



hpa, inc.
18831 bardeen avenue - ste.
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Owner:
OPTIMUS GROUP

RAMONA EXPY AND PERRIS BLVD.
PERRIS, CALIFORNIA

Project:
**RAMONA EXPY.
&
PERRIS BLVD.**

PERRIS, CA

Consultants:

- Civil: -
- Structural: -
- Mechanical: -
- Electrical: -
- Plumbing: -
- Fire Protection: HUNTER LANDSCAPE
- Soils Engineer: -

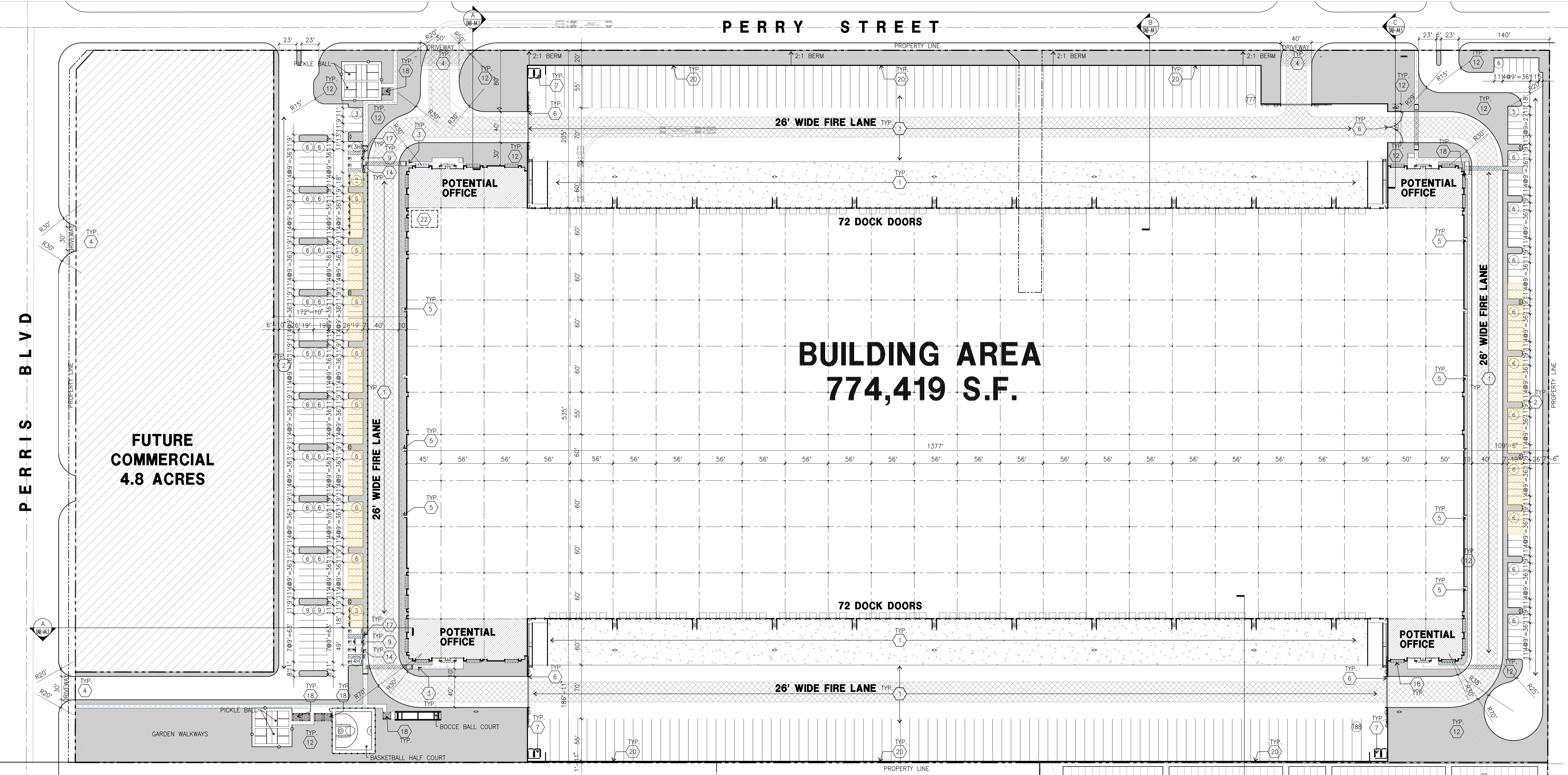
Title: **OVERALL SITE PLAN**

Project Number: 20505
Drawn by: RC
Date: 04/18/2023
Revision: _____

DAB 2ND SUBMITTAL 08/19/2022

Sheet:

DAB-A1.1

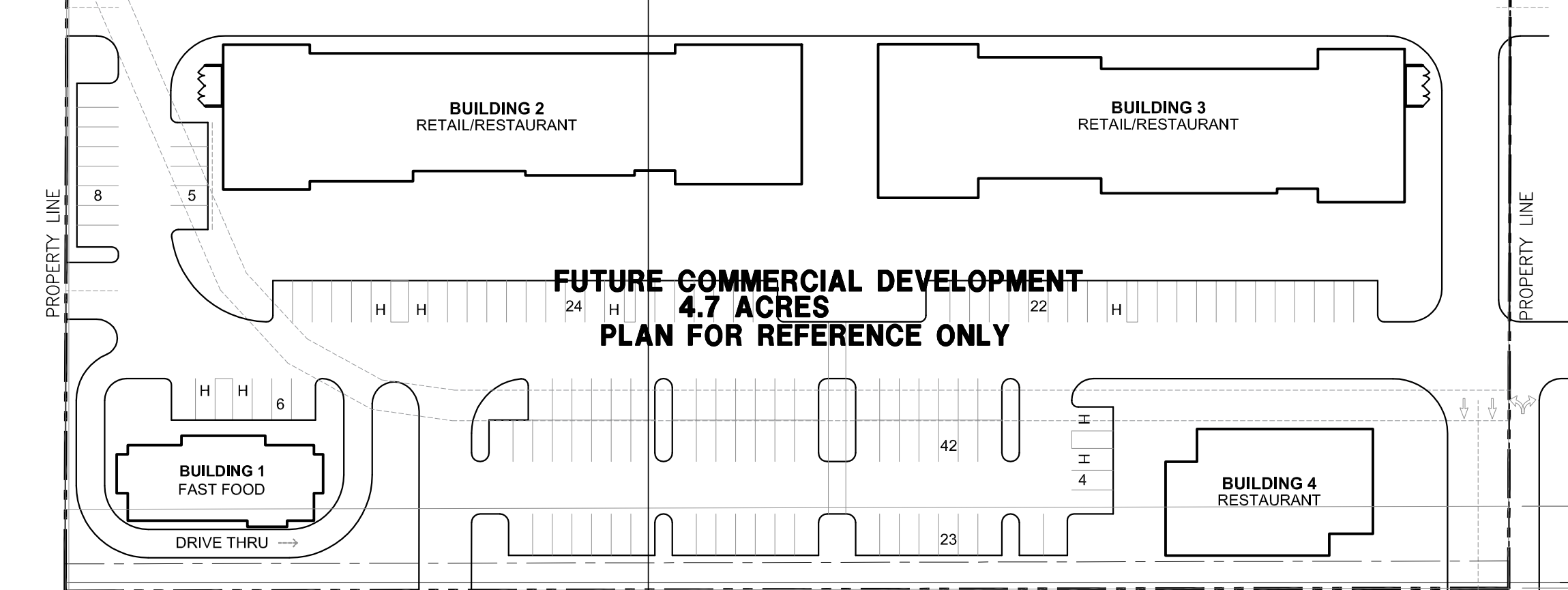


OVERALL SITE PLAN
SCALE: 1" = 60'-0"
TRUE NORTH

NOTE: OFFICE SQUARE FOOTAGE IS ONLY SPECULATIVE AT THIS MOMENT NOT TO EXCEED 20K SF. WHICH IS BELOW 10%.

PROJECT DATA

SITE AREA	In s.f.	1,568,647 s.f.
	In acres	36.01 ac
BUILDING AREA		
Office - 1st floor	10,000 s.f.	
Office - 2nd floor	10,000 s.f.	
Warehouse	754,419 s.f.	
TOTAL	774,419 s.f.	
COVERAGE		49.4%
AUTO PARKING REQUIRED		
High Cube:		n/a
Office: 1/300 s.f. (if exceeds 10% of GFA)	20 stalls	
Whse: 1st 20K @ 1/1,000 s.f.	10 stalls	
2nd 20K @ 1/2,000 s.f.	147 stalls	
above 40K @ 1/5,000 s.f.	177 stalls	
Total parking requires	267 stalls	
AUTO PARKING PROVIDED		
Future EV Parking	81 stalls	
Standard (9' x 19')	244 stalls	
TOTAL	325 stalls	
TRAILER PARKING PROVIDED		177 stalls
Trailer (12' x 45')		
ZONING ORDINANCE FOR CITY		
Zoning Designation - Light Industrial (LI)		
MAXIMUM BUILDING HEIGHT ALLOWED		
Height - 50'		
MAXIMUM BUILDING COVERAGE		
Coverage - 50%		
LANDSCAPE REQUIREMENT		
Percentage - 12%		
LANDSCAPE PROVIDED		
Percentage	13.7%	
SETBACKS		215,000 s.f.
Perry Street - 10'		
Ramona Expy - 20'		
Perris Blvd. - 25'		
Side/Rear - None		



PROJECT DATA BLOCK

PVCCSP Development Standards for LI	Required	Provided
Minimum Lot Size	15,000 SF	1,775,193 SF
Lot Coverage by Structure	50% max	48.9%
Floor Area Ratio (FAR)	0.75 FAR	0.50 FAR
Structure Height	50' max	50'
Front Setback (Local/Collector)- taken from Patterson	25' (10'+5' per 10' of structure height over 20')	140'
Side Setback (non-residential)	None	N/A
Street Side Setback	25' (10'+5' per 10' of structure height over 20')	226'-4"(Perris Blvd) 140'-0"(Perry Street)
Rear Setback	None	N/A
Perimeter Landscaping (P.M.C. 19.02.130 and 19.44.060)	5'	10' & 3-6"
Entries/parking/loading Enhanced Landscape Screening	Required	Provided screen wall
Site Landscape Coverage	12%	12.3%

VICINITY MAP



PROPERTY OWNER

OPTIMUS BUILDING CORPORATION
629 DUFURAN AVE.
SEBASTOPOL, CA 95472

ADDRESS OF THE PROPERTY

TBD

ASSESSOR'S PARCEL NUMBER

302-130-02 AND 08 / 302-130-018 / 302-130-027
302-130-021, 022, 023 AND 024

LEGAL DESCRIPTION

LOT 2 AND 7 IN BLOCK 12 OF THE RIVERSIDE TRACT, AS SHOWN BY MAP ON FILE IN BOOK 14 PAGE 688 OF MAPS, SAN DIEGO COUNTY OF RECORDS; EXCEPTING THEREFROM THAT PORTION OF SAID LOT 7 CONVEYED TO THE COUNTY OF RIVERSIDE FOR FREEWAY PURPOSES BY DEED FILED FOR RECORD DECEMBER 8, 1958 IN BOOK 2376, PAGE 491 OFFICIAL RECORDS.
PARCEL 2 OF PARCEL MAP NO. 5467, AS PER PLAT RECORDED IN BOOK 10 OF PARCEL MAPS PAGE 43, IN THE OFFICE OF THE COUNTY RECORD OF SAID COUNTY.
PARCELS 1,2,3 AND 4 OF PARCEL NO. 14242 RECORDED IN BOOK 89 PAGES 91 AND 92, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
PARCEL 1 OF THAT CERTAIN LOT LINE ADJUSTMENT NO. 02/90, RECORDED MARCH 15, 1990 AS INSTRUMENT NO. 089441 OF OFFICIAL RECORDS OF COUNTY OF RIVERSIDE, CALIFORNIA, DESCRIBED AS FOLLOWS: PARCEL 3 AND EAST 421.77 OF PARCEL 4 OF PARCEL MAP NO. 5467 AS SHOWN BY MAP ON FILE IN BOOK 10 PAGE 43 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA

ZONING

COMMERCIAL ZONING
PROPOSED LIGHT INDUSTRIAL ZONING

APPLICANT

KELLY OLAUSON
OPTIMUS BUILDING CORPORATION
629 DUFURAN AVE.
SEBASTOPOL, CA 95472

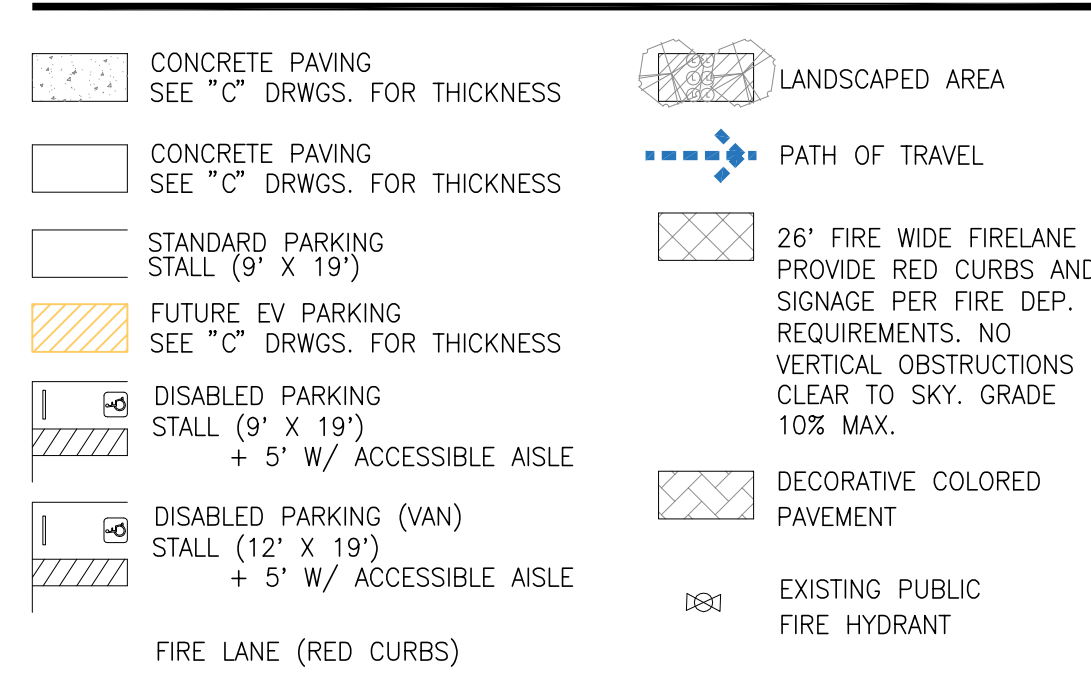
APPLICANT'S REPRESENTATIVE

HPA, INC.
18831 BARDEEN AVE SUITE 100
IRVINE CA 92612
TEL: 949-862-2126
ATTN: RUBEN CHOI

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- 4 DECORATIVE COLORED DRIVEWAY APRONS TO BE CONSTRUCTED.
- 5 6"x6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH.
- 6 PROVIDE 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 7 TRASH ENCLOSURE PER CITY STANDARD.
- 8 APPROXIMATE LOCATION OF TRANSFORMER.
- 9 PRE-CAST CONCRETE WHEEL STOP.
- 10 CONCRETE FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- 11 DESIGNATED SMOKING AREA.
- 12 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 13 ACCESSIBLE ENTRY SIGN.
- 14 ACCESSIBLE PARKING STALL SIGN.
- 15 8" HIGH CONCRETE TILT-UP SCREEN WALL.
- 16 42" HIGH CONCRETE GUARDWALL.
- 17 TRUNCATED DOME.
- 18 EMPLOYEE BREAK AREA.
- 19 EXTERIOR BIKE RACK.
- 20 14" HIGH DECORATIVE SCREENWALL
- 21 RAISED LANDSCAPE PLANTER
- 22 FUTURE EMPLOYEE INTERIOR AMENITY

SITE LEGEND



SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6" O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
16. ALL GROUND MOUNTED UTILITY STRUCTURES SUCH AS TRANSFORMERS, HVAC EQUIPMENT AND BACK FLOW PREVENTION VALVES SHALL BE LOCATED OUT OF VIEW FROM A PUBLIC STREET OR ADEQUATELY SCREENED THROUGH THE USE OF LANDSCAPING AND/OR MASONRY WALLS.
17. ALL LIGHTING FIXTURES TO BE FULLY SHIELDED WITH CUT-OFF FIXTURES THAT EMITS GLARE ONTO ADJACENT PROPERTIES.
18. PARKING AREA LIGHTING TO BE PROVIDED PURSUANT TO SECTION 19.02.110.0 OF PVCC SPECIFIC PLAN.
19. CHAIN-LINK FENCE IS NOT A PERMITTED FENCING MATERIAL PER THE PVCCSP.

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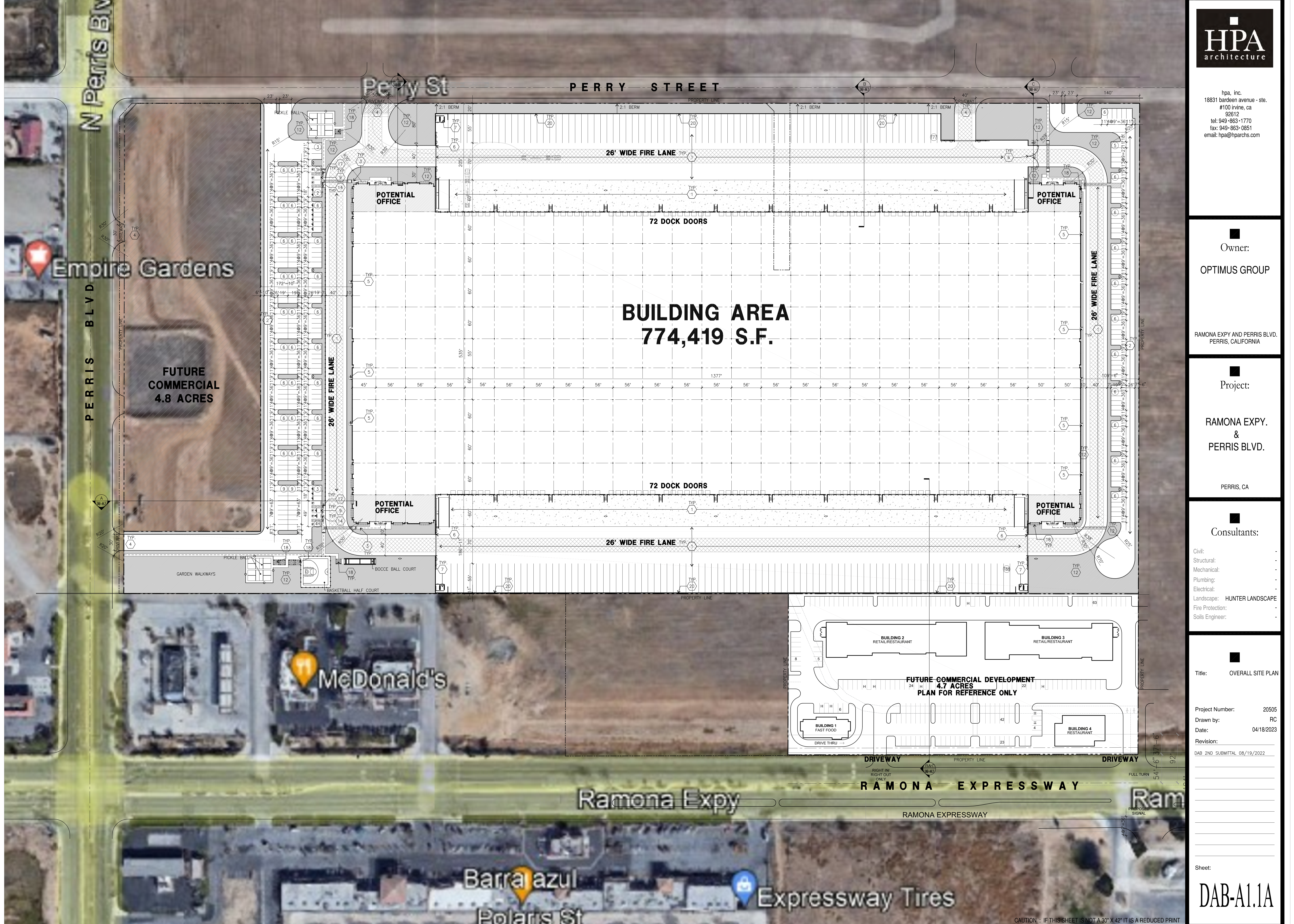
- Civil: -
- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscape: HUNTER LANDSCAPE
- Fire Protection: -
- Soils Engineer: -

