



# CITY OF PERRIS

## PLANNING COMMISSION

### AGENDA SUBMITTAL

**MEETING DATE:** November 15, 2023

**SUBJECT:** Appeal of Abandonment Determination for PLN 17-05171 (Medical Dispensary Application) & PLN 18-05353 (Adult-Use Retailer Dispensary Application) – Appeal of the Director of Development Services' decision that the applicant for Dynamic Meds Dispensary abandoned their Medical and Adult-Use Retailer Dispensary Approval based upon non-renewal of their applications pursuant to Sec 5.54.100 and Sec 5.58.090 of the Perris Municipal Code. Applicant: Alfonso Luera, for Dynamic Meds, Inc., represented by Law Offices of Lawrence R. Bynum.

**REQUESTED ACTION:** Affirm that the applicant for Dynamic Meds, Inc. Dispensary abandoned their Medical and Adult-Use Retailer Dispensary Approvals based upon non-renewal of their applications pursuant to the Perris Municipal Code, and determination that the applications have expired.

**CONTACT:** Kenneth Phung, Director of Development Services

---

#### **BACKGROUND:**

##### *Appeal Application Request*

The appeal application before the Planning Commission for consideration is a request by the applicant for the Commissioners to affirm that their Medical and Adult-Use Retailer Dispensary application approvals should still be valid as they have been working with the City to obtain approval for their on-site and off-site improvements, and ultimately construction of the improvements to be compliant with their Conditions of Approval to be able to start operation. Staff's position, however, is that the applicant has abandoned their Medical and Adult-Use Retailer Dispensary Approvals based upon non-renewal of their applications pursuant to Sec 5.54.100 and Sec 5.58.090 of the Perris Municipal Code, as the marijuana application approvals automatically expire one year from the date of issuance unless the holder of a commercial marijuana operation permit applies for the renewal of an existing permit no less than sixty (60) days prior to the permit's expiration date. In this case, the applicant obtained approval of their Medical Dispensary Application on November 13, 2018, and approval of their Adult-Use Retailer Application on February 5, 2019, and has never applied for renewal for either application. Since the renewal applications were not submitted, the applications have expired and are deemed abandoned.

There is no opportunity for the applicant to submit a new dispensary application, as on March 27, 2018, the City Council approved Resolution 5252 to suspend all new dispensary applications due to concerns over the number of dispensary applications in process and that the current regulations did not provide a limit on the number of dispensaries that would be allowed within the City.

#### *Dispensary in Operation while Application and Improvement Plans were still in Plan Check*

The applicant submitted the Medical Dispensary Application on August 22, 2017, and the Minor Modification Application 18-05038 on February 7, 2018, to convert a caretaker trailer located at 4605 Wade Avenue to a marijuana dispensary operation. The applicant obtained staff approval for both the Medical Dispensary Application and Minor Modification Application on November 13, 2018, subject to the conditions/requirements to submit, obtain approval and complete all off-site and on-site improvements to the existing building and parking lot before they could obtain an occupancy permit and business license to open.

Although the applicant did not obtain approval for the off-site improvement plans from the Engineering Department until July 2020 and the on-site electrical plans from the Building Department until January 2021, the applicant submitted a Business License application to open operation in December of 2017 without approval by the Department of Cannabis Control (State agency granting dispensary permit approval), and without the necessary City approvals. Ultimately, the applicant reached out to HDL, the City's third-party business license provider, to issue a business license in error on January 1, 2020. The business license was issued in error because the applicant had not yet even obtained the permit to start and complete the required on-site and off-site improvements and because staff had not yet issued a Certificate of Occupancy, all of which were required before a business license could be properly issued.

#### Operations of Marijuana Dispensary without Completion of Off-site and On-site Improvements and Proper Business License Pursuant to the Conditions of Approval

Although the Dynamic Meds dispensary was not permitted to open until they obtained staff approval and completed their on-site and off-site improvements, pursuant to the Conditions of Approval for the Dispensary and Minor Modification approval, the Code Enforcement Department confirmed that the dispensary had been operating illegally since at least January of 2020 during a site visit. In addition, after researching the YELP app, where customers can comment on an operating business, multiple customer reviews were posted about the business operations, with the oldest comment dating back to October 7, 2018. Also, in researching Google Map's historical street view, there is an image of the dispensary being opened since at least April of 2018.

HDL staff issued a letter on June 12, 2020, formally revoking the illegally obtained business license. However, the applicant continued to operate illegally without a business license or approval by the Department of Cannabis Control, although they were repeatedly informed by the City attorney's office by letters of notices of violation and to cease and desist sent on March 6, 2020, and April 1, 2020. The dispensary only closed operations when the sheriff's department came to shut down the operation between August 6, 2021, through August 10, 2021.

## **RECOMMENDATION:**

Staff recommends that the Planning Commission affirms that the applicant for Dynamic Meds Dispensary abandoned their Medical and Adult-Use Retailer Dispensary Approvals based upon the following:

- 1) The applicant never submitted renewal of either one their dispensary applications pursuant to Sec 5.54.100 and Sec 5.58.090 of the Perris Municipal Code, as the dispensary applications automatically expire one year from the date of issuance unless the holder of a commercial marijuana operation permit applies for the renewal of an existing permit no less than sixty (60) days prior to the permit's expiration date – as such, the applications were automatically expired and have remained expired since November 13, 2019 (medical use) and February 5, 2020 (adult-use retailer).
- 2) Although the applicant obtained staff approval for both the Medical Dispensary Application and Minor Modification Application on November 13, 2018, they did not submit the off-site improvements to the engineering department until July 2020 and the on-site improvements until November 2020 to start the plan check process and obtain approval for the construction; yet Dynamic Meds illegally operated since at least October 7, 2018.
- 3) The applicant deceptively reached out to HDL, the City's third-party business license provider, to issue a business license in error on January 1, 2020, although the applicant needed to complete the on-site and off-improvements first, followed by obtaining a Certificate of Occupancy, before a Business License could be issued.
- 4) Even after multiple notices by the City Attorney's office (March 6, 2020, and April 1, 2020) to close their illegal operation, the operator chose not to close their operation. The dispensary operation only closed after the Sheriff's Department came to the site to shut down the operation between August 6, 2021, and August 10, 2021.

---

**BUDGET (or FISCAL) IMPACT:** Cost for staff preparation of this item has been accounted for in the current budget.

---

Prepared by: Kenneth Phung, Director of Development Services

## **EXHIBITS:**

- A. Location/Aerial Map
- B. Site Plan, Floor Plan, Elevations
- C. Approval Letter with Conditions of Approval for the Medical Dispensary Operation dated November 13, 2018
- D. Approval Letter with Conditions of Approval for the Adult-Use Dispensary Operation dated February 5, 2019
- E. Summary History of Dynamic Meds Dispensary
- F. Link to Documents and Letters supporting Exhibit E: Summary History of Dynamic Meds Dispensary

[https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-403#docan1206\\_1313\\_479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-403#docan1206_1313_479)

G. Yelp review printout and link identifying Dispensary in Operations Since at least October 7, 2018:

<https://www.yelp.com/biz/dynamic-meds-perris-2>

H. Google Map Image of Dispensary in Operation Since at Least April of 2018

Consent:

Public Hearing: x

Business Item:

Presentation:

Other:

# EXHIBIT A

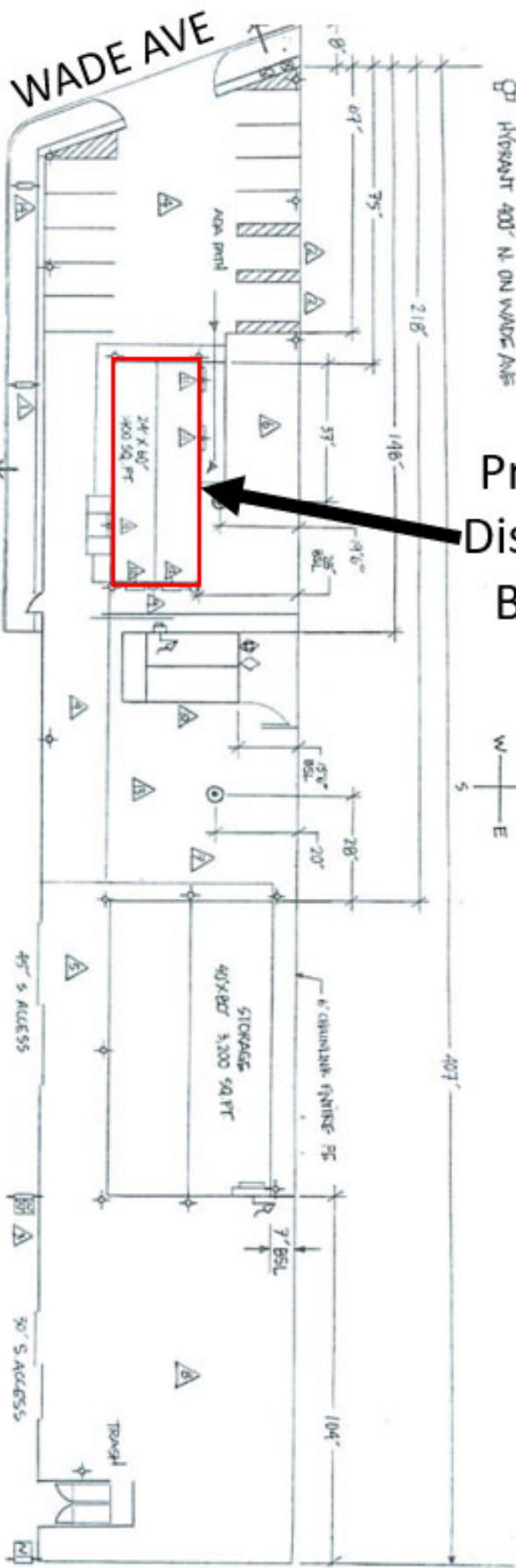
Location / Aerial Map



# EXHIBIT B

Site Plan, Floor Plan & Elevations





Proposed  
Dispensary  
Building

NANCE ST  
NANCE ST.

