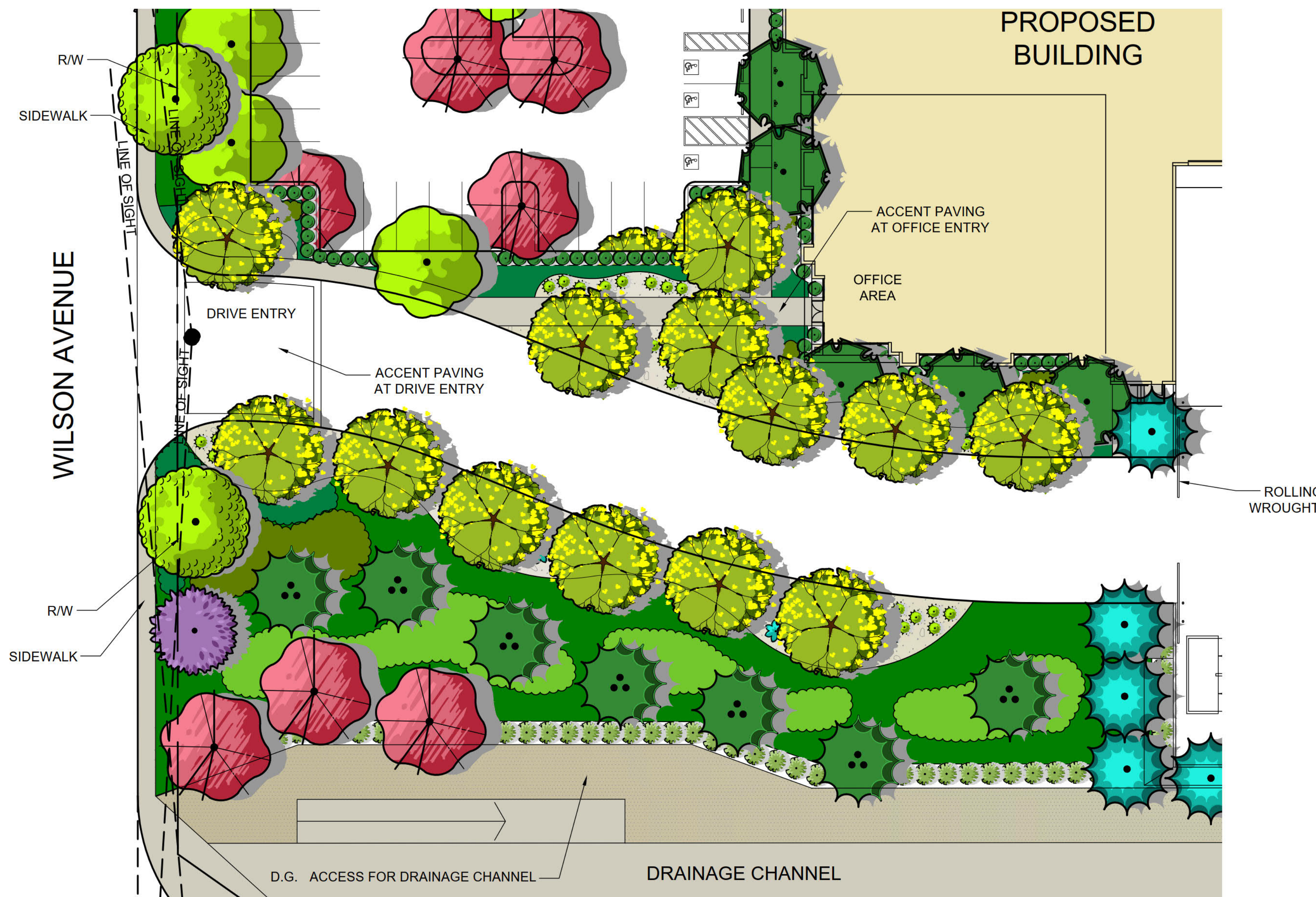
RESPONS

**Enviro**  
LANDSCAPE ARCHITECTURE  
Creating Sustainable & Water Conserving Solutions  
801 E. Bascom Ave., Suite 400  
Palo Alto, CA 94301  
Phone: (650) 962-4642

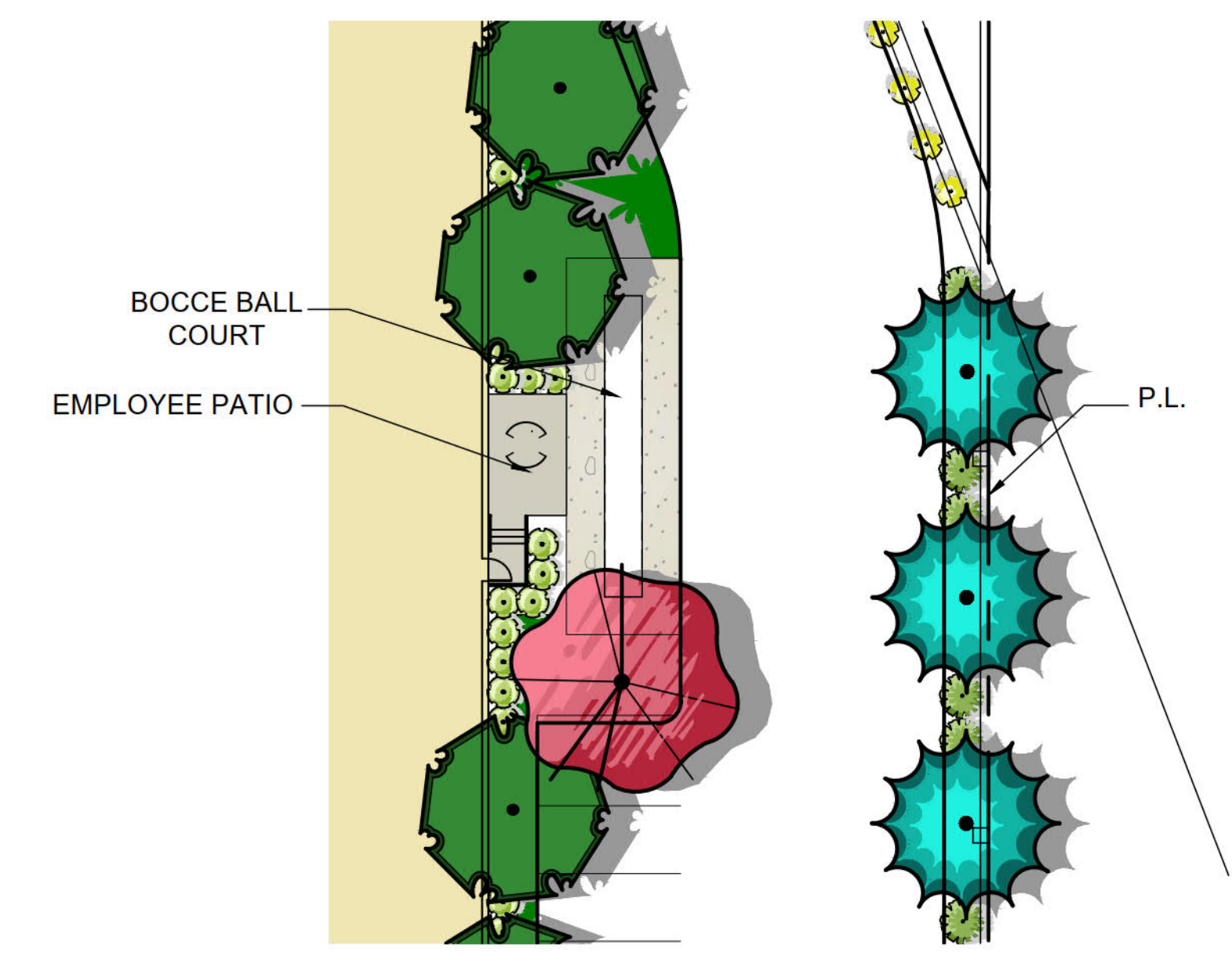




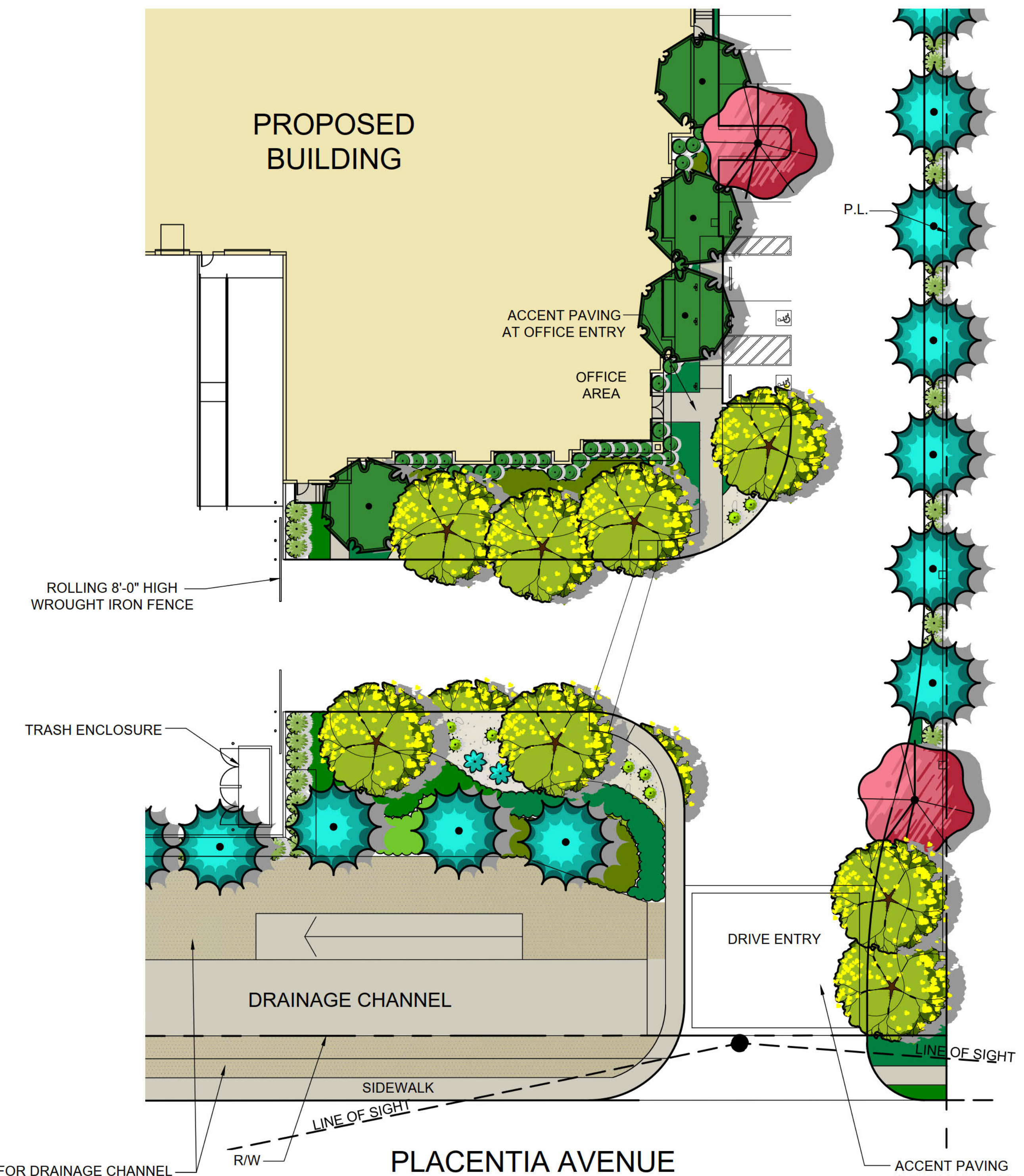
**ENLARGEMENT "A"**  
SCALE 1:20



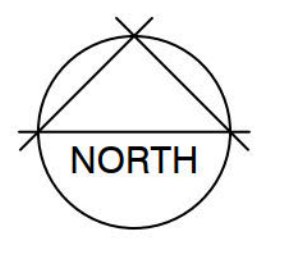
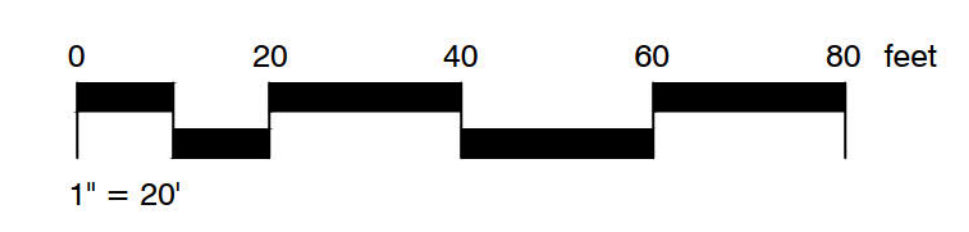
**ENLARGEMENT "B"**  
SCALE 1:20