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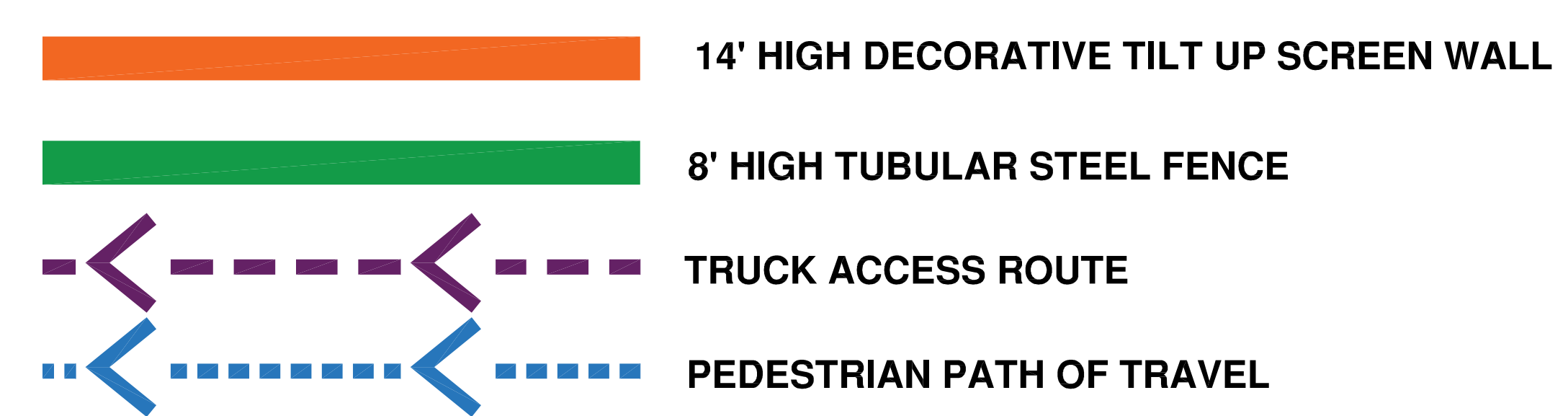
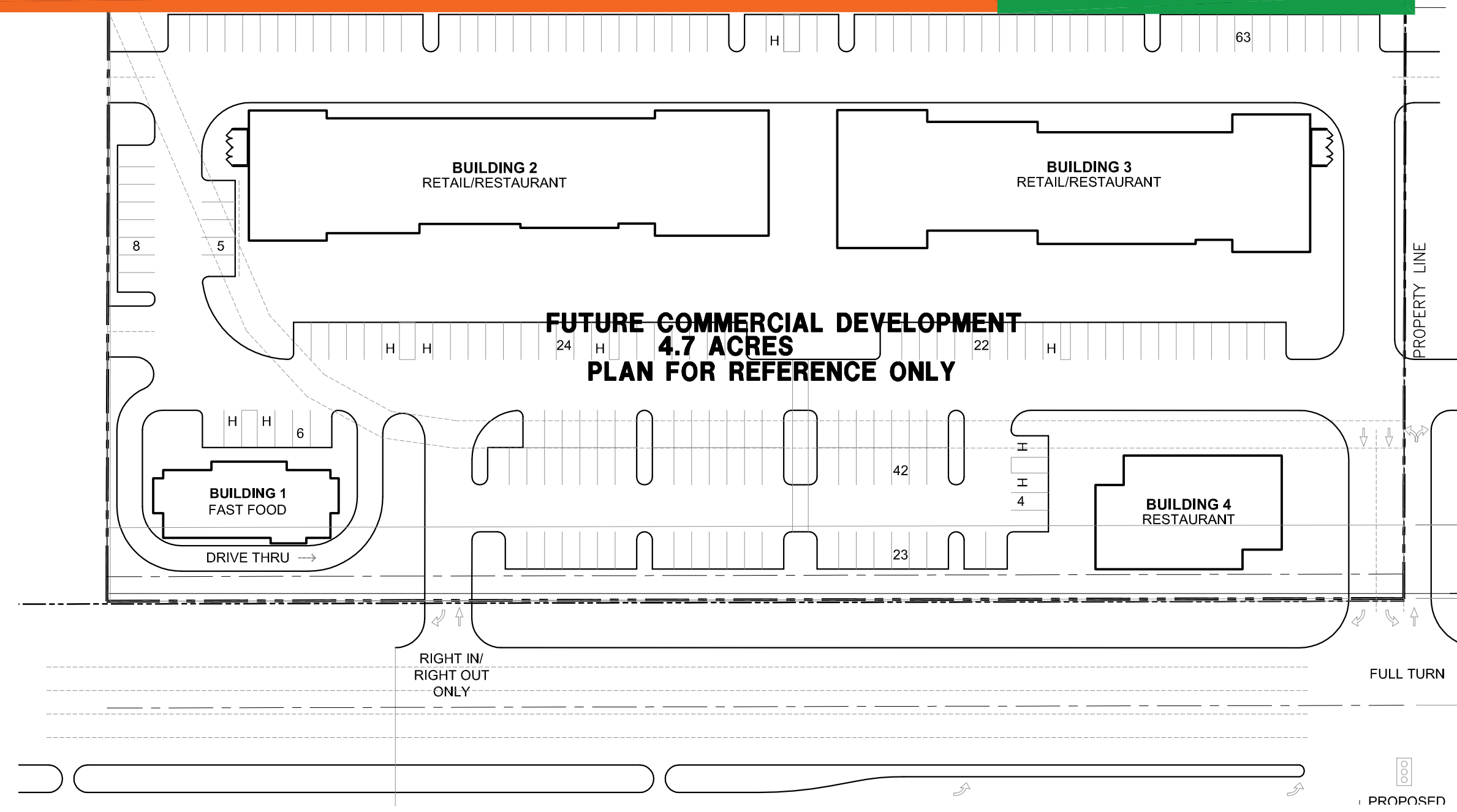
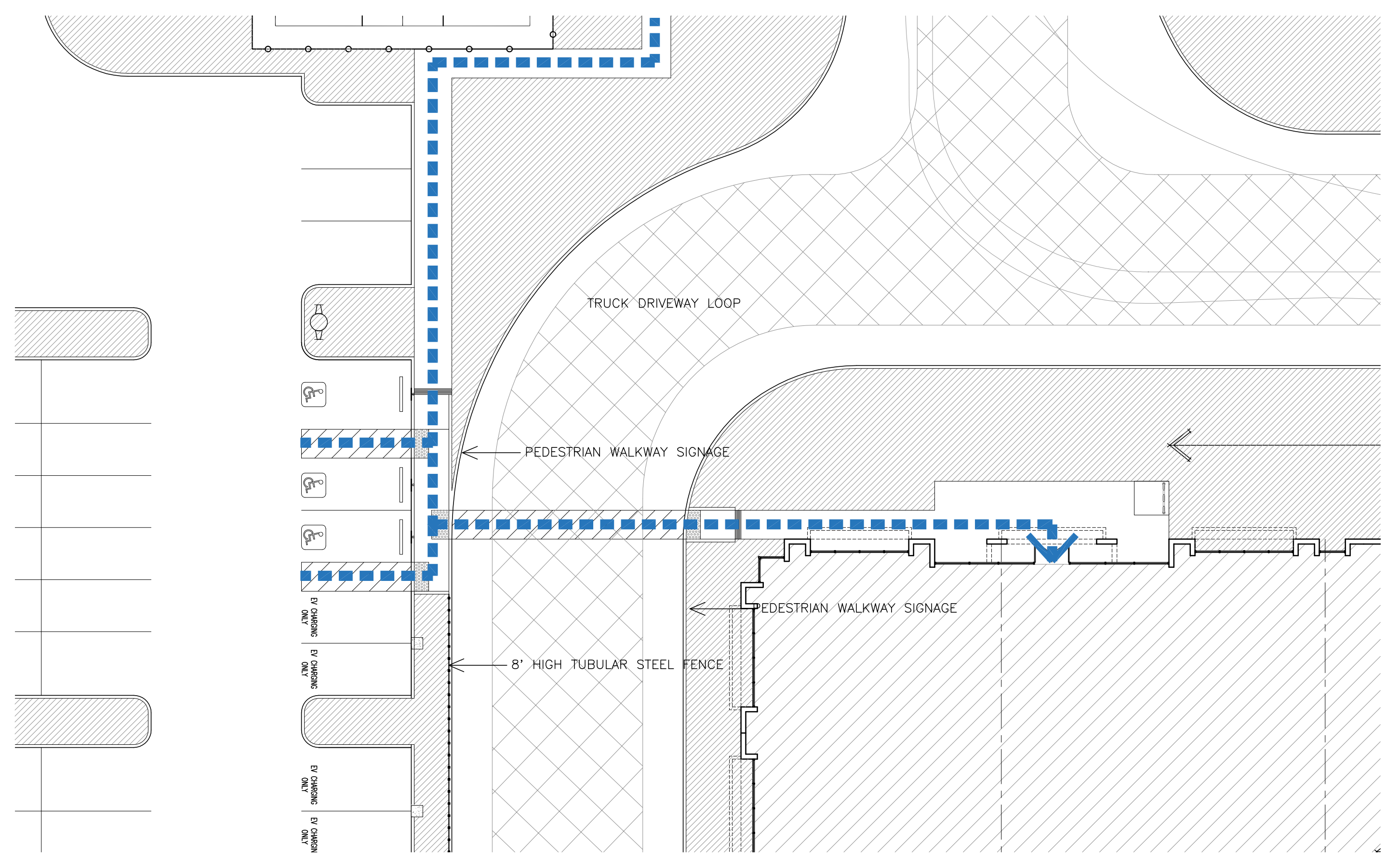
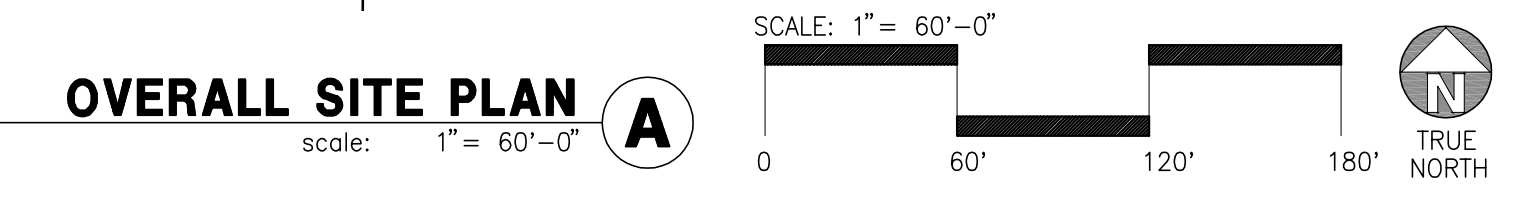
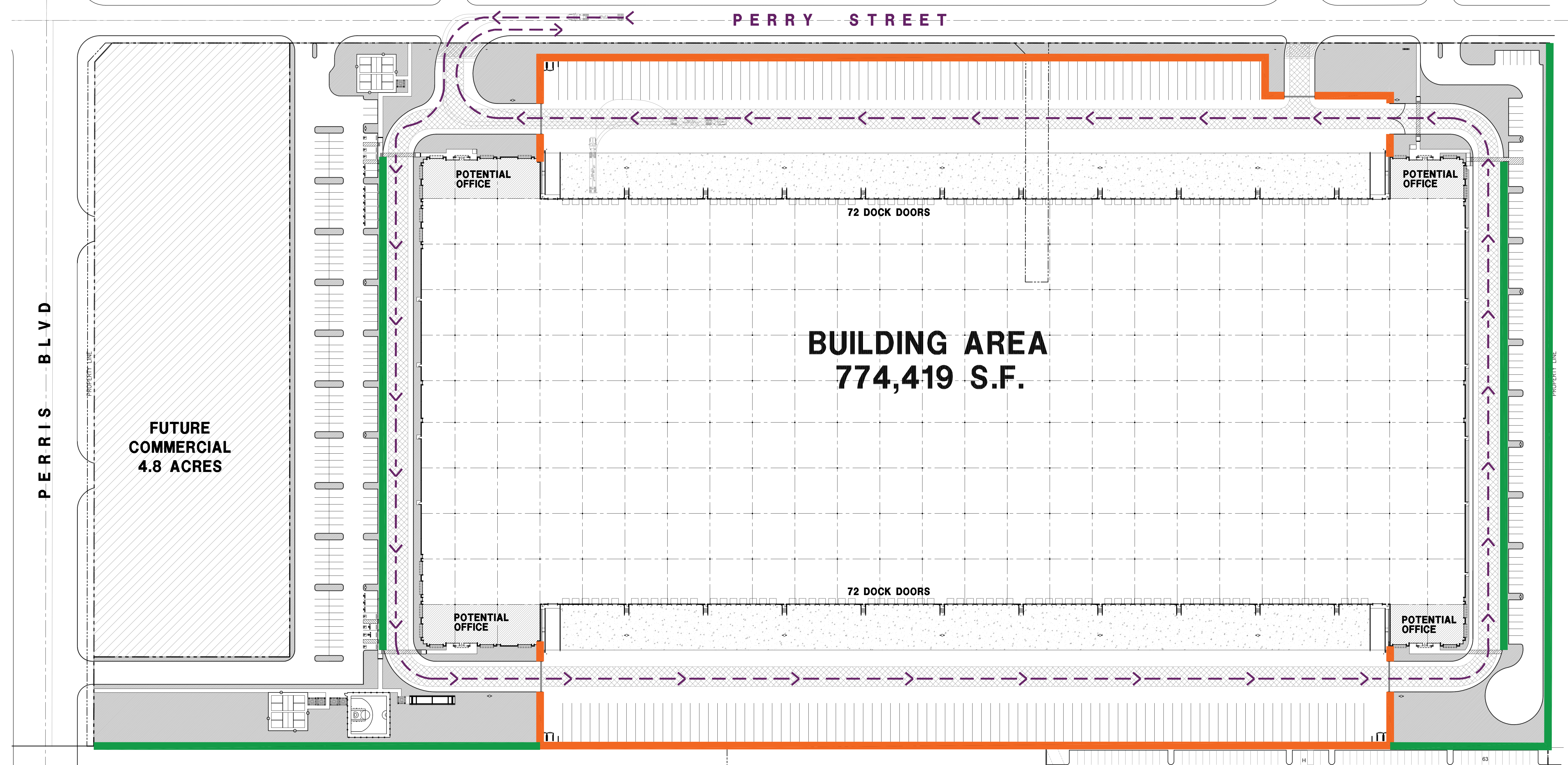
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- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscape: HUNTER LANDSCAPE
- Fire Protection: -
- Soils Engineer: -

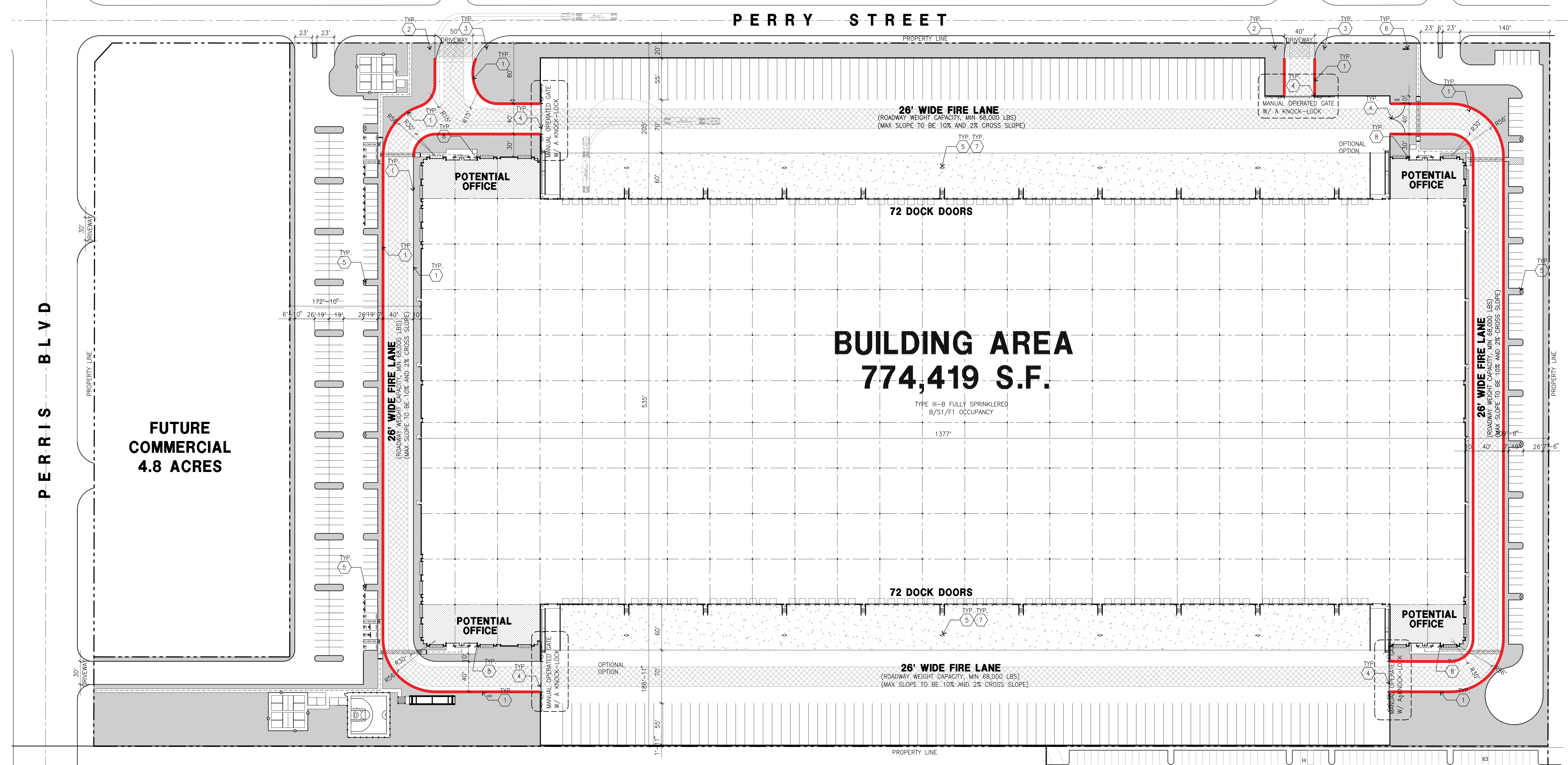
Title: WALL AND FENCE SITE PLAN

Project Number: 20505
 Drawn by: RC
 Date: 04/18/2023
 Revision: _____
 DAB 2ND SUBMITTAL 08/19/2022

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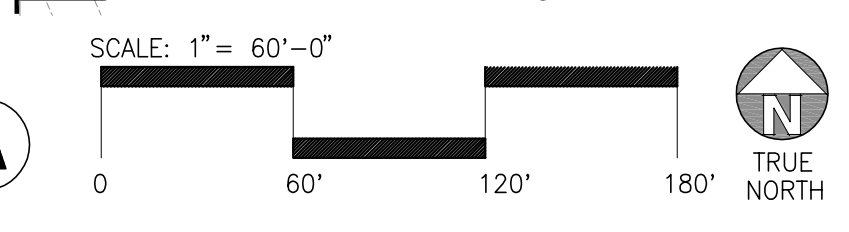




PERRIS FIRE DEPARTMENT ACCESS AND WATER NOTES

- INSPECTION REQUIREMENTS**
- PERRIS SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48HRS IN ADVANCE. INSPECTIONS CANCELED AFTER 1P, ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL (951) 443-10299 TO SCHEDULE AN INSPECTION
 - A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHED FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION). ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 68,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
 - FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION.
 - PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTALS. CONTACT (951) 443-1029 TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
 - AN ORIGINAL APPROVED, SIGNED, WET-STAMPED PERRIS FIRE ACCESS & WATER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
 - ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTIONS OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
 - TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE OFFICE OF THE FIRE MARSHAL, CITY OF PERRIS PRIOR TO USE.
 - THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
 - ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
 - BUILDING OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.
- GENERAL REQUIREMENTS**
- FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMPED, ETC.). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED PERRIS FIRE DEPARTMENT ACCESS & WATER PLAN AND STANDARDS IDENTIFIED IN PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
 - PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 68,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
 - FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
 - ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR LOCATION PER THE PERRIS STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
 - ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE.
 - ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC AND PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE.
 - APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
 - VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.
 - DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
 - ANY FUTURE MODIFICATION TO THE APPROVED FIRE DEPARTMENT ACCESS & WATER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADI, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE OFFICE OF THE FIRE MARSHAL, CITY OF PERRIS.
 - APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE AND RELATED PORTIONS OF THE CFC AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.
- NOTE:**
FIRE ACCESS ROADWAYS SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF PERRIS FIRE APPARATUS WITH A TOTAL WEIGHT OF 68,000 POUNDS. APPARATUS WEIGHT IS DISTRIBUTED AS 40,000 POUNDS ON TANDEN REAR AXLES AND 22,000 POUNDS ON THE FRONT AXLE. THE SURFACE SHALL BE DESIGNED, CONSTRUCTED, AND MAINTAINED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. A LETTER OR STATEMENT, WET-STAMPED AND SIGNED BY A REGISTERED ENGINEER, SHALL BE PROVIDED ON THE PLANS CERTIFYING THAT ANY NEW ROADWAY MEETS THIS 68,000-POUNDS, ALL WEATHER REQUIREMENT. ROAD BASE WITHOUT AN APPROPRIATE TOPPING OR BINDING MATERIAL DOES NOT SATISFY THE ALL-WEATHER REQUIREMENT.

