

PATTERSON BUSINESS CENTER

PERRIS, CA

Job Address
5030 Patterson Avenue

ASSESSOR'S PARCEL NUMBERS
APN 294-190-047, 294-190-048

Code Analysis

SITE AREA	4,844 GROSS ACRES (211,004.64 SF)
	4,821 NET ACRES (210,002.76)
ZONE	GI (GENERAL INDUSTRIAL)
	PERRIS VALLEY COMMERCE CENTER
	SPECIFIC PLAN (PVCC-SF)
	MARCH AIR RESERVE BASE
	INLAND PORT AIRPORT INFLUENCE AREA
AIRPORT ZONE B2	
MAXIMUM STRUCTURE SIZE - FLOOR AREA RATIO (FAR)	0.75 ALLOWED 0.47 PROPOSED
MAXIMUM LOT COVERAGE	50% STRUCTURE 43.87% PROPOSED
MAXIMUM STRUCTURE HEIGHT	50 FEET 45 FEET PROPOSED
FRONT YARD SETBACK	15 FEET (PLUS 5 FT FOR EACH
SECONDARY ARTERIAL SIDE YARD SETBACK	10 FT OF STRUCTURE HT. OVER 20 FT)
STREET SIDE YARD SETBACK	NONE ADJOINING NON RESIDENTIAL
REAR YARD LANDSCAPE COVERAGE	15 FEET (PLUS 5 FT FOR EACH
	10 FT OF STRUCTURE OVER 20 FT)
	NONE
	10% REQUIRED 10.15% PROVIDED
	NOT INCLUDING STREET RIGHT-OF-WAY
OCCUPANCY TYPE	B OFFICE
NONSEPARATED CBC 508.3	S-1 WAREHOUSE
CONSTRUCTION TYPE	III-B FULLY SUPERVISED
	ESFR AUTOMATIC FIRE SPRINKLER SYSTEM
NUMBER OF STORIES	ONE
ACTUAL BUILDING HEIGHT	40'-6"
EXTERIOR BEARING WALLS	
CBC TABLE 601	4-HR FIRE RESISTANCE RATING
WALL MATERIAL	CONCRETE TILT-UP
TABLE 722.2.1.1	SILICEOUS AGGREGATE CONCRETE
TABLE 721.1(2) ITEM 4.1.1	2-HR THICKER THAN 5"

Area Justification

TYPE III-B CONSTRUCTION	
BASIC ALLOWABLE FLOOR AREA FOR S-1 OCCUPANCY	17,500 SF
AREA WITH AUTOMATIC SPRINKLER SYSTEM	70,000 SF
PER TABLE 508.2 (ONE-STORY)	
BUILDING AREA INCREASE	
MINIMUM FRONTAGE DISTANCE PER CBC 506.3.2	
EQUATION 5-4 $W=(234+52+44+208=538 \times 60)/538 W=60$	
ALLOWED SIDE YARD INCREASE PER CBC 506.3.3	
EQUATION 5-5 $I=(538/988-25)/60/50 I=2945$	
ALLOWABLE AREA INCREASE PER CBC 506.2.1	
EQUATION 5-1 $A=70,000+(17,500 \times 2945)$	5,154 SF
MAXIMUM ALLOWABLE FLOOR AREA	75,154 SF

Project Information

BUILDING AREA/PARKING REQUIRED	
WAREHOUSE+OFFICE	20,000 SF (1/1000SF) 20 SPACES
WAREHOUSE	74,453 SF (1/2000SF) 38 SPACES

MEZZ OFFICE (2,500 SF)	
OFFICE (2,500 SF)	
TOTAL	94,453 SF 58 SPACES

PARKING PROVIDED	
STANDARD (9x19)	42 SPACES
DEDICATED EV CAPABLE WIRED FOR FUTURE CHARGING	8 SPACES
DEDICATED EVCS CHARGING STATION	3 SPACES
DEDICATED EVCS CAR ACCESSIBLE CHARGING STATION	1 SPACE
DEDICATED EVCS VAN ACCESSIBLE CHARGING STATION	1 SPACE
CAR ACCESSIBLE	2 SPACES
VAN ACCESSIBLE	1 SPACE
TOTAL	58 SPACES

LOADING (10x20)	2 SPACES
TRUCK DOCK HIGH SPACES	22 SPACES

TOTAL BUILDING FOOTPRINT	91,953 SF	43.79%
BUILDING COVERAGE (FLOOR AREA RATIO 94,453/SITE)		44.98%
LANDSCAPE COVERAGE	26,935 SF	12.83%
HARDSCAPE-SIDEWALK COVERAGE	6,120 SF	3.87%
HARDSCAPE-PAVING COVERAGE	82,977 SF	39.51%

Legal Description

PARCELS 2 & 3 OF PARCEL MAP NO. 8943, RECORDED JULY 24, 1977, AS SHOWN BY MAP ON FILE IN BOOK 37, PAGE 84 OF PARCEL MAPS RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