SITE PLAN

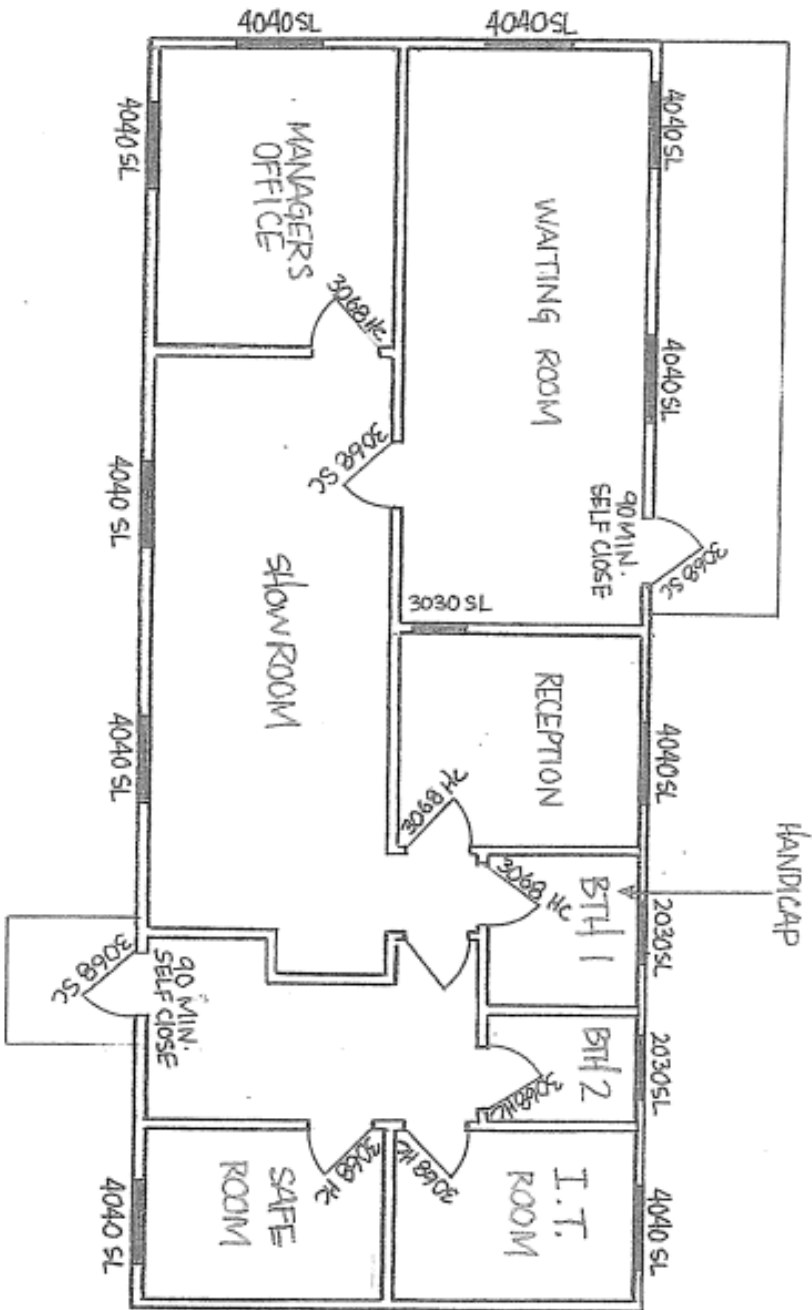
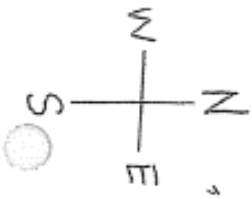
△	POWER POLE SUPPLIES TO SEP AND SUBSTATIONS TO BE MAINTAINED FOR HYBRID ONLY
△	POWER POLE SUPPLIES TO STORAGE OF H. P. ONLY WITH POWER TO SUB AT
△	2,212.5 SQ FT PAVEMENT, 17% OF LOT SPACE
△	2,214 SQ FT CONCRETE, 7% OF LOT SPACE
△	2,404 SQ FT 3/4" GRANITE GRANITE COVER 7 1/2% OF LOT SPACE
△	2,778 SQ FT 1/4" GRANITE GRANITE COVER 8.7% OF LOT SPACE
△	8,050 SQ FT 3/4" GRANITE GRANITE COVER 20% OF LOT (CONCRETE/PAVEMENT, 10% STORAGE)
△	4 FT X 8" POWER POLE UNIT ENCLOSED
△	4 FT X 8" POWER POLE UNIT ENCLOSED
△	EMERGENCY POWER
△	EMERGENCY POWER

⊗	WATER METER
⊙	WATER VALVE
⊕	SEWER CLEAN OUT
⊖	POWER POLE
⊗	TRANSFORMER
⊙	GAS METER
⊕	GAS VALVE
⊖	WATER TREATMENT

DYNAMIC MEDS  
APN NO. 54000618  
ADDRESS: 4605 WAIDE AVE.  
PERRIS, CA. 92570  
ZONE: LT. IND.

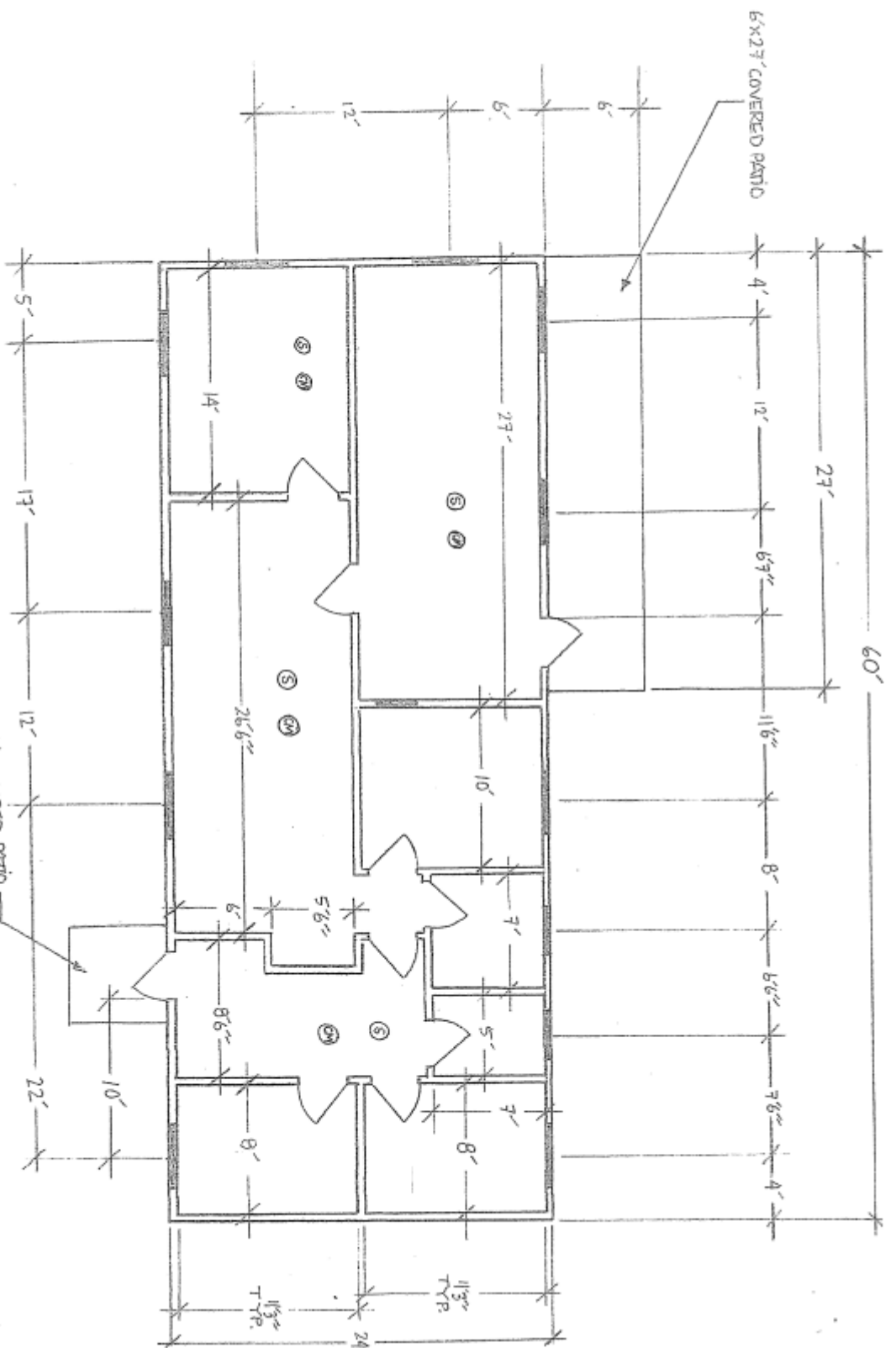
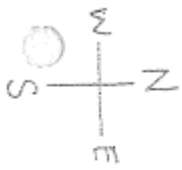






FLOOR PLAN A1  
 SCALE: 1/8" = 1'-0"

DYNAMIC MEDS.  
 APN NO. 34100069  
 ADDRESS: 4605 WADE AVE  
 PERRIS, CA 92571  
 ZONE: I.T. IND.