OVERALL SITE PLAN
SCALE: 1" = 60'-0"

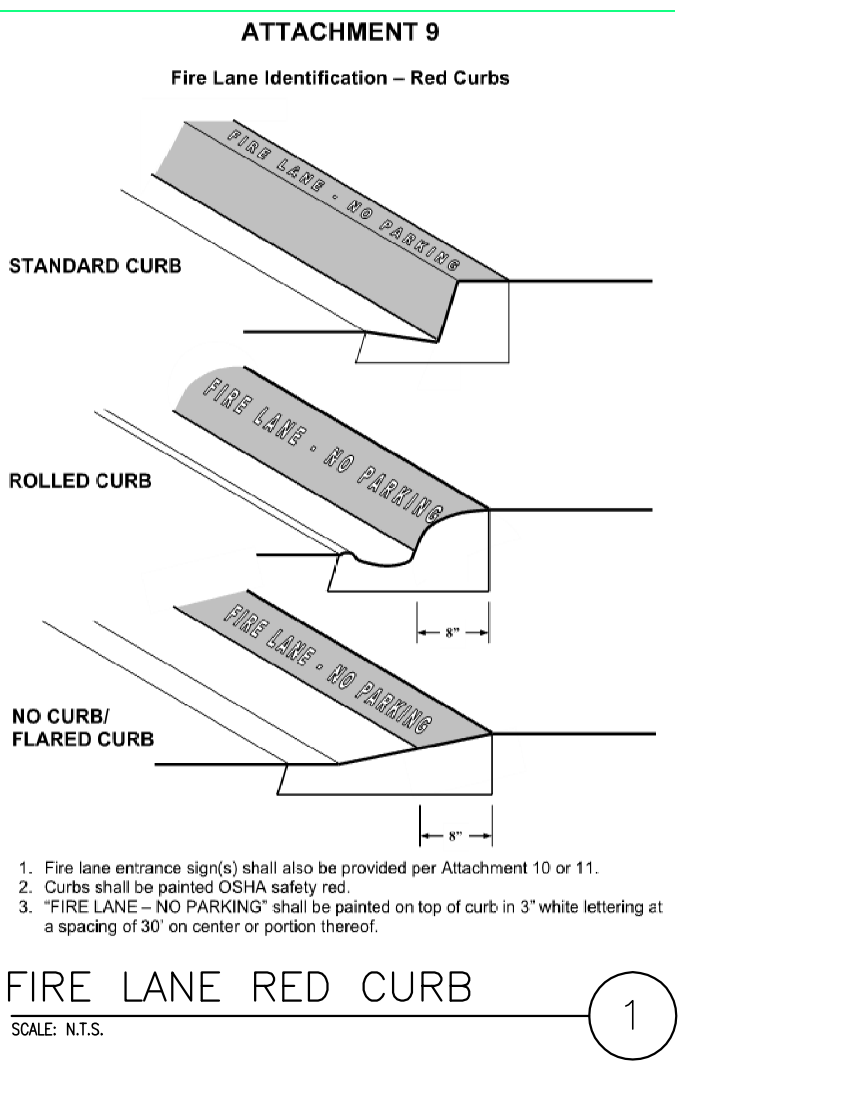
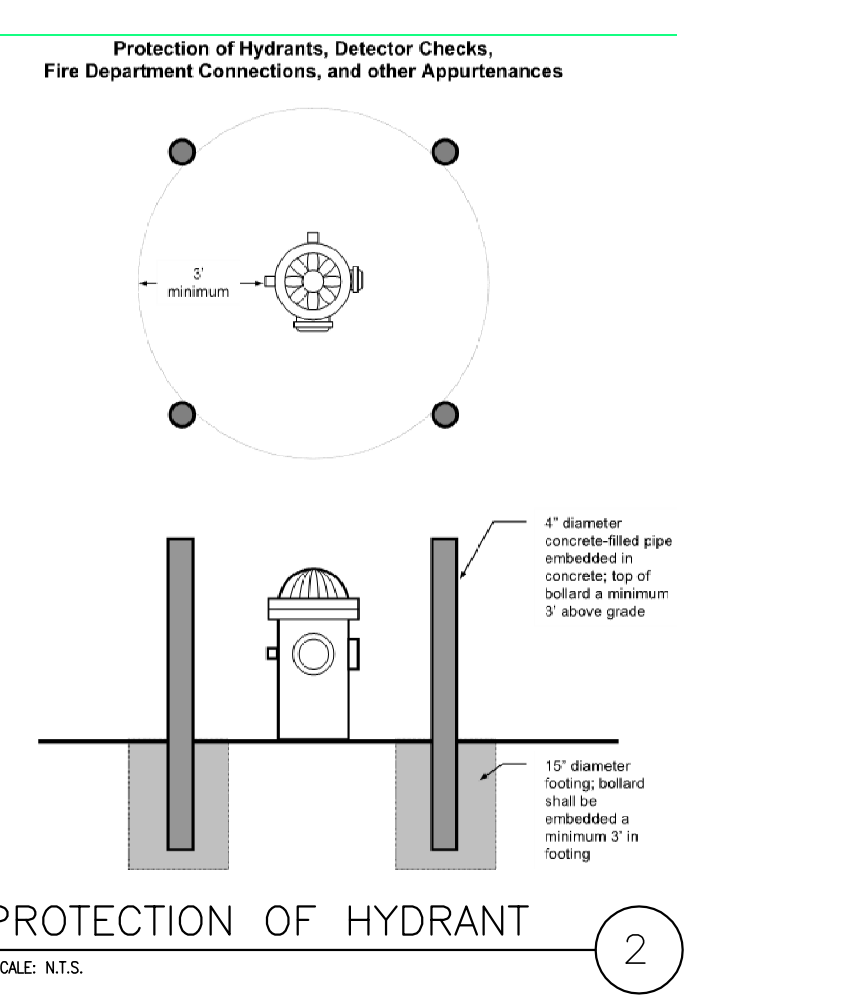
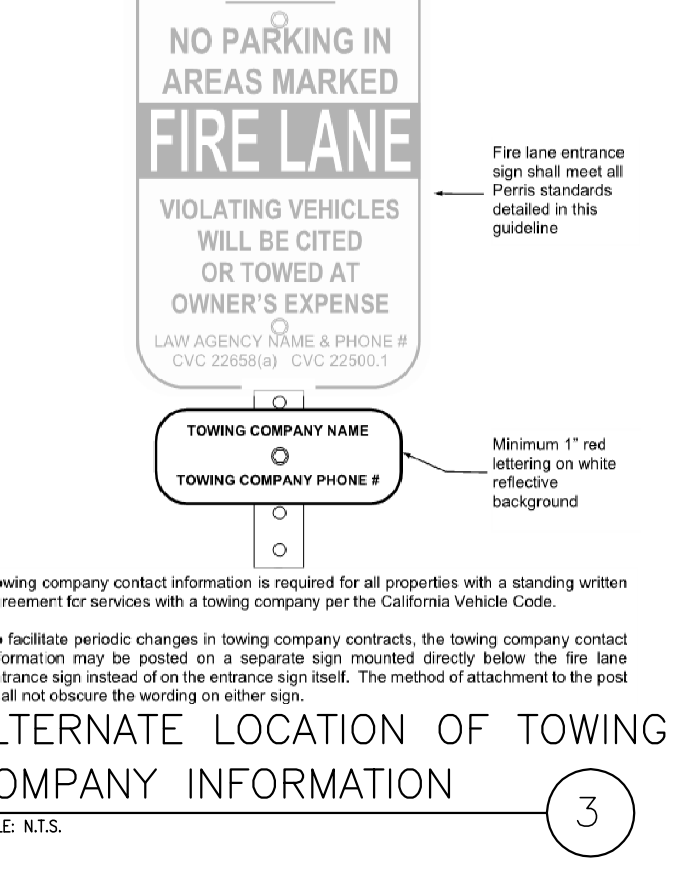
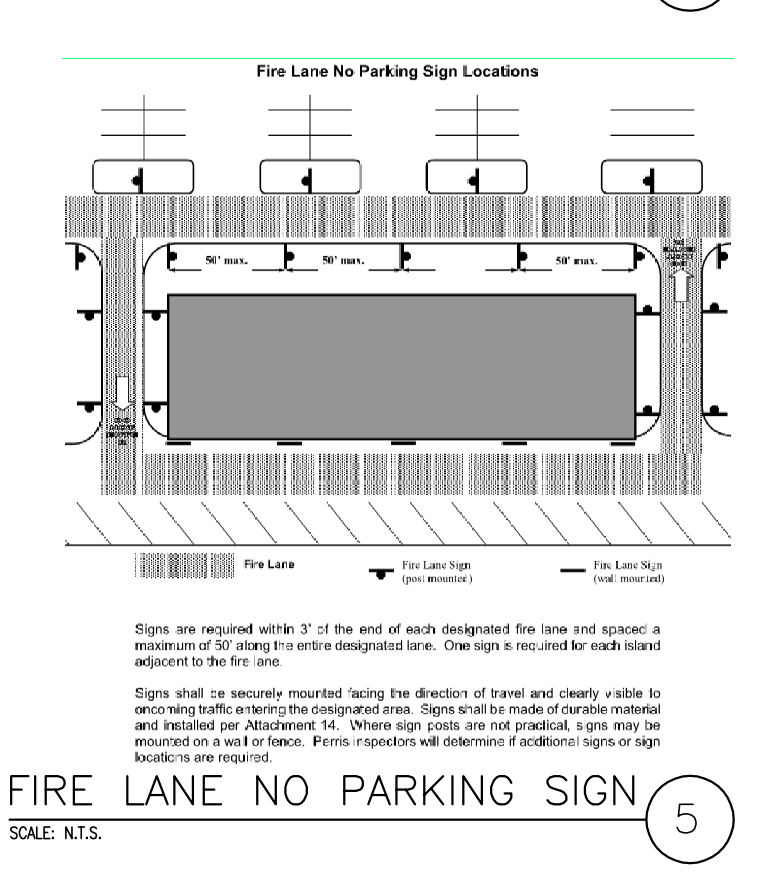
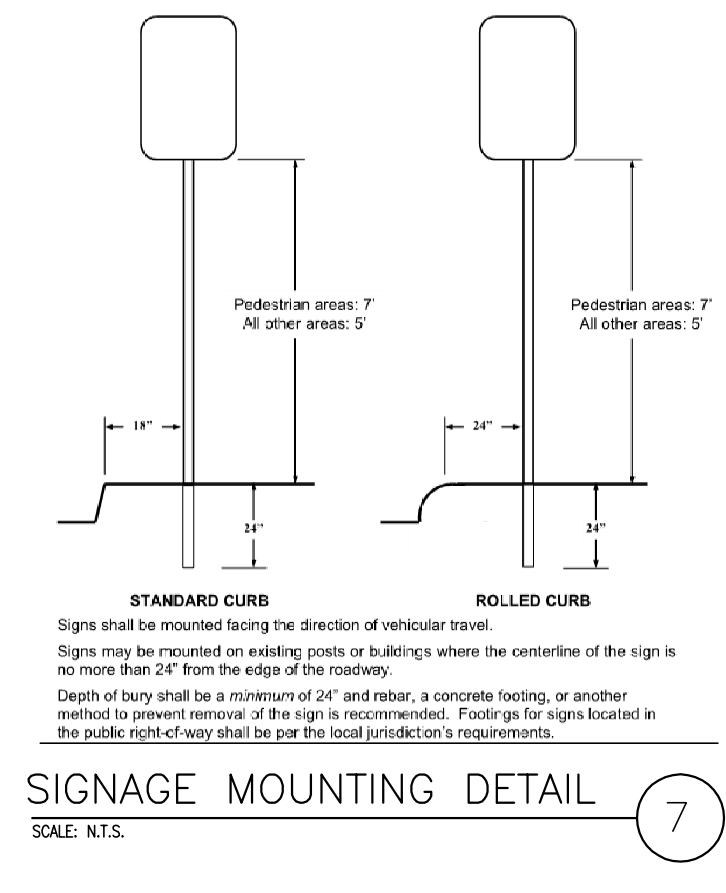
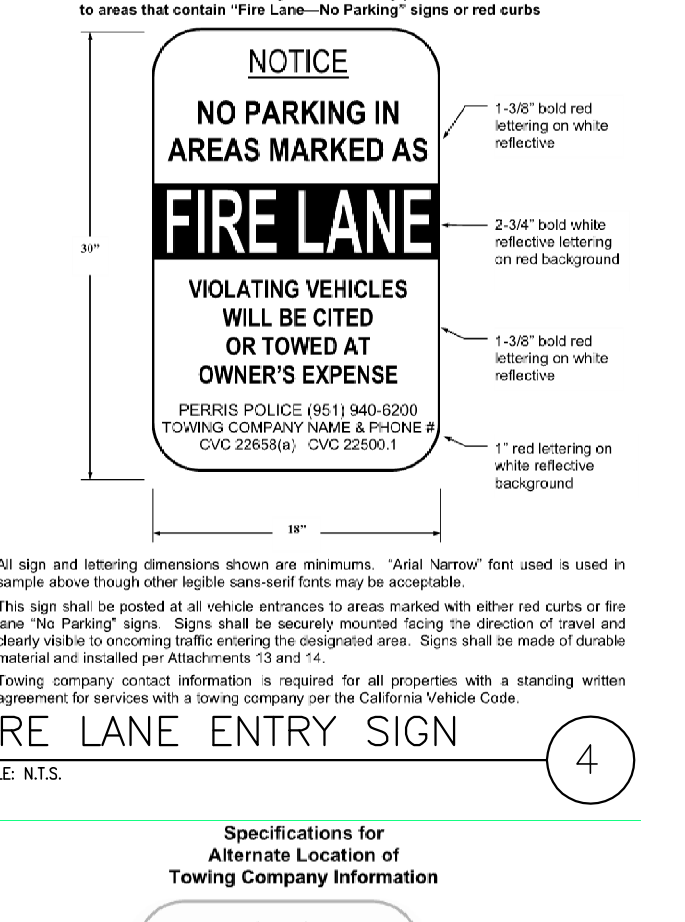
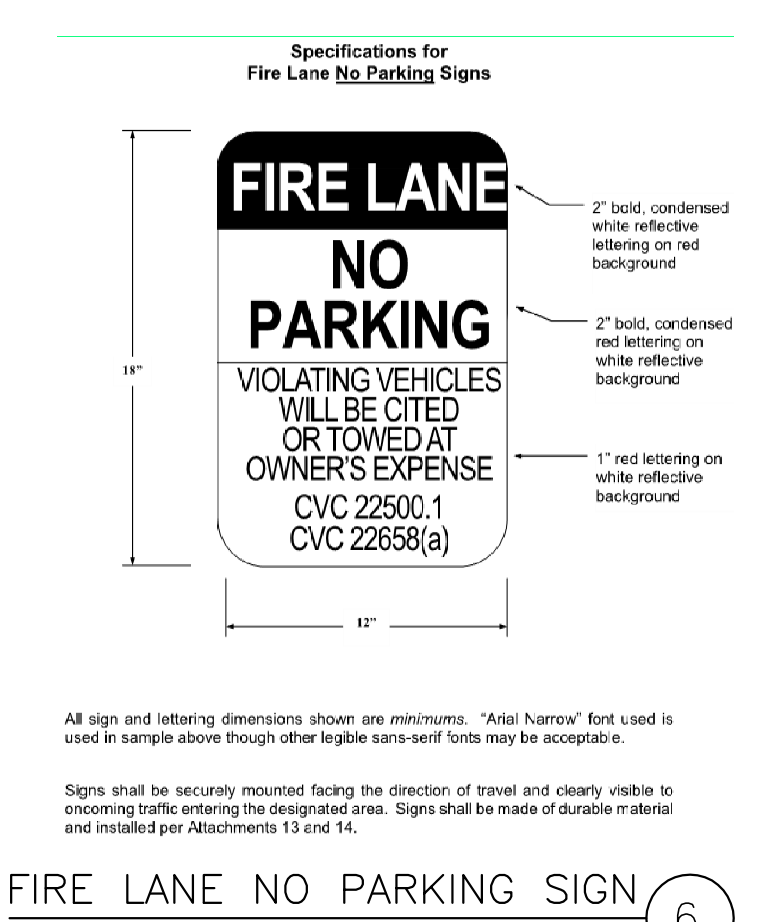
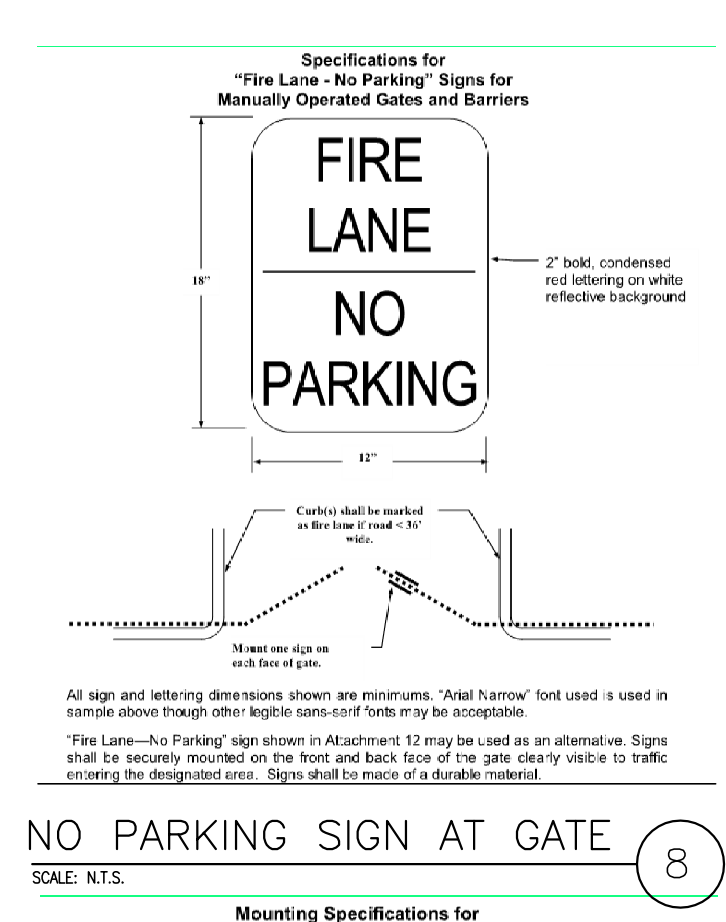


SITE LEGEND

- CONCRETE PAVING SEE "C" DRWS. FOR THICKNESS
- CONCRETE PAVING SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 19')
- FUTURE EV PARKING SEE "C" DRWS. FOR THICKNESS
- DISABLED PARKING STALL (9' X 19') + 5' W/ ACCESSIBLE AISLE
- DISABLED PARKING (VAN) STALL (12' X 19') + 5' W/ ACCESSIBLE AISLE
- FIRE LANE (RED CURBS)
- LANDSCAPED AREA
- PATH OF TRAVEL
- 26' FIRE WIDE FIRELANE PROVIDE RED CURBS AND SIGNAGE PER FIRE DEP. REQUIREMENTS. NO VERTICAL OBSTRUCTIONS CLEAR TO SKY. GRADE 10% MAX.
- DECORATIVE COLORED PAVEMENT
- EXISTING PUBLIC FIRE HYDRANT
- PRIVATE FIRE HYDRANT - APPROXIMATE LOCATION

FIRE KEYNOTES

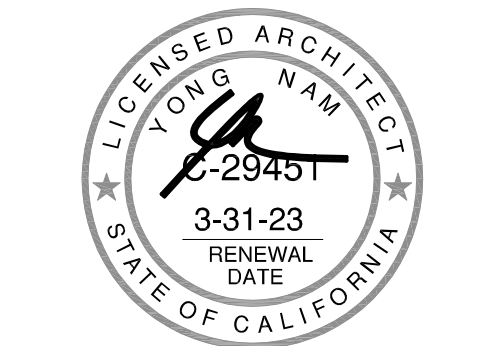
- FIRE LANE IDENTIFICATION - RED CURBS. SEE DETAIL 1
- FIRE LANE ENTRANCE SIGN. SEE DETAIL 4
- FIRE LANE NO PARKING SIGN. SEE DETAIL 6
- MANUAL GATE WITH KNOX PADLOCK AND FIRE LANE NO-PARKING SIGN. SEE DETAIL 8.
- IF GATE CHANGES TO ELECTRONIC GATES, PROVIDE A KNOX EMERGENCY OVERRIDE KEY SWITCH (WITH DUST COVER).
- APPROXIMATE LOCATION OF FIRE HYDRANT
- APPROXIMATE LOCATION OF THE FIRE DEPARTMENT CONNECTION (FDC)
- BOLLARD. SEE DETAIL 2.
- KNOX BOX AT BUILDING ENTRANCE OR GATE PER FIRE DEPARTMENT



NOTE: FIRE APPARATUS ROADS SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF PERRIS FIRE APPARATUS WITH A TOTAL WEIGHT OF 68,000 POUNDS.