**ENLARGEMENT "D"**  
SCALE 1:20



**ENLARGEMENT "C"**  
SCALE 1:20



DEVELOPED BY: <b>LAKE CREEK INDUSTRIAL LLC</b> 1302 BRITTANY CROSS ROAD SANTA ANA, CA 92705 ATTN: MICHAEL JOHNSON PHONE: (786) 200-9681	PRELIMINARY LANDSCAPE PLAN PLACENTIA AVENUE DEVELOPMENT 0000 PLACENTIA AVENUE CITY OF FERRIS, CA	DRAWN BY: BFK DATE: 09-15-21
		JOB NO.: RGA00146
		SHEET NO.: L-2 2 OF 2 SHTS.

CONSULTANT



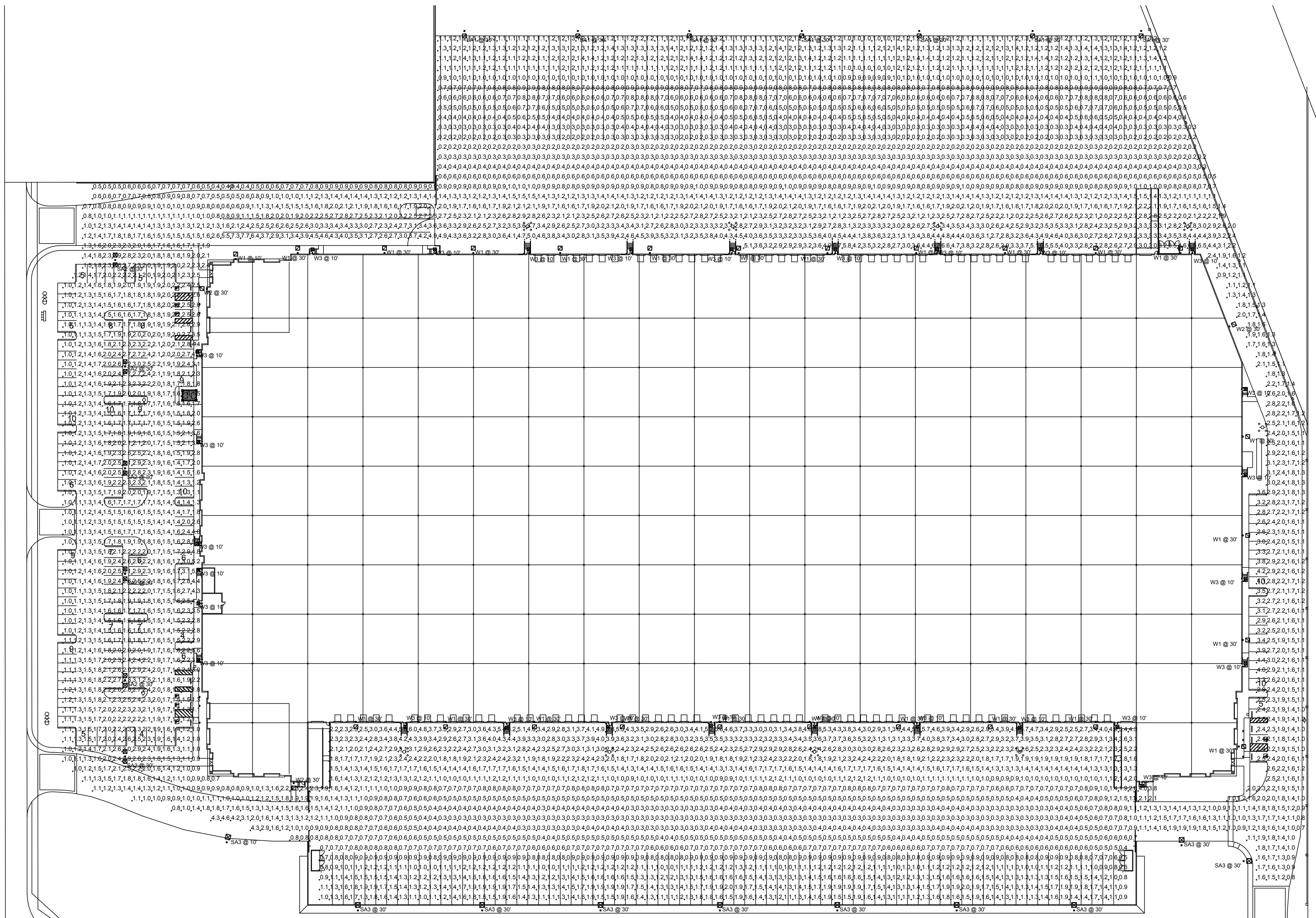
PROFESSIONAL SEALS



PROJECT NAME

PLACENTIA AVENUE DEVELOPMENT  
0000 PLACENTIA AVENUE  
CITY OF PERRIS, CA

LAKE CREEK INDUSTRIAL LLC  
1302 BRITANNY CROSS ROAD  
SANTA ANA, CA 92705

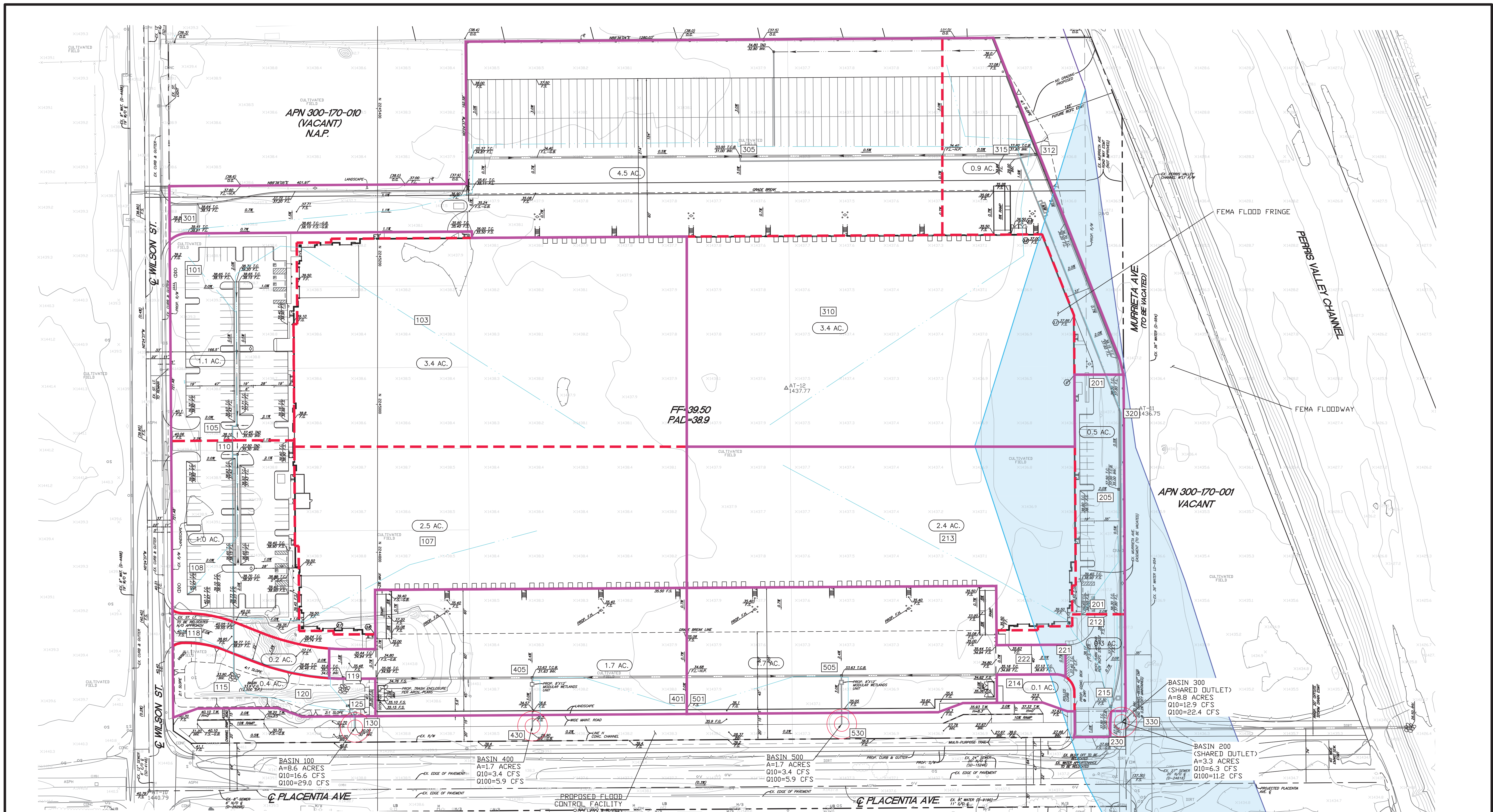


Symbol	Label	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Wattage
W1	U.S. ARCHITECTURAL LIGHTING	RZR-PLED-IV-80LED-700mA-27K-MM511 BUG B3 U0 GS WALL MT AT 30 FT AFG	CAST BLACK PAINTED FINNED METAL HOUSING.	80	280	173.6	
W2	U.S. ARCHITECTURAL LIGHTING	RZR-PLED-III-W-80LED-525mA-MM511 27K WALL MT AT 30 FT AFG BUG RATING B3 U0 GS	CAST BLACK PAINTED FINNED METAL HOUSING.	80	218	129.4	
W3	U.S. ARCHITECTURAL LIGHTING	RZR-WM1-PLED-III-W-20LED-525mA-27K-EM1 BUG RATING B1 U0 G2 WALL MT AT 10 FT AFG	CAST BLACK PAINTED FINNED METAL HOUSING.	20	207	32.4	
SA1	U.S. ARCHITECTURAL LIGHTING	RZR-PLED-IV-FT-80LED-525mA-27K-HS-MM511 POLE MT AT 30 FT AFG BUG RATING B1 U0 GS	CAST BLACK PAINTED FINNED METAL HOUSING.	80	166	129.4	
SA2	U.S. ARCHITECTURAL LIGHTING	RZR-PLED-V/SO-W-80LED-MM511 525mA-27K POLE MT AT 30 FT AFG BUG RATING B5 U0 GS	CAST BLACK PAINTED FINNED METAL HOUSING.	80	221	258.8	
SA3	U.S. ARCHITECTURAL LIGHTING	RZR-PLED-III-W-80LED-525mA-27K-HS-MM511 POLE MT AT 30 FT AFG BUG RATING B1 U0 GS	CAST BLACK PAINTED FINNED METAL HOUSING.	80	158	129.4	