Scope of Work

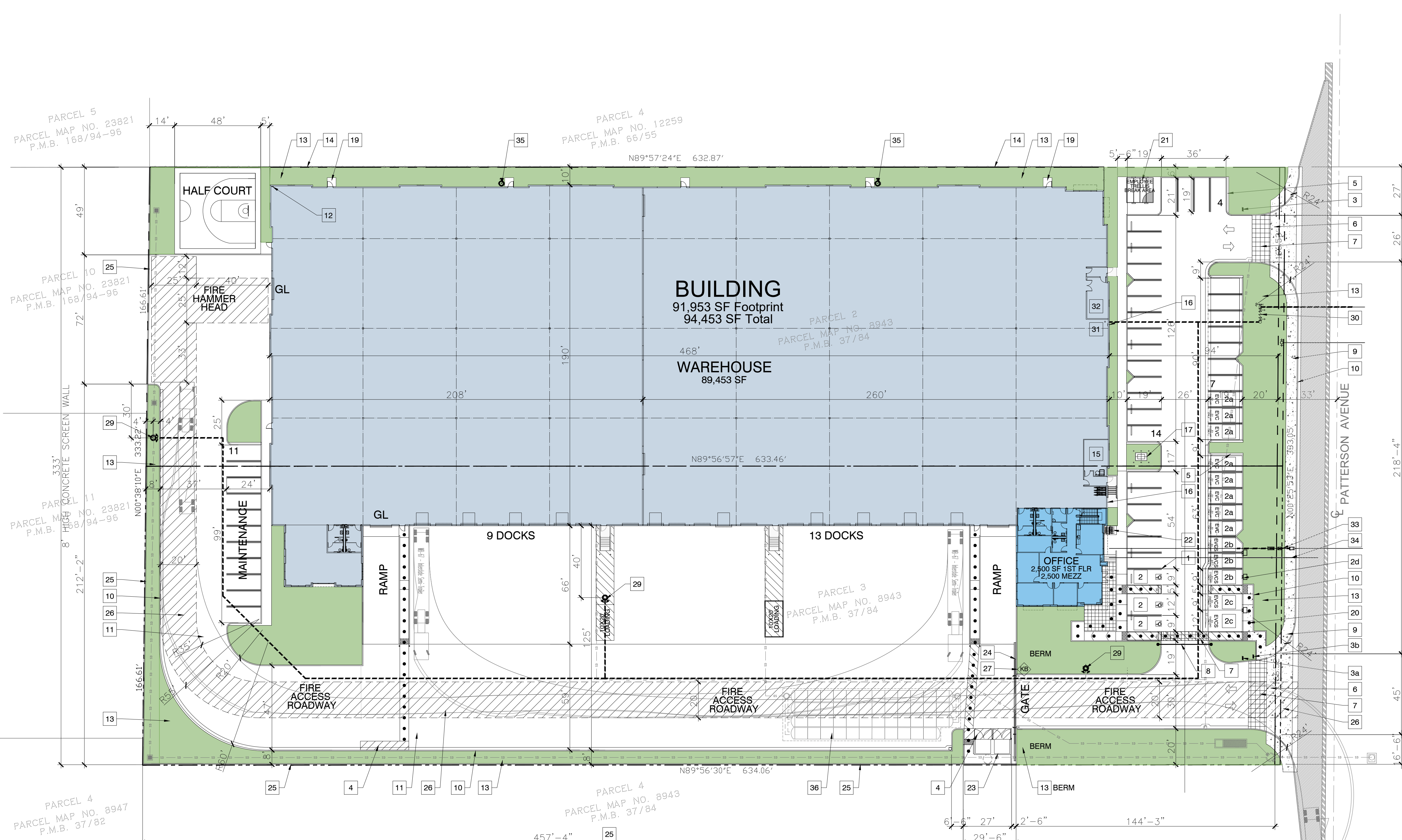
NEW 94,453 SF INDUSTRIAL BUILDING WITH A FOOTPRINT OF 91,953 SF, 2,500 SF 1ST FLOOR OFFICES, 2,500 SF MEZZANINE OFFICE, 89,453 SF WAREHOUSE, 22 DOCKS, 3 GRADE LEVEL OHD, TRUCK YARD WITH CONCRETE SCREEN WALLS & SLIDING GATE, PARKING, COVERED BREAK & EMPLOYEE AREA, TRASH ENCLOSURE, LANDSCAPED YARD, & SITE LIGHTING, ON 4.84 GROSS ACRE SITE.

Current Codes

- 2022 - CALIFORNIA BUILDING CODE
- 2022 - CALIFORNIA MECHANICAL CODE
- 2022 - CALIFORNIA PLUMBING CODE
- 2022 - CALIFORNIA ELECTRICAL CODE
- 2022 - CALIFORNIA ENERGY CODE
- 2022 - CALIFORNIA FIRE CODE

Civil Notes

1. ALL STREET IMPROVEMENTS SHOWN OUTSIDE THE PROPERTY LINES OF THIS PROPERTY ARE NEW.



Site Plan Notes

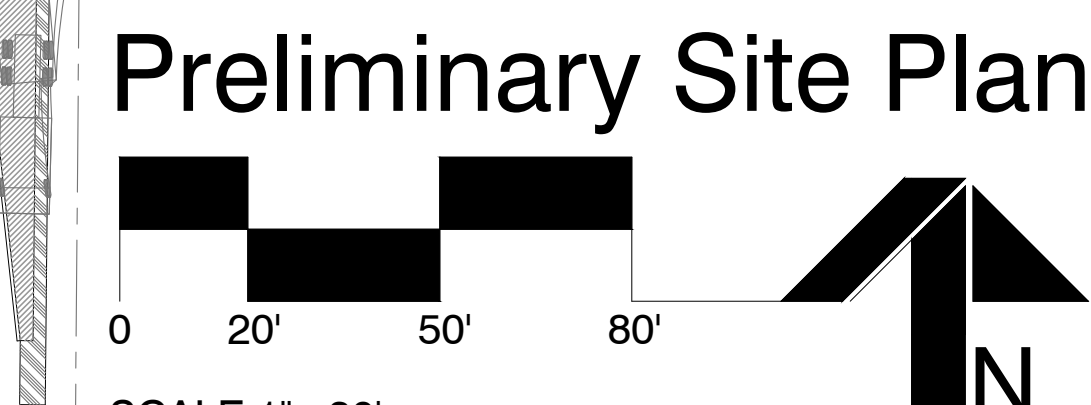
- 1 NEW 4" WIDE DOUBLE PARKING STALL STRIPES PAINTED WHITE TO MEET CITY REQUIREMENTS. NEW STANDARD OR VAN ACCESSIBLE PARKING SPACES.
- 2 NEW EV CAPABLE (EVC) PARKING SPACES WIRED FOR FUTURE ELECTRIC CHARGING CCG SECT 5.106.5.3.1
- 2a NEW EVCS (EV CHARGING STATION) PARKING SPACES WITH INSTALLED ELECTRIC VEHICLE CHARGING STATION CCG SECT 5.106.5.3.2
- 2b NEW STANDARD OR VAN ADA ACCESSIBLE EVCS PARKING SPACE WITH INSTALLED ELECTRIC VEHICLE CHARGING STATION CCG TABLE 11B-228.3.2.1
- 2c ELECTRIC VEHICLE CHARGING STATION LOCATION SIGN PER CALTRANS TRAFFIC OPERATIONS POLICY DIRECTIVE 13-01 2020 AND ADA CLEAR ACCESS SPACE IF LOCATED ON ACCESSIBLE PATH.
- 3a NEW ACCESSIBLE PARKING SIGN AT DRIVEWAY ENTRANCE. SEE DETAIL.
- 3b NEW DRIVEWAY ENTRANCE SIGN "TRUCK ENTRANCE ONLY"
- 4 NEW SAFE DISPERSAL AREA.
- 5 NEW 12" WIDE CONCRETE PAVER STRIPS IN PLANTERS NEXT TO PARKING SPACES.
- 6 NEW CONCRETE DRIVEWAY WITH 60" WIDE CLEAR PATH OF TRAVEL ACROSS DRIVEWAY PER COUNTY OF RIVERSIDE STANDARD NO. 207A.
- 7 NEW SALT FINISH CONCRETE ACCENT PAVING WITH SAWCUT GRID AT 24" OC
- 8 NEW TRAFFIC VERTICAL ARM BARRIER GATE TO BLOCK AUTO TRAFFIC FROM ENTERING TRUCK ENTRANCE DRIVEWAY.
- 9 NEW CONCRETE SIDEWALK PER AGENCY STANDARDS
- 10 NEW 6" CONCRETE CURB PER AGENCY STANDARDS.
- 11 NEW CONCRETE PAVING OVER BASE PER CIVIL DRAWINGS.
- 12 NEW INTERIOR ROOF DOWNSPOUT AND OVERFLOW DRAIN LOCATIONS. SEE CIVIL DRAWINGS.