CONCRETE PAVEMENT SECTIONS
SCALE: 1/4" = 1'-0"

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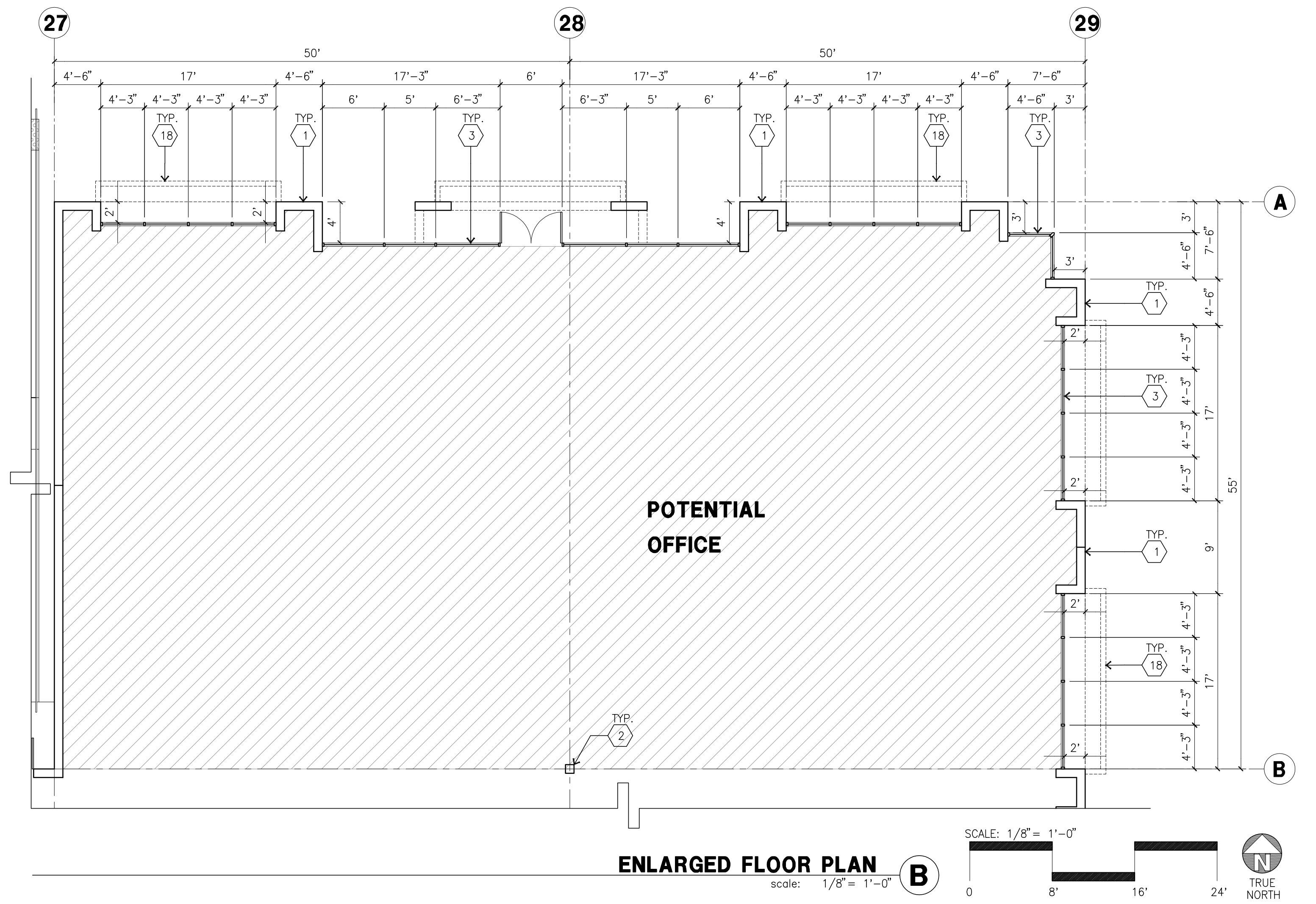
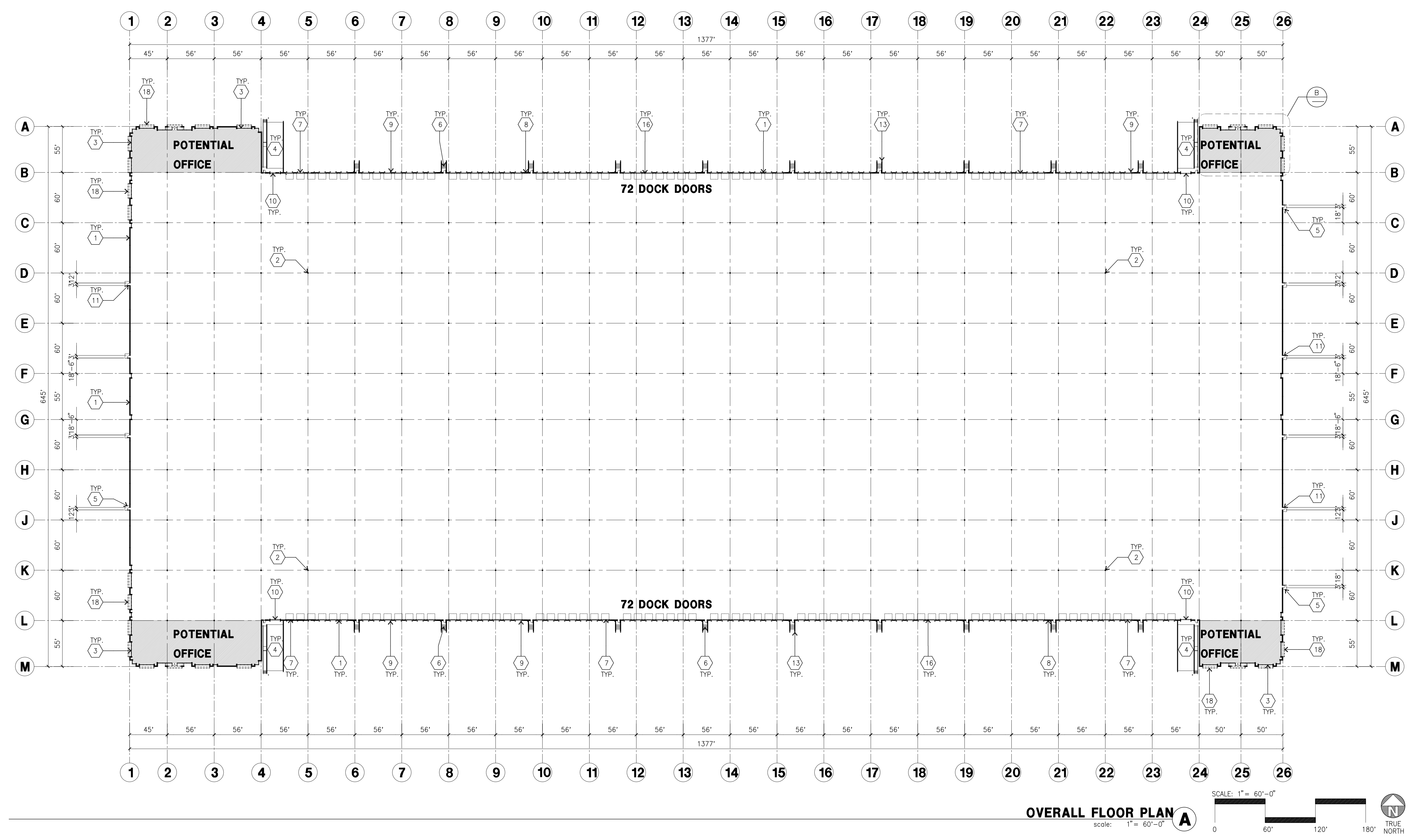
Consultants:

- Civil: _____
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- Electrical: _____
- Landscaping: HUNTER LANDSCAPE
- Fire Protection: _____
- Soils Engineer: _____

Title: **OVERALL FLOOR PLAN**

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FLOOR PLAN KEYNOTES

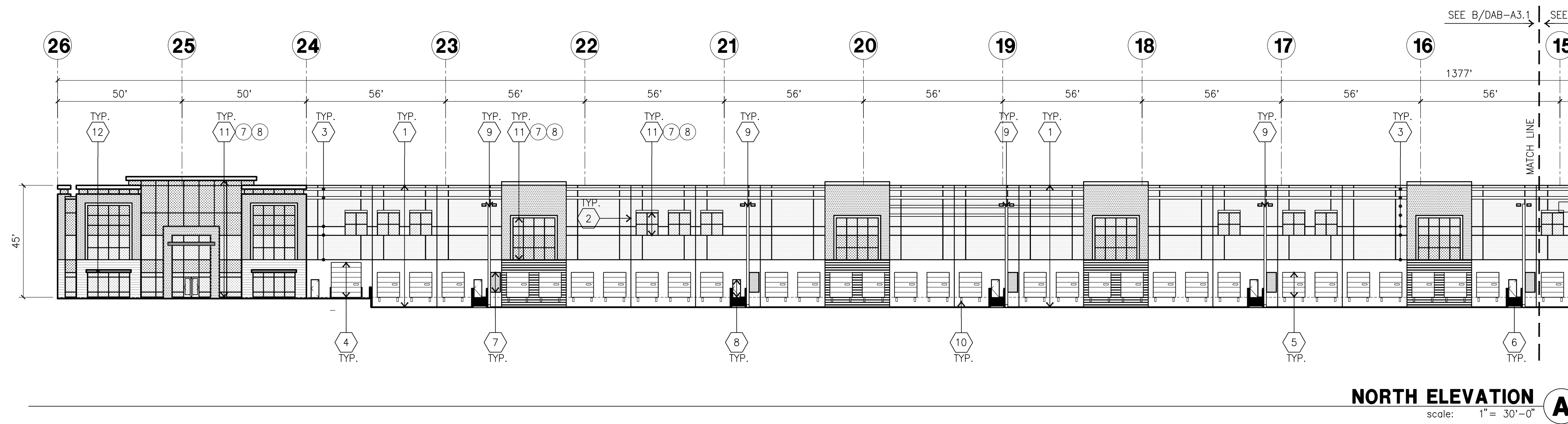
- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 3'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 EXTERIOR CONCRETE STAIR W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 7 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 8 4' X 8' LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST, 6" DIA. U.N.O., 42"H.
- 14 EMPLOYEE BREAK/SMOKING AREA.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 Z GUARD
- 17 APPROXIMATE LOCATION OF ELECTRICAL ROOM
- 18 METAL CANOPY ABOVE.
- 19 INTERIOR BIKE RACK TYPICAL.
- 20 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.

FLOOR PLAN GENERAL NOTES

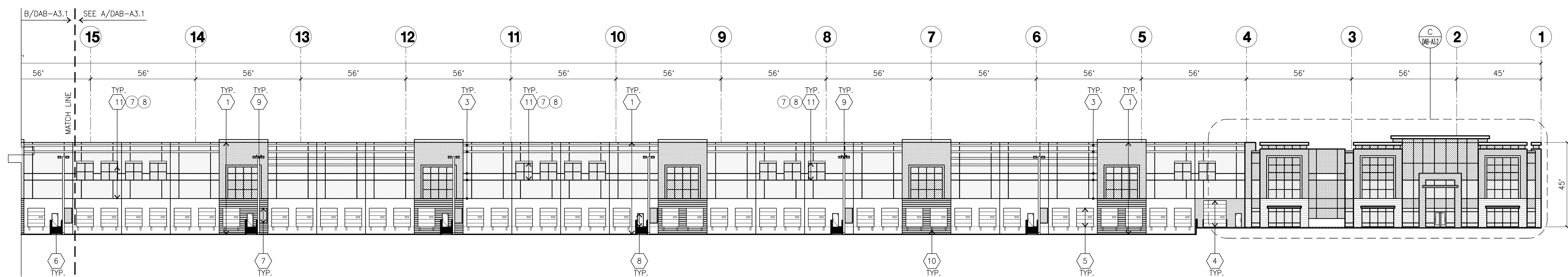
1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE A/A4.1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

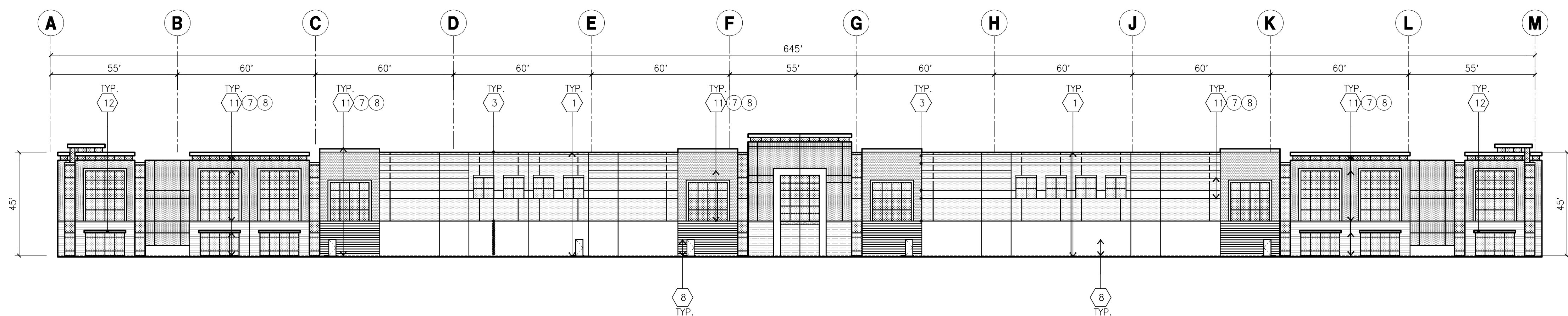
- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB:
 - A. 6" THICK MIN. UN-REINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" - 16" LONG Ø 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" - 16" LONG Ø 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4,000 P.S.I. REQUIREMENT.
 - E. SLUMP TO BE 4" +/- 1"
 - F. JOINT SPACING PER A.C.I. 302-IR-96
 - G. SAW-CUT DEPTH 1/4 T; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15ML STEGO OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 12. CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VIGREEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 - CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MW-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 12. SEAL CONCRETE SLAB W/ "LIPIDOLITH" SEALER



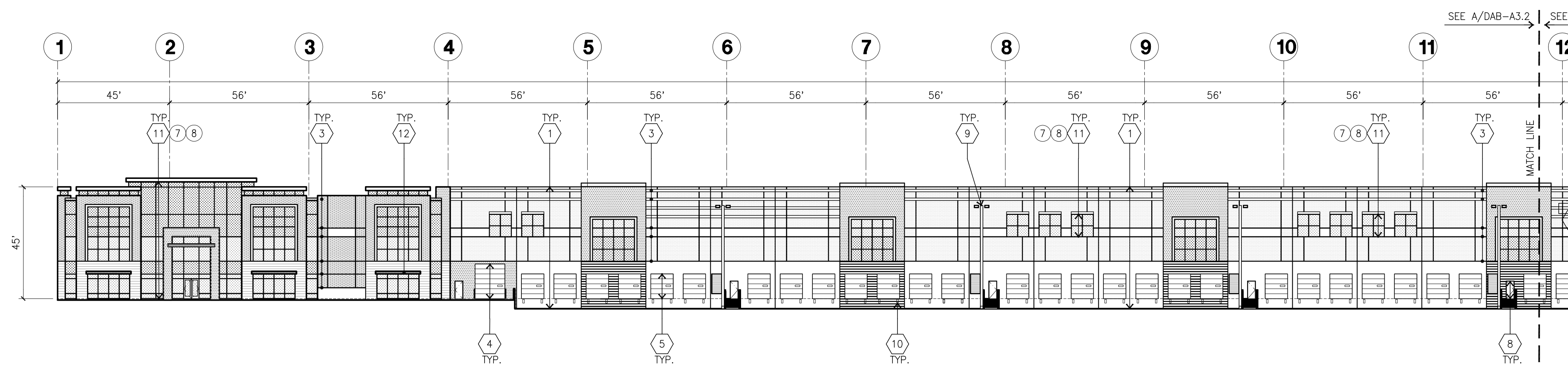
NORTH ELEVATION
scale: 1" = 30'-0" **A**



NORTH ELEVATION CONT'
scale: 1" = 30'-0" **B**



WEST ELEVATION
scale: 1" = 30'-0" **C**



SOUTH ELEVATION
scale: 1" = 30'-0" **D**

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O. 12" X 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 4 9" X 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 6 4" X 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 7 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 8 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 11 METAL CANOPY.
- 12 KNOCK OUT PANEL.
- 13 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- 14 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST = MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEALS FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
11. ALL CONCRETE TILT UP WALLS ARE REQUIRED TO PROVIDE ANTI-GRAFFITI COATING ON THE EXTERIOR WALL.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW 7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW 2832 COLONIAL REYNAL GRAY
- 3 CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW 9162 AFRICAN GRAY
- 4 CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW 7602 INDIGO BATIK
- 5 CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW 9162 FORMLINER
- 6 CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW 7005 PURE WHITE FORMLINER P1
- 7 GLAZING COLOR : BLUE REFLECTIVE GLAZING
- 8 MULLIONS COLOR : BLACK ANODIZED
- 9 METAL CANOPY : SHERWIN WILLIAMS PRO-INDUSTRIAL, WATER-BASED B53-1150 SEMI-GLOSS IN COLOR: SW 7075 WEB GRAY
- 10 DOOR COLORS : SHERWIN WILLIAMS SW 7005 PURE WHITE

GLAZING LEGEND

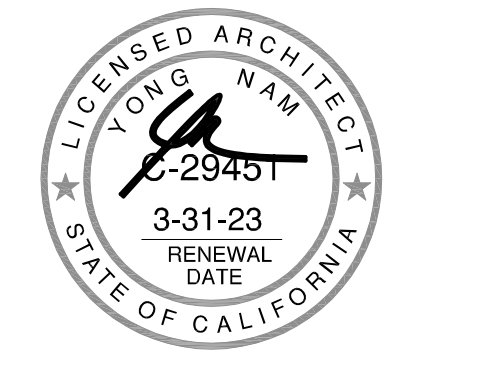
NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- SPANDREL GLASS
- VISION GLASS

ALL GLAZING TO BE TEMPERED
 GLAZING : PPG SOLARCOCOL (2) GRAYLITE II + SOLARBAN 60 (3) CLEAR
 U: 0.29, SHGC: 0.1, VLT: 54%
 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
 SPANDREL : 1/4" SOLARCOCOL GRAYLITE SPANDREL W/ HARMONY GRAY OPACICOAT PAINTED ON REFLECTIVE.
 MULLIONS: ANODIZED CLEAR



hpa, inc.
 18831 bardeen avenue - ste.
 #100 Irvine, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparchs.com



Owner:
OPTIMUS GROUP

RAMONA EXPY AND PERRIS BLVD.
 PERRIS, CALIFORNIA

Project:
**RAMONA EXPY.
 &
 PERRIS BLVD.**

PERRIS, CA

Consultants:

- Civil: _____
- Structural: _____
- Mechanical: _____
- Plumbing: _____
- Electrical: _____
- Landscape: **HUNTER LANDSCAPE**
- Fire Protection: _____
- Soils Engineer: _____

Title: **ELEVATIONS**

Project Number: 20505
 Drawn by: RC
 Date: _____
 Revision: _____

Sheet:

DAB-A3.1



Owner:
OPTIMUS GROUP

RAMONA EXPY AND PERRIS BLVD.
PERRIS, CALIFORNIA

Project:

RAMONA EXPY. & PERRIS BLVD.

PERRIS, CA

Consultants:

- Civil: _____
- Structural: _____
- Mechanical: _____
- Plumbing: _____
- Electrical: _____
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- Fire Protection: _____
- Soils Engineer: _____

Title: **ELEVATIONS**

Project Number: 20505
Drawn by: RC
Date: _____
Revision: _____

Sheet:

DAB-A3.2

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ELEVATION COLOR LEGEND/SCHED.

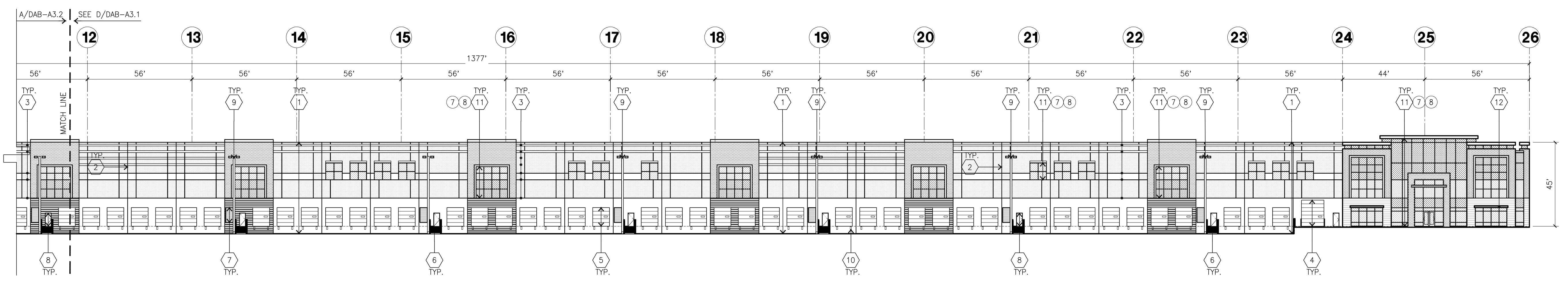
- 1 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW 7005 PURE WHITE
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- 10 DOOR COLORS : SHERWIN WILLIAMS SW 7005 PURE WHITE

GLAZING LEGEND

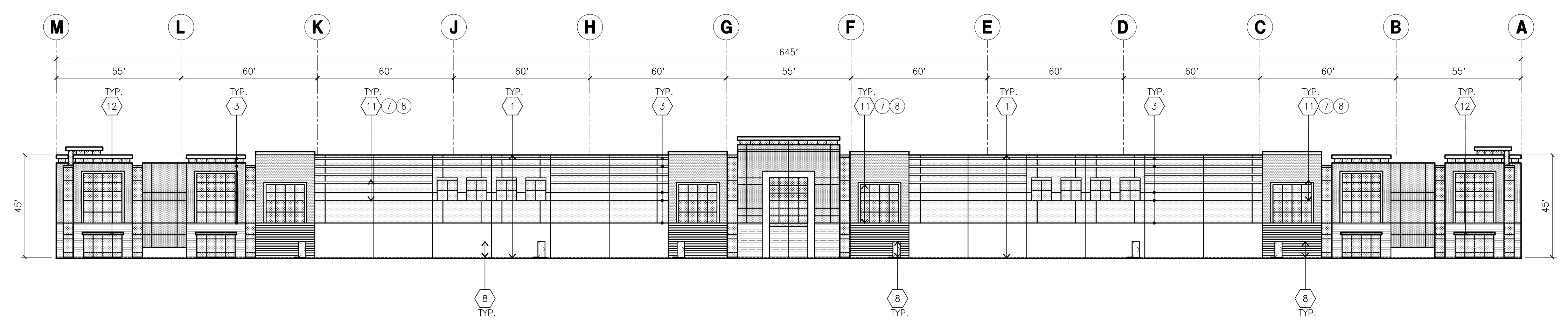
NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- SPANDREL GLASS
- VISION GLASS