ELECTRICAL SITE PHOTOMETRIC PLAN  
SCALE: 1"=50'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.4 fc	7.7 fc	0.2 fc	38.5:1	7.0:1

ELECTRICAL PHOTOMETRIC SITE PLAN

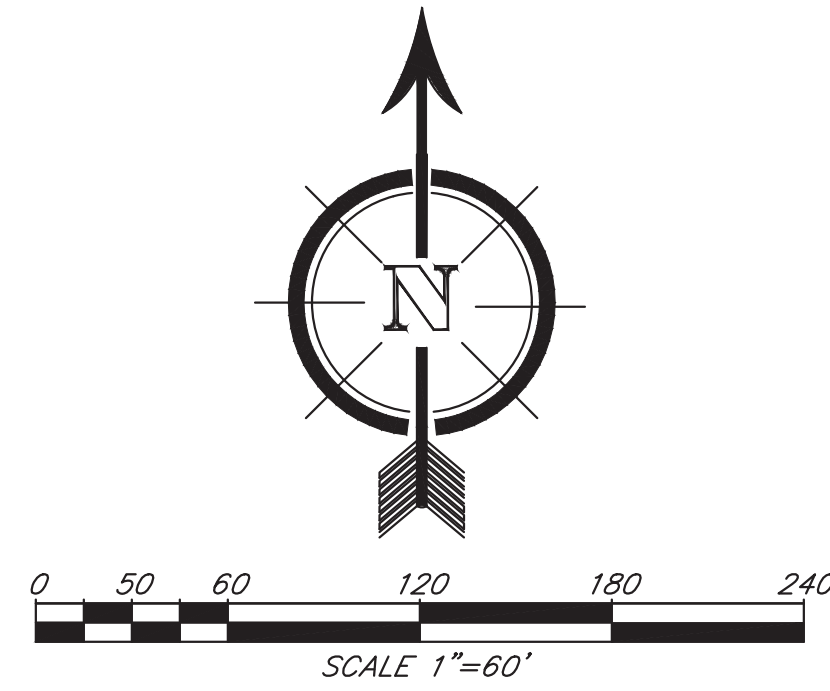


**NOTES:**

1. THIS DRAINAGE STUDY MAP IS PREPARED IN SUPPORT OF THE ON-SITE PRELIMINARY HYDROLOGIC CALCULATIONS AND STORM DRAIN SIZING.
2. AS PART OF THIS PROJECT, A PORTION OF THE PERRIS VALLEY MASTER DRAINAGE PLAN (MDP) "LINE H" (FLOOD CONTROL FACILITY) WILL BE DESIGNED AND CONSTRUCTED ALONG THE PROJECT FRONTAGE (NORTH OF PLACENTIA AVENUE) WITH THE PREVIOUSLY ACCEPTED 100-YEAR PEAK FLOW RATE OF 1,995 CFS. THE FACILITY WILL BE CONSTRUCTED FROM THE DOWNSTREAM END OF THE PROJECT UP TO THE INTERSECTION OF WILSON STREET AND PLACENTIA AVENUE. CURRENTLY, THE FACILITY IS EXPECTED TO BE A CONCRETE RECTANGULAR OPEN CHANNEL WITH THE DIMENSION OF 20'(WIDE)X7.5'(HIGH). A PRELIMINARY HYDRAULIC CALCULATION HAS BEEN PERFORMED USING THE MSPW PROGRAM. THE IMPROVEMENT PLANS WILL BE DEVELOPED AT THE TIME OF THE FINAL CONSTRUCTION DOCUMENT STAGE. THE ON-SITE RUNOFF IS EXPECTED TO CONNECT INTO THIS PROPOSED FLOOD CONTROL FACILITY.
3. THERE ARE TWO OFFSITE RUN-ON AREAS: ONE NEAR THE NORTHWESTERLY CORNER BY THE EXISTING CROSS GUTTER ALONG WILSON STREET ALONG WITH A NORTHWESTERLY EXISTING PARCEL (NOT A PART); AND SECOND AREA FROM PORTIONS OF THE NORTHERLY PARCELS. THE OFFSITE FLOWS FROM WILSON STREET AS WELL AS THE NORTHWESTERLY PARCEL ARE EXPECTED TO BE CONVEYED VIA A PROPOSED STORM DRAIN ALONG WILSON STREET IN A SOUTHERLY DIRECTION AND CONNECT INTO THE AFOREMENTIONED PROPOSED FLOOD CONTROL FACILITY AT THE INTERSECTION OF WILSON ST. AND PLACENTIA AVE. THE NORTHERLY OFFSITE AREA WILL BE CONVEYED VIA A PROPOSED PERIMETER DITCH IN AN EASTERLY DIRECTION TOWARDS MURRIETA AVE (TO BE VACATED) AND A VACANT PARCEL (AS SIMILAR TO THE EXISTING CONDITION).
4. THE SITE IS SITUATED ON HYDROLOGIC SOIL GROUPS C AND D. FOR THE PURPOSE OF HYDROLOGIC CALCULATION (FOR MORE CONSERVATIVE APPROACH), SOIL GROUP D WAS USED IN THE CALCULATION.

**LEGEND**

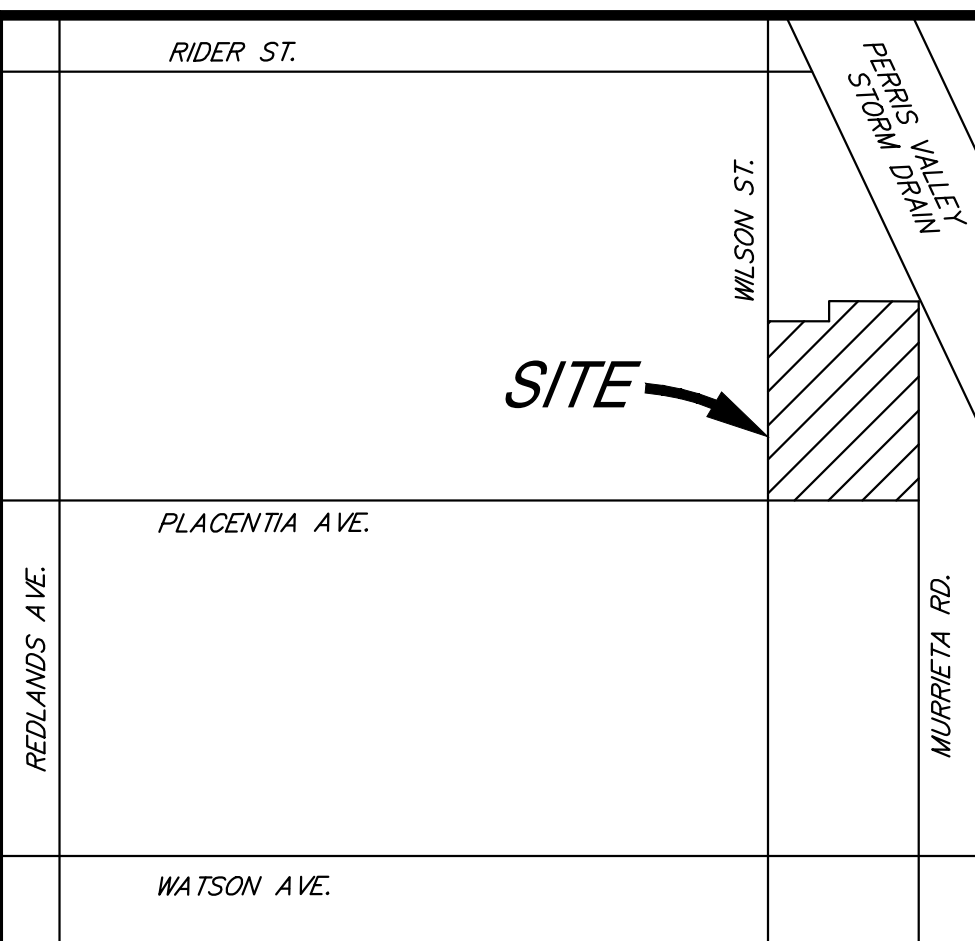
- TRACT BOUNDARY
- MAJOR DRAINAGE BOUNDARY
- SUB BASIN BOUNDARY
- DRAINAGE FLOW PATH
- DRAINAGE ACREAGE X.X AC.
- BASIN NODE ID XXX
- DISCHARGE LOCATION



**DRAINAGE STUDY MAP  
FOR  
LAKE CREEK-PLACENTIA  
(POST-PROJECT)**

JN 2105      DATE: 10/18/2021

IN THE CITY PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.  
**PRELIMINARY GRADING PLAN**  
 OCTOBER 2021



VICINITY MAP  
NOT TO SCALE

**OWNER/APPLICANT**

LAKE CREEK INDUSTRIAL, LLC  
 1302 BRITANNY CROSS CIRCLE  
 SANTA ANA, CA 92705  
 PHONE: (949) 910-4616

**ENGINEER**

SDH & ASSOCIATES, INC  
 27363 VIA INDUSTRIA  
 TEMECULA, CA 92590  
 VOICE: (951) 683-3691  
 FAX: (951) 788-2314

**ARCHITECT**

RGA  
 15231 ALTON PARKWAY  
 SUITE 100  
 IRVINE, CA 92618  
 TEL: (949) 341-0920

**TOPOGRAPHY SOURCE**

AERIAL PHOTOGRAMMETRY PERFORMED BY:  
 ARROWHEAD MAPPING  
 PHONE- (909) 889-2420

**PROJECT DATA**

GROSS SITE AREA: 1,195,346 S.F. (27.4 AC.)  
 NET SITE AREA: 1,138,717 S.F. (26.1 AC.)  
 BUILDING AREA: 513,776 S.F.