FLOOR PLAN A

SCALE: 1/8" = 1'-0"

DYNAMIC MEDS

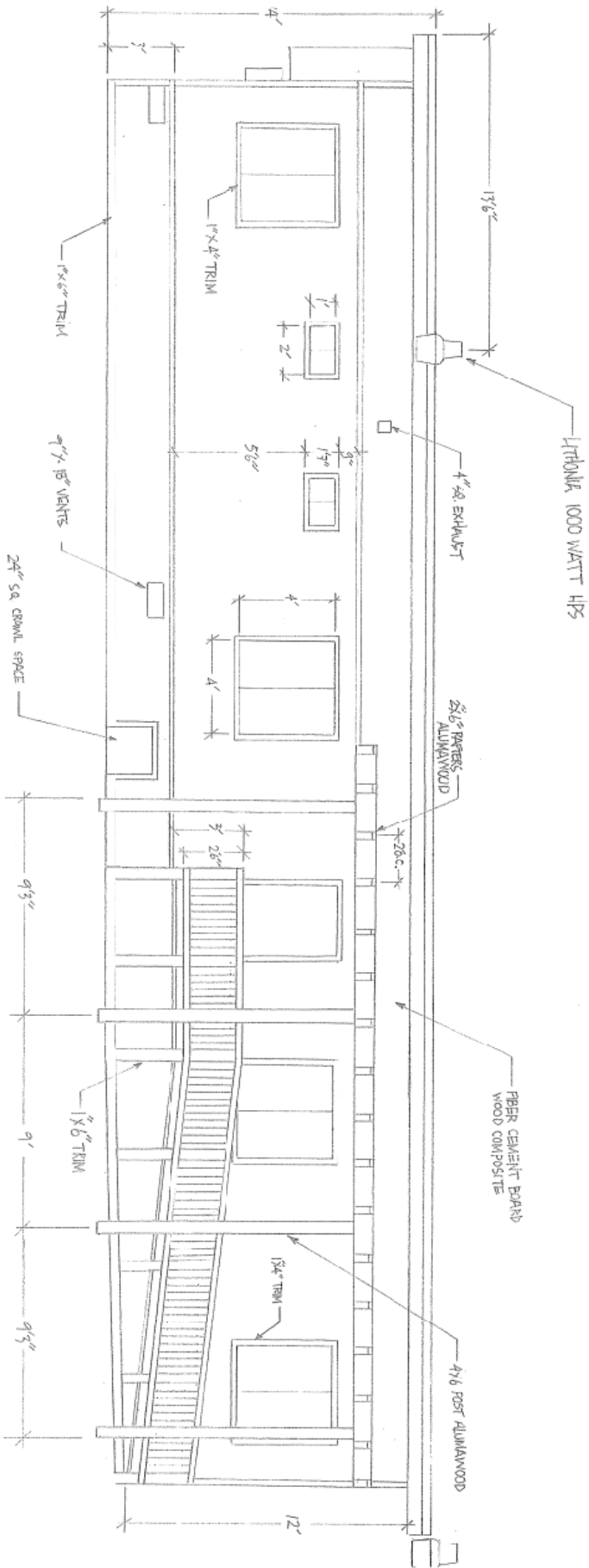
APN NO. 314100068

ADDRESS: 4605 WADE AVE

PERRIS, CA, 92571

ZONE: LT. 11



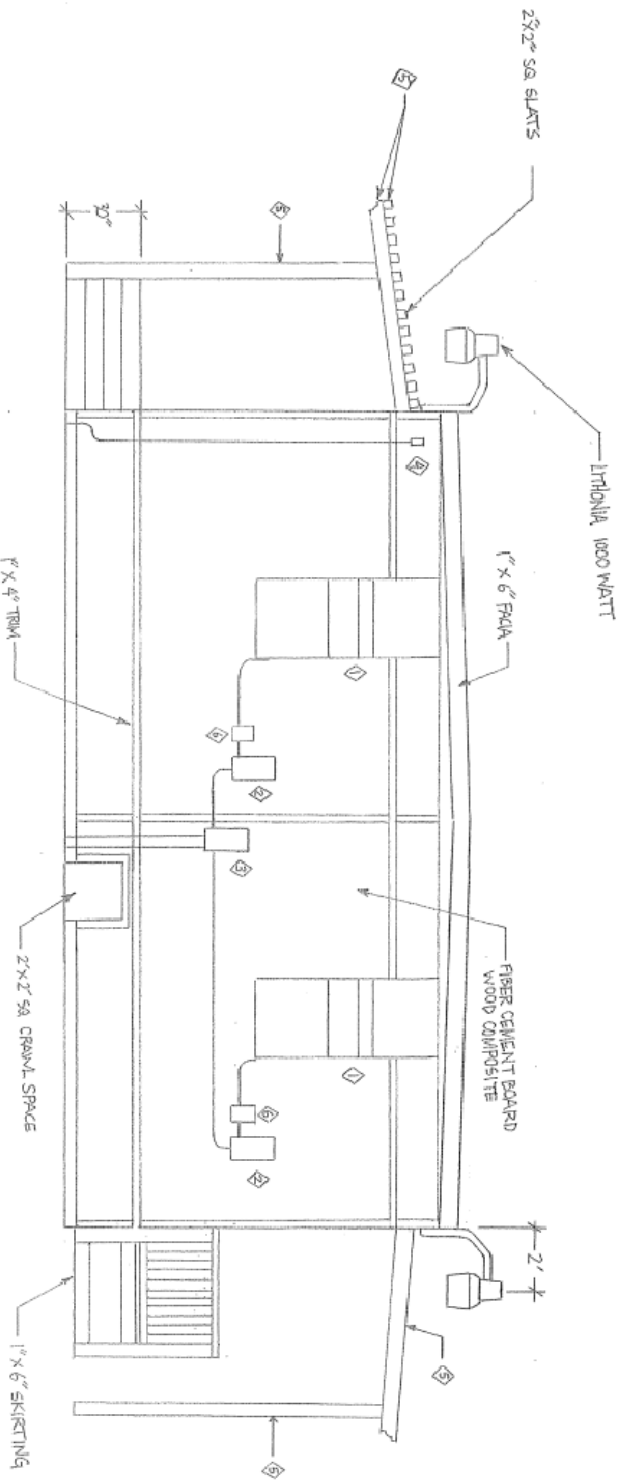


NORTH ELEVATION  
 SCALE 1/4" = 1'-00"

DYNAMIC MEDS  
 APN NO. 31400068  
 ADDRESS 4605 WADE AVE  
 PERRIS, CA 92570  
 ZONE LT IND.

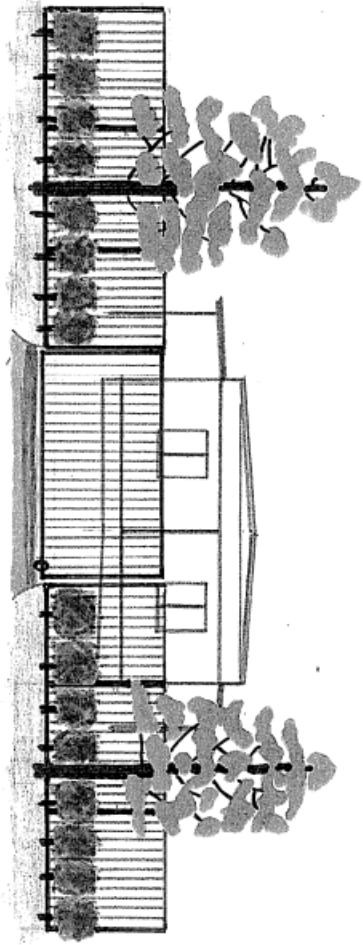
A2

1	BRD MFG. HVAC MOD. WZ441-4041P4 60HZ 1PH 45 AMP BRKR
2	100 AMP SUBPANEL
3	200 AMP SUBPANEL. 4/6 WIRE RUN FROM 400 AMP PANEL AT STORAGE
4	ANNING'S BUILT OF ALUMINUM
5	HVAC MAIN FUSE

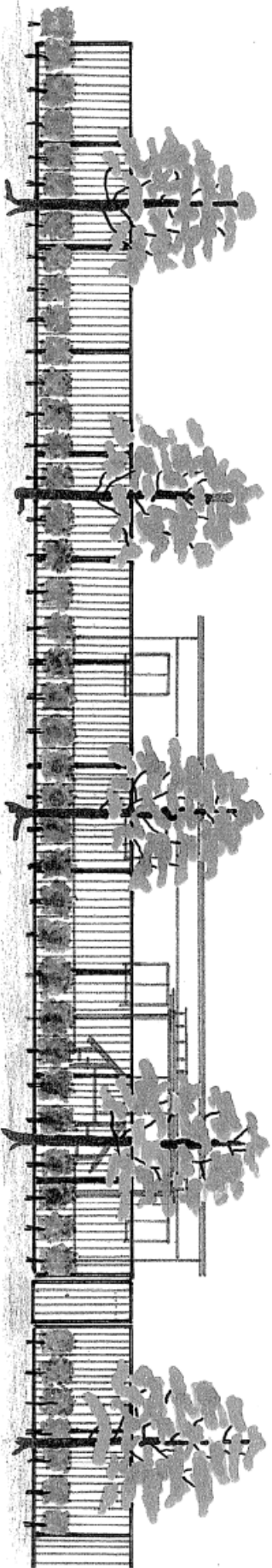


EAST ELEVATION  
SCALE: 1/4" = 1'-00"

DYNAMIC WEDS  
APN NO. 31400068  
ADDRESS: 4605 WADE AVE.  
FERRIS, CA. 92570  
ZONE LT IND.



WADE AVE.



NANCE ST.

DYNAMIC MEDS  
APN NO. 31400066  
ADDRESS 4445 WADE AVE.  
PERRIS CA 92570  
ZONE LT IND.  
3/4 ACRE LOT



## EXHIBIT C

Approval Letter with Conditions of Approval for the  
Medical Dispensary Operation dated  
November 13, 2018



# CITY OF PERRIS

DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION

135 N. "D" Street, Perris, CA 92570-2200  
TEL: (951) 943-5003 FAX: (951) 943-8379

November 13, 2018

Sal Hernandez  
4605 Wade Avenue  
Perris, CA 92570

Subject: **Medical Marijuana Dispensary (MMD) Permit PLN17-05171 and Minor Modification 18-05038 – 4605 Wade Avenue**

Dear Applicant:

The City of Perris Planning Division approved the above referenced project on November 13, 2018, subject to the enclosed Conditions of Approval. Medical Marijuana Dispensary Permit PLN17-05171 (Minor Modification 18-05038) is a request to establish and operate a Medical Marijuana Dispensary located at 4605 Wade Avenue within the *Perris Valley Commerce Specific Plan*. Prior to operating, all Conditions of Approval attached to this letter shall be in compliance. Applicant shall sign the attached conditions of approval and return signed copy to the Planning Division prior to start of business. By signing and agreeing to the conditions of approval, the project applicant acknowledges the requirements of the City.