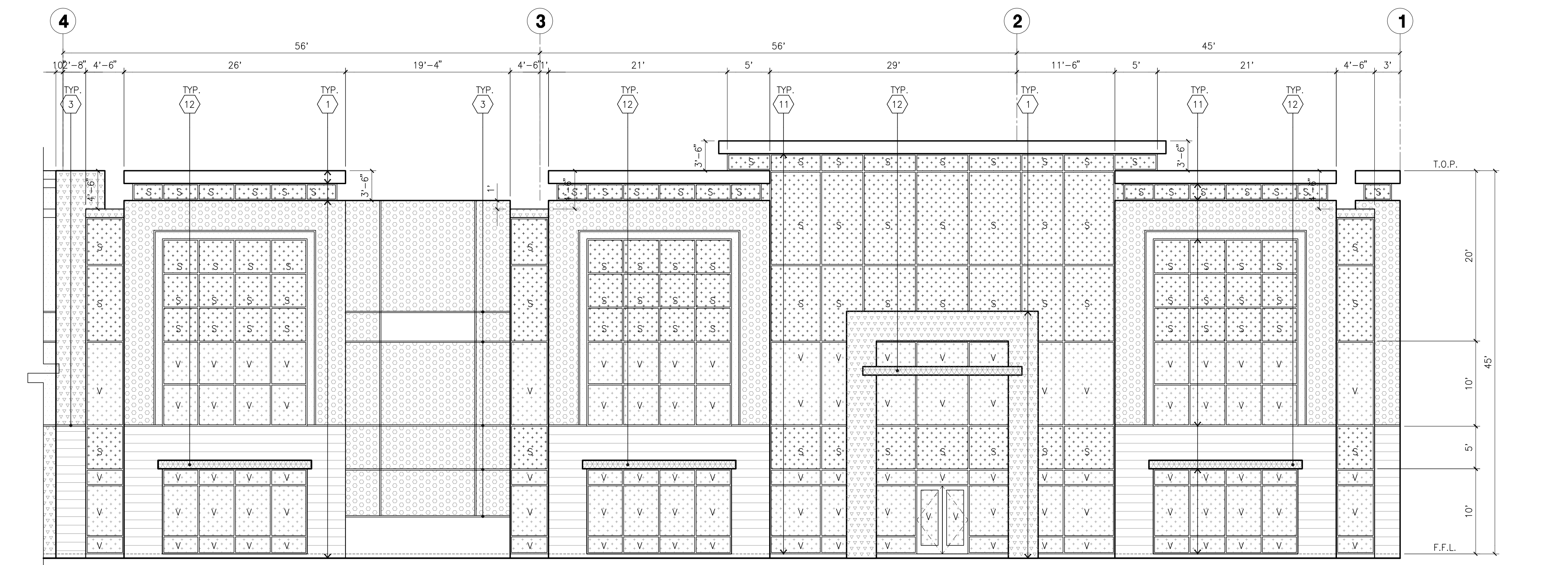
ALL GLAZING TO BE TEMPERED
GLAZING : PPG SOLARCOCOL (2) GRAYLITE II + SOLARBAN 60 (3) CLEAR U: 0.29, SHGC: 0.1, VLT: 94%
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
SPANDREL : 1/4" SOLARCOCOL GRAYLITE SPANDREL W/ HARMONY GRAY OPACICOAT PAINTED ON REFLECTIVE.
MULLIONS: ANODIZED CLEAR



SOUTH ELEVATION CONT.
scale: 1" = 30'-0" **A**



EAST ELEVATION
scale: 1" = 30'-0" **B**



ENLARGED NORTH ELEVATION
scale: 1/8" = 1'-0" **C**



Owner:
OPTIMUS GROUP

RAMONA EXPY AND PERRIS BLVD.
PERRIS, CALIFORNIA

Project:
**RAMONA EXPY.
&
PERRIS BLVD.**

PERRIS, CA

Consultants:

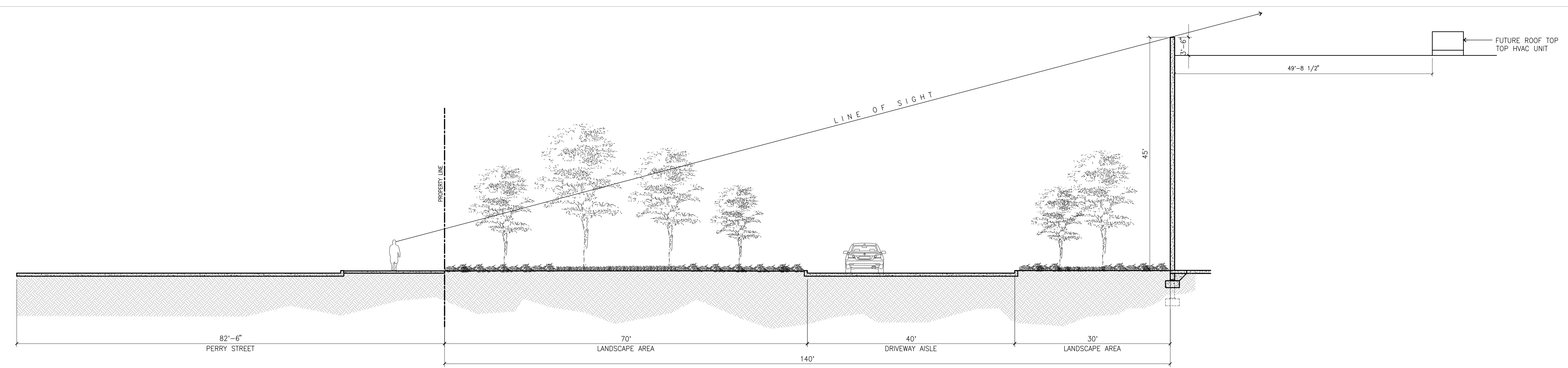
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- Structural: -
- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscape: HUNTER LANDSCAPE
- Fire Protection: -
- Soils Engineer: -

Title: Site Section

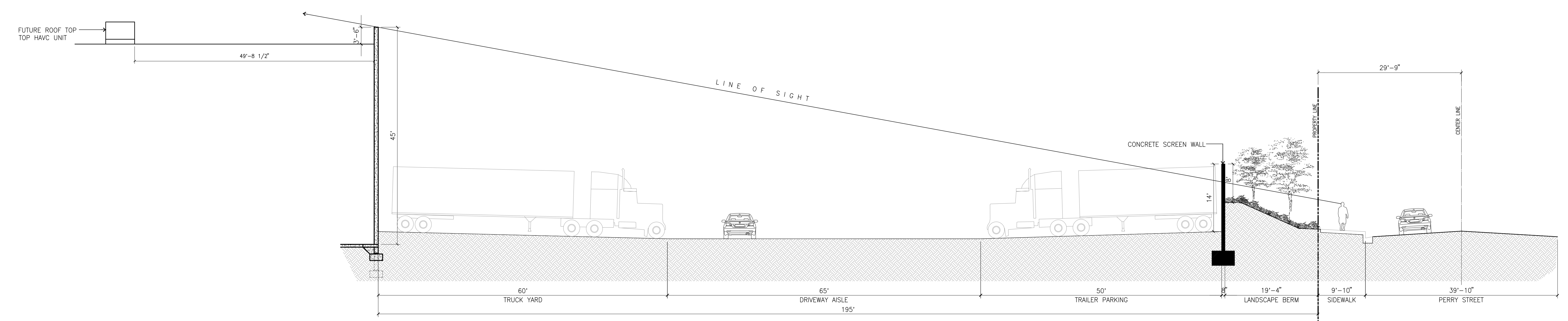
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Drawn by: RC
Date: -
Revision: -

Sheet:

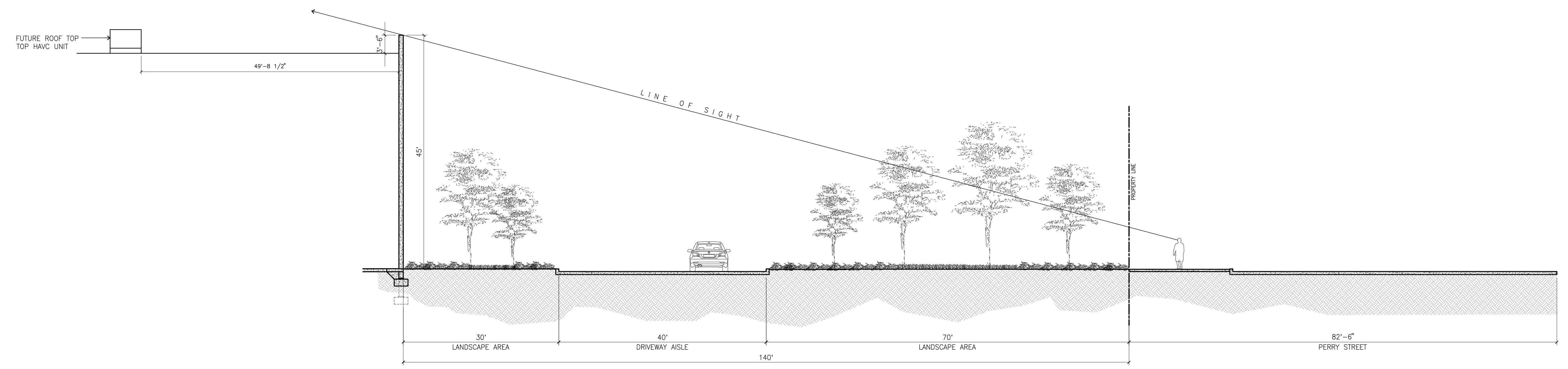
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CROSS SECTION STUDY A
scale: 1/10" = 1'-0"

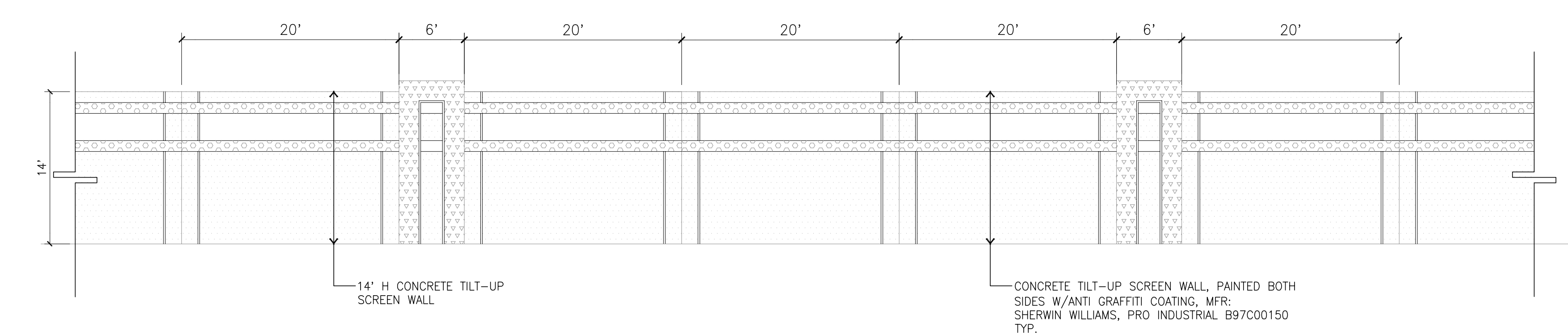
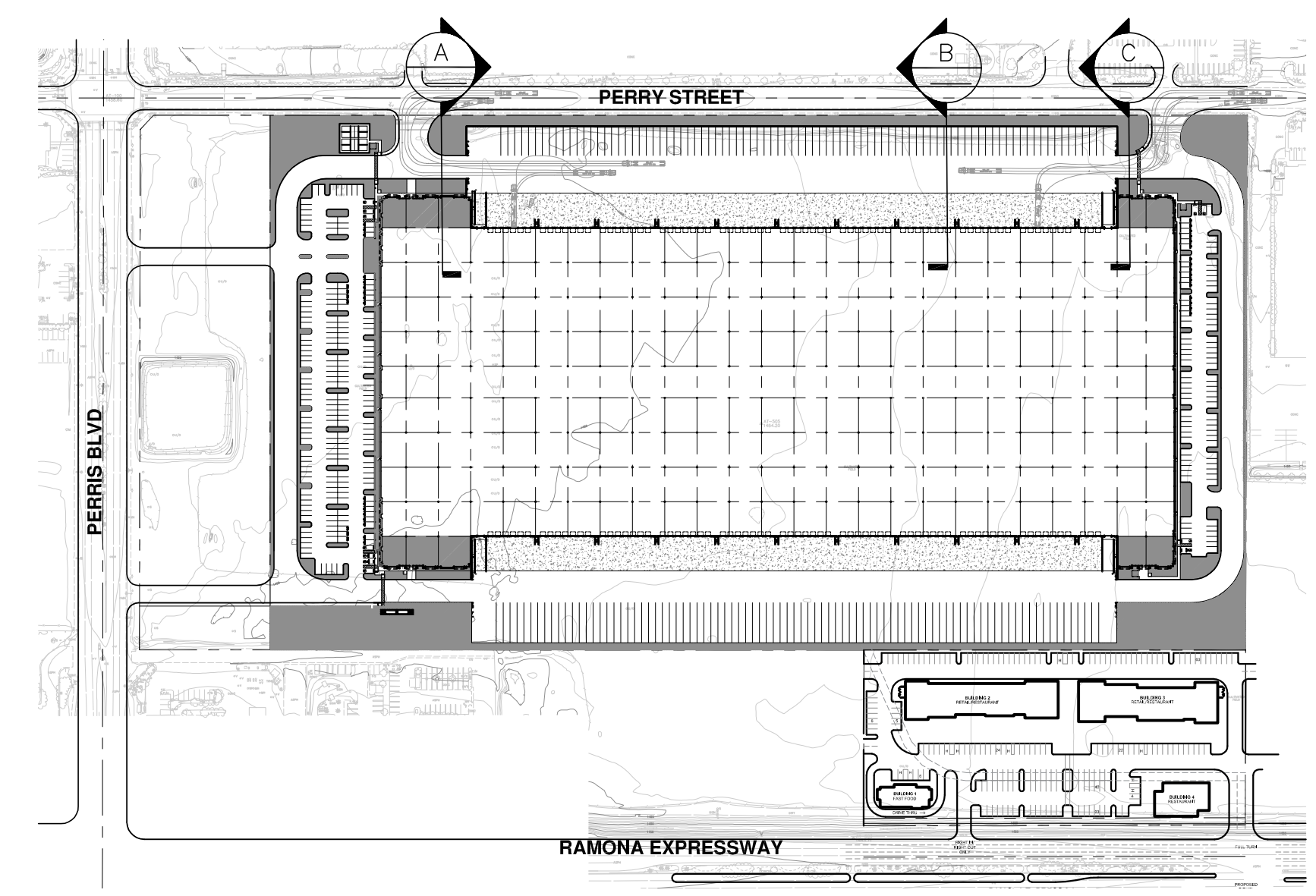


CROSS SECTION STUDY B
scale: 1/10" = 1'-0"

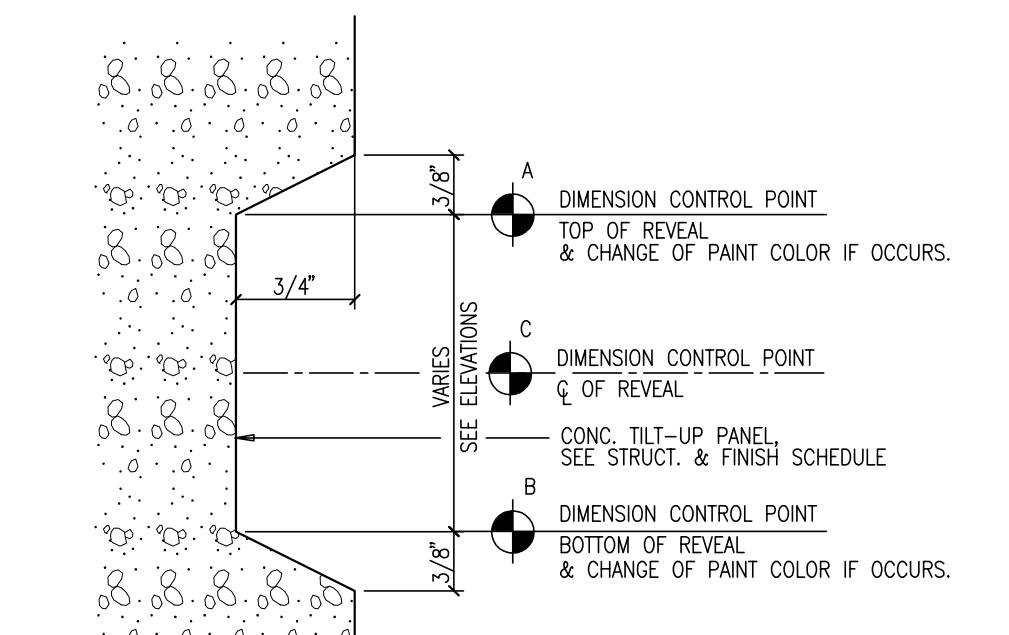


CROSS SECTION STUDY C
scale: 1/10" = 1'-0"

KEYMAP



ENLARGED SCREEN WALL ELEVATION D
scale: 1/8" = 1'-0"



NOTES:
1. DIMENSION CONTROL POINTS AT REVEALS AND EDGE OF CONCRETE OPENINGS WHERE OCCUR, SEE WALL SECTIONS.
2. PAINT COLOR CHANGES TO ALWAYS OCCUR AT CONTROL POINT "A" OR "B"

TYP. CONCRETE REVEAL E
scale: N.T.S.



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PERRIS, CA

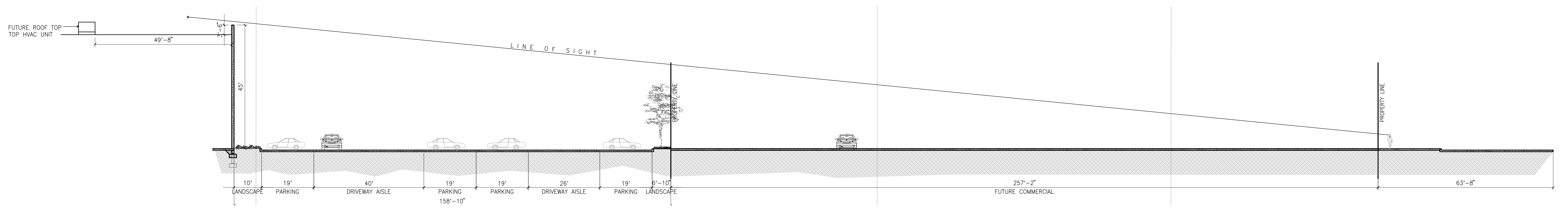
Consultants:

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- Mechanical: -
- Plumbing: -
- Electrical: -
- Landscape: HUNTER LANDSCAPE
- Fire Protection: -
- Soils Engineer: -