**APN:**

- 300-170-003
- 300-170-004
- 300-170-005
- 300-170-006
- 300-170-011
- 300-170-012
- 300-170-013
- 300-170-014
- 300-170-015
- 300-170-016
- 300-170-017

**BASIS OF BEARINGS**

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF PLACENTIA AVENUE PER PARCEL MAP NO. 31743, PMB 210/43-44 BEING NORTH 89°36'05" EAST

**ZONING**

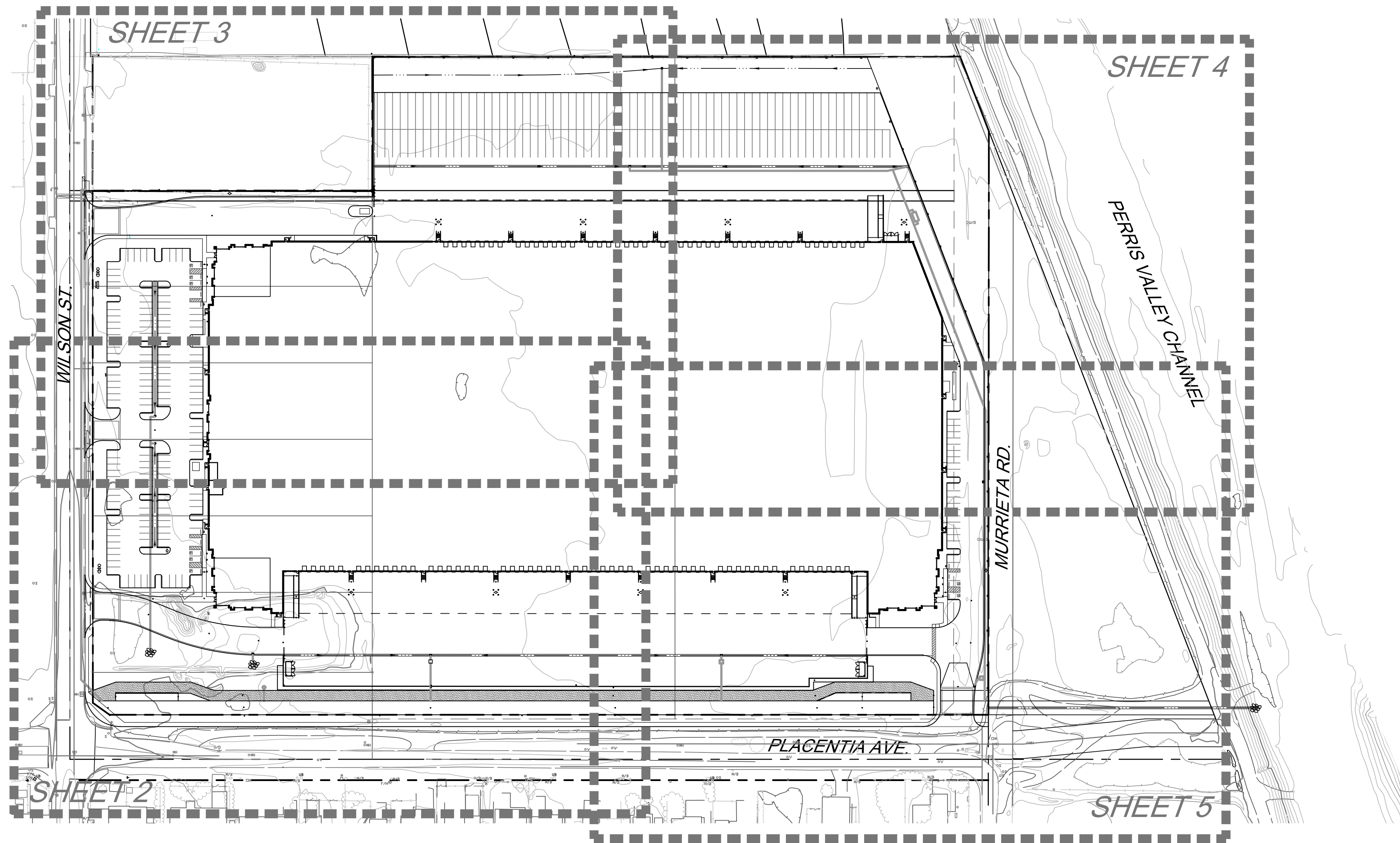
EXISTING ZONING: LIGHT INDUSTRIAL  
 PROPOSED ZONING: LIGHT INDUSTRIAL

**LEGEND**

- T.C.B. - TOP CATCH BASIN
- F.G. - FINISHED GRADE
- F.L. - FLOW LINE
- H.P. - HIGH POINT
- EXIST. - EXISTING
- P.E. - PAD ELEVATION
- G.B. - GRADE BREAK
- - STEM WALL HEIGHT
- TRACT BOUNDARY
- - - CENTERLINE
- ==== CURB AND GUTTER
- ~ 1280 ~ EXISTING CONTOUR LINE
- LOT LINE
- - - SLOPE

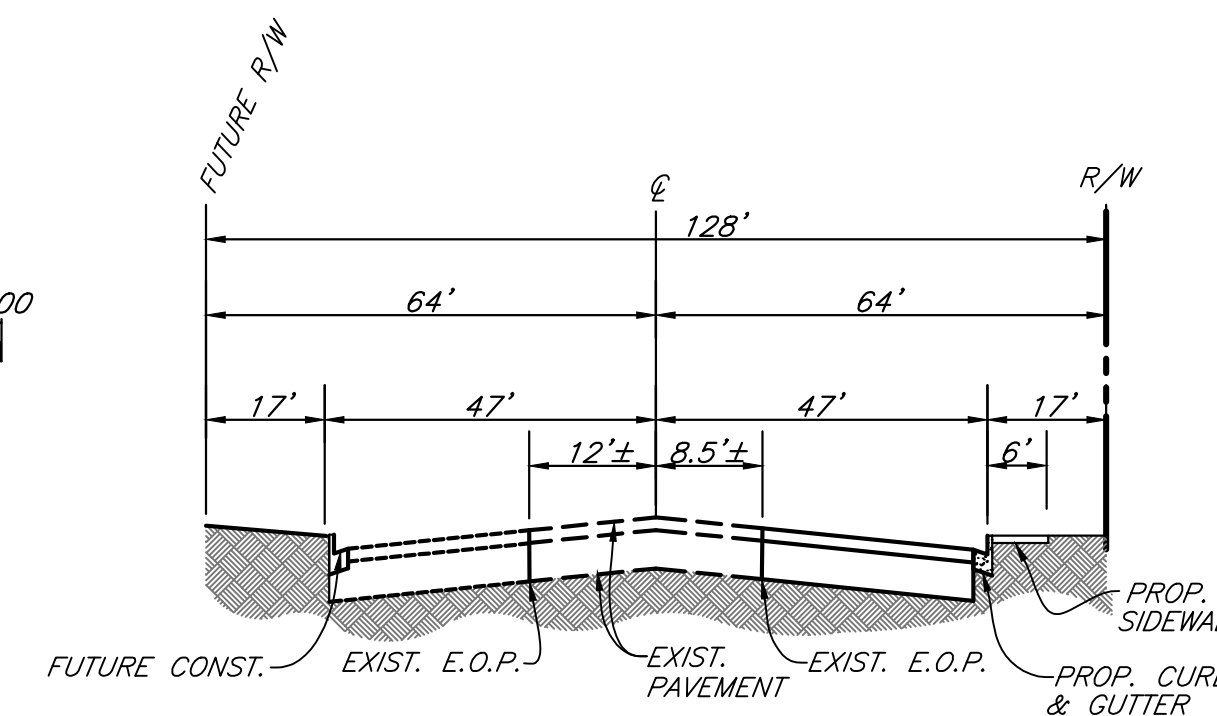
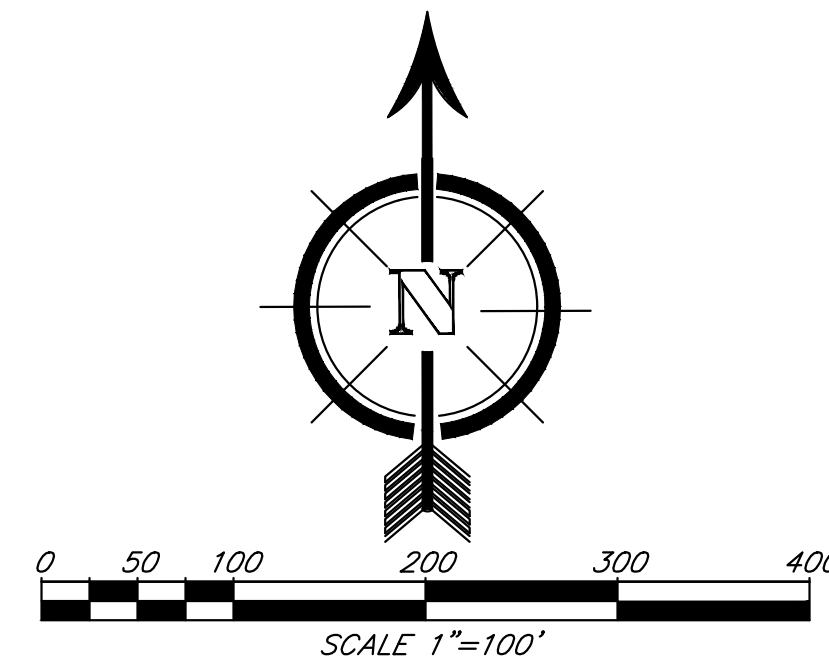
**SHEET INDEX**