The decision regarding this approval or conditions of approval may be appealed to the Planning Commission by an applicant, a permit holder or interested party. The appellant must file a written appeal with the Perris City Clerk within ten calendar days of the decision. The written appeal shall specify the person making the appeal, the decision appealed from, shall state the reasons for the appeal, and shall include any evidence in support of the appeal which the applicant seeks to be considered by the Planning Commission.

If you have any questions or require additional information, please do not hesitate to contact me at (951) 943-5003, extension 279.

Sincerely,

*Nathan Perez*

Nathan Perez  
Planning Division

Attachment: Conditions of Approval PLN17-05171

**CITY OF PERRIS  
DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

**CONDITIONS OF APPROVAL**

Medical Marijuana Dispensary Permit PLN17-05171

November 13, 2018

**PROJECT:** Medical Marijuana Dispensary Permit PLN17-05171 (Minor Modification 18-05038) is a proposal to establish and operate a Medical Marijuana Dispensary located at 4605 Wade Avenue within the *Perris Valley Commerce Specific Plan*. **Applicant:** Sal Hernandez

---

**General Requirements:**

1. **City Ordinances and Business License.** The subject business shall maintain compliance with Ordinance Nos.1330 and 1339 of the City of Perris, Chapter 5.54 “Medical Marijuana Dispensary Regulatory Program” and Chapter 3.40 “Marijuana Tax” of the Perris Municipal Code, and all other local and City Ordinances, and State Law, including but not limited to an annual fire inspections and maintenance of a City business license.
2. **State of California Requirements:** The medical marijuana dispensary shall be conducted in a secure, safe and business-like manner consistent with all applicable local and state laws, rules and regulations governing medical marijuana dispensaries, including without limitation the Compassionate Use Act as set forth in California Health & Safety Code Section 11362.5, the Medical Marijuana Regulation and Safety Act of 2015, and the Medical Marijuana Program Act as set forth in the California Health and Safety Code Sections 11362.7 et seq.
3. **Conformance to Approved Plans.** Development of the project site plan and floor plan shall conform substantially to the approved set of plans dated **November 2018**. Any deviation shall require appropriate Planning Division review and approval. Prior to start of business, all improvements as shown on the approved site plan shall be completed.
4. **Term of Approval.** This approval shall be valid for a period of one (1) year from the date of permit approval/issuance. The holder of the medical marijuana dispensary permit may apply for the renewal of the permit no less than 60 days prior to the permit’s expiration date.
5. **Minor Modification.** All conditions of Minor Modification (Minor Mod) PLN18-05038 shall be adhered to and remain in effect with the approval of this permit.
6. **Operational Requirements:**
  - a. Prior to operations and business license issuance, all floor plan improvements as shown on the approved floor plan on file with this application shall be completed. All appropriate building permits and/or Tenant Improvement permits shall be obtained and finalized prior to Certificate of Occupancy and Business License Issuance.

- b. **Hours of Operation:** Business hours shall be limited between the hours of 6:00 a.m. PST to 9:00 p.m. PST, 7 days of week.
  - c. All operations shall be in conformance with the submitted business plan, security plan, lighting plan, odor control plan, employees/operators listed on file with this permit. Any changes shall require written notification to the Planning Division for review and approval.
7. **Compliance Reviews and Financial Audits:**
  - a. The City of Perris and/or its designee shall conduct quarterly (4) compliance reviews to review business practices, procedures and internal controls to ascertain the level of risk assessment.
  - b. The City of Perris and/or its designee shall conduct one (1) financial audit during the term of the permit to verify the accuracy of the gross receipts reported to the City and to ensure regulatory compliance with state and local laws. This audit shall verify the accuracy of the annual gross receipts reported by the Medical Marijuana Dispensary to the City of Perris for purposes of calculating the amount of business tax due;
8. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance, and Chapter 7.42 regarding Property Maintenance.
9. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City, Medical Marijuana Dispensary Permit (MMDP) PLN17-05171 and Minor Modification (Minor Mod) 18-05038. The City shall promptly notify the developer/applicant of any claim, action, or proceeding for which indemnification is sought and shall further cooperate fully in the defense of the action.
10. **City Engineer.** The Medical Marijuana Dispensary shall comply with the City of Perris City Engineer conditions dated November 9, 2018.
11. **Fire.** The Medical Marijuana Dispensary shall comply with the City of Perris Fire conditions dated October 23, 2018.
12. **Building.** The Medical Marijuana Dispensary shall comply with the City of Perris Building Official comments dated November 27, 2017.

**Suspension and Revocation:**

13. The Director is authorized to suspend and/or revoke a medical marijuana dispensary permit

**Conditions of Approval PLN17-05171**

issued pursuant to this chapter upon the determination through written findings of a failure to comply with any provision of this chapter, any condition of approval, or any agreement or covenant as required pursuant to this chapter.

14. The Director may suspend or revoke a medical marijuana dispensary permit if any of the following occur:
- a. The Director determines that the medical marijuana dispensary has failed to comply with any aspect of this chapter, any condition or approval, or any agreement or covenant as required pursuant to this chapter; or
  - b. Operations cease for more than 180 calendar days (including during any change of ownership, if applicable); or
  - c. Ownership is changed without securing a new medical marijuana dispensary permit; or
  - d. The medical marijuana dispensary fails to maintain required security camera recordings; or
  - e. The medical marijuana dispensary fails to allow inspection of the security recordings, the activity logs, the records, or of the premise by authorized City officials.

**Applicant/Operator Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_  
Saul Hernandez

**I hereby certify that I have reviewed the contents of Conditions of Approval for Medical Marijuana Dispensary Permit PLN17-05171 and acknowledge, understand, and agree to be bound by its terms and conditions.**



# CITY OF PERRIS

HABIB MOTLAGH, CITY ENGINEER

## CONDITIONS OF APPROVAL

P8-625

November 9, 2018

Minor Modification 18-05038, Medical Marijuana Dispensary 17-05171

4605 Wade Avenue

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer provide the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and that their omission may require the map to be resubmitted for further consideration. These Ordinances and the following conditions are essential parts and requirement occurring in ONE is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditioned shall be installed prior to issuance of any building permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

1. The project's grading shall be in a manner to perpetuate existing drainage patterns, any deviation from this, concentration or increase in runoff must have approval of adjacent property owners. Drainage easements shall be obtained from effected property owners or if within this site, shall be shown on the final map. The applicant shall accept the offsite runoff and convey to acceptable outlet.
2. The incremental increase in runoff between developed and undeveloped state (100-year) and the nuisance runoff shall be retained within onsite private detention basin and drainage to adequate outlet as approved by City and pursuant to Riverside County Flood Control standards.
3. Onsite landscape area(s) shall be designed in a manner to collect the onsite nuisance runoff.
4. Prior to issuance of any permit, the developer shall sign the consent and waiver forms to join the lighting and landscape districts. The developer shall maintain all on and offsite landscaping.

**DEPARTMENT OF ENGINEERING**  
24 SOUTH "D" STREET, SUITE 100, PERRIS, CA 92570  
TEL.: (951) 943-6504 - FAX: (951) 943-8416

**CITY 000002**



5. This project is located within EMWD's water and sewer service area. The applicant shall install water and sewer facilities as required by EMWD and Fire Department.
6. The applicant shall submit to City Engineer the following for his review:
  - a. Onsite Grading Plan and Erosion Control Plans
  - b. Water and Sewer Plans

The project's design shall be in compliance with EMWD and Riverside County Standards and coordinated with approved plans for adjacent developments.

7. All pads shall be graded to be a minimum of 1' above 100-year calculated water surface or adjacent finished grade.
8. Nance Street along the property frontage shall be improved with concrete curb and gutter located 20 feet south of centerline within 30 feet half width dedicated right-of-way and minimum of 32 feet of new pavement per County of Riverside Standard No. 105 Section "C" (60'/40').
9. Wade Avenue along the property frontage shall be improved with concrete and gutter located 22 feet east of centerline within 33 feet half width dedicated right-of-way and minimum of 34' of new pavement per County of Riverside Standard No. 104 Section "A" (66'/44').
10. 6' concrete sidewalk and driveways shall be installed pursuant to Riverside County and ADA standards. All driveway approaches shall be constructed per Riverside County standards for Commercial Driveway (Std. 207A) and comply with the ADA requirements.
11. A streetlight shall be installed along perimeter street adjacent to this site as approved by City Engineer per City of Perris standards. Street lights shall be prepared by Electrical Engineer and shall be LS3, LED.
12. Pavement transition shall be provided per Caltrans standards.

*Habib Motlagh*  
Habib Motlagh  
City Engineer



**Dennis Grubb and Associates, LLC**  
*Assisting Cities Build Safe Communities*

*Fire Department Development Review Comments*

October 23, 2018

City of Perris  
Attn: Nathan Perez  
135 N. D Street  
Perris, CA 92570-2200

**Subject: Development Review for MM5038, 4605 Wade Ave**

As requested a review of the subject property was completed. Please apply the following conditions;

1. Prior to the to the issuance of a building permits a fire department access plan shall be submitted to the City of Perris for review and approval. The fire department access plan shall comply with the requirements specified by the City of Perris Guideline for Fire Department Access & Water Requirements for Commercial & Residential Development, and the California Fire Code, Chapter 5.
2. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
3. All required fire hydrants shall be installed and operational prior to building construction.
4. All fire hydrants shall remain operational during construction.
5. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
6. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.