Path of Travel:

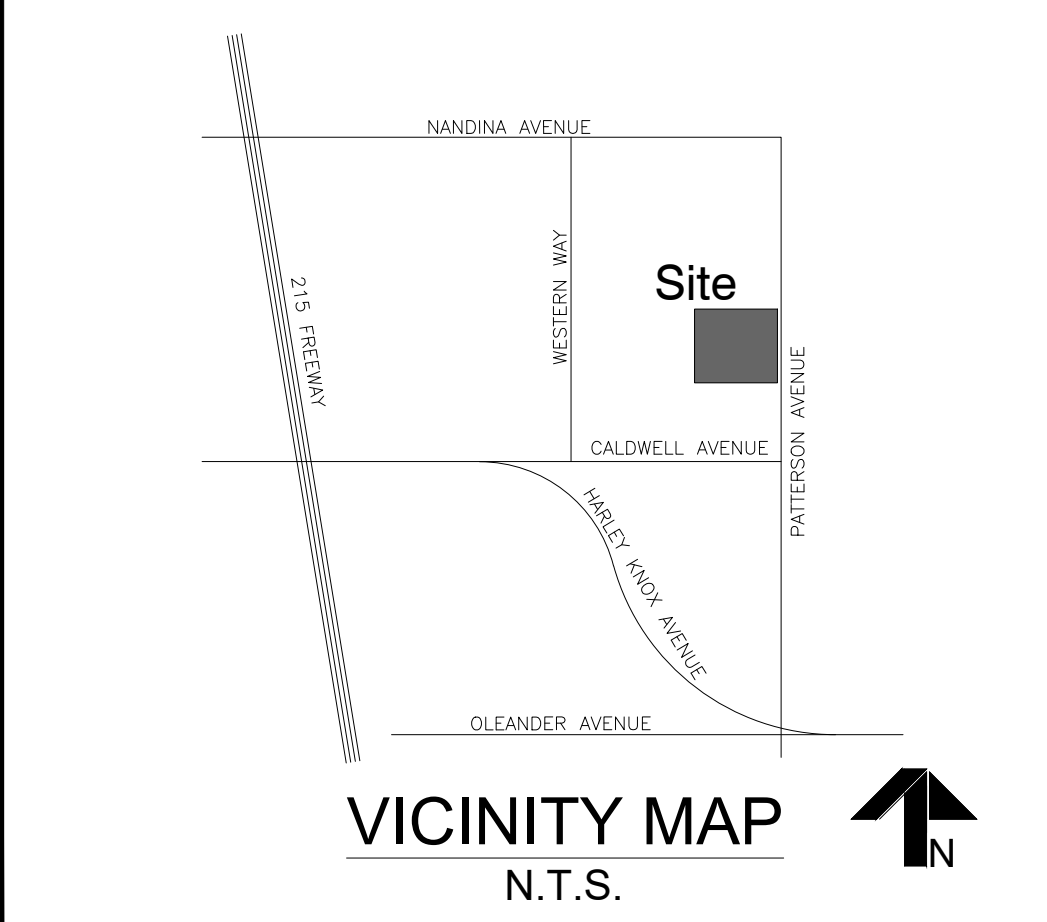
- 13 LANDSCAPE AREA PER LANDSCAPE DRAWINGS. PROVIDE BERMS AT ENTRY GATE SCREEN WALL. NEW 8" HIGH TUBULAR STEEL FENCE. SEE DETAIL.
- 14 ELECTRICAL/PHONE ROOM LOCATION.
- 15 PARKING LOT WALL OR POLE LIGHTS PER ELECTRICAL DRAWINGS. SEE EXTERIOR ELEVATIONS.
- 16 PROPOSED TRANSFORMER LOCATION WITH PROTECTIVE BOLLARDS AS REQUIRED. SEE ELECTRICAL DRAWINGS.
- 17 EXISTING STREET LIGHT LOCATION PER CIVIL DRAWINGS.
- 18 NEW FIRE HYDRANT LOCATION PER FIRE DRAWINGS.
- 19 FIRE DEPARTMENT CONNECTION WITH DETECTOR CHECK ASSEMBLY WITH FDC AND CHECK VALVE. SEE FIRE DRAWINGS.
- 20 FIRE SPRINKLER RISER WITH PROTECTIVE BOLLARDS IN CONFORMANCE WITH CFC SECT. 312. SEE FIRE DRAWINGS.
- 21 ESFR FIRE SPRINKLER SYSTEM ELECTRIC FIRE PUMP ROOM. SEE FIRE DRAWINGS.
- 22 WATER METER LOCATION. SEE CIVIL DRAWINGS.
- 23 SEWER LATERAL TO BUILDING. SEE CIVIL AND PLUMBING DRAWINGS.
- 24 NEW FIRE SPRINKLER 2 1/2" HOSE VALVE
- 25 NEW UNDERGROUND DETENTION SYSTEM. SEE CIVIL DRAWINGS.

Preliminary Site Plan

PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-204 & 11B-307). ALL BARRIERS IN THE PATH OF TRAVEL SHALL BE REMOVED TO ALLOW PATH OF TRAVEL TO COMPLY WITH CBC 11B.



Scheme 1.8.7
2/14/24



CARTER GROUP ARCHITECTS INC.
222 W. Avenida
San Antonio
San Clemente
CA 92672
TEL
949 498 3535
EMAIL
carter@
cartergroup.net