SHEET 1: TITLE SHEET  
 SHEET 2-5: PRELIMINARY GRADING PLAN  
 SHEET 6: SECTIONS AND DETAILS

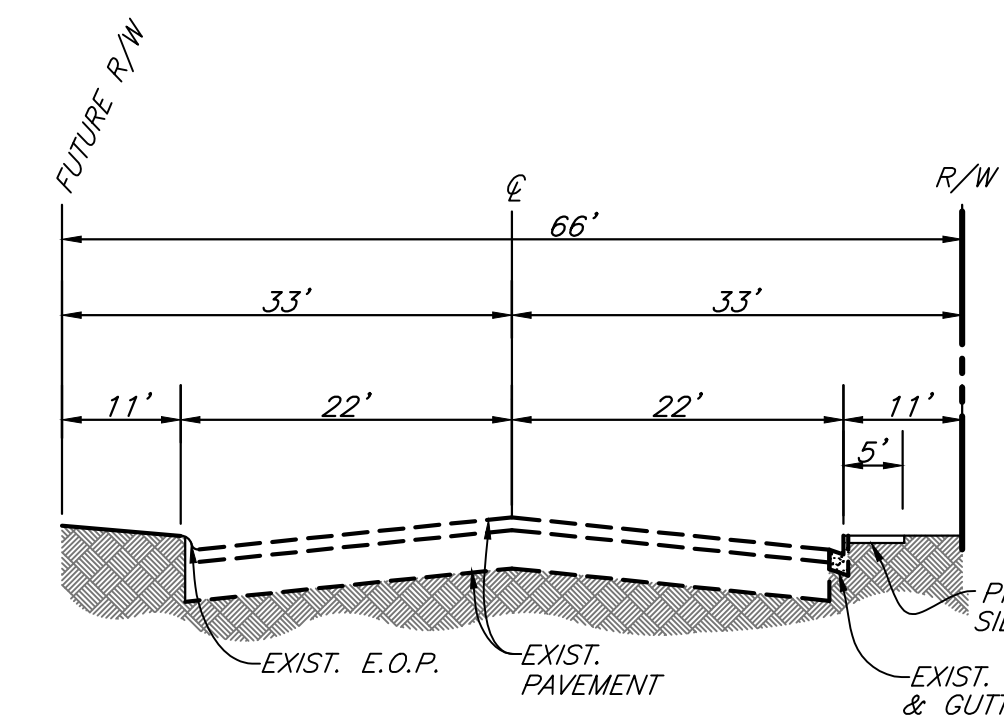


**CONSTRUCTION NOTES**

- 1 CONSTRUCT 3" A.C. OVER 4" A.B. PAVEMENT DRIVE AND PARKING AREAS
- 2 CONSTRUCT 6" CURB ONLY PER DETAIL ON SHEET 6
- 3 CONSTRUCT 6" CURB & GUTTER PER DETAIL ON SHEET 6
- 4 CONSTRUCT 3" WIDE RIBBON GUTTER PER DETAIL ON SHEET 6
- 5 CONSTRUCT 24"X24" CATCH BASIN
- 6 CONSTRUCT 12" ATRIUM GRATE LANDSCAPE CATCH BASIN
- 7 CONSTRUCT RIP-RAP PAD, 6"-8" DIA. ROCK
- 8 CONSTRUCT STORM DRAIN
- 9 12" GAP IN CURB FOR DRAINAGE CONVEYANCE
- 10 CONSTRUCT COMMERCIAL DWY APPROACH
- 11 CONSTRUCT OFFSITE A.C. OVER A.B. PAVING
- 12 CONSTRUCT OFFSITE 6" CURB & GUTTER
- 13 CONSTRUCT OFFSITE SIDEWALK
- 14 CONSTRUCT 2' WIDE 1' DEEP BROW DITCH
- 15 CONSTRUCT PARKWAY DRAIN
- 16 CONSTRUCT P.C.C. CONCRETE PAVING TRUCK COURT
- 17 CONSTRUCT HANDICAP RAMP
- 18 CONSTRUCT MODULAR WETLANDS UNIT (SEE PLANS FOR SIZE)
- 19 CONSTRUCT 42" CMP OFFSITE STORM DRAIN
- 20 CONSTRUCT RETAINING WALL (PER SEPARATE PERMIT)



TYPICAL SECTION  
 PLACENTIA AVENUE  
 INDUSTRIAL COLLECTOR  
 NOT TO SCALE



TYPICAL SECTION  
 WILSON STREET  
 INDUSTRIAL COLLECTOR  
 NOT TO SCALE

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 2, AS SHOWN BY PARCEL MAP 6132, ON FILE IN BOOK 15 PAGE 69 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF PERRIS BY DOCUMENT RECORDED MARCH 4, 1988 AS INSTRUMENT NO. 57919 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA DESCRIBED AS FOLLOWS:

THAT PORTION OF PARCELS 1, 2, AND 3 OF PARCEL MAP NO. 6132 AS SHOWN BY PARCEL MAP ON FILE IN BOOK 15 PAGE 69, OF PARCEL MAPS RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

A STRIP OF LAND 15.00 FEET WIDE, THE CENTER LINE OF SAID STRIP BEING DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHWEST CORNER OF SAID PARCEL 1, SAID SOUTHWEST CORNER BEING ALSO THE CENTER LINE INTERSECTION OF PLACENTIA AVENUE AND WILSON AVENUE (SHOWN AS WILSON STREET ON SAID PARCEL MAP 6132);  
 THENCE NORTH 0 DEGREES 24' 54" WEST ALONG THE WEST LINE OF SAID PARCEL 1, BEING ALSO ALONG SAID CENTER LINE OF WILSON AVENUE, A DISTANCE OF 810.00 FEET TO THE TRUE POINT OF BEGINNING;  
 THENCE NORTH 99 DEGREES 35' 58" EAST, PARALLEL WITH SAID CENTER LINE OF PLACENTIA AVENUE, A DISTANCE OF 1321.17 FEET TO THE EAST LINE OF SAID PARCEL MAP NO. 6132, THE EASTERLY TERMINUS OF SAID STRIP;

EXCEPTING THEREFROM THOSE PORTIONS LYING WITHIN PARCELS 1 AND 3 OF SAID PARCEL MAP 6132.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 3 AS SHOWN BY PARCEL MAP 6132, ON FILE IN BOOK 15 PAGE 69, OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF PERRIS IN DOCUMENT RECORDED MARCH 4, 1988 AS INSTRUMENT NO. 57919 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

THAT PORTION OF PARCEL 3 OF PARCEL MAP NO. 6132 AS SHOWN BY MAP ON FILE IN BOOK 15 PAGE 69 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:  
 A STRIP OF LAND 15.00 FEET WIDE, THE CENTER LINE OF SAID STRIP BEING DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHWEST CORNER OF PARCEL 1, OF SAID MAP, SAID SOUTHWEST CORNER ALSO BEING THE CENTER LINE INTERSECTION OF PLACENTIA AVENUE AND WILSON AVENUE (SHOWN AS WILSON STREET OF SAID PARCEL MAP NO. 6132);

THENCE NORTH 0 DEGREES 24' 54" WEST ALONG THE WEST LINE OF SAID PARCEL 1, BEING ALSO ALONG SAID CENTER LINE OF WILSON AVENUE, A DISTANCE OF 810.00 FEET TO THE TRUE POINT OF BEGINNING;  
 THENCE NORTH 99 DEGREES 35' 58" EAST, PARALLEL WITH SAID CENTER LINE OF PLACENTIA AVENUE, A DISTANCE OF 1321.17 FEET TO THE EAST LINE OF SAID PARCEL MAP NO. 6132, THE EASTERLY TERMINUS OF SAID STRIP.

FOR CONVEYANCING PURPOSES ONLY: APN 300-170-005 (AFFECTS: PORTION OF SAID LAND)  
 APN 300-170-006 (AFFECTS: PORTION OF SAID LAND)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCELS 3, 4, 5, 6, 7, & C OF PARCEL MAP NO. 31743, IN THE CITY OF PERRIS, AS SHOWN BY MAP ON FILE IN BOOK 210, PAGE(S) 43 AND 44 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

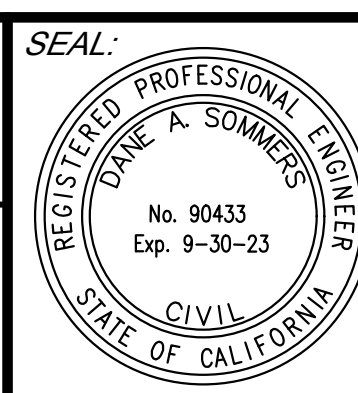
FOR CONVEYANCING PURPOSES ONLY: APNS

- 300-170-011 (AFFECTS PARCEL 2)
- 300-170-012 (AFFECTS PARCEL 3)
- 300-170-013 (AFFECTS PARCEL 4)
- 300-170-014 (AFFECTS PARCEL 5)
- 300-170-015 (AFFECTS PARCEL 6)
- 300-170-016 (AFFECTS PARCEL 7)
- 300-017-017 (AFFECTS PARCEL C)

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

MARK	DESCRIPTION	BY	APPR	DATE
DESIGNED BY:	S.S.	DRAWN BY:	S.J.S.	
CHECKED BY:	D.A.S.	PROJECT MANAGER:	S.S.	

PLANNING DIVISION:	DATE:
PREPARED BY:	DATE:
DANE SOMMERS	EXP. 9-30-21
R.C.E. NO.: 90433	



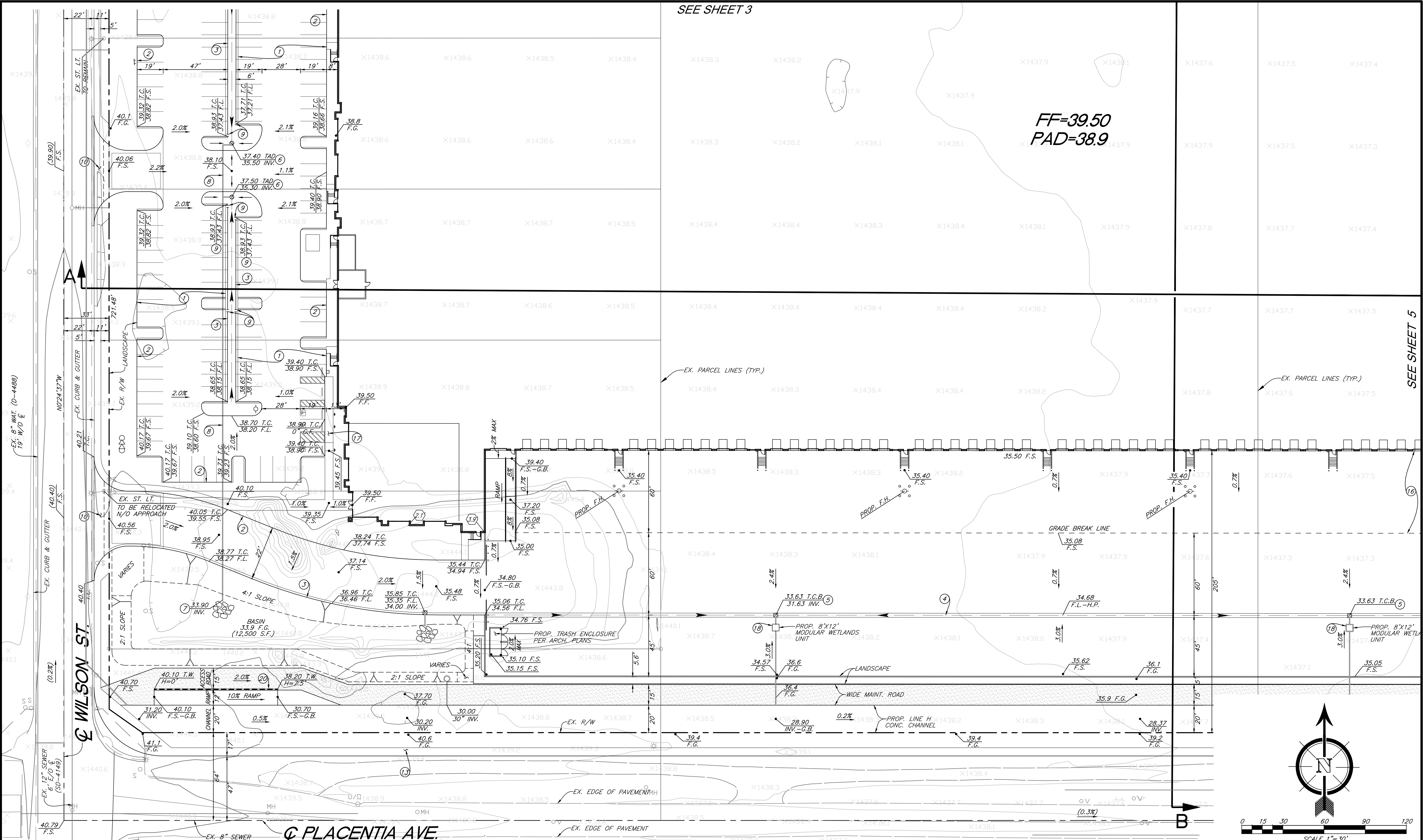
PREPARED BY:	SDH & ASSOCIATES INC. 27363 VIA INDUSTRIA TEMECULA, CA 92590 TEL: (951) 683-3691 FAX (951) 788-2314
SCALE: 1"=100'	BENCHMARK NBS BENCHMARK NO. 431 P.D. D5438 RIVERSIDE COUNTY, CALIFORNIA ELEVATION = 1,441.10' NAVD 83 DESCRIPTION: AT THE NORTHEAST CORNER OF RIDER ST AND WILSON AVE, 57 FEET (17.4 M) EAST OF CENTERLINE OF WILSON PRODUCED AND 35.2 FEET (10.7 M) NORTH OF RIDER ST, A 4 FOOT (1.2 M) DIAMETER CONCRETE BASE OF A STEEL EROSION POWER POLE, A 3-1/4 INCH STANDARD MWDG ALUMINUM D5438TDSK SET ON SOUTHSIDE FLUSH.
DATE: OCTOBER 2021	

CITY OF PERRIS		1 OF 6 SHEETS
LAKE CREEK - PLACENTIA		
PRELIMINARY GRADING PLAN		
TITLE SHEET		
FOR:	W.O.	CITY FILE NO.