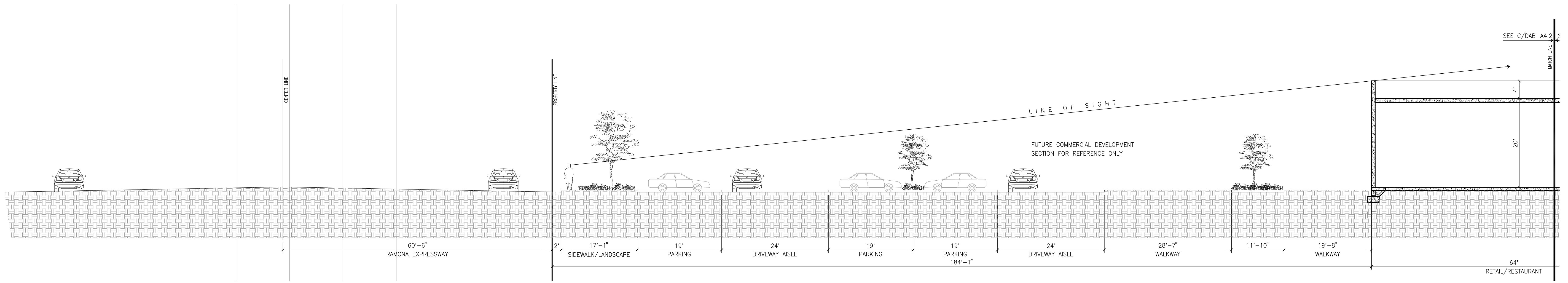
Title: Site Section

Project Number: 20505
Drawn by: RC
Date: -
Revision: -

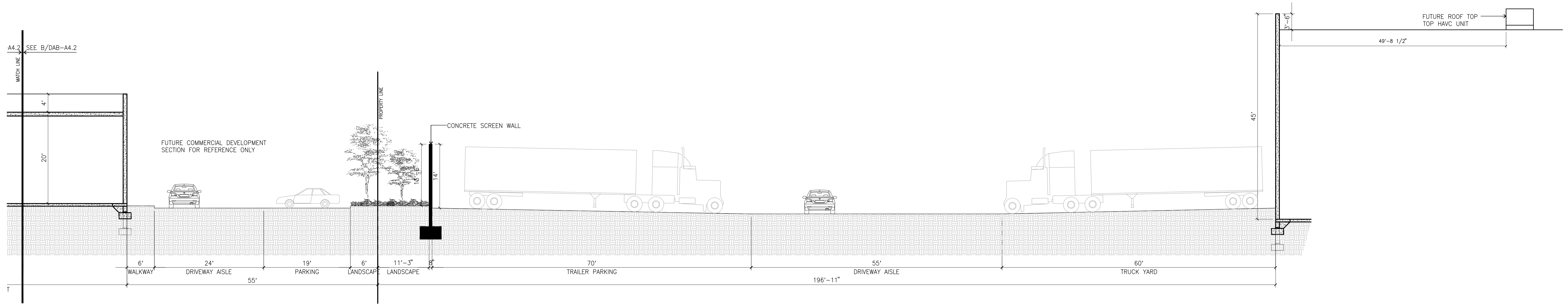
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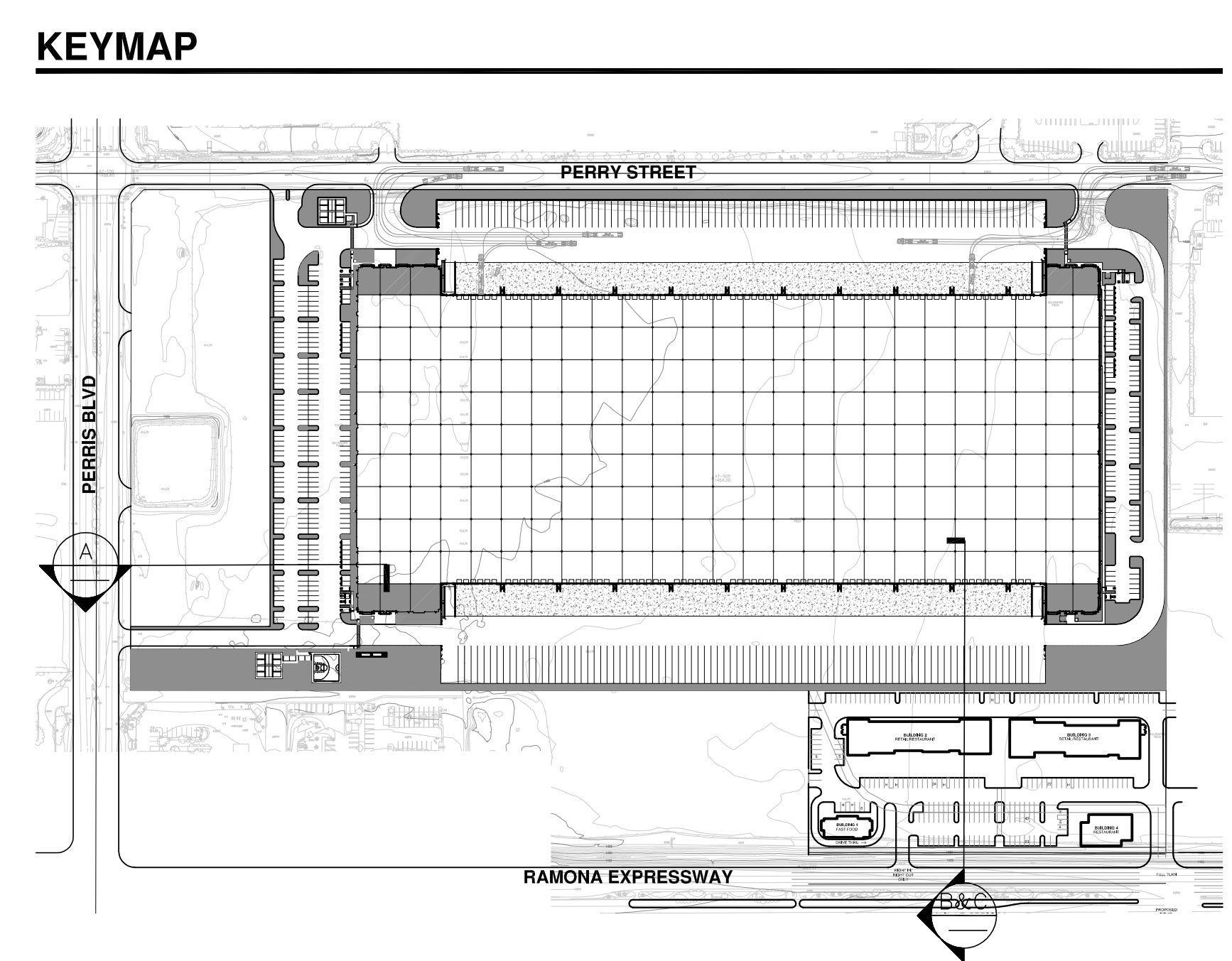
CROSS SECTION STUDY A
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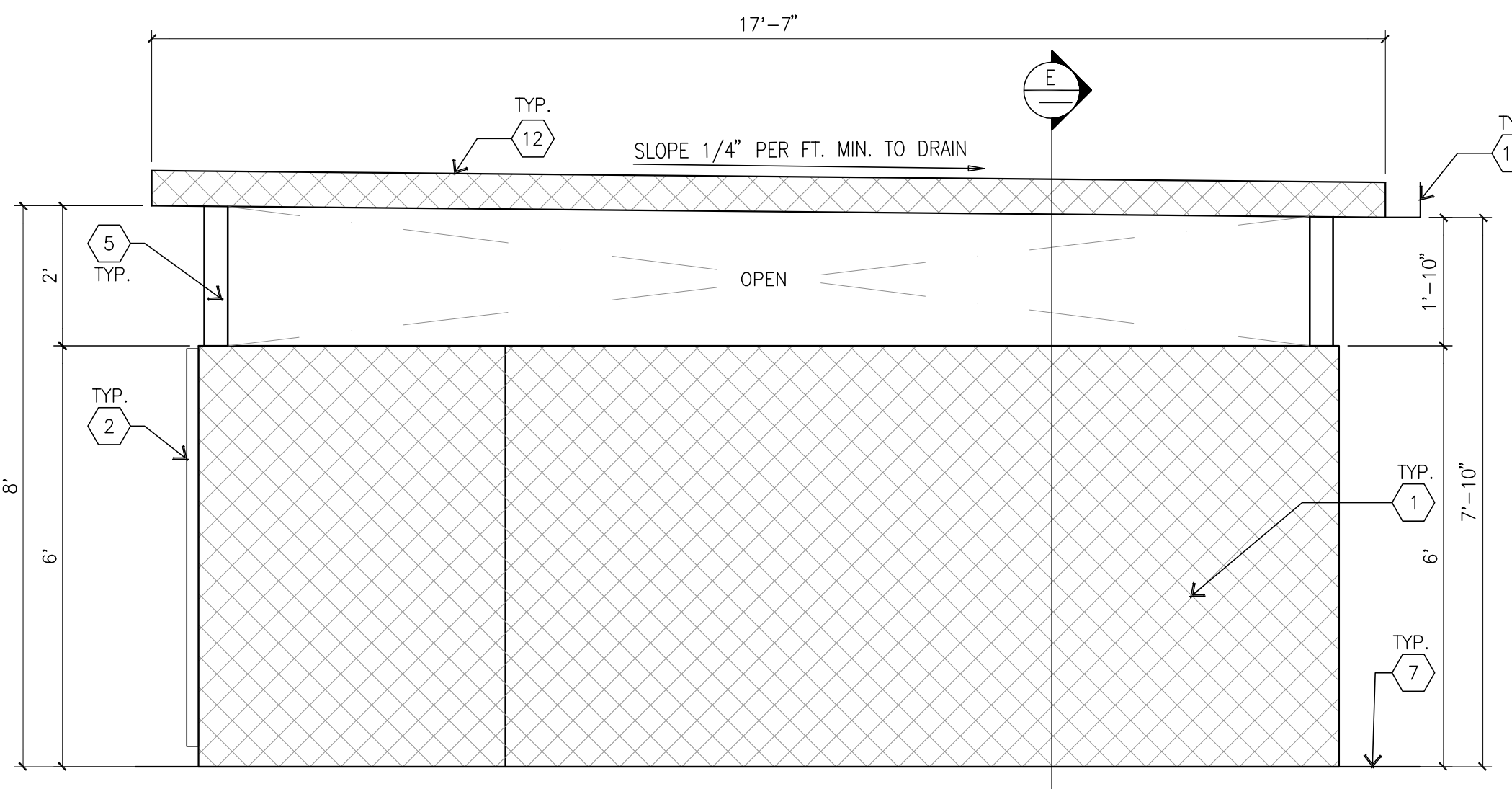
CROSS SECTION STUDY B
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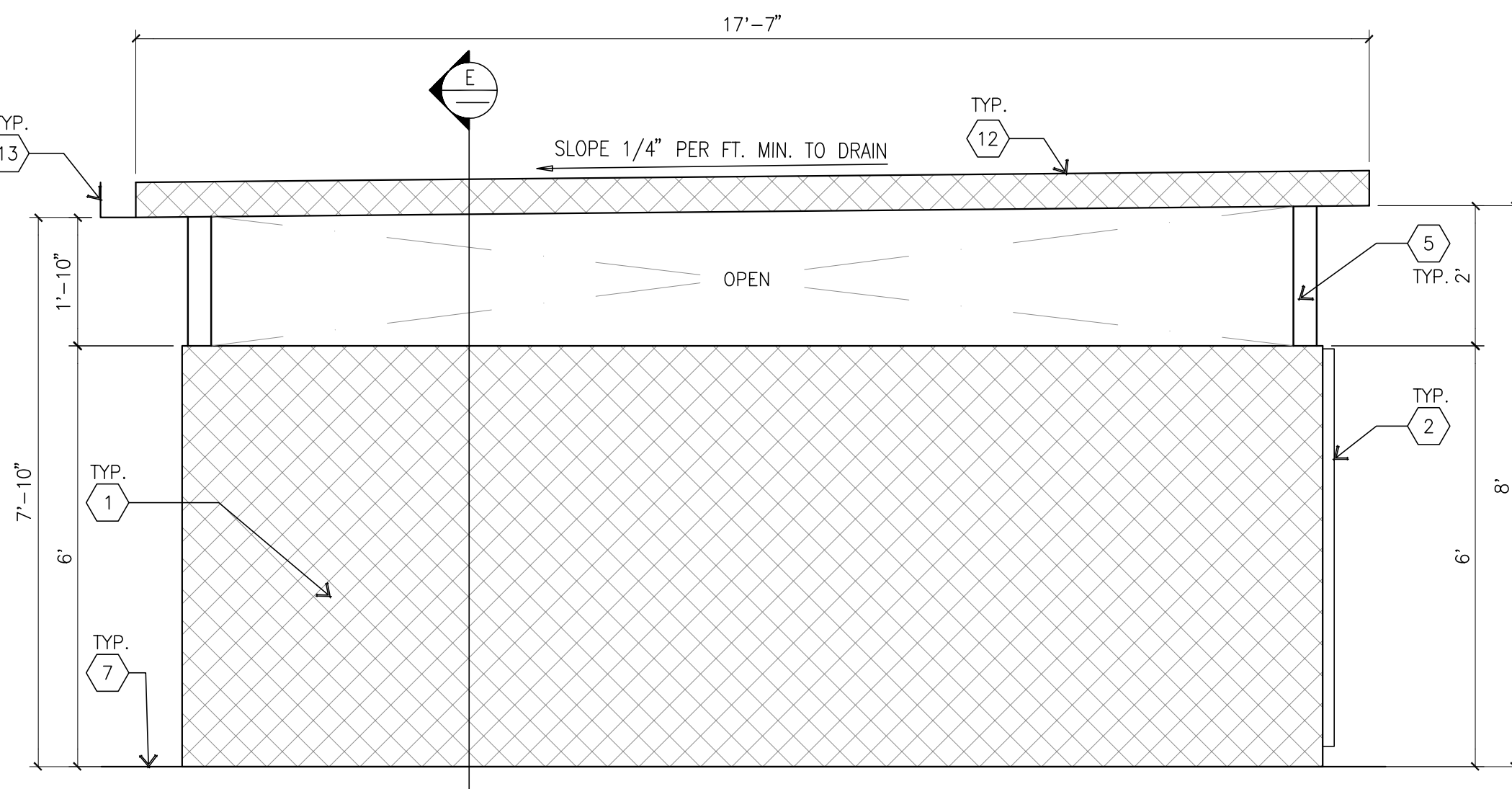
CROSS SECTION STUDY C
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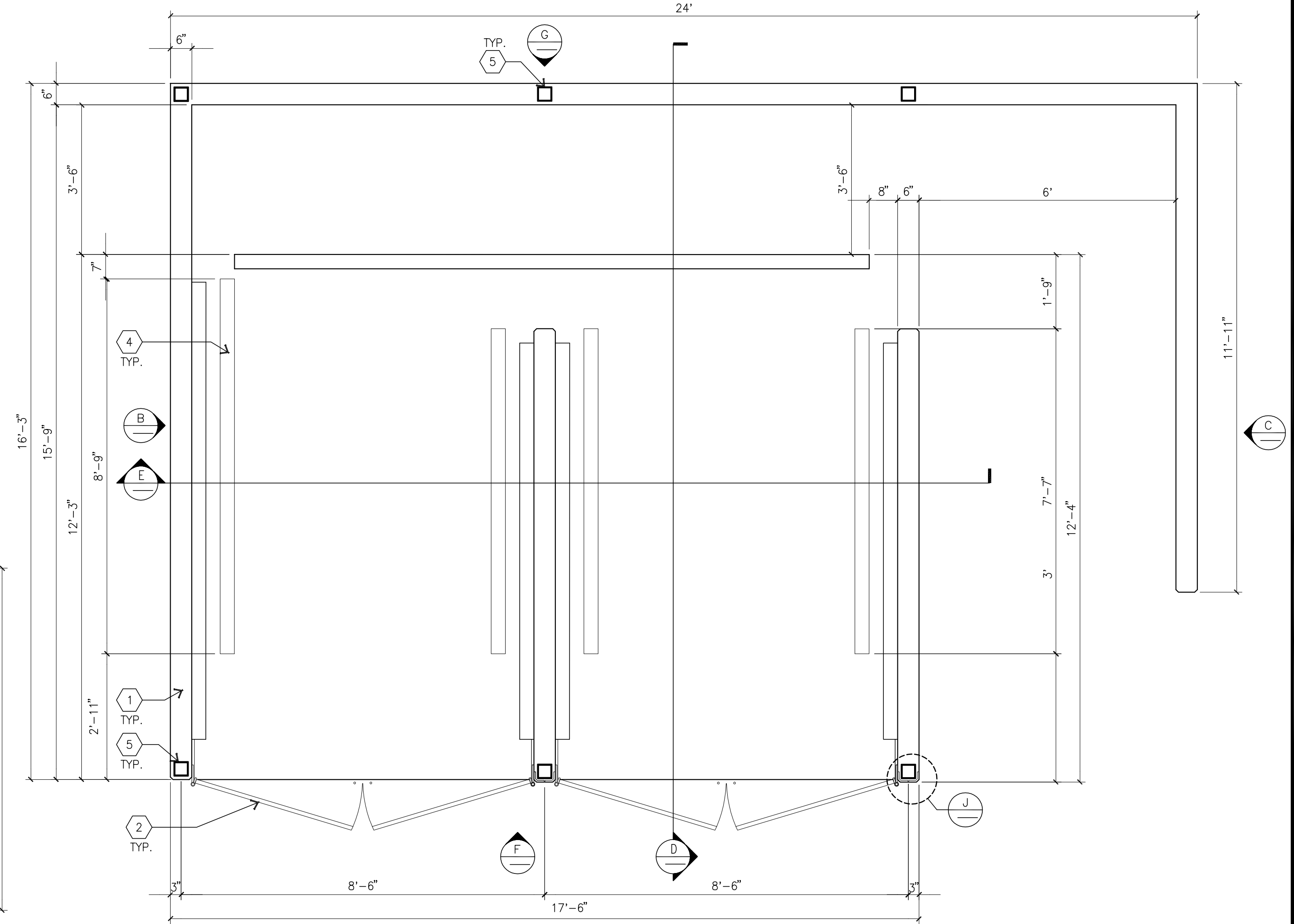
- Civil: _____
- Structural: _____
- Mechanical: _____
- Plumbing: _____
- Electrical: _____
- Landscape: HUNTER LANDSCAPE
- Fire Protection: _____
- Soils Engineer: _____



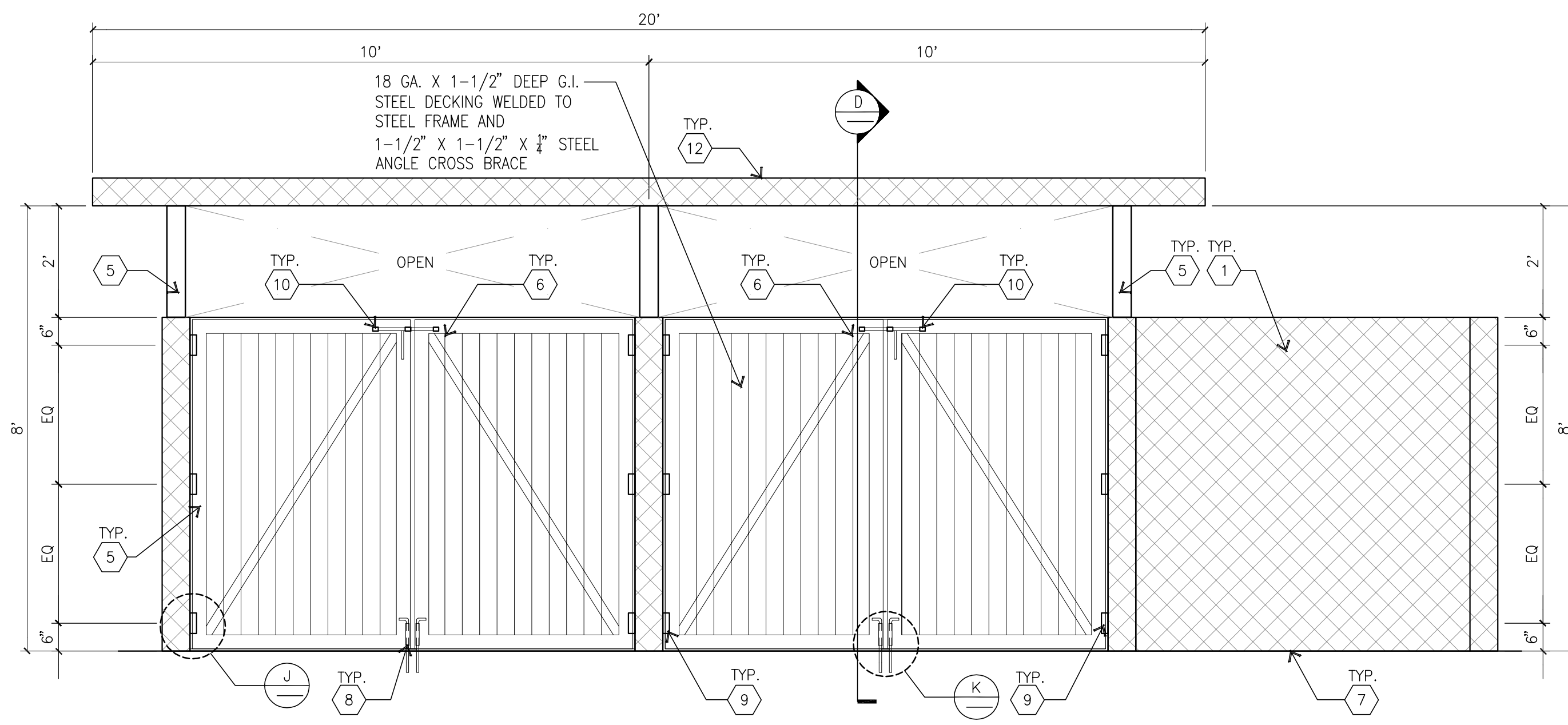
TRASH ENCLOSURE ELEVATION C
scale: 1/2" = 1'-0"



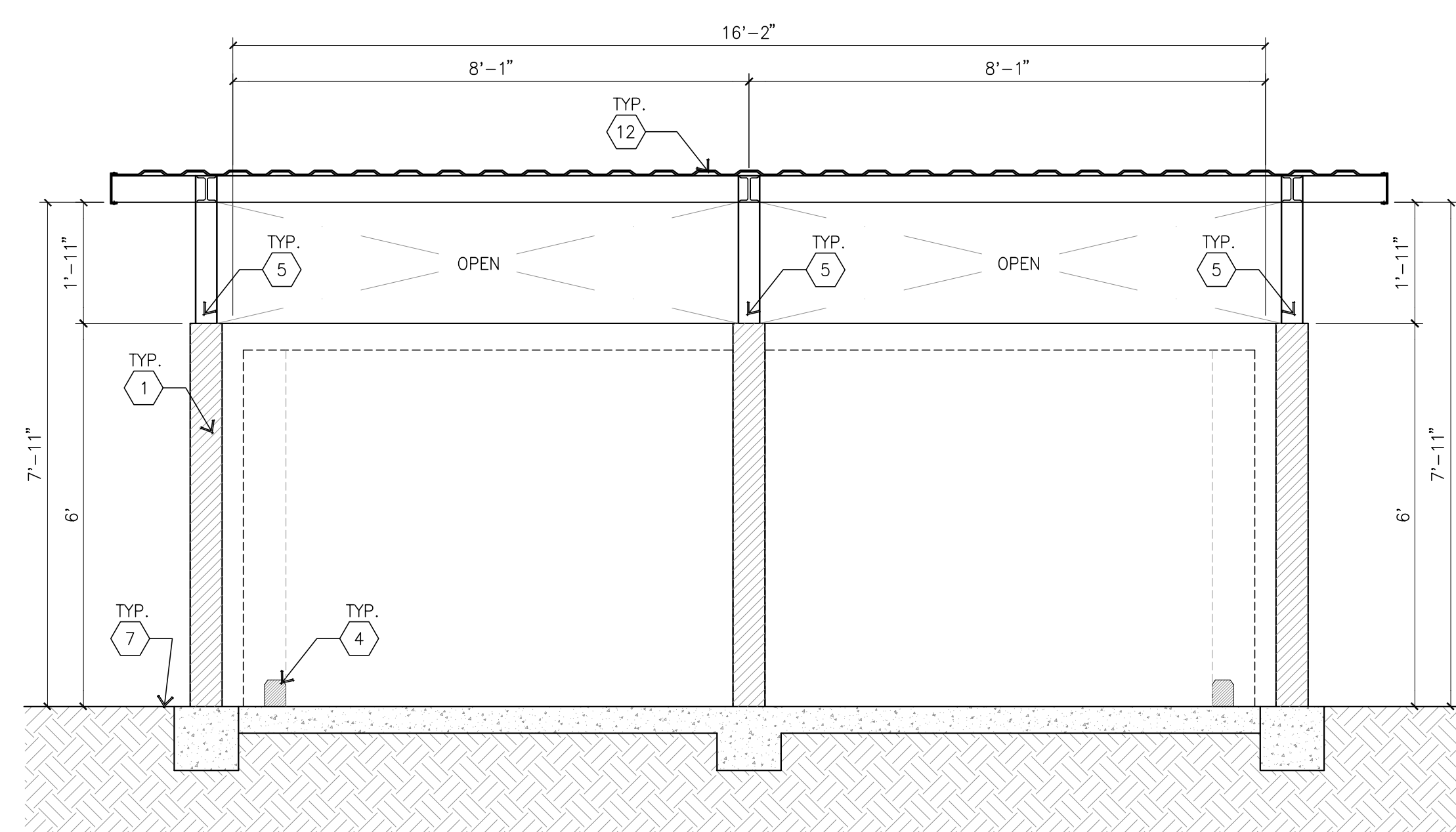
TRASH ENCLOSURE ELEVATION B
scale: 1/2" = 1'-0"