developer

CGU CAPITAL MANAGEMENT

302 W. 5th Street
Suite 103
San Pedro, CA
90731
310-241-2992

project

PATTERSON BUSINESS CENTER BUILDING
5030 Patterson Avenue.
Perris, CA
92571

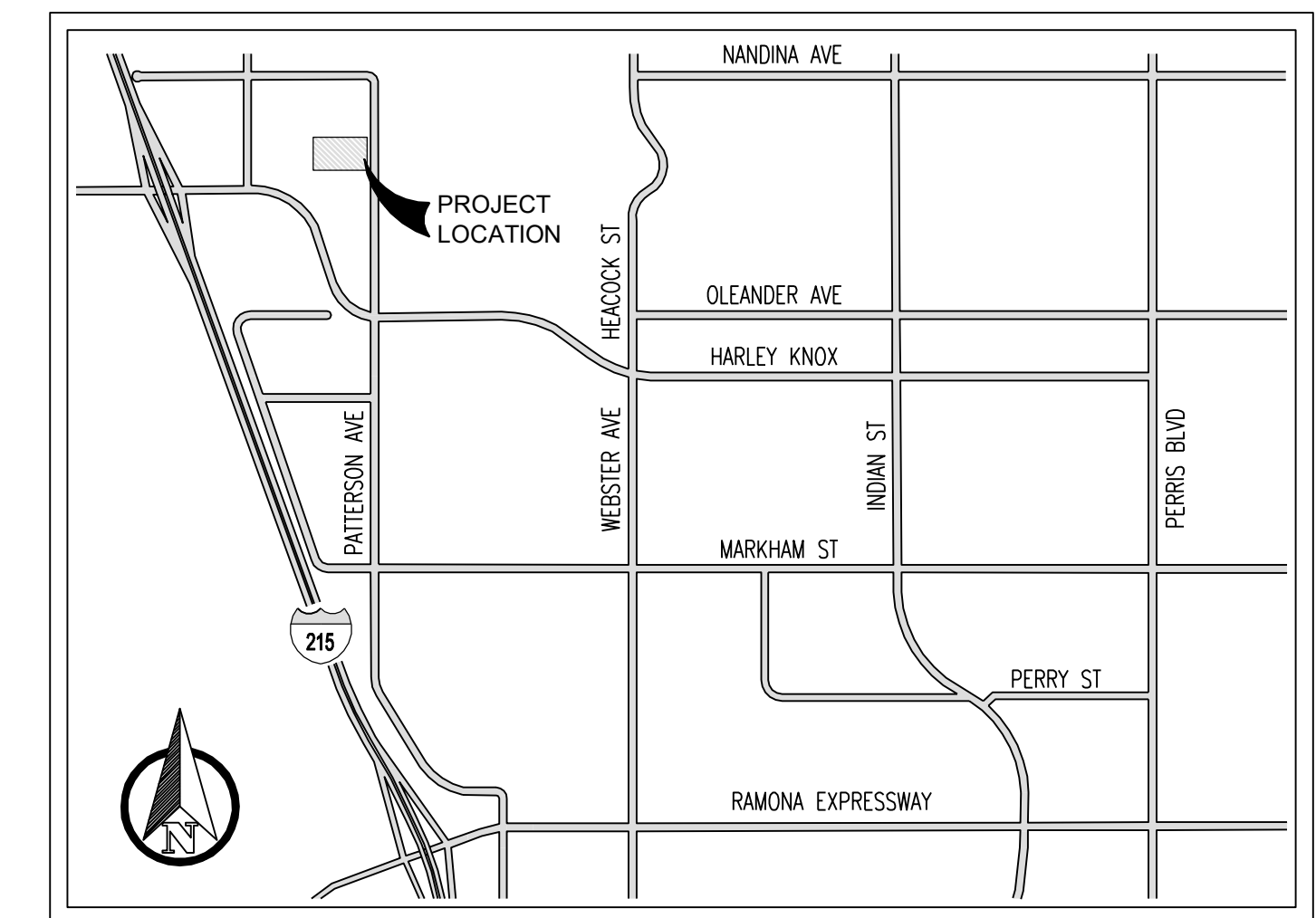
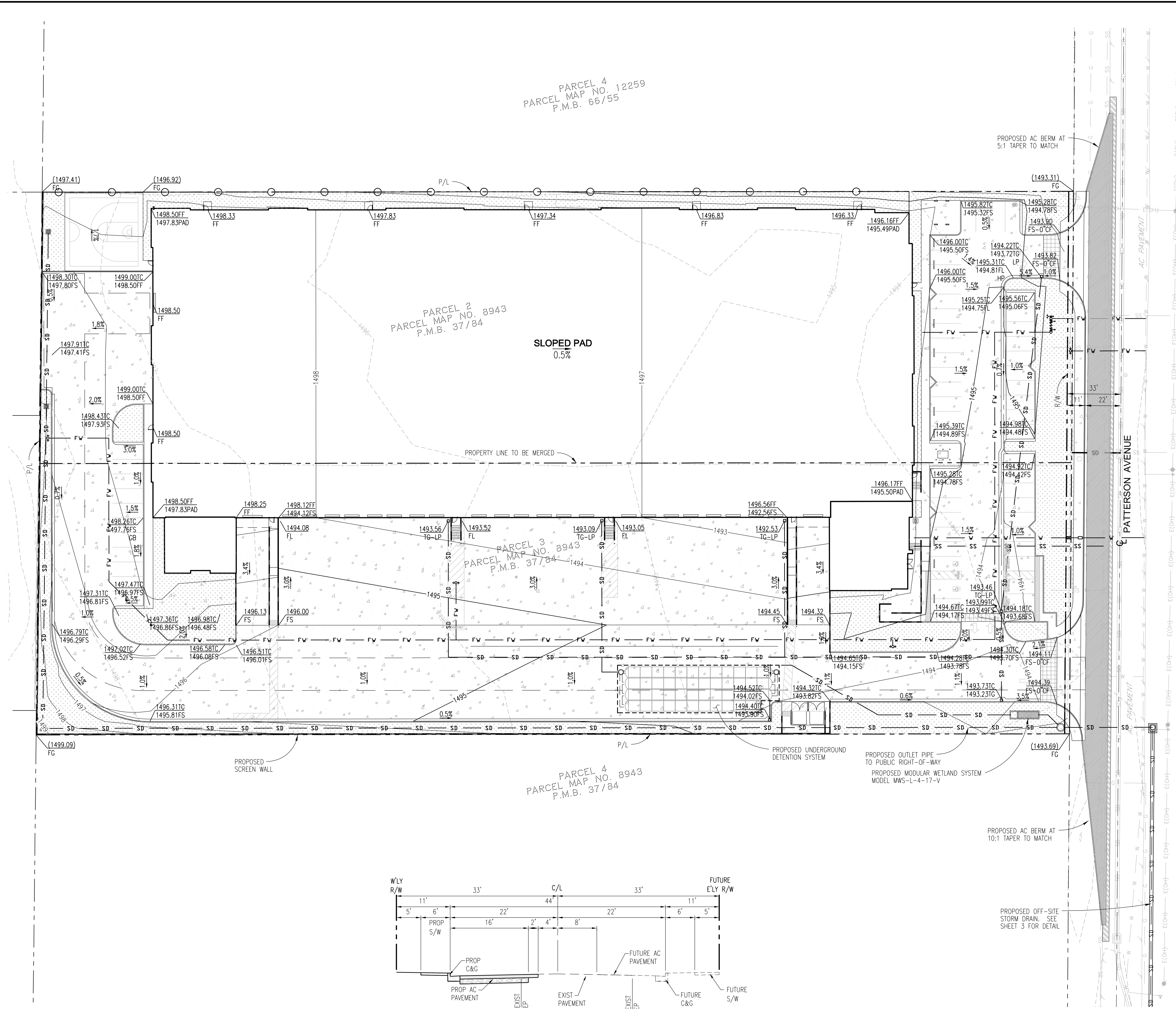
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PLN21-05282

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Preliminary Site Plan

ISSUED FOR BID	JOB NO.	
00/00/24	P2-521	
PLAN CHECK	DRAWN BY	
00/00/24		
PERMIT	CHECKED BY	
00/00/24		
REVISIONS BUILDING & SAFETY	1	PLLOT DATE
	2	2/07/24
REVISIONS FIRE PLAN CK	2	SCALE
	3	
REVISIONS CONSTRUCTION	3	SHEET NO.
	4	
	5	

P-A1.1
OF SHEETS



LEGAL DESCRIPTION

PARCELS 2 AND 3 OF PARCEL MAP NO. 8943, AS SHOWN BY MAP ON FILE IN BOOK 37, PAGE 84 OF PARCEL MAPS RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

LAND USE / ZONING

EXISTING LAND USE	VACANT
PROPOSED LAND USE	GI (GENERAL INDUSTRIAL)
EXISTING ZONING	PERRIS VALLEY COMMERCE CENTER
PROPOSED ZONING	PERRIS VALLEY COMMERCE CENTER
EXISTING GENERAL PLAN	PERRIS VALLEY COMMERCE CENTER
PROPOSED GENERAL PLAN	PERRIS VALLEY COMMERCE CENTER
AIRPORT ZONE	B2 (MARCH AIR RESERVE BASE)