SEE SHEET 3

FF=39.50  
PAD=38.9

SEE SHEET 5



**PRELIMINARY  
NOT FOR CONSTRUCTION**

MARK	DESCRIPTION	BY	APPR	DATE
DESIGNED BY:	S.S.	DRAWN BY:	S.J.S.	
CHECKED BY:	D.A.S.	PROJECT MANAGER:	S.S.	

PLANNING DIVISION:	DATE:
PREPARED BY:	DATE:
DANE SOMMERS	EXP. 9-30-21
R.C.E. NO.: 90433	



PREPARED BY:	SDH ASSOCIATES INC.
SCALE:	1"=30'
DATE:	OCTOBER 2021
<b>BENCHMARK</b> NGS BENCHMARK NO. 431 PFD: DKS438 RIVERSIDE COUNTY, CALIFORNIA ELEVATION = 1,441.70' NAVD 83 DESCRIPTION: AT THE NORTHEAST CORNER OF RIDER ST AND WILSON AVE, 57 FEET (17.4 M) EAST OF CENTERLINE OF WILSON, PRODUCED AND SET 3/2 FEET (10.7 M) NORTH OF RIDER ST, A 4 FOOT (1.2 M) DIAMETER CONCRETE BASE OF A STEEL EROSION POWER POLE, A 3-1/4 INCH STANDARD WIDESC ALUMINUM DSK438 DISK SET ON SOUTHSIDE FLUSH.	

CITY OF PERRIS		2
LAKE CREEK - PLACENTIA		OF
PRELIMINARY GRADING PLAN		6
		SHEETS
FOR:	W.O.	CITY
		FILE NO.

APN 300-170-009  
(VACANT)

FIRST INDUSTRIAL  
DPR 19-00007

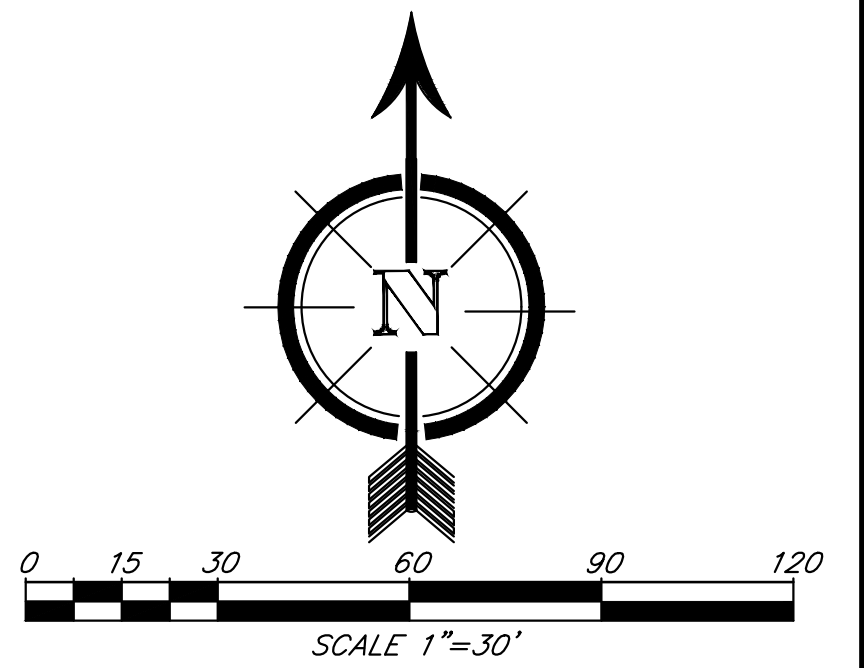
APN 300-170-010  
(VACANT)  
N.A.P.

WILSON ST.

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

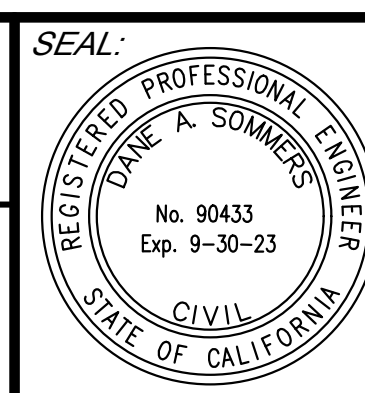
SEE SHEET 2

FF=39.50  
PAD=38.9



MARK	DESCRIPTION	BY	APPR	DATE
DESIGNED BY:	S.S.	DRAWN BY:	S.J.S.	
CHECKED BY:	D.A.S.	PROJECT MANAGER:	S.S.	

PLANNING DIVISION:	DATE:
PREPARED BY:	DATE:
DANE SOMMERS	EXP. 9-30-21
R.C.E. NO.: 90433	



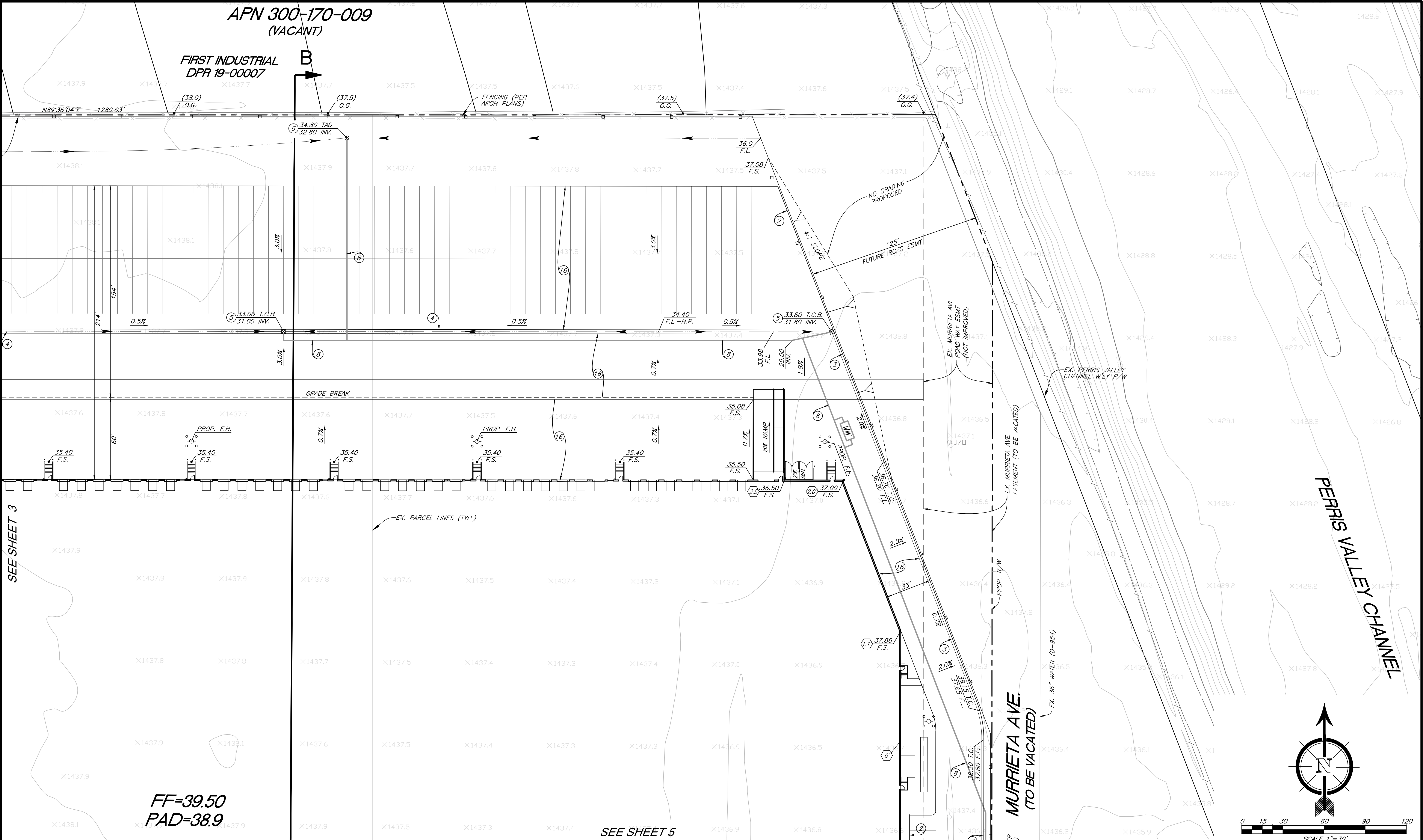
PREPARED BY:	SDH ASSOCIATES INC. 27363 VIA INDUSTRIAL TEMECULA, CA 92590 TEL: (951) 683-3691 FAX: (951) 788-2314
SCALE:	1"=30'
DATE:	OCTOBER 2021
BENCHMARK NAD 83 BENCHMARK NO. 431 P.D. D5438 RIVERSIDE COUNTY, CALIFORNIA ELEVATION = 1,441.70' NAVD 83 DESCRIPTION: AT THE NORTHEAST CORNER OF RIDER ST AND WILSON AVE, 57 FEET (17.4 M) EAST OF CENTERLINE OF WILSON PRODUCED AND 35.2 FEET (10.7 M) NORTH OF RIDER ST, A 4 FOOT (1.2 M) DIAMETER CONCRETE BASE OF A STEEL EROSION POWER POLE. A 3-1/4 INCH STANDARD MWDSC ALUMINUM D54387DISK SET ON SOUTHSIDE FLUSH.	

CITY OF PERRIS LAKE CREEK - PLACENTIA PRELIMINARY GRADING PLAN		3 OF 6 SHEETS
FOR:	W.O.	CITY FILE NO.