6560 Van Buren Blvd, Ste B, Riverside, CA. 92503  
(951) 218-5482 \* (951) 772-0007

CITY 000515

7. All buildings shall be provided with fire alarm systems including smoke detectors throughout. Construction plans shall be submitted to the city for review and approval to the City of Perris prior to installation.
8. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven-feet above the finished surfaced and near the main entrance door.
9. Prior to the issuance of building permits a City of Perris Chemical Classification Disclosure shall be submitted for review and approval. All hazardous materials as defined by the fire code that will either be stored or used at the facility shall be disclosed. The disclosure package can be obtained at <http://www.cityofperris.org/city-hall/forms/fire-forms/ChemicalClassificationPackage01-17.pdf>
10. Prior to the use of any flammable gas for extraction processing plans shall be submitted to the city for review and approval for the required flammable gas detection system. Insure that the flammable gas detection system shall be listed or approved and shall be calibrated to the types of fuels or gases used for the extraction process. The gas detection system shall be designed to activate when the level of flammable gas exceeds 25 percent of the lower flammable limit (LFL).
13. Prior any extraction processing a Technical Report by a California Licensed Fire Protection Engineer (FPE) or by a Registered Design Professional (RDP) shall be provided to the city for review and approval. The report shall cover all aspects of the oil extraction process and the equipment use. The technical report shall contain at a minimum, but not limited to, all of the following:
  - Manufacturer information (name, company, phone/email contacts).
  - Preparer of record on technical report.
  - Date of review and report revision history.
  - Signature page shall include all of the following, Author, Date, Seal and Signature of the Engineer
  - Model number of the item evaluated. If the equipment is provided with a serial number, the serial number shall be included for verification at time of site inspection.
  - Methodology of the design or peer review process used to determine minimum safety requirements. Methodology shall consider the basis of design, and shall include a code analysis and code path to demonstrate the reason as to why specific code or standards are applicable or not.
  - Equipment description. A list of every component and sub-assembly (fittings, hose, quick disconnects, gauges, site glass, gaskets, valves, pumps, vessels, containers, switches, etc.) of the system or equipment, indicating the manufacturer, model number, material, and solvent compatibility. Include manufacturers' data sheets.
  - A general flow schematic or general process flow diagram of the process. Post-processing or winterization shall be included in this diagram. All primary components of the process equipment shall be identified and match the equipment list above. Operating temperatures, pressures, and solvent state of matter shall be identified in each primary step or component. A piping and instrumentation diagram (P&ID).

- Record of any pressure vessels, and spec sheets. Indicate if pipe is used for fabricated components.
- Structural analysis for the frame system supporting the equipment.
- Process safety analysis of the extraction system, from the introduction of raw product to the end of the extraction process.
- Comprehensive process hazard analysis (PHA) considering failure modes and points of failure throughout the process. The process hazard analysis shall include a review of emergency procedure information provided by the manufacturer of the equipment or process, assembly instructions, operation and maintenance manuals provided by the manufacturer.
- Identify the location of all Class I & II, Division 1 & 2, zones, and a review of all electrical components verifying they are listed for the hazardous environment in which they are located.
- List of references used in the analysis. CFC 3804.3.1

**NOTE:** Prior to contracting with the FPE or RDP obtain the City of Perris Fire Marshal Office approval for the proposed firm/individual. Resumes and or other supporting documentation shall be provided that demonstrates that they are experts in the oil extraction process and equipment and the associated hazard. Exception: Pressure Safety Inspectors LLC (Chris Witherell) is a pre-approved RDP.

14. Prior to the operation of any extraction processing a site inspection shall be performed by Technical Report California Licensed Fire Protection Engineer (FPE) or by a Registered Design Professional (RDP) who prepared the Technical Report once the extraction equipment is installed. Once the inspection is completed the FPE/RDP shall prepare a report on their findings. The report shall include the serial number of the equipment used in the process and shall confirm the equipment installed is the same model and type of equipment identified in the technical report. The Finding Report shall be provided to the Perris Fire Marshal Office for review and approval prior to fire department final inspection.

Respectfully,

Dennis Grubb, CFPE

SRC TRANSMITTAL

APP?

ADMINISTRATIVE DEVELOPMENT

REVIEW APR 17-05171

BUILDING COMMENTS

- 
1. Must Comply with the Latest Adopted Version of the California Fire Code 2016 Edition
  2. Must Have Proper Fire Access to the Building facility and around the facility.
  3. A PROPER ALL WEATHER ROAD WILL BE REQUIRED FOR Fire Department access to the facility.
  4. The new proposed use will have to comply with the 2016 California Building Code Access regulations for the parking areas, access ramps, this will include the proper placement of the required signs for access and parking.
  5. The parking lot will have to be paved and re-stripped.
  6. Handicapped parking will have to be provided for the site.
  7. The Building MIGHT have to have commercial fire sprinklers installed depending on the existing fire flow for the proposed facility.
  8. The location of any existing fire hydrant will have to be identified on the plans and the size of the existing hydrant will also have to be identified.
  9. The distance to the proposed structure from the fire hydrant will have to be provided.
  10. Proper fire flow will also have to be provide for the proposed commercial use. Proof of the required fire flow will have to be provided.
  11. Any proposed addition and remodel to the exterior of the modular, will have to comply with the latest adopted version of the 2016 California Electrical Code, Mechanical Code, Plumbing Code, Building Code, and Energy Codes.
  12. Any interior remodels or additions will have to be reviewed, approved and inspected through HCD.

Brian Muhu

---

David J. Martinez/Interim Building & Fire Official

Date: 11-27-17

## EXHIBIT D

Approval Letter with Conditions of Approval for the  
Adult-Use Dispensary Operation dated  
February 5, 2019





# CITY OF PERRIS

DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION

135 N. "D" Street, Perris, CA 92570-2200  
TEL: (951) 943-5003 FAX: (951) 943-8379

February 5, 2019

Alfonso Luera  
31101 Montgomery Avenue  
Nuevo, CA 92567

Subject: **Adult-Use Retailer Regulatory Permit 18-05353** - to operate an adult-use marijuana retailer establishment at 4605 Wade Avenue.

Dear Applicant,

The City of Perris Planning Division has approved the above referenced project on February 5, 2019 subject to the enclosed Conditions of Approval. Adult-Use Retailer Regulatory Permit 18-05353 is to operate an adult-use marijuana retailer establishment at 4605 Wade Avenue. Prior to operating, all Conditions of Approval attached to this letter shall be in compliance. Applicant shall sign the attached conditions of approval and return signed copy to the Planning Division prior to start of business. By signing and agreeing to the conditions of approval, the project applicant acknowledges the requirements of the City.

The decision regarding this approval or conditions of approval may be appealed to the Planning Commission by an applicant, a permit holder or interested party. The appellant must file a written appeal with the Perris City Clerk within ten calendar days of the decision. The written appeal shall specify the person making the appeal, the decision appealed from, shall state the reasons for the appeal, and shall include any evidence in support of the appeal which the applicant seeks to be considered by the Planning Commission.

If you have any questions or require additional information, please do not hesitate to contact me at (951) 943-5003, extension 279.

Sincerely,

*Nathan Perez*

Nathan Perez  
Associate Planner

Attachment: HDL review  
Conditions of Approval for adult-use retailer regulatory permit

Cc: Joshua Naggar - 443 S. D Street, Perris, CA 92570

CITY 000508

**CITY OF PERRIS  
DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

**CONDITIONS OF APPROVAL**

Adult-Use Marijuana Retailer Regulatory Permit PLN18-05353

February 5, 2019

**PROJECT:** Adult-Use Retailer Regulatory Permit 18-05318 - to operate an adult-use marijuana retailer establishment at 4605 Wade Avenue. **Applicant:** Alfonso Luera

---

**General Requirements:**

1. **City Ordinances and Business License.** The subject business shall maintain compliance with Ordinance Nos.1330 and 1339 of the City of Perris, Chapter 5.54 "Medical Marijuana Dispensary Regulatory Program," Chapter 5.58 "Adult-Use Marijuana Retailer Regulatory Program," and Chapter 3.40 "Marijuana Tax" of the Perris Municipal Code, and all other local and City Ordinances, and State Law, including but not limited to an annual fire inspections and maintenance of a City business license.
2. **State of California Requirements:** The medical marijuana dispensary and adult use marijuana retailer shall be conducted in a secure, safe and business-like manner consistent with all applicable local and state laws, rules and regulations governing medical marijuana dispensaries, including without limitation the Compassionate Use Act as set forth in California Health & Safety Code Section 11362.5, the Medical Marijuana Regulation and Safety Act of 2015, and the Medical Marijuana Program Act as set forth in the California Health and Safety Code Sections 11362.7 et seq.
3. **Conformance to Approved Plans.** Development of the project site plan and floor plan shall conform substantially to the approved set of plans dated **February 5, 2019**. Any deviation shall require appropriate Planning Division review and approval. Prior to start of business, all improvements as shown on the approved site plan shall be completed.
4. **Term of Approval.** This approval shall be valid for a period of one (1) year from the date of permit approval/business license issuance. The holder of the medical marijuana dispensary permit may apply for the renewal of the permit no less than 60 days prior to the permit's expiration date.
5. **Minor Modification.** All conditions of **Medical Marijuana Dispensary (MMD) Permit PLN17-05171 and Minor Modification 18-05038** shall be adhered to and remain in effect with the approval of this permit.
6. **Operational Requirements:**
  - a. Prior to operations and business license issuance, all floor plan improvements as shown on the approved floor plan on file with this application shall be completed. All appropriate building permits and/or Tenant Improvement permits shall be obtained and finalized prior to Certificate of Occupancy and Business License Issuance.

- b. **Hours of Operation:** Business hours shall be limited between the hours of 6:00 a.m. PST to 9:00 p.m. PST, 7 days of week.
  - c. All operations shall be in conformance with the submitted business plan, security plan, lighting plan, odor control plan, employees/operators listed on file with this permit. Any changes shall require written notification to the Planning Division for review and approval.
7. **Compliance Reviews and Financial Audits:**
- a. The City of Perris and/or its designee shall conduct quarterly (4) compliance reviews to review business practices, procedures and internal controls to ascertain the level of risk assessment.
  - b. The City of Perris and/or its designee shall conduct one (1) financial audit during the term of the permit to verify the accuracy of the gross receipts reported to the City and to ensure regulatory compliance with state and local laws. This audit shall verify the accuracy of the annual gross receipts reported by the Medical Marijuana Dispensary and adult-use marijuana retailer establishment to the City of Perris for purposes of calculating the amount of business tax due;
8. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance, and Chapter 7.42 regarding Property Maintenance.
9. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless, the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City, or any agency or instrumentality thereof, or any of its officers, employees and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City, **Adult-Use Retailer Regulatory Permit 18-05353.** The City shall promptly notify the developer/applicant of any claim, action, or proceeding for which indemnification is sought and shall further cooperate fully in the defense of the action.