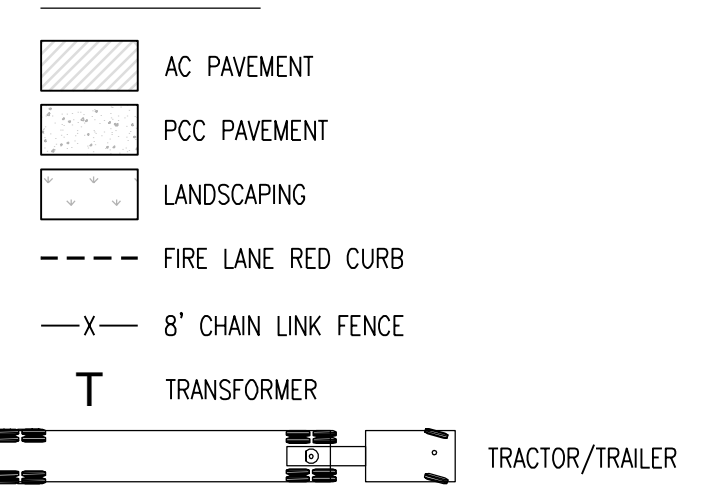
NOTES

1. THOMAS BROS. GUIDE, PAGE 747
2. THIS AREA IS NOT SUBJECT TO LIQUEFACTION OR OTHER GEOLOGIC HAZARDS WITHIN A SPECIAL STUDIES ZONE.
3. FEMA COMMUNITY PANEL NO. 060258-0005-D ZONE A (OUTSIDE OF 500 YEAR FLOOD PLAIN, CITY OF PERRIS.
4. CONTOUR INTERVAL, 1 FOOT.
5. THIS AREA IS WITHIN THE NORTH PERRIS SPECIFIC PLAN.
6. THIS PROJECT IS NOT WITHIN A COMMUNITY SERVICES DISTRICT.
7. THE PROPERTY IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
8. SUBSURFACE SEPTIC SEWAGE IS NOT INTENDED FOR THIS SITE.
9. ALL GATES ARE AT LEAST 24" WIDE, AUTOMATIC WITH THE KNOX RAPID ENTRY SYSTEM.

ABBREVIATIONS

AC	ASPHALT CONCRETE
ADA	AMERICANS WITH DISABILITIES ACT
CB	CATCH BASIN
C&G	CURB AND GUTTER
C/L	CENTERLINE
DF	DEEPEDED FOOTING
EXIST	EXISTING
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FF	FINISH FLOOR
FH	FIRE HYDRANT
FS	FINISH SURFACE
LP	LOW POINT
PB	PULL BOX
PCC	PORTLAND CONCRETE CEMENT
P/L	PROPERTY LINE
R/W	RIGHT OF WAY
ST LT	STREET LIGHT
TC	TOP OF CURB
Typ	TYPICAL

LEGEND



TOPOGRAPHY

WILSON ASSOCIATES NORTH DATED AUGUST 24, 2011

PROJECT DATA

SITE AREA	211,004.64 SF (GROSS)	210,002.76 SF (NET)
BUILDING AREA	74,453 SF	
WAREHOUSE	20,000 SF	
WAREHOUSE + OFFICE	3,500 SF	
1ST FLOOR OFFICE	2,500 SF	
MEZZ OFFICE	2,500 SF	
TOTAL	94,453 SF	
FLOOR AREA RATIO	15.5%	
LOT COVERAGE	62.4%	
PARKING REQUIREMENTS		
WAREHOUSE+OFFICE 1/1000	20,000 SF	20
WAREHOUSE	74,453 SF	38
TOTAL PARKING REQUIRED		58
PARKING PROVIDED		
AUTO (9'x19' TYPICAL)		46
DEDICATED CLEAN AIR VEHICLES (9'x19' TYPICAL)		2
DEDICATED CAV VAN WIRED (9'x19')		3
DEDICATED CAV CAR ACCESSIBLE WIRED		1
DEDICATED CAV VAN ACCESSIBLE WIRED		3
CAR ACCESSIBLE		3
VAN ACCESSIBLE		2
TOTAL		58
TRUCK DOCK HIGH SPACES		22
LANDSCAPING		
LANDSCAPE PROVIDED	25,424 SF (12.11%)	
HARDSCAPE-SIDEWALK COVERAGE	9,354 SF (4.45%)	
HARDSCAPE-PAVING COVERAGE	83,271 SF (39.65%)	

NOTE: FIRE ACCESS ROAD WILL ACCOMMODATE A FIRE APPARATUS UP TO 68,000 LBS

APPLICANT

CGU CAPITAL MANAGEMENT
ATTN: MR. DALE ULMAN
302 W. 5TH ST, SUITE 103
SAN PEDRO, CA 90731
PHONE: (310) 241-2992

OWNER

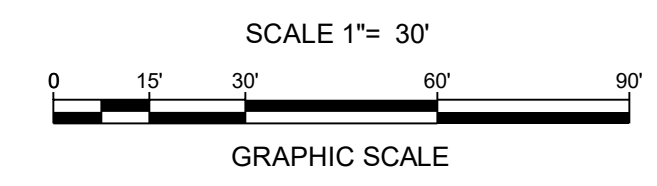
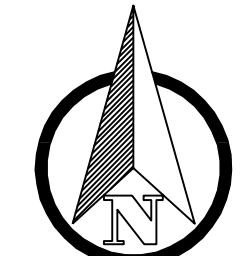
CGU CAPITAL MANAGEMENT
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302 W. 5TH ST, SUITE 103
SAN PEDRO, CA 90731
PHONE: (310) 241-2992