APN 300-170-009  
(VACANT)

FIRST INDUSTRIAL  
DPR 19-00007

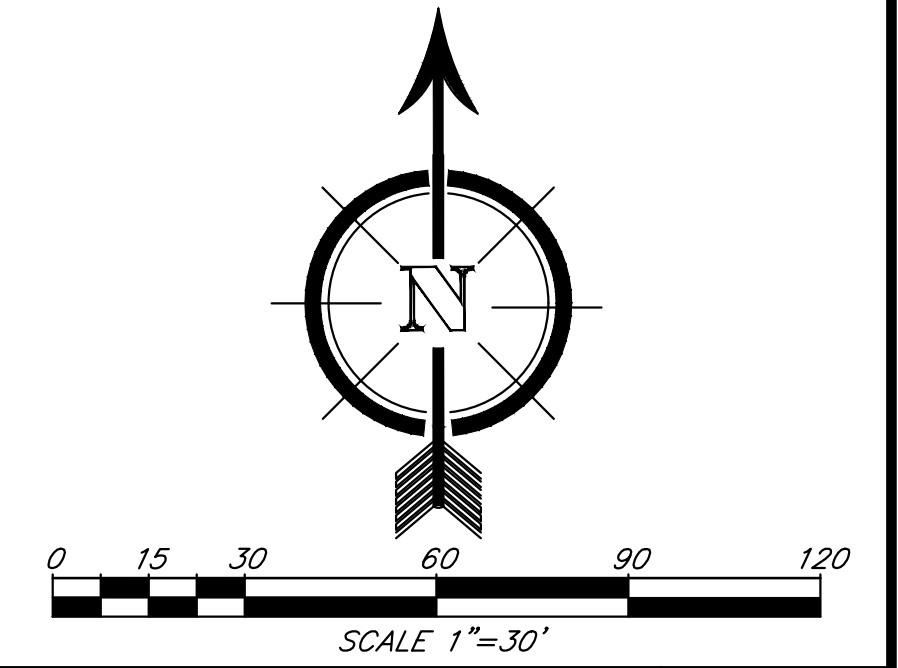
B



SEE SHEET 3

FF=39.50  
PAD=38.9

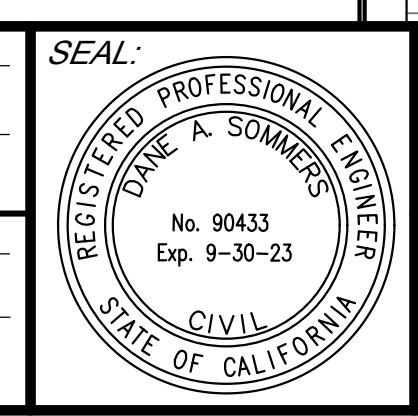
SEE SHEET 5



**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

MARK	DESCRIPTION	BY	APPR	DATE
DESIGNED BY:	S.S.	DRAWN BY:	S.J.S.	
CHECKED BY:	D.A.S.	PROJECT MANAGER:	S.S.	

PLANNING DIVISION: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PREPARED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DANE SOMMERS  
 R.C.E. NO.: 90433 EXP. 9-30-21



PREPARED BY: SDH ASSOCIATES INC.  
 SDH AND ASSOCIATES INC.  
 27363 VIA INDUSTRIA  
 TEMECULA, CA 92590  
 TEL: (951) 683-3691 FAX: (951) 788-2314  
 BENCHMARK  
 NOS BENCHMARK NO. 431 P.D. D5438 RIVERSIDE COUNTY, CALIFORNIA  
 ELEVATION = 1,441.70' NAVD 83  
 DESCRIPTION: AT THE NORTHEAST CORNER OF RIDER ST AND WILSON AVE, 57 FEET (17.4 M) EAST OF CENTERLINE OF WILSON PRODUCED AND 35.2 FEET (10.7 M) NORTH OF RIDER ST, A 4 FOOT (1.2 M) DIAMETER CONCRETE BASE OF A STEEL EROSION POWER POLE - A 3-1/4 INCH STANDARD MWDSC ALUMINUM D5438 DISK SET ON OUTSIDE FLUSH.  
 SCALE: 1"=30'  
 DATE: OCTOBER 2021

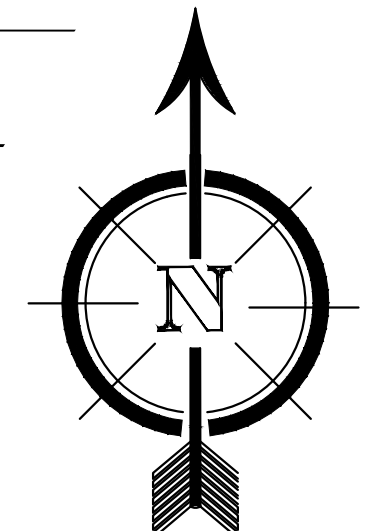
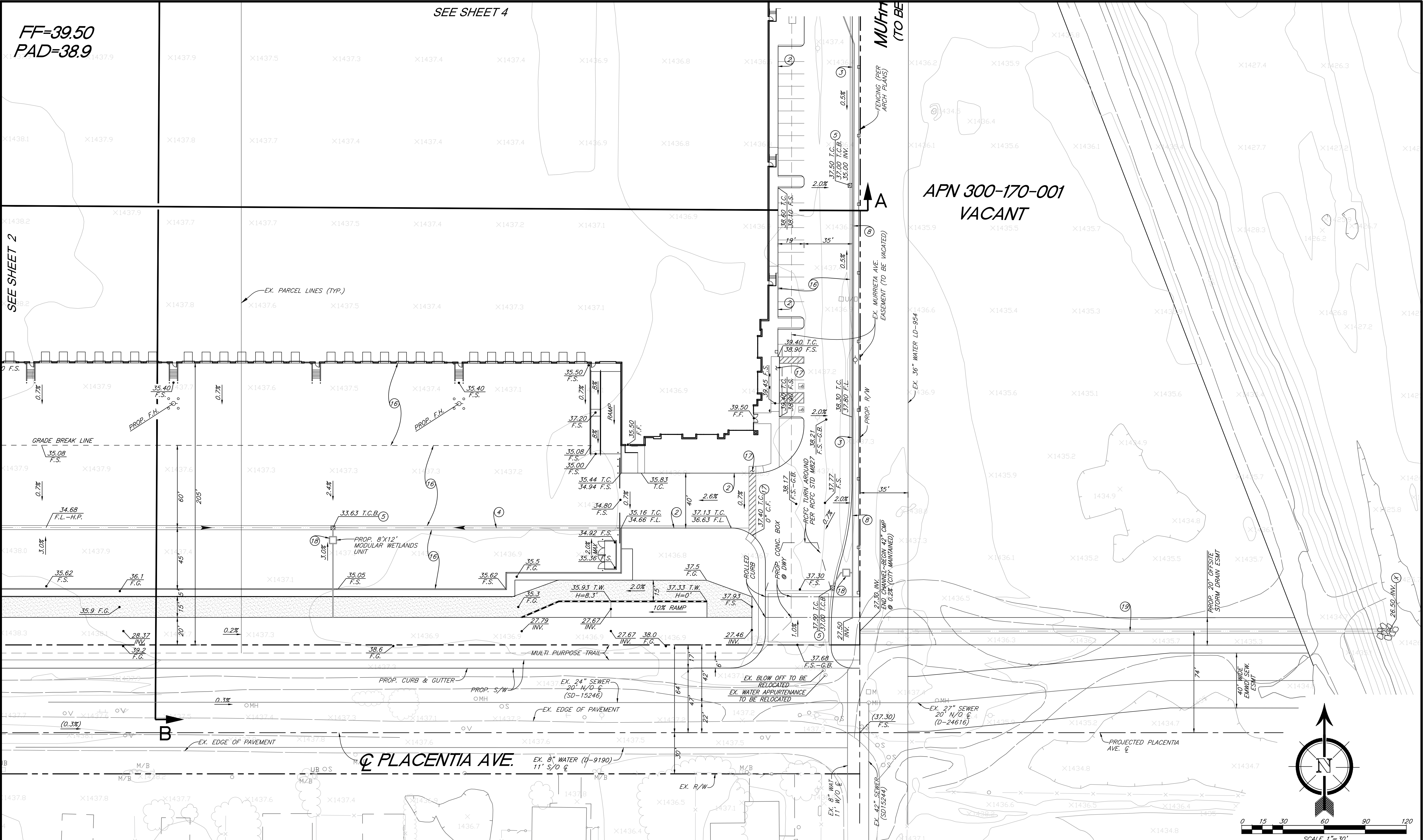
CITY OF PERRIS  
**LAKE CREEK - PLACENTIA**  
**PRELIMINARY GRADING PLAN**  
 4 OF 6 SHEETS  
 FOR: \_\_\_\_\_ W.O. \_\_\_\_\_ CITY FILE NO. \_\_\_\_\_

FF=39.50  
PAD=38.9

SEE SHEET 4

APN 300-170-001  
VACANT

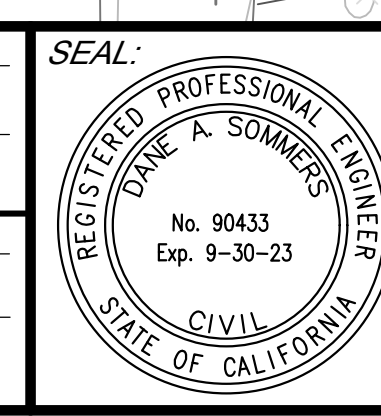
SEE SHEET 2



**PRELIMINARY  
NOT FOR CONSTRUCTION**

MARK	DESCRIPTION	BY	APPR	DATE
DESIGNED BY:	S.S.	DRAWN BY:	S.J.S.	
CHECKED BY:	D.A.S.	PROJECT MANAGER:	S.S.	