**Adult-Use Regulations:**

10. **Security.** Adult-use retailers shall maintain the following security measures:
- a. Entrances to the dispensing area and any storage area shall be locked at all times, shall be only accessible by employees, and shall be under the control of only employees.
  - b. The interior premises of the adult-use retailer shall be equipped with and, at all times during which it is open to the public, shall remain illuminated with overhead lighting fixtures of sufficient intensity to illuminate every place to which members of the public or portions thereof are permitted access with

- an illumination of not less than two foot-candles as measured at the floor level.
- c. All marijuana present or kept at the adult-use retailer premises shall be securely stored against both unauthorized access and theft.
11. **Location and distance restrictions.** The adult-use retailer shall be located at and operated within the same location and premises for which the applicant's current and valid medical marijuana dispensary has been issued.
12. **Sale Restrictions.**
- a. Adult-use retailers shall not sell or dispense marijuana or marijuana products to individuals under the age of 21.
- b. Adult-use retailers shall not sell or dispense more than 28.5 grams of marijuana in any singular transaction.
13. **Records.** Adult-use retailers shall maintain records reflecting:
- a. The source (including name, location and contract information) of all marijuana dispensed, sold or stored by the adult-use retailer.
- b. The dates upon which all customers are sold marijuana and the amount sold.
- c. The delivery of marijuana, from the adult-use retailer by an employee, to a customer located outside of the adult-use retailer location, including but not limited to the identity of the recipient, the amount delivered, the date of the delivery, the address of the delivery, the name of the employee making the delivery, and a written receipt from the customer confirming the delivery.
- d. Proof of a valid and current permit issued by the city in accordance with this chapter. Every adult-use retailer shall display at all times during business hours the permit issued pursuant to the provisions of this chapter in a conspicuous place so that it may be readily seen by all persons entering the location of the adult-use retailer.
14. **Employees.**
- a. An adult-use retailer shall maintain results of live scans conducted annually by the adult-use retailer on all employees with the written results of such live scans being maintained at the location of the adult-use retailer.
- b. All owners and managers must have a current and valid identification card.
15. **Only marijuana products.** Consistent with this Chapter and State law, Adult-use retailers shall only dispense, offer to sell, or provide marijuana, marijuana products, and marijuana-related products. Marijuana-related products include, but are not limited to, pipes used for the consumption of marijuana, rolling papers for the consumption of marijuana, etc.
16. **No alcohol.** Adult-use retailers shall not hold or maintain a license from the State Department of Alcoholic Beverage Control to sell alcoholic beverages, or operate a business

that sells alcoholic beverages.

17. **No lounge or cafe.** Adult-use retailers shall not operate as a lounge, cafe or restaurant serving food or drinks for consumption on-site. There shall be no seating area, tables, couches, or chairs for the gathering or congregating of individuals.
18. **Site Management.**
  - a. The adult-use retail permit holder shall take all reasonable steps to discourage and correct conditions that constitute a nuisance in parking areas, sidewalks, alleys and areas surrounding the premises and adjacent properties during business hours if related to the operation of the adult-use retailer.
  - b. Reasonable steps shall include immediately calling the police upon observation of the activity, and requesting that those engaging in activities that constitute a nuisance or are otherwise illegal to cease those activities, unless personal safety would be threatened in making the request.
  - c. Nuisance includes but is not limited to disturbances of peace, open public consumption of marijuana, alcohol or controlled substances, excessive pedestrian or vehicular traffic, including the formation of any pedestrian lines outside the building, illegal drug activity, harassment of passersby, excessive littering, excessive loitering, illegal parking, excessive loud noises, especially late at night or early in the morning hours, lewd conduct or police detentions and arrests.
  - d. The adult-use permit holder shall make available to customers who are dispensed, sold, or provided with marijuana or marijuana products a list of the rules and regulations governing marijuana use and consumption within the city.
19. **Delivery of marijuana.**
  - a. All employees who provide delivery of marijuana from an adult-use retailer to a customer located outside the adult-use retailer location must have a valid identification card at all times with the employee while the delivery is being made.
  - b. All deliveries must be recorded by the adult-use retailer and maintained in the regular records of the adult-use retailer. These records shall include but not be limited to the identity of the recipient, the amount delivered, the date of the delivery, the address of the delivery, and the name of the employee making the delivery.
  - c. Upon receipt of a delivery outside of the location of the adult-use retailer, a customer must sign for the delivery on a written identifiable receipt to be kept in the regular records of the adult-use retailer.
  - d. All deliveries must leave the adult-use retailer in sealed containers whose seals will not be broken until receipt of the delivery by the customer.

**Suspension and Revocation:**

- 20. The Director is authorized to suspend and/or revoke a medical marijuana dispensary permit and or adult-use marijuana retailer permit issued pursuant to this chapter upon the determination through written findings of a failure to comply with any provision of this chapter, any condition of approval, or any agreement or covenant as required pursuant to this chapter.
  
- 21. The Director may suspend or revoke a medical and adult marijuana dispensary permit if any of the following occur:
  - a. The Director determines that the medical marijuana dispensary or adult-use marijuana retailer has failed to comply with any aspect of this chapter, any condition or approval, or any agreement or covenant as required pursuant to this chapter; or
  - b. Operations cease for more than 180 calendar days (including during any change of ownership, if applicable); or
  - c. Ownership is changed without securing a new medical marijuana dispensary permit or adult-use marijuana retailer regulatory permit; or
  - d. The medical marijuana dispensary and or adult-use marijuana retailer fails to maintain required security camera recordings; or
  - e. The medical marijuana dispensary and adult-use retailer fails to allow inspection of the security recordings, the activity logs, the records, or of the premise by authorized City officials.

**Applicant/Operator Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_  
 Alfonso Luera

**I hereby certify that I have reviewed the contents of Conditions of Approval for Adult-Use Marijuana Retailer Regulatory Permit PLN18-05353 and acknowledge, understand, and agree to be bound by its terms and conditions.**





# CITY OF PERRIS

HABIB MOTLAGH, CITY ENGINEER

## CONDITIONS OF APPROVAL

P8-625

November 9, 2018

Minor Modification 18-05038, Medical Marijuana Dispensary 17-05171  
4605 Wade Avenue

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer provide the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and that their omission may require the map to be resubmitted for further consideration. These Ordinances and the following conditions are essential parts and requirement occurring in ONE is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditioned shall be installed prior to issuance of any building permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

1. The project's grading shall be in a manner to perpetuate existing drainage patterns, any deviation from this, concentration or increase in runoff must have approval of adjacent property owners. Drainage easements shall be obtained from effected property owners or if within this site, shall be shown on the final map. The applicant shall accept the offsite runoff and convey to acceptable outlet.
2. The incremental increase in runoff between developed and undeveloped state (100-year) and the nuisance runoff shall be retained within onsite private detention basin and drainage to adequate outlet as approved by City and pursuant to Riverside County Flood Control standards.
3. Onsite landscape area(s) shall be designed in a manner to collect the onsite nuisance runoff.
4. Prior to issuance of any permit, the developer shall sign the consent and waiver forms to join the lighting and landscape districts. The developer shall maintain all on and offsite landscaping.

**DEPARTMENT OF ENGINEERING**  
24 SOUTH "D" STREET, SUITE 100, PERRIS, CA 92570  
TEL.: (951) 943-6504 - FAX: (951) 943-8416

**CITY 000002**

5. This project is located within EMWD's water and sewer service area. The applicant shall install water and sewer facilities as required by EMWD and Fire Department.
6. The applicant shall submit to City Engineer the following for his review:
  - a. Onsite Grading Plan and Erosion Control Plans
  - b. Water and Sewer Plans

The project's design shall be in compliance with EMWD and Riverside County Standards and coordinated with approved plans for adjacent developments.

7. All pads shall be graded to be a minimum of 1' above 100-year calculated water surface or adjacent finished grade.
8. Nance Street along the property frontage shall be improved with concrete curb and gutter located 20 feet south of centerline within 30 feet half width dedicated right-of-way and minimum of 32 feet of new pavement per County of Riverside Standard No. 105 Section "C" (60'/40').
9. Wade Avenue along the property frontage shall be improved with concrete and gutter located 22 feet east of centerline within 33 feet half width dedicated right-of-way and minimum of 34' of new pavement per County of Riverside Standard No. 104 Section "A" (66'/44').
10. 6' concrete sidewalk and driveways shall be installed pursuant to Riverside County and ADA standards. All driveway approaches shall be constructed per Riverside County standards for Commercial Driveway (Std. 207A) and comply with the ADA requirements.
11. A streetlight shall be installed along perimeter street adjacent to this site as approved by City Engineer per City of Perris standards. Street lights shall be prepared by Electrical Engineer and shall be LS3, LED.
12. Pavement transition shall be provided per Caltrans standards.

*Habib Motlagh*  
Habib Motlagh  
City Engineer





## **Dennis Grubb and Associates, LLC**

*Assisting Cities Build Safe Communities*

### *Fire Department Development Review Comments*

October 23, 2018

City of Perris  
Attn: Nathan Perez  
135 N. D Street  
Perris, CA 92570-2200

**Subject: Development Review for MM5038, 4605 Wade Ave**

As requested a review of the subject property was completed. Please apply the following conditions;

1. Prior to the to the issuance of a building permits a fire department access plan shall be submitted to the City of Perris for review and approval. The fire department access plan shall comply with the requirements specified by the City of Perris Guideline for Fire Department Access & Water Requirements for Commercial & Residential Development, and the California Fire Code, Chapter 5.
2. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.
3. All required fire hydrants shall be installed and operational prior to building construction.
4. All fire hydrants shall remain operational during construction.
5. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
6. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.