ENGINEER

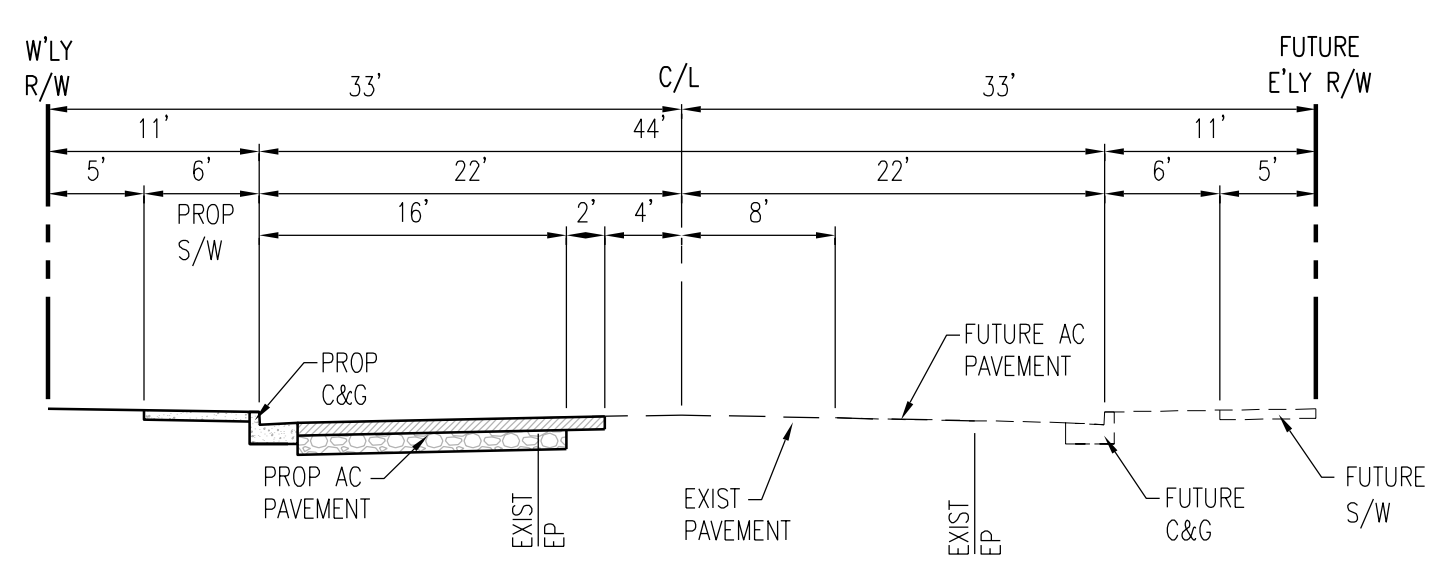
VALUED ENGINEERING, INC.
ATTN: MR. JEFF MEITER
600 N. MOUNTAIN AVE, SUITE C102
UPLAND, CA 91786
PHONE: (909) 982-4601

UTILITIES

WATER	EASTERN MUNICIPAL WATER DISTRICT
SEWER	EASTERN MUNICIPAL WATER DISTRICT
GAS	SOUTHERN CALIFORNIA GAS COMPANY
ELECTRIC	SOUTHERN CALIFORNIA ELECTRIC
TELEPHONE	VERIZON
SCHOOL DISTRICT	VAL VERDE SCHOOL DISTRICT



TYPICAL STREET SECTION



SCALE:	1" = 30'
DATE:	01/19/2023
DESIGNED:	JA
CHECKED:	JM
PLAN CHECK REF:	
F.B.:	

VALUED ENGINEERING, INC.
CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING
600 N. MOUNTAIN AVE, STE C102, UPLAND, CA 91786
PHONE: (909) 982-4601

**CITY OF PERRIS
PRELIMINARY GRADING PLAN
GRADING PLAN**

W.O. XXXX-XXXX
SHEET
1
OF 3 SHEET
DWG. NO.
XXXX-XXXX

PARCEL 4
PARCEL MAP NO. 12259
P.M.B. 86/55

PARCEL 2
PARCEL MAP NO. 8943
P.M.B. 37/84

PROPERTY LINE TO BE MERGED

PARCEL 3
PARCEL MAP NO. 8943
P.M.B. 37/84

PARCEL 4
PARCEL MAP NO. 8943
P.M.B. 37/84

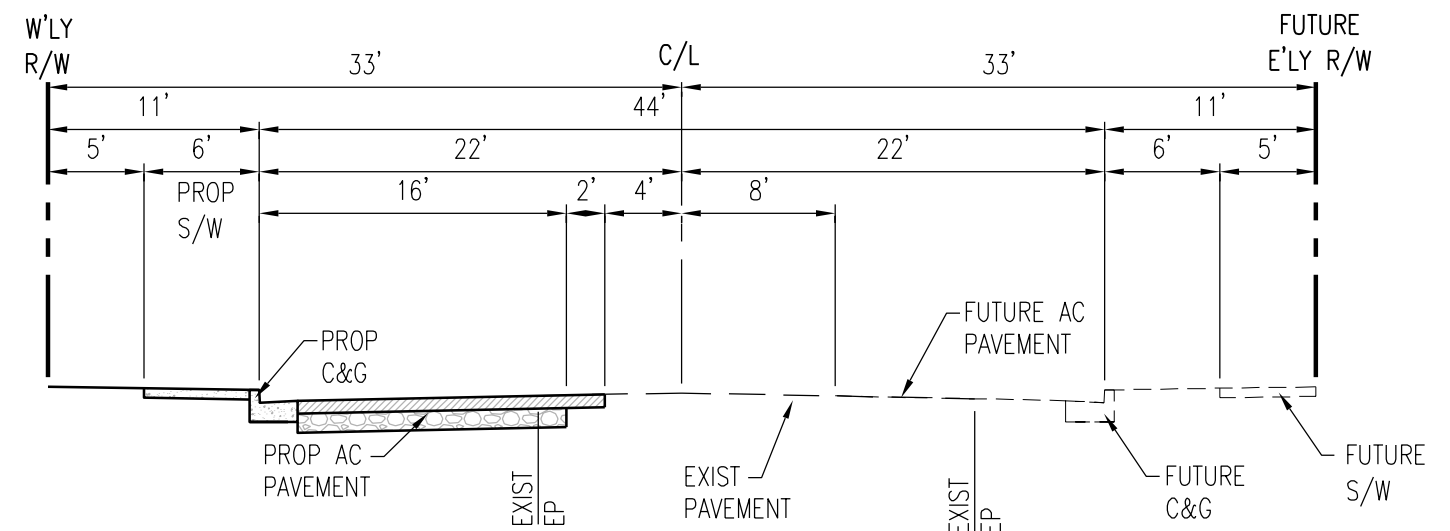
ABBREVIATIONS

AC	ASPHALT CONCRETE
ADA	AMERICANS WITH DISABILITIES ACT
CB	CATCH BASIN
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DF	DEEPEMED FOOTING
EXIST	EXISTING
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FH	FIRE HYDRANT
FS	FINISH SURFACE
LP	LOW POINT
PB	PULL BOX
PCC	PORTLAND CONCRETE CEMENT
P/L	PROPERTY LINE
R/W	RIGHT OF WAY
ST LT	STREET LIGHT
TC	TOP OF CURB
TYP	TYPICAL

LEGEND

	AC PAVEMENT
	PCC PAVEMENT
	LANDSCAPING
	FIRE LANE RED CURB
	8' CHAIN LINK FENCE
	TRANSFORMER
	TRACTOR/TRAILER

NOTE: FIRE ACCESS ROAD WILL ACCOMMODATE A FIRE APPARATUS UP TO 68,000 LBS



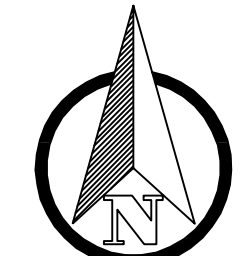
TYPICAL STREET SECTION

PATTERSON AVENUE
SCALE: 1" = 10'

SCALE:	1" = 30'
DATE:	01/19/2023
DESIGNED:	JA
CHECKED:	JM
PLAN CHECK REF:	
F.B.:	

VALUED ENGINEERING, INC.
CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING
600 N. MOUNTAIN AVE., STE. C102, UPLAND, CA 91786
PHONE: (909) 982-4601

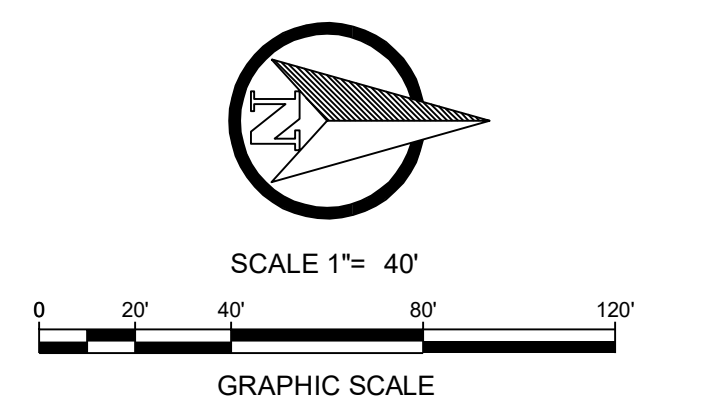
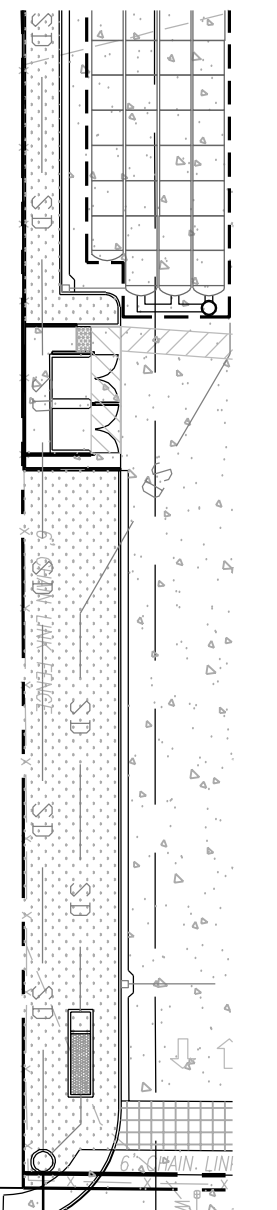
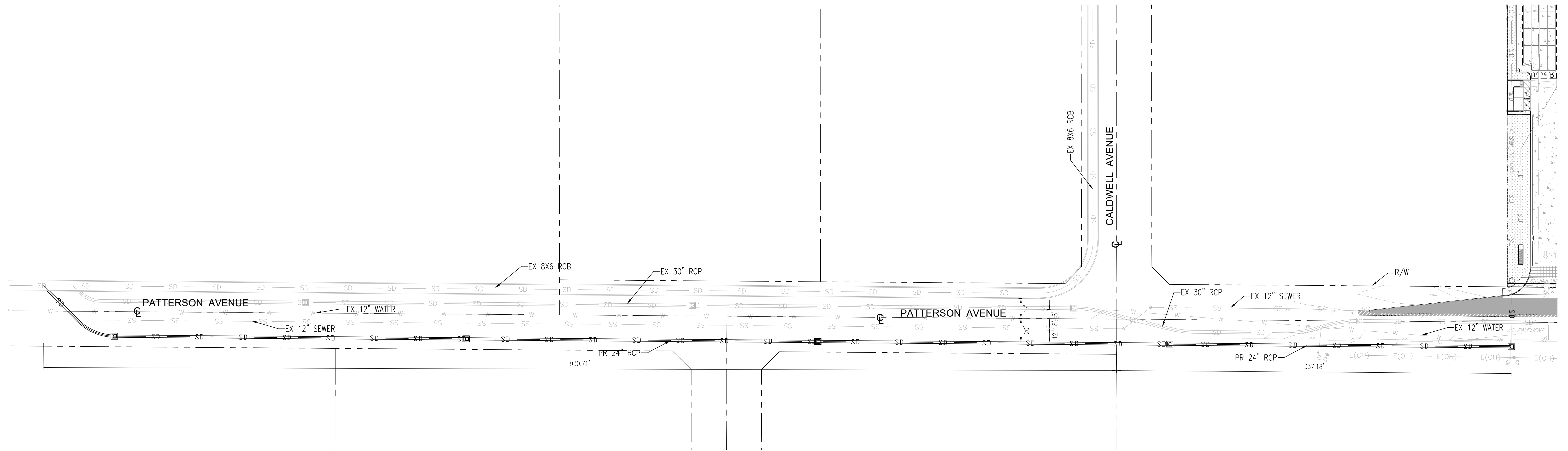
JEFFEREY D. MEITER R.C.E. No. 64696



SCALE 1" = 30'
0 15' 30' 60' 90'
GRAPHIC SCALE

CITY OF PERRIS
PRELIMINARY GRADING PLAN
TRUCK TURNING

W.O. XXXX-XXXX
SHEET
2
OF 3 SHEET
DWG. NO.
XXXX-XXXX



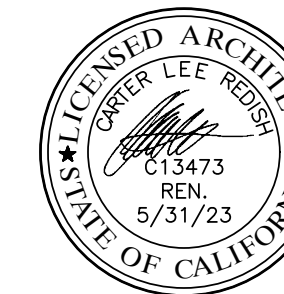
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DATE:	01/19/2023
DESIGNED:	JA
CHECKED:	JM
PLAN CHECK REF:	
F.B.:	



JEFFEREY D. MEITER R.C.E. No. 64696

**CITY OF PERRIS
PRELIMINARY GRADING PLAN
OFF-SITE STORM DRAIN**

W.O. XXXX-XXXX
SHEET
3
OF 3 SHEET
DWG. NO.
XXXX-XXXX



CARTER GROUP ARCHITECTS INC.

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San Clemente
CA 92672
TEL
949 498 3535
EMAIL
carter@
cartergroup.net