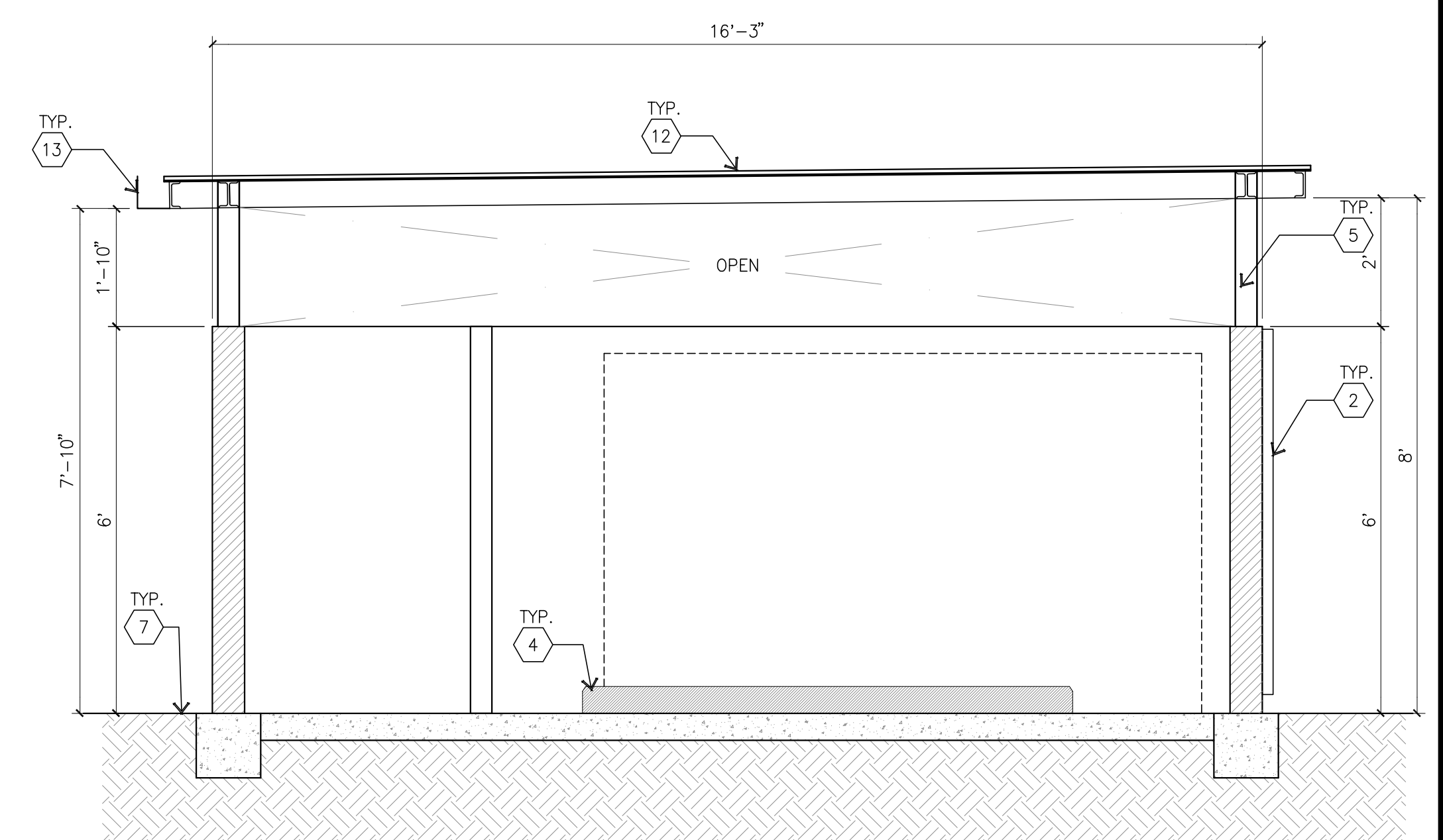
ENLARGED TRASH ENCLOSURE PLAN A
scale: 1/2" = 1'-0"



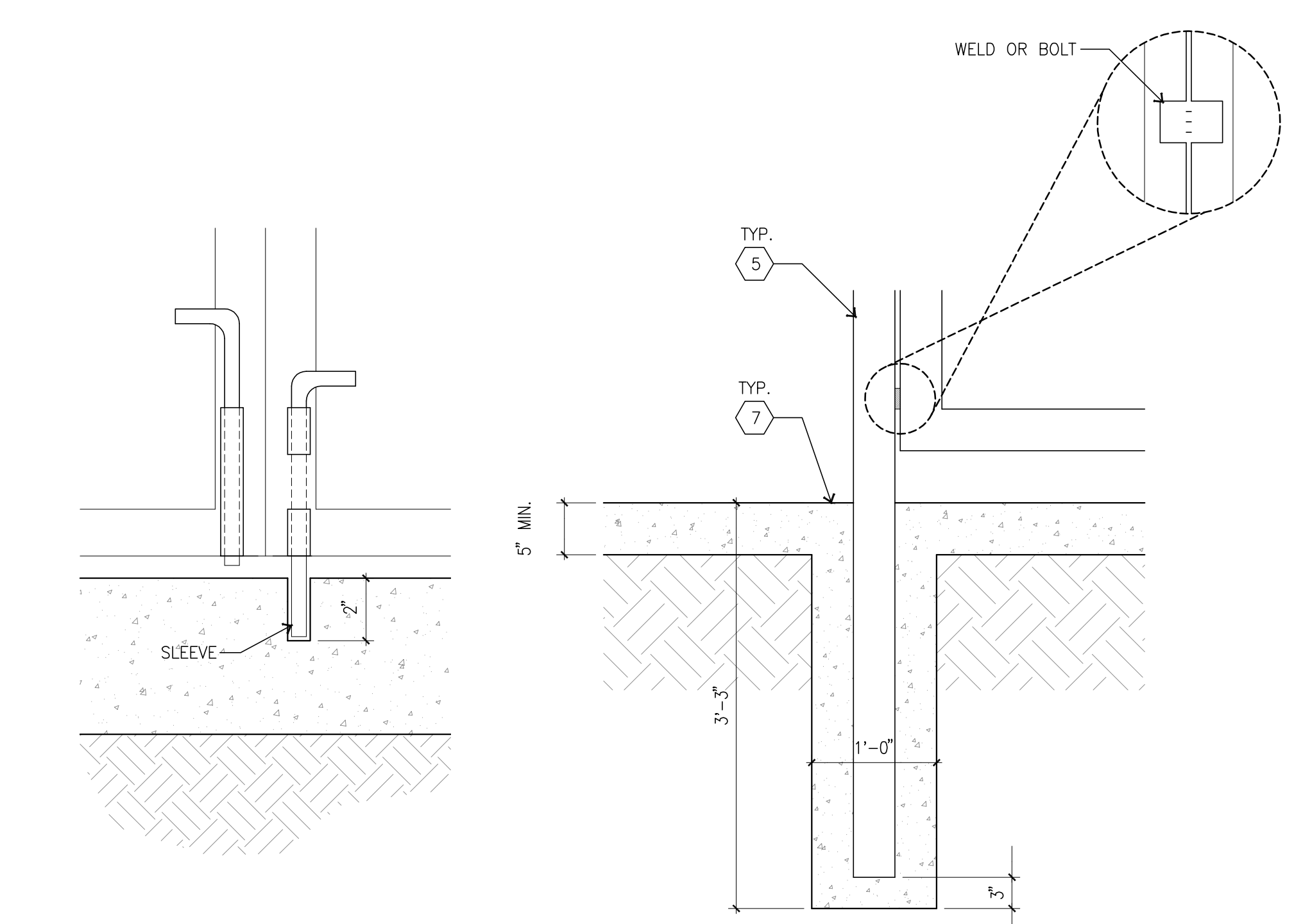
TRASH ENCLOSURE ELEVATION F
scale: 1/2" = 1'-0"



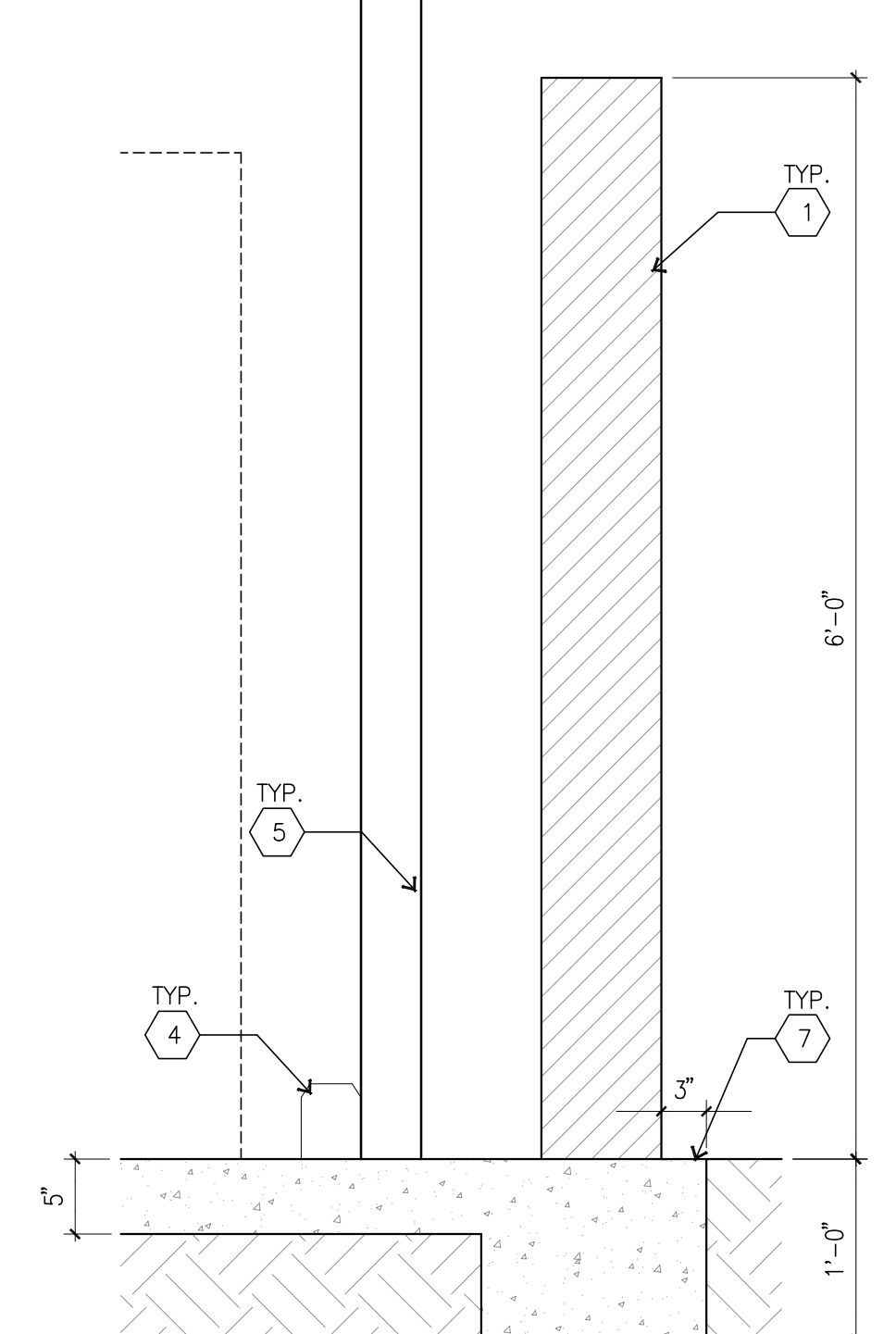
TRASH ENCLOSURE SECTION E
scale: 1/2" = 1'-0"



TRASH ENCLOSURE SECTION D
scale: 1/2" = 1'-0"



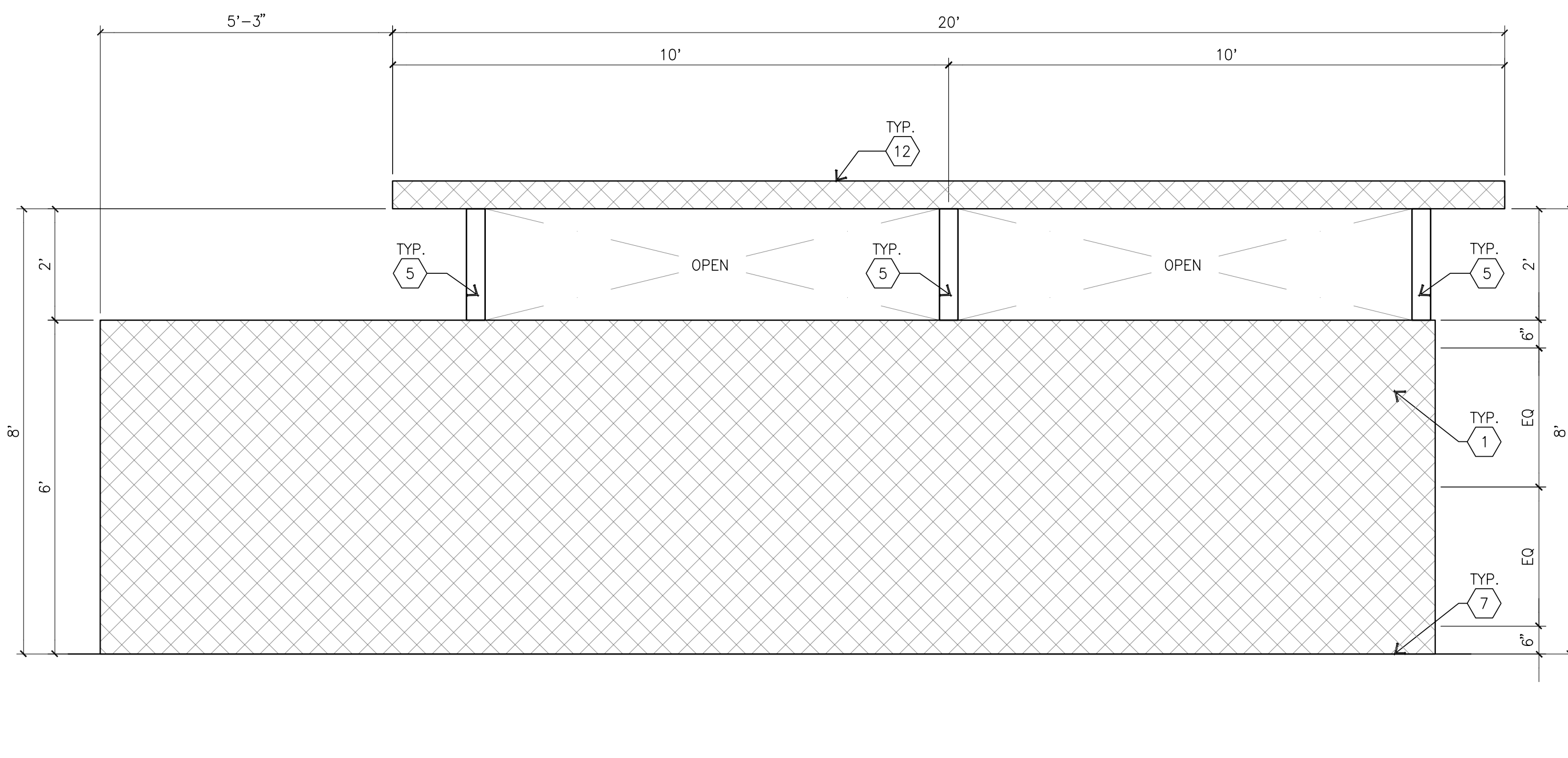
SLEEVE DETAIL K
scale: N.T.S.



STEEL COL. FOOTING J
scale: N.T.S.



WALL FOOTING DETAIL H
scale: N.T.S.



TRASH ENCLOSURE ELEVATION G
scale: 1/2" = 1'-0"

- KEYNOTES**
- 1 CONCRETE TILT-UP WALL.
 - 2 DOUBLE SWING METAL GATES.
 - 3 CONCRETE APRON 5" MIN.
 - 4 4" W X 6" H WHEEL STOPS WITH 1" BEVEL TOP OUTS. SHALL BE FROM RECYCLED MATERIALS. SECURED TO SLAB W/ 1/2" DIA. ANCHOR BOLTS @ 36" O.C. MIN. TYPICAL.
 - 5 STEEL TUBE FRAME PER "S" DRAWINGS.
 - 6 18 GA. X 1 1/2" DEEP G.I. STEEL DECKING WELDED TO STEEL FRAME AND 1 1/2" X 1 1/2" X 1/4" STEEL ANGLE CROSS BRACE.
 - 7 FINISH SURFACE.
 - 8 STEEL CANE BOLT W/ SLEEVE, LOCATED ON OUTSIDE OF ONE GATE. (TYPICAL EA. SIDE) SEE DETAIL G/AD-5
 - 9 HEAVY DUTY STEEL HINGE. (TYPICAL EA. GATE)
 - 10 HEAVY DUTY SLIDE BOLT. (TYPICAL EA. GATE)
 - 11 NOT USED
 - 12 GALVANIZED CORRUGATED METAL DECK.
 - 13 20 GA. G.I. GUTTER PAINTED.

- COLOR LEGEND**
- 1 CONC. TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW7064 PASSIVE

PERRY STREET

PERRIS BLVD

FUTURE COMMERCIAL

PLANTING LEGEND

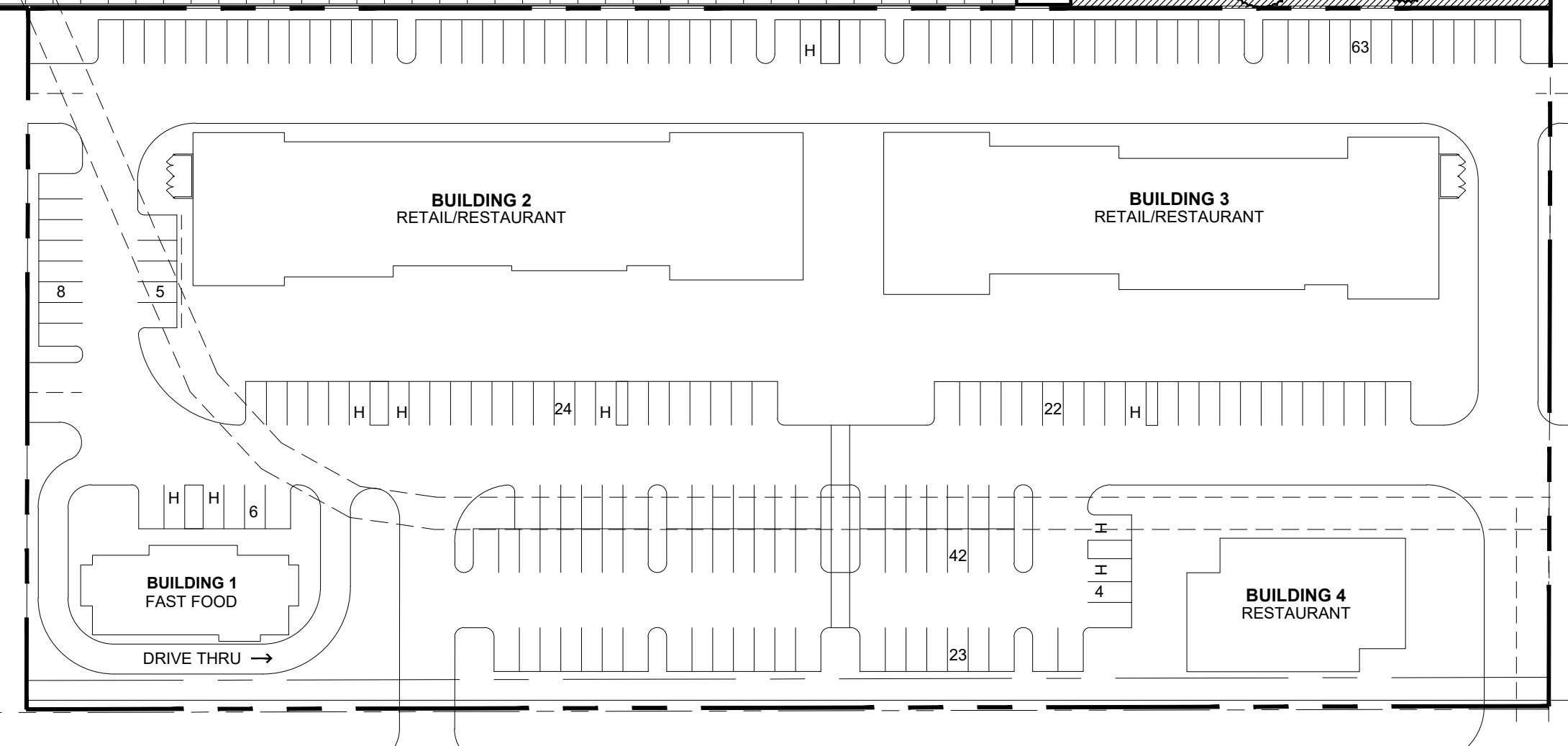
TREES				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	W/U/C/L/S
(Symbol)	Gracilaria 'Dorset Mosaic' Blue Palm Verde	48" Box	13	L Multi
(Symbol)	Chilodactylus tenuis/Chilodactylus	36" Box	37	L Standard
(Symbol)	Cycas revoluta	24" Box	31	L Standard
(Symbol)	Lagotis 'Mistake'	24" Box	3	M Multi
(Symbol)	Albizia julibrissin	24" Box	37	M Standard
(Symbol)	Platanus occidentalis	24" Box	16	L Standard
(Symbol)	Platanus occidentalis	24" Box	55	M Standard
(Symbol)	Chrysomela	24" Box	8	M Standard
(Symbol)	Albizia julibrissin	36" Box	7	L Standard
(Symbol)	Platanus occidentalis	24" Box	42	L Standard
(Symbol)	Platanus occidentalis	15 Gal	88	M Standard