**6560 Van Buren Blvd, Ste B, Riverside, CA. 92503  
(951) 218-5482 \* (951) 772-0007**

**CITY 000515**

7. All buildings shall be provided with fire alarm systems including smoke detectors throughout. Construction plans shall be submitted to the city for review and approval to the City of Perris prior to installation.
8. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven-feet above the finished surfaced and near the main entrance door.
9. Prior to the issuance of building permits a City of Perris Chemical Classification Disclosure shall be submitted for review and approval. All hazardous materials as defined by the fire code that will either be stored or used at the facility shall be disclosed. The disclosure package can be obtained at <http://www.cityofperris.org/city-hall/forms/fire-forms/ChemicalClassificationPackage01-17.pdf>
10. Prior to the use of any flammable gas for extraction processing plans shall be submitted to the city for review and approval for the required flammable gas detection system. Insure that the flammable gas detection system shall be listed or approved and shall be calibrated to the types of fuels or gases used for the extraction process. The gas detection system shall be designed to activate when the level of flammable gas exceeds 25 percent of the lower flammable limit (LFL).
13. Prior any extraction processing a Technical Report by a California Licensed Fire Protection Engineer (FPE) or by a Registered Design Professional (RDP) shall be provided to the city for review and approval. The report shall cover all aspects of the oil extraction process and the equipment use. The technical report shall contain at a minimum, but not limited to, all of the following:
  - Manufacturer information (name, company, phone/email contacts).
  - Preparer of record on technical report.
  - Date of review and report revision history.
  - Signature page shall include all of the following, Author, Date, Seal and Signature of the Engineer
  - Model number of the item evaluated. If the equipment is provided with a serial number, the serial number shall be included for verification at time of site inspection.
  - Methodology of the design or peer review process used to determine minimum safety requirements. Methodology shall consider the basis of design, and shall include a code analysis and code path to demonstrate the reason as to why specific code or standards are applicable or not.
  - Equipment description. A list of every component and sub-assembly (fittings, hose, quick disconnects, gauges, site glass, gaskets, valves, pumps, vessels, containers, switches, etc.) of the system or equipment, indicating the manufacturer, model number, material, and solvent compatibility. Include manufacturers' data sheets.
  - A general flow schematic or general process flow diagram of the process. Post-processing or winterization shall be included in this diagram. All primary components of the process equipment shall be identified and match the equipment list above. Operating temperatures, pressures, and solvent state of matter shall be identified in each primary step or component. A piping and instrumentation diagram (P&ID).

6560 Van Buren Blvd, Ste B, Riverside, CA. 92503  
(951) 218-5482 \* (951) 772-0007

CITY 000516

- Record of any pressure vessels, and spec sheets. Indicate if pipe is used for fabricated components.
- Structural analysis for the frame system supporting the equipment.
- Process safety analysis of the extraction system, from the introduction of raw product to the end of the extraction process.
- Comprehensive process hazard analysis (PHA) considering failure modes and points of failure throughout the process. The process hazard analysis shall include a review of emergency procedure information provided by the manufacturer of the equipment or process, assembly instructions, operation and maintenance manuals provided by the manufacturer.
- Identify the location of all Class I & II, Division 1 & 2, zones, and a review of all electrical components verifying they are listed for the hazardous environment in which they are located.
- List of references used in the analysis. CFC 3804.3.1

**NOTE:** Prior to contracting with the FPE or RDP obtain the City of Perris Fire Marshal Office approval for the proposed firm/individual. Resumes and or other supporting documentation shall be provided that demonstrates that they are experts in the oil extraction process and equipment and the associated hazard. Exception: Pressure Safety Inspectors LLC (Chris Witherell) is a pre-approved RDP.

14. Prior to the operation of any extraction processing a site inspection shall be performed by Technical Report California Licensed Fire Protection Engineer (FPE) or by a Registered Design Professional (RDP) who prepared the Technical Report once the extraction equipment is installed. Once the inspection is completed the FPE/RDP shall prepare a report on their findings. The report shall include the serial number of the equipment used in the process and shall confirm the equipment installed is the same model and type of equipment identified in the technical report. The Finding Report shall be provided to the Perris Fire Marshal Office for review and approval prior to fire department final inspection.

Respectfully,

Dennis Grubb, CFPE

6560 Van Buren Blvd, Ste B, Riverside, CA. 92503  
(951) 218-5482 \* (951) 772-0007

CITY 000517

SRC TRANSMITTAL

APP 3

ADMINISTRATIVE DEVELOPMENT

REVIEW APR 17-05171

BUILDING COMMENTS

- 
1. Must Comply with the Latest Adopted Version of the California Fire Code 2016 Edition
  2. Must Have Proper Fire Access to the Building facility and around the facility.
  3. A PROPER ALL WEATHER ROAD WILL BE REQUIRED FOR Fire Department access to the facility.
  4. The new proposed use will have to comply with the 2016 California Building Code Access regulations for the parking areas, access ramps, this will include the proper placement of the required signs for access and parking.
  5. The parking lot will have to be paved and re-stripped.
  6. Handicapped parking will have to be provided for the site.
  7. The Building MIGHT have to have commercial fire sprinklers installed depending on the existing fire flow for the proposed facility.
  8. The location of any existing fire hydrant will have to be identified on the plans and the size of the existing hydrant will also have to be identified.
  9. The distance to the proposed structure from the fire hydrant will have to be provided.
  10. Proper fire flow will also have to be provide for the proposed commercial use. Proof of the required fire flow will have to be provided.
  11. Any proposed addition and remodel to the exterior of the modular, will have to comply with the latest adopted version of the 2016 California Electrical Code, Mechanical Code, Plumbing Code, Building Code, and Energy Codes.
  12. Any interior remodels or additions will have to be reviewed, approved and inspected through HCD.

Brian Muhu

---

David J. Martinez/Interim Building & Fire Official

Date: 11-27-17

CITY 000193

## EXHIBIT E

### Summary History of Dynamic Meds Dispensary

Summary History of Dynamic Meds Dispensary		
Date	Activity	Notes
N/A	Building Permits Before Project	Historical Bld Permits Before Dispensary Proposal
N/A	Code Log	Code Log re Dispensary History from 1/14/2020 through 7/7/2020
8/22/2017	Medical Dispensary Application	Applicant submitted Medical Dispensary License
8/24/2017	Medical Dispensary Application	City transmittal of application for HDL to review
8/31/2017	Medical Dispensary Application	City Letter requesting missing information to complete application review
9/20/2017	Medical Dispensary Application	HDL Comments regarding missing information
10/17/2017	Medical Dispensary Application	City Letter requesting missing information to complete application review
10/25/2017	Medical Dispensary Application	HDL Comments regarding missing information
12/21/2017	Business License	Applicant submitted for a Business License (No license should have been submitted until occupancy permit)
2/7/2018	Entitlement Application (Minor Mod)	Applicant submitted Minor Modification for site improvements to operate the dispensary
3/6/2018	Entitlement Application (Minor Mod)	Staff plan transmittal for comments
4/25/2018	Entitlement Application (Minor Mod)	Staff comment letter
8/28/2018	Entitlement Application (Minor Mod)	Applicant notified that progress must be made on the project or it will be abandoned
9/17/2018	Building Dept	Fire Flow Fee Test
10/24/2018	Entitlement Application (Minor Mod)	Fire Conditions for Project
11/13/2018	Medical Dispensary Application	Planning approved Medical Dispensary & Minor MOD 18-05038 (Site Improvements)
11/13/2018	Entitlement Application (Minor Mod)	Planning approved Medical Dispensary License and Minor Modification 18-05038 (Site Improvements)
12/14/2018	Adult Dispensary Application	Applicant submitted Adult Dispensary License
12/19/2018	Adult Dispensary Application	Planning staff letter to State applicant in process with City application
1/25/2019	Adult Dispensary Application	Email from HDL re background check
1/25/2019	Adult Dispensary Application	Letter from HDL security camera record keeping storage does not meet the requirements
2/5/2019	Adult Dispensary Application	Letter from HDL confirming applicant has met requirements
2/5/2019	Adult Dispensary Application	Planning approved Adult Dispensary
11/13/2019	Medical Dispensary Application	Expired due to non-renewal application from approval date on 11/13/2018
1/1/2020	Business License	Business License issued in ERROR Notice (No license should have been submitted until occupancy permit)
1/14/2020	Code Log / Email	Code Enforcement inspected Dynamic Meds to verify that they were operating 24/7
1/24/2020	Code Log / Email	Code Enforcement confirm operation was opened and violation notice was mailed
2/5/2020	Adult Dispensary Application	Expired due to non-renewal application from approval date on 2/5/2019
2/6/2020	Code Log / Email	Code Enforcement determined that Dynamic Meds operating without a valid City Business License
2/7/2020	Code Log / Email	Code Enforcement confirm operation was closed after 10 pm
3/4/2020	Code Log / Email	Code Enforcement determined that Dynamic Meds is still operating without a valid City Business License
3/4/2020	Code Log / Email	Code Enforcement forwards the case to legal counsel
3/6/2020	Code Log / Email	Code Enforcement confirms legal counsel will send letter to operator regarding illegal operation
3/6/2020	City Attorney	City Attorney provided 1st letter NOV about lack of business license and certificate of occupancy
3/27/2020	Department of Consumer Affairs	Department of Consumer Affairs Email stating Dispensary has no licensed from the Bureau of Cannabis Control
3/31/2020	Code Log / Email	Email communication with Code applicant is still processing plans
4/1/2020	City Attorney	City Attorney provided FINAL letter NOV about lack of business license and certificate of occupancy
4/6/2020	Code Log / Email	Code Enforcement confirmed legal counsel sent final violation notice on 4/1/2020
4/22/2020	Code Log / Email	Code Enforcement confirmed applicant obtained a business license under false pretense
5/6/2020	Code Log / Email	Code Enforcement obtained direction to close operation until proper permits
5/18/2020	Code Log / Email	Code Enforcement working with legal counsel to close operation
6/1/2020	Code Log / Email	Code Enforcement working with Business Licensing to revoke business license
6/12/2020	Business License	City Business License REVOKED due to no occupancy; must cease operation
6/13/2020	Code Log / Email	Code Enforcement coordination with legal counsel
6/27/2020	Code Log / Email	Code Enforcement follow-up with legal and planning regarding construction completion for operation
7/7/2020	Code Log / Email	Code Enforcement confirmed the illegally obtained business license was revoked
7/7/2020	Code Log / Email	Email from Code with Code Enforcement History
7/20/2020	Engineering Plans	Grading and street improvement plans approved by Engineering
11/4/2020	Building Dept	Applicant submitted electrical plans to the Building Department
11/17/2020	Building Dept	Corrections to electrical plans
1/6/2021	Building Dept	Building Department approved the electrical plans (plans expire 7/6/2021)
7/7/2021	Code Log / Email	KP Request from Code summary of Dynamic Meds case
7/19/2021	Engineering Plans	Email from engineering that applicant still has not obtain grading permit although it was approved 7/20/21
7/19/2021	Engineering Plans	Email applicant status of pulling permit
7/20/2021	Annexation Processing	Email 10:46 coordination with staff regarding annexation
7/20/2021	Annexation Processing	Email 11:27 by HDL regarding annexation requirement
7/20/2021	Annexation Processing	Email 2:53 Wildan coordination with applicant
7/22/2021	Code Log / Email	Code provides Code Enforcement History
8/6/2021	Police	The sheriff's office scheduled date to close the operation
8/9/2021	Annexation Processing	Wildan Inc Coordination with applicant for annexation
8/29/2021	Annexation Processing	Finance coordination regarding fee for annexation
8/19/2021	Annexation Processing	Engineering Receipt for annexation submittal
8/24/2021	Annexation Processing	Wildan Inc sends Annexation Docs to Applicant
9/7/2021	City Letter	City letter "revoking approval"
9/17/2021	Applicant/Appeal Application	Appeal of the City's "revocation"
3/3/2022	City Attorney	City Attorney letter clarification of the word "revoking" as simply meant as abandonment of application
<b>COLOR LEGENDS FOR RESPECTIVE DEPARTMENT/AGENCY/APPLICANT COMMUNICATION</b>		
		Historical Bld Permit Records
		Medical Dispensary Application
		Adult Dispensary Application
		Business License
		Entitlement Application (Minor Mod)
		Building Dept
		Code Log / Email
		City Attorney
		Department of Consumer Affairs
		Engineering Plans
		Annexation Processing
		Police
		Applicant/Appeal Application
		City Letter