developer

CGU
CAPITAL
MANAGEMENT

302 W. 5th Street
Suite 103
San Pedro, CA
90731
310-241-2992

project

PATTERSON
BUSINESS
CENTER
BUILDING

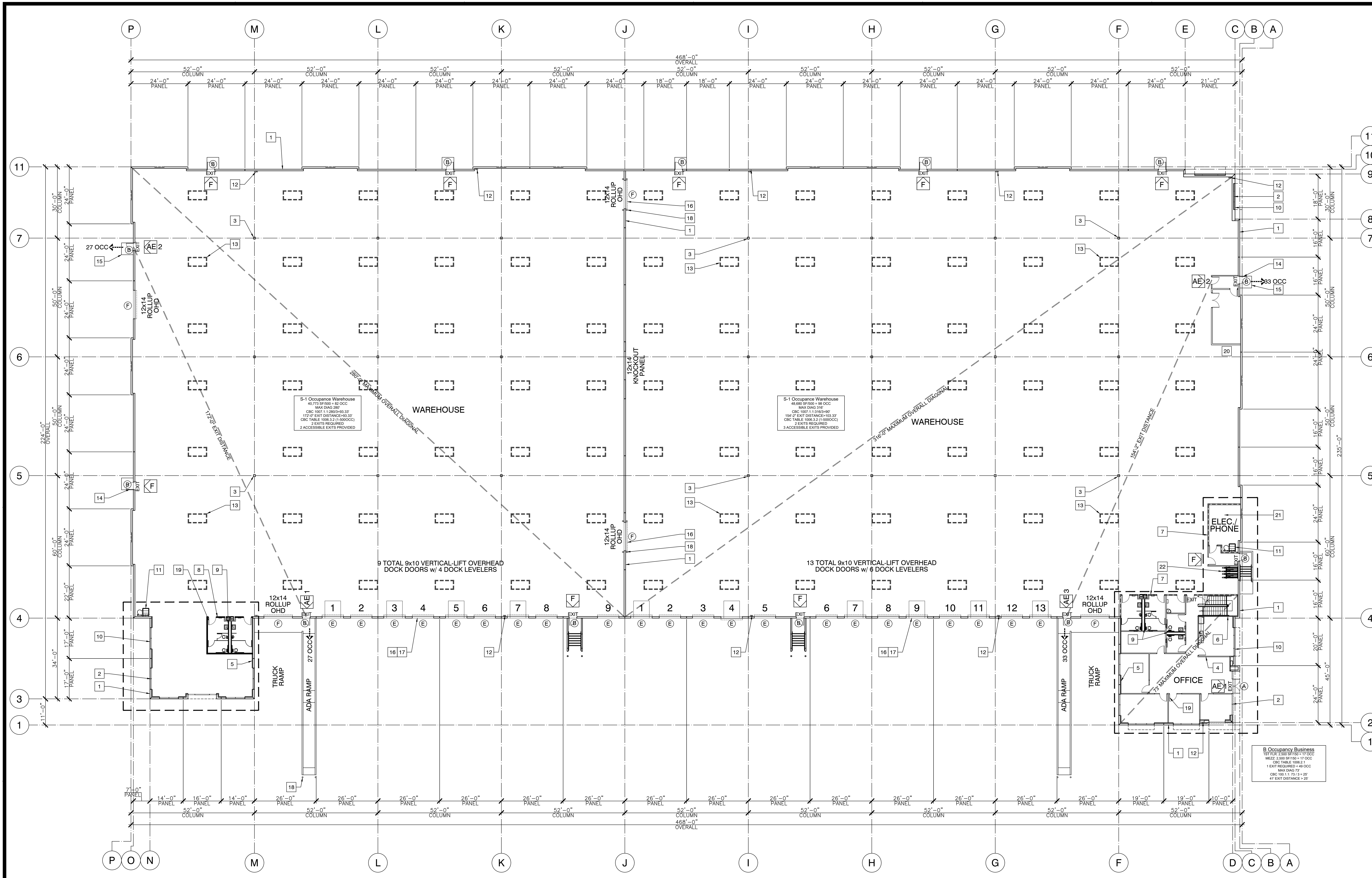
5030 Patterson Avenue,
Perris, CA
92571

DPR22-00013
PLN21-05282

sheet

First Floor
Plan & Exiting

ISSUED FOR BID 00/00/23	JOB NO. P2-521
PLAN CHECK 00/00/23	DRAWN BY
PERMIT 00/00/23	CHECKED BY
REVISIONS & SAFETY	PLOT DATE 1/23/23
REVISIONS FIRE PLAN CK	SCALE
REVISIONS CONSTRUCTION	SHEET NO. A2.1
	OF SHEETS



Floor Plan Notes

- 1 REINFORCED CONCRETE TILT-UP WALL PANEL. SEE STRUCTURAL PLANS.
- 2 ALUMINUM STOREFRONT WITH FRONTSET GLAZING SYSTEM WITH VISION AND SPANDREL GLASS. SEE EXTERIOR ELEVATIONS.
- 3 STEEL COLUMNS. SEE STRUCTURAL PLANS.
- 4 4" PARTIAL-HEIGHT METAL STUD WALL WITH 5/8" GYPSUM BOARD ON BOTH SIDES.
- 5 4" PARTIAL-HEIGHT METAL STUD WALL TO ROOF FRAMING WITH 5/8" GYPSUM BOARD ON BOTH SIDES.
- 6 4" FULL-HEIGHT METAL STUD WALL UP TO MEZZANINE WITH 5/8" GYPSUM BOARD ON BOTH SIDES.
- 7 6" FULL-HEIGHT METAL STUD DEMISING WALL TO ROOF FRAMING WITH 5/8" GYPSUM BOARD ON BOTH SIDES.
- 8 6" PARTIAL-HEIGHT METAL STUD DEMISING WALL WITH 5/8" GYPSUM BOARD ON BOTH SIDES.
- 9 SINGLE OR DOUBLE 4" FULL-HEIGHT METAL STUD PLUMBING WALL WITH CAVITY & 5/8" GYPSUM BOARD ON OUTSIDE FOR BACK-TO-BACK WALL HUNG TOILET CARRIERS. SEE ENLARGED & PLUMBING PLANS.
- 10 ROOF OR PANEL LINE ABOVE. SEE ROOF & ELEVATION PLANS.
- 11 ROOF HATCH ACCESS LADDER. SEE ROOF PLAN.
- 12 ROOF DRAIN AND OVERFLOW DRAIN PIPES. SEE ROOF PLAN.
- 13 SKYLIGHT ABOVE. SEE ROOF PLAN.
- 14 HOLLOW METAL DOOR WITH FRAME. SEE ELEVATIONS & DOOR SCHEDULE.
- 15 60"x60" MIN. LEVEL LANDING AT ALL EXTERIOR DOORS TO MEET TITLE 24 REQUIREMENTS.
- 16 OVERHEAD DOORS. SEE ELEVATIONS & DOOR SCHEDULE.
- 17 TRUCK DOCK BUMPER. SEE BUILDING SECTION & DETAIL SHEET.
- 18 PROTECTIVE BOLLARDS AS SHOWN. SEE DETAIL.
- 19 FLUSH DOOR WITH H.M. FRAME. SEE ENLARGED PLANS & DOOR SCHEDULE.
- 20 FIRE RISER.
- 21 SEE FIRE SPRINKLER PLANS.
- 22 ELECTRICAL/PHONE ROOM. SEE ELECTRICAL PLANS.

Occupant Load

BUILDING A3	OFFICE AREA 6,000 S.F. (1/150 S.F.)	40 OCCUPANTS
	WAREHOUSE AREA 88,453 S.F. (1/500 S.F.)	177 OCCUPANTS
	TOTAL OCCUPANTS	237 OCCUPANTS

EXITS REQUIRED PER STORY
CBC TABLE 1006.3.1 (1-500 OCCUPANTS)
ACCESSIBLE MEANS OF EGRESS PROVIDED
TOTAL MEANS OF EGRESS PROVIDED

2 EXITS
7 EXITS
15 EXITS

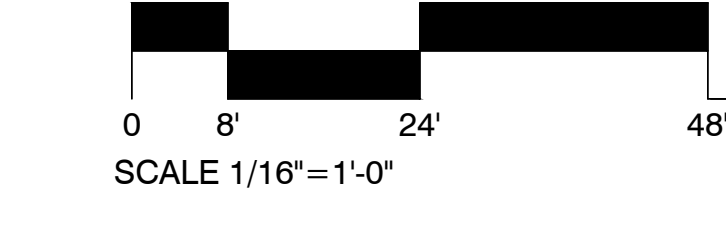
Insulation Notes