Parking Lot Trees - 137 Total
 Required 30" box - 30% = 41
 Provided 30" box - 30% = 41

SHRUBS				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	W/U/C/L/S
(Symbol)	Chilodactylus tenuis	5 Gal	400	L
(Symbol)	Chilodactylus tenuis	5 Gal	622	M
(Symbol)	Chilodactylus tenuis	5 Gal	457	L
(Symbol)	Chilodactylus tenuis	5 Gal	0	M
(Symbol)	Chilodactylus tenuis	5 Gal	183	M
(Symbol)	Chilodactylus tenuis	5 Gal	31	M
(Symbol)	Chilodactylus tenuis	5 Gal	554	M
(Symbol)	Chilodactylus tenuis	5 Gal	129	M
(Symbol)	Chilodactylus tenuis	5 Gal	457	L
(Symbol)	Chilodactylus tenuis	5 Gal	171	L
(Symbol)	Chilodactylus tenuis	5 Gal	452	L
(Symbol)	Chilodactylus tenuis	5 Gal	71	L
(Symbol)	Chilodactylus tenuis	5 Gal	456	L
(Symbol)	Chilodactylus tenuis	5 Gal	392	L

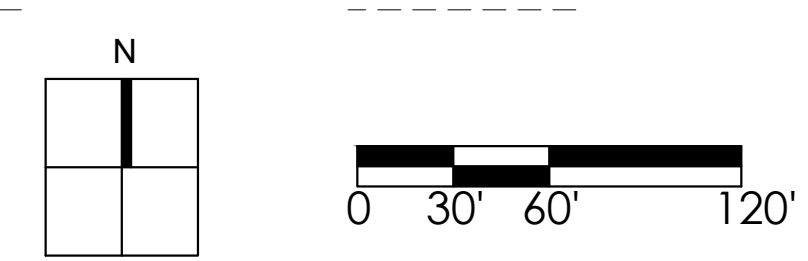
ACCENTS				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	W/U/C/L/S
(Symbol)	Chilodactylus tenuis	5 Gal	30	M
(Symbol)	Chilodactylus tenuis	5 Gal	43	L
(Symbol)	Chilodactylus tenuis	1 Gal	196	L
(Symbol)	Chilodactylus tenuis	5 Gal	115	L

GROUNDCOVER				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	W/U/C/L/S
(Symbol)	Chilodactylus tenuis	5 Gal	8" O.C.	L
(Symbol)	Chilodactylus tenuis	4" Pots	12" O.C.	M
(Symbol)	Chilodactylus tenuis	1 Gal	48" O.C.	L
(Symbol)	Chilodactylus tenuis	1 Gal	24" O.C.	L
(Symbol)	Chilodactylus tenuis	1 Gal	18" O.C.	L
(Symbol)	Chilodactylus tenuis	1 Gal	24" O.C.	M
(Symbol)	Chilodactylus tenuis	1 Gal	48" O.C.	L
(Symbol)	Chilodactylus tenuis	1 Gal	48" O.C.	L



RIGHT IN/
RIGHT OUT
ONLY

FULL TURN



Perry and Perris Blvd

22-008
 02.10.22 03.02.23
 05.24.22 11.30.23
 07.29.22
 08.22.22

Perris, California

HUNTER LANDSCAPE
 711 FEE ANA STREET PLACENTIA, CA 92870
 714.986.2400 FAX 714.986.2408

PERRY STREET

PERRIS BLVD

FUTURE COMMERCIAL

PLANTING LEGEND

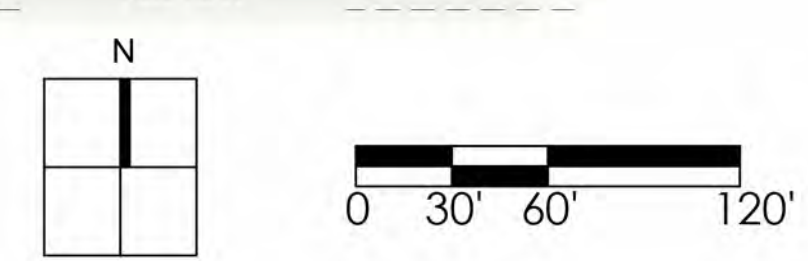
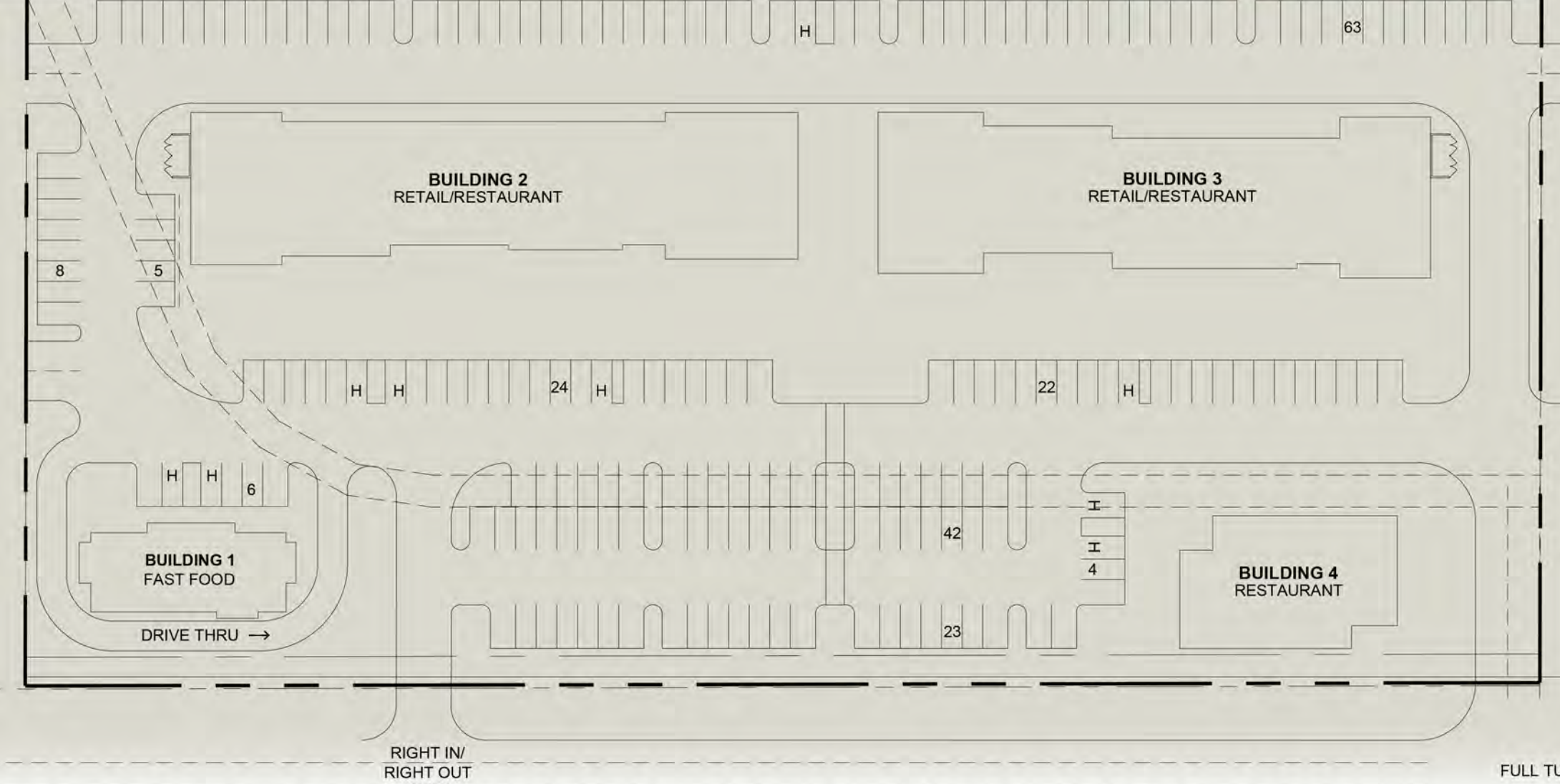
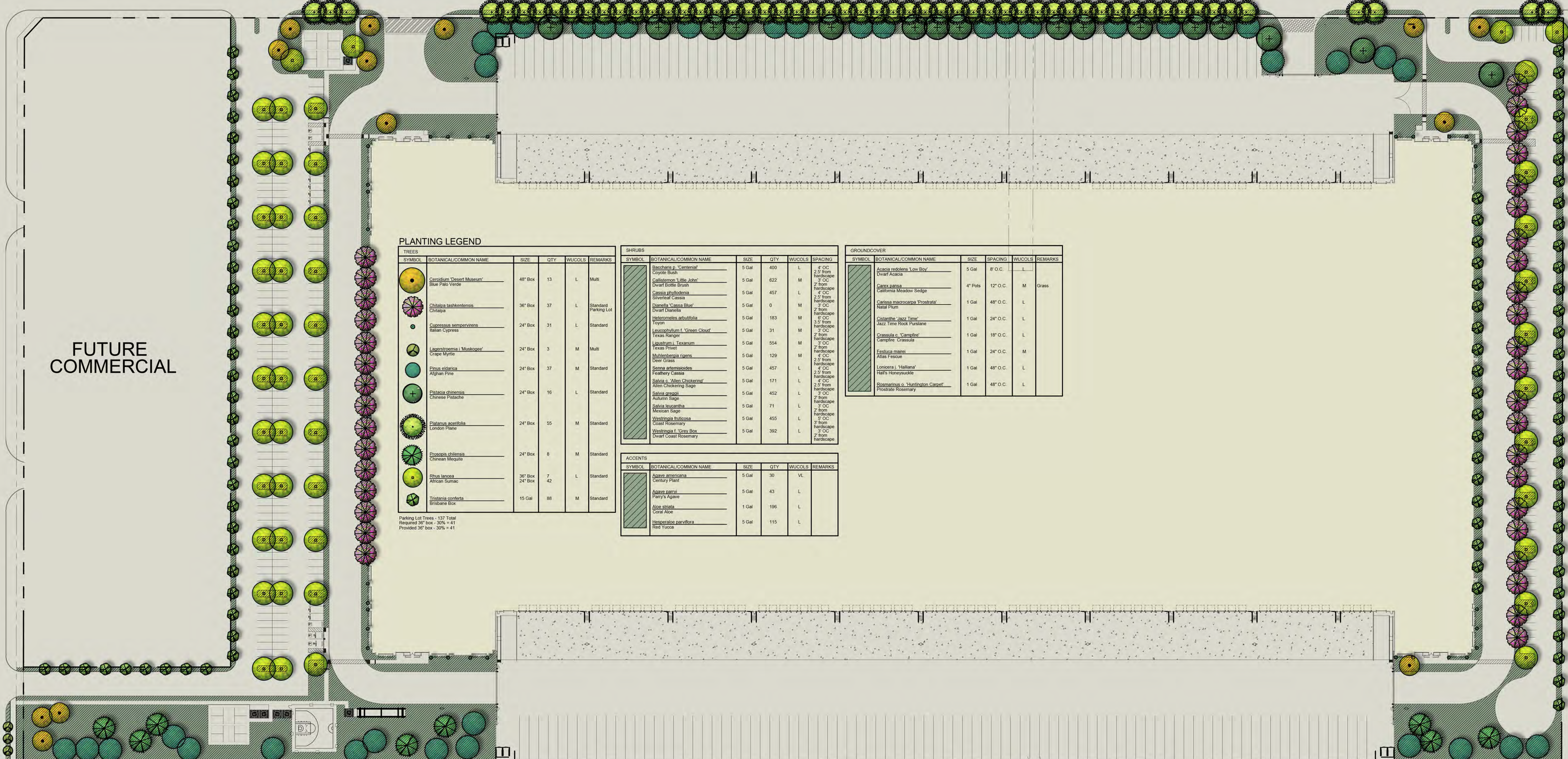
TREES				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS
	<i>Canarium Desert Museum</i> Blue Palo Verde	48" Box	13	L
	<i>Chilopsis salicoides</i> Catalpa	36" Box	37	L
	<i>Cycas sempervirens</i> Sago Palm	24" Box	31	L
	<i>Laguncularia</i> / <i>Mesquite</i> Green Mesquite	24" Box	3	M
	<i>Prosopis juliflora</i> Silphium	24" Box	37	M
	<i>Prosopis juliflora</i> Silphium	24" Box	16	L
	<i>Prosopis juliflora</i> Silphium	24" Box	55	M
	<i>Prosopis juliflora</i> Silphium	24" Box	0	M
	<i>Prosopis juliflora</i> Silphium	36" Box	7	L
	<i>Prosopis juliflora</i> Silphium	24" Box	42	M
	<i>Prosopis juliflora</i> Silphium	15 Gal	88	M

Parking Lot Trees - 137 Total
 Required 36" box - 30% = 41
 Provided 36" box - 30% = 41

SHRUBS				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS
	<i>Artemisia tridentata</i> Canyon Sage	1 Gal	400	L
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	622	M
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	457	L
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	0	M
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	183	M
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	31	M
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	554	M
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	139	M
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	457	L
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	171	L
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	452	L
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	71	L
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	455	L
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	392	L

ACCENTS				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	30	M
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	43	L
	<i>Artemisia tridentata</i> Canyon Sage	1 Gal	196	L
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	115	L

GROUNDCOVER				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS
	<i>Artemisia tridentata</i> Canyon Sage	5 Gal	8" O.C.	L
	<i>Artemisia tridentata</i> Canyon Sage	4" Pots	12" O.C.	M
	<i>Artemisia tridentata</i> Canyon Sage	1 Gal	48" O.C.	L
	<i>Artemisia tridentata</i> Canyon Sage	1 Gal	24" O.C.	L
	<i>Artemisia tridentata</i> Canyon Sage	1 Gal	18" O.C.	L
	<i>Artemisia tridentata</i> Canyon Sage	1 Gal	24" O.C.	M
	<i>Artemisia tridentata</i> Canyon Sage	1 Gal	48" O.C.	L
	<i>Artemisia tridentata</i> Canyon Sage	1 Gal	48" O.C.	L



Perry and Perris Blvd

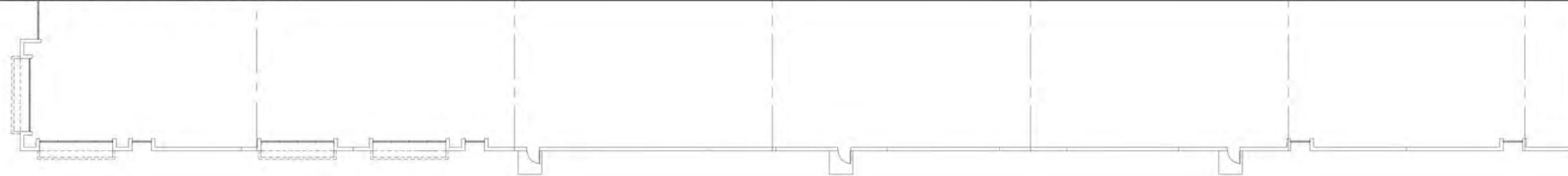
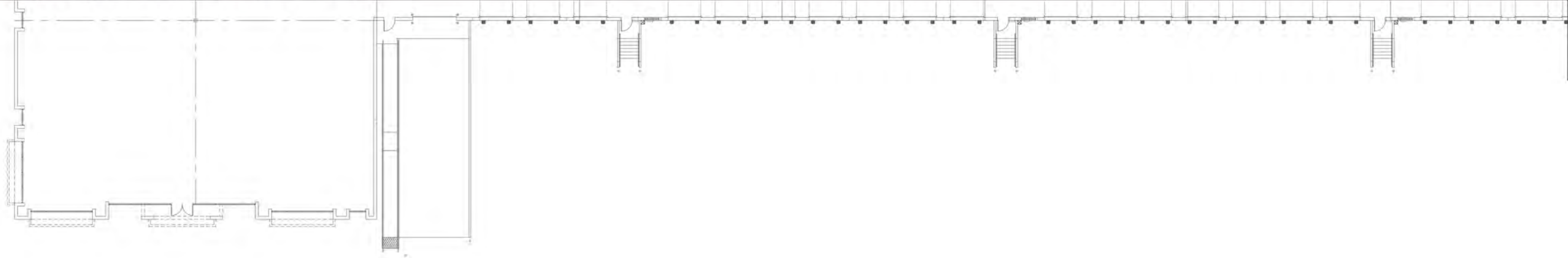
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Perris, California



HUNTER LANDSCAPE

711 FEE ANA STREET PLACENTIA, CA 92870
 714.986.2400 FAX 714.986.2408



Conceptual Building Elevations - 40' Clear Ht.

RAMONA EXPY. & PERRIS BLVD.

Perris, CA

#20505 | 12.05.2023

OPTIMUS GROUP



Conceptual Building Elevations - 40' Clear Ht.

RAMONA EXPY. & PERRIS BLVD.

Perris, CA

#20505 | 12.05.2023

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Perris Blvd. Elevation - West Elevation

- 1



Sherwin Williams
SW 7005
Pure White
255-C1
- 2



Sherwin Williams
SW 7063
Nebulous White
257-C5
- 3



Sherwin Williams
SW 2832
Colonial Revival Gray
- 4



Porcelain Tile
Eurowest
Next Grey
24"x 48"
- 5



Sherwin Williams
SW 9162
African Gray
235-C4
- 6



Sherwin Williams
SW 7075
Web Grey
235-C6
- 7



Alucobond Plus
MZG Gray Mica II
The Classic Collection
PVDF 2, Gloss 30-40
- 8



Sherwin Williams
SW 9177
Salty Dog
253-C2
- 9



Formliner
Sherwin Williams
SW 7005
Pure White
- 10



Coronado Stone
6" Split Limestone
Black Forest
- 11



Black Anodized
MULLIONS
- 12



Blue Glass
- 13



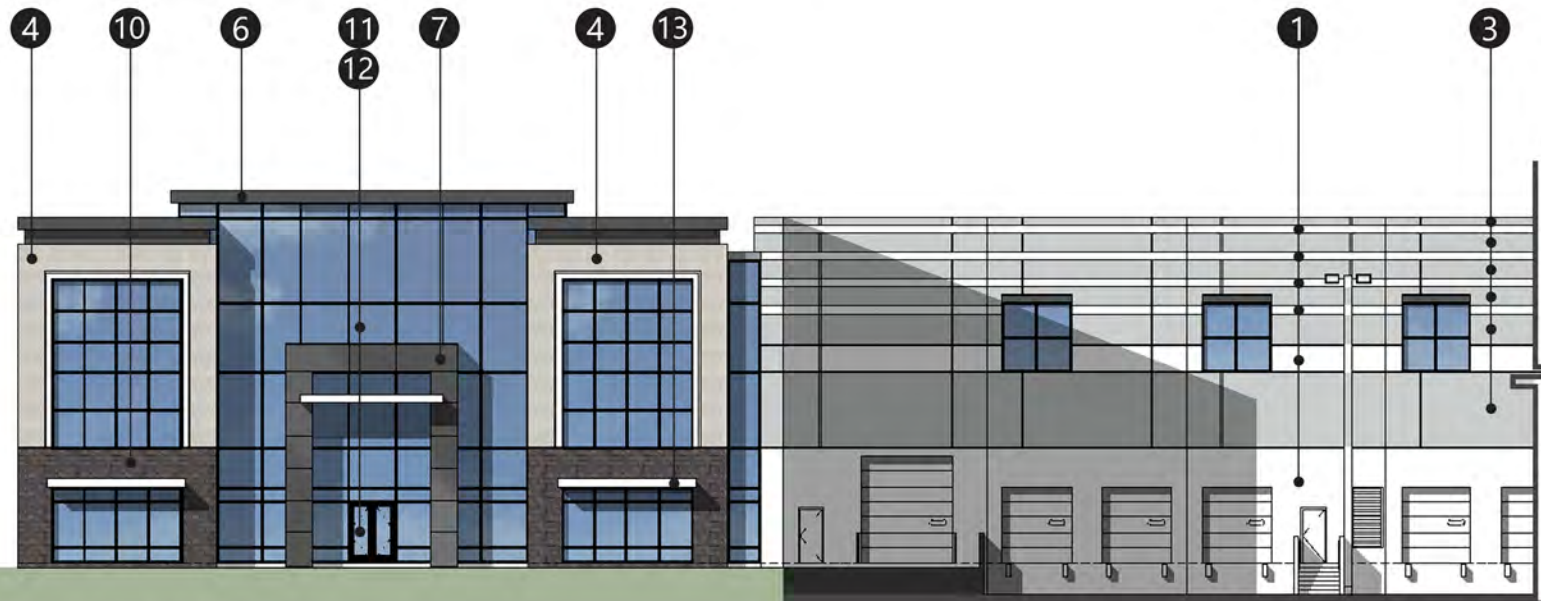
Tube Steel Canopy
PPG
Pitt-Tech Plus EP DTM
w/ Color P1



Porcelain Tile
Eurowest
Next Grey
24"x 48"



Coronado Stone
6" Split Limestone
Black Forest



Enlarged View of North Elevation



Conceptual Building Elevations and Material Board - 40' Clear Ht.

RAMONA EXPY. & PERRIS BLVD.

Perris, CA

#20505 | 12. 05. 2023

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Conceptual Building Elevations - 40' Clear Ht.

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#20505 | 12.05.2023

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Conceptual Building Elevations - 40' Clear Ht.

RAMONA EXPY. & PERRIS BLVD.

Perris, CA

#20505 | 12.05.2023

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