## EXHIBIT F

Link to Documents and Letters supporting Exhibit E:  
Summary History of Dynamic Meds Dispensary

[https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-403#docan1206\\_1313\\_479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-403#docan1206_1313_479)

## EXHIBIT G

Yelp review printout and link identifying Dispensary  
in Operations Since at least October 7, 2018:

<https://www.yelp.com/biz/dynamic-meds-perris-2>



# Dynamic Meds



2.7 (14 reviews)

Claimed • \$\$ • Cannabis Dispensaries

Open 7:00 AM - 9:00 PM See hours

See all 12 photos

**!** Yelpers report this location has closed. Find a similar spot.

Write a review

Add photo

Share

Save

(951) 657-1977

Get Directions

4605 Wade Ave Perris, CA 92571

Suggest an edit

Suggest an edit

## Location & Hours



4605 Wade Ave  
Perris, CA 92571

Get directions

Mon	7:00 AM - 9:00 PM	
Tue	7:00 AM - 9:00 PM	Open now
Wed	7:00 AM - 9:00 PM	
Thu	7:00 AM - 9:00 PM	
Fri	7:00 AM - 9:00 PM	
Sat	7:00 AM - 9:00 PM	
Sun	7:00 AM - 9:00 PM	

## Amenities and More

Walk-ins Welcome

Accepts Credit Cards

Accepts Apple Pay

## Help Improve Yelp

Does this business have EV charging stations available?


Yes No Not Sure

### Ask the Community

Ask a question +

Yelp users haven't asked any questions yet about **Dynamic Meds**.

### Recommended Reviews

 **Your trust is our top concern**, so businesses can't pay to alter or remove their reviews. [Learn more about reviews.](#) ✕



**Kenneth P.**  
Temecula, CA  
@ 2 🗳️ 0

Select your rating  
**Start your review of Dynamic Meds**



Yelp Sort ▾ Filter by rating ▾

Search reviews 🔍



**Donna F.**  
Southern California, CA  
@ 20 🗳️ 98 🗨️ 390



★★★★★ Apr 19, 2021

This place is a hidden gem! Been going here for a couple of years now but the first time I got lost as hell lol. I want to say first off the staff is WONDERFUL! I have never once had a bad time! They are always knowledgeable, extremely helpful and kind! I usually call and place my order, I tell them what I like, what I have to spend and they literally take the time to look at the flower or as us old people call them, buds, and hook me up! I always ask them what looks good to you? What would you choose? and honestly I have never been let down! Lex or Alexis helped me today and she was awesome! The product is always fresh and super pretty.

This shop is clean but no frills so they are to the point.  
I would love it if they had gift certificates!

Always fast, happy and a fun few minutes picking up my order! The staff at pickup is equally as welcoming.

You want good product and a nice experience I can't say enough about this place!  
GIFT CERTIFICATES!!!!

 **Helpful** 0

 **Thanks** 0

 **Love this** 0

 **Oh no** 0



**Kristina G.**  
Santa Ana, CA  
@ 17 🗳️ 10





Oct 22, 2020

Of course their business is unclaimed. If you go here i recommend you DONT order over the phone. The first time i ordered 8 grams got home weighed it and it was only 6 grams. The second time i order over the phone get home look at the bag and its a different strain than what i ordered. If you order over the phone it makes it easy for them to short you, dont make my mistake.



Helpful 2



Thanks 0



Love this 2



Oh no 0



**Bobby W.**

Perris, CA

@ 41 + 2 - 1



Nov 25, 2020

📷 1 photo

Spend a lot of \$\$ here, and this is what it comes down too? And I'm not even done! Another one like this and I'll be looking for somewhere else to throw my \$\$ at.



Helpful 2



Thanks 0



Love this 0



Oh no 0



**Hector B.**

Menifee, CA

@ 28 + 1



Apr 20, 2020

Well On My Behalf,I Wanted Thank Dynamic meds & Their Staff . THEY Very Courteous Polite .The spot is chill & Don't mind the wait I usually call to place my order & it's ready when I arrive and their deals are lovely so. "DYNAMIC MEDS" ALWAYS TAKES CARE OF ME .HAPPY 420 YEAH!!



Helpful 0



Thanks 0



Love this 0



Oh no 0



**Jeffrey S.**

Helendale, CA

@ 127 + 1 - 3



Sep 24, 2020

📷 2 photos

First time going to the shop and I got some gummies which I was going there for. And the bud tender asked me if I would like any flower so they said they have 5\$ grams of there house shake, which I thought was a pretty good deal so I decided to get 4 grams and they gave me a bag half

empty with only a gram and a half or 2 grams. Then I called the dispensary to ask why they didn't give me my full 4 grams because I know what 4 grams looks like and the lady that answered the phone just started to laugh like something was funny so I just hung up the phone and I'm pretty upset! I know it's just 4 grams of some house shake but it's still the fact that they couldn't give me they full amount that I paid for, especially if it's the first time going to that dispensary hoping to be treated right. Crooked people I wouldn't go to this dispensary no respect for other people's money.



Helpful 1



Thanks 0



Love this 0



Oh no 0



**Gizelle G.**

Moreno Valley, CA

🗨️ 0 📌 2



Dec 16, 2020

Sold me fake cart! I researched the company's name "Jeff's Sessions" and it's fake. Told me I was insecure because the box did not have the manufacturing label, expiration date, batch number. I was able to return it though.



Helpful 3



Thanks 0



Love this 2



Oh no 0



**Brittney D.**

Romoland, Menifee, CA

🗨️ 0 📌 31 📩 5



Nov 27, 2020

Horrible customer service They refuse to let me in even though I come here every day and I just always took the bud tenders they refused to take me in for expired ID And then when I sat down to sit with other clients they had to explain to me that they had been taken in before with an expired ID My ideal had only been expired for two days



Helpful 1



Thanks 0



Love this 2



Oh no 0



**Honest C.**

Moreno Valley, CA

🗨️ 0 📌 1



Jan 5, 2021

Trash fake shop fake carts pesticide filled weed dosnt get u high if u pay 60 for 4 for thiere best shit.. might as well buy lab tested feom Empire Gardens .. these people are crooks



Helpful 2



Thanks 0



Love this 0



Oh no 0



**Amanda W.**  
Temecula, CA  
📷 0 🌟 10 🗨️ 47



★★★★★ Oct 7, 2018

📷 3 photos 🕒 First to Review

Cynthia and the rest of the crew here are all incredibly helpful and genuinely amazing sweet people. I love the crew here. I have known them for years. I work with a brand that they carry at the store, Heavy Hitters. They also carry another of our awesome vape brands, Rad here. If you are in need of anything cannabis related or CBD products, they carry a huge selection here of quality products. The owners are also phenomenal cultivators here and I have been fans of their flower for years. If you're looking for maple tree products, you will also find those here. Cool people, amazing selection, chill vibes- Definitely a good choice to go here!!!!

💡 Helpful 0 🙌 Thanks 0 ❤️ Love this 0 😬 Oh no 0



**Cristian U.**  
Perris, CA  
📷 0 🌟 2



📅 Dec 31, 2020

Horrible wait time, there is no order to be served, once you turn in your ID it's flipped backwards and Chosen at random, this mean you can be here first and wait a hour, the weed is Mediocre at best nothing special here. Trash like there service

💡 Helpful 1 🙌 Thanks 0 ❤️ Love this 0 😬 Oh no 0

1 2 >

1 of 2

13 other reviews that are not currently recommended ▾

### People Also Viewed

**Blazed Utopia**  
★★★★ 37  
Cannabis Dispensaries

**Empire Gardens**  
★★★★ 49  
\$\$ • Cannabis Dispensaries

**A/O Cannabis**  
★★★★★ 10  
Cannabis Dispensaries

**Westside Clctv**  
★★★★ 24  
Cannabis Dispensaries

**Ci**  
★  
\$\$

## EXHIBIT H

Google Map Image of Dispensary in Operation Since at  
Least April of 2018