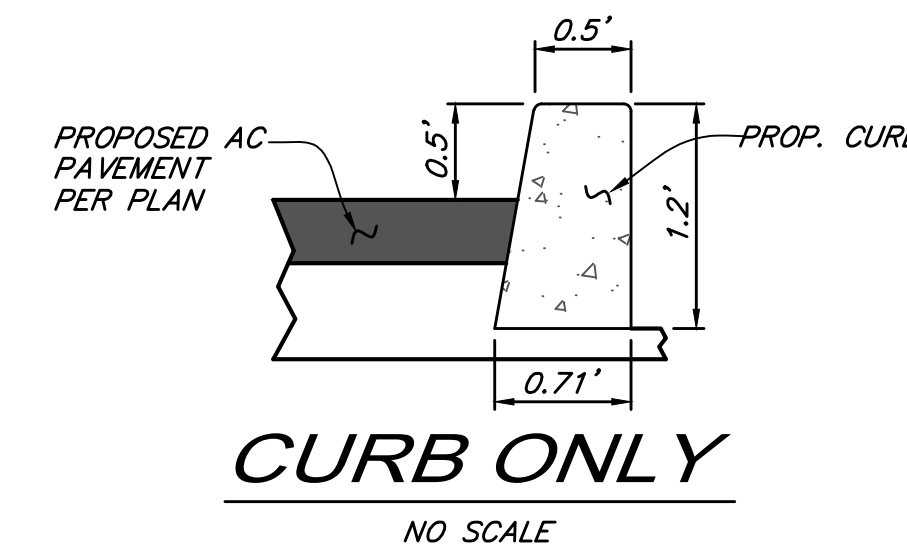
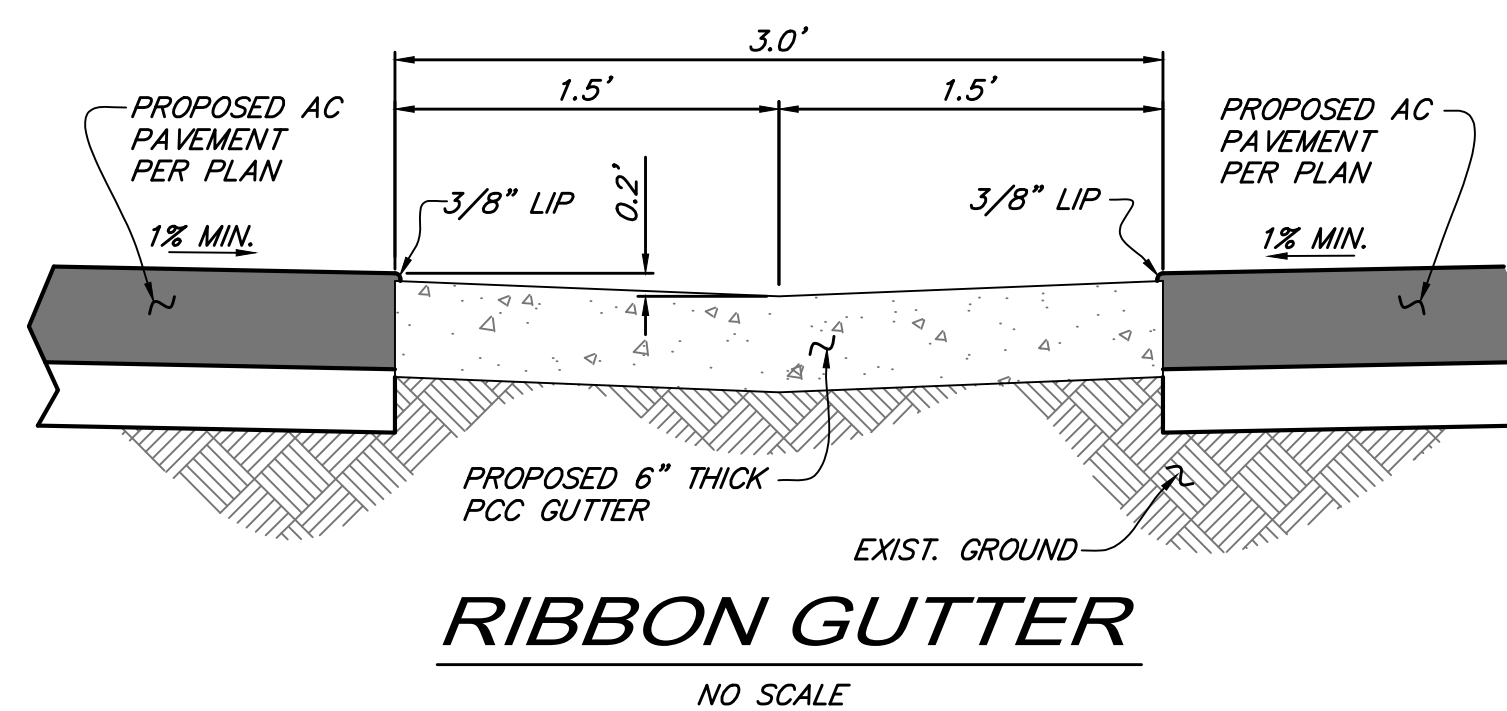
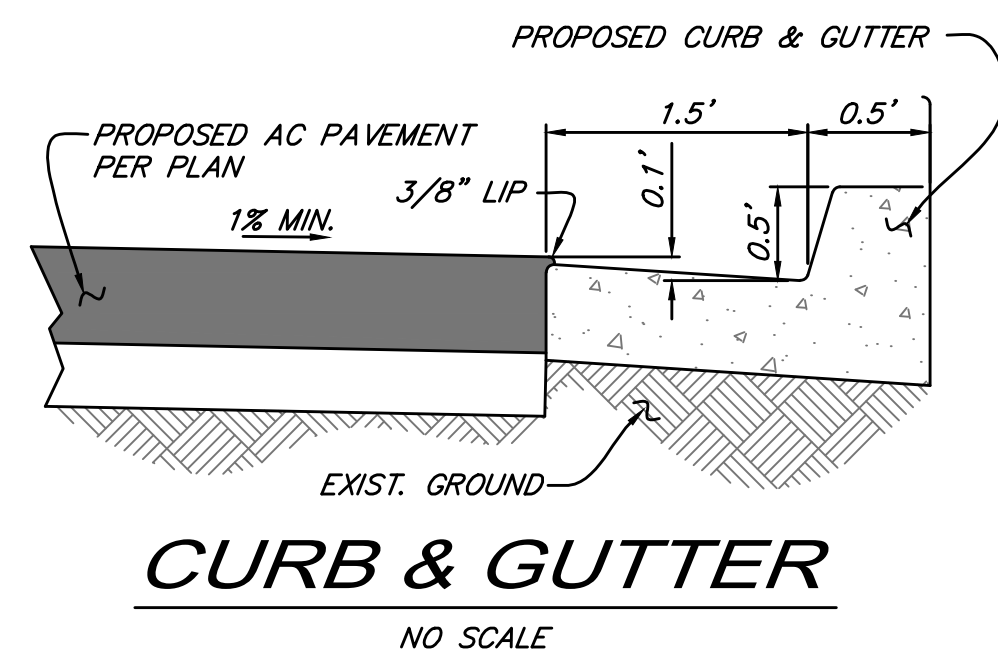
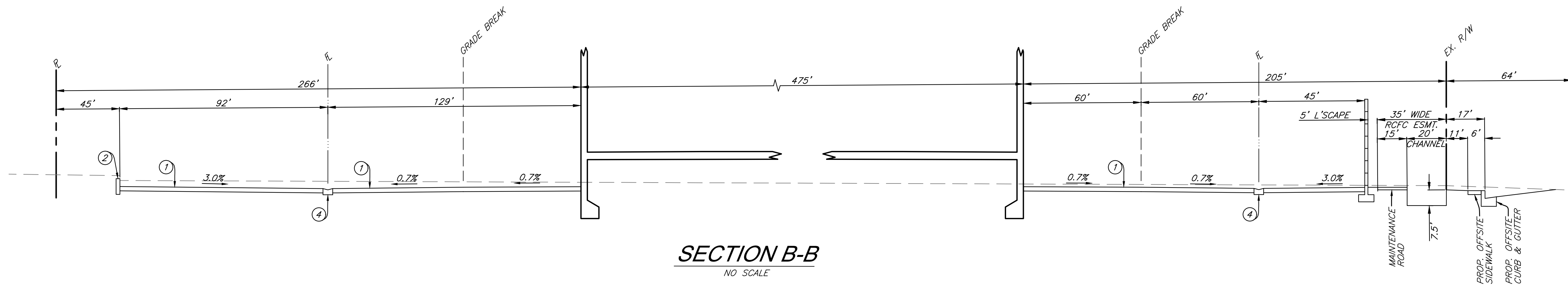
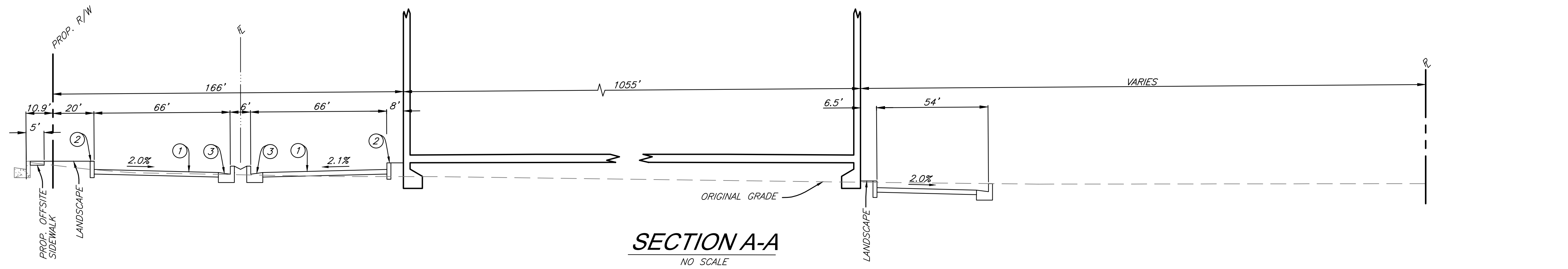
PLANNING DIVISION:	DATE:
PREPARED BY:	DATE:
DANE SOMMERS	EXP. 9-30-21
R.C.E. NO.: 90433	



SEAL:	PREPARED BY:
SDH ASSOCIATES INCORPORATED	SDH AND ASSOCIATES INC. 27363 VIA INDUSTRIA TEMECULA, CA 92590 TEL: (951) 683-3691 FAX: (951) 788-2314
SCALE: 1"=30'	BENCHMARK NO. DESCRIPTION NO. 431 P.D. D5438 RIVERSIDE COUNTY, CALIFORNIA ELEVATION = 1,441.70' NAVD 83 DESCRIPTION: AT THE NORTHEAST CORNER OF RIDER ST AND WILSON AVE, 57 FEET (17.4 M) EAST OF CENTERLINE OF WILSON PRODUCED AND 352 FEET (107.0 M) NORTH OF RIDER ST. A 4 FOOT (1.2 M) DIAMETER CONCRETE BASE OF A STEEL EROSION POWER POLE. A 3-1/4 INCH STANDARD MWDSC ALUMINUM D5438 DISK SET ON SOUTHSIDE FLUSH.
DATE: OCTOBER 2021	

CITY OF PERRIS		5 OF 6 SHEETS
LAKE CREEK - PLACENTIA PRELIMINARY GRADING PLAN		
FOR:	W.O.	CITY FILE NO.

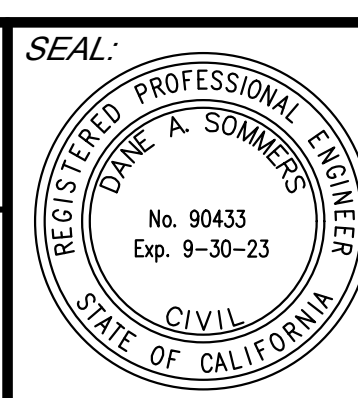




**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

REVISIONS				
MARK	DESCRIPTION	BY	APPR	DATE
DESIGNED BY:	S.S.	DRAWN BY:	S.J.S.	
CHECKED BY:	D.A.S.	PROJECT MANAGER:	S.S.	

PLANNING DIVISION:	DATE:
PREPARED BY:	DATE:
DANE SOMMERS	EXP. 9-30-21
R.C.E. NO.: 90433	



PREPARED BY:	SDH ASSOCIATES INC. 27363 VIA INDUSTRIA TEMECULA, CA 92590 TEL: (951) 683-3691 FAX (951) 788-2314
SCALE:	1"=40'
DATE:	OCTOBER 2021
<b>BENCHMARK</b> NGS BENCHMARK NO. 431 PID: DKS438 RIVERSIDE COUNTY, CALIFORNIA ELEVATION = 1,441.70' NAVD 83 DESCRIPTION: AT THE NORTHEAST CORNER OF RIDER ST AND WILSON AVE, 57 FEET (17.4 M) EAST OF CENTERLINE OF WILSON PRODUCED AND 35.2 FEET (10.7 M) NORTH OF RIDER ST, A 4 FOOT (1.2 M) DIAMETER CONCRETE BASE OF A STEEL EDSON POWER POLE - A 3-1/4 INCH STANDARD MWDC ALUMINUM DKS438 DISK SET ON SOUTHSIDE FLUSH.	

CITY OF PERRIS		6 OF 6 SHEETS
LAKE CREEK - PLACENTIA		
PRELIMINARY GRADING PLAN		
SECTIONS AND DETAILS		
FOR:	W.O.	CITY FILE NO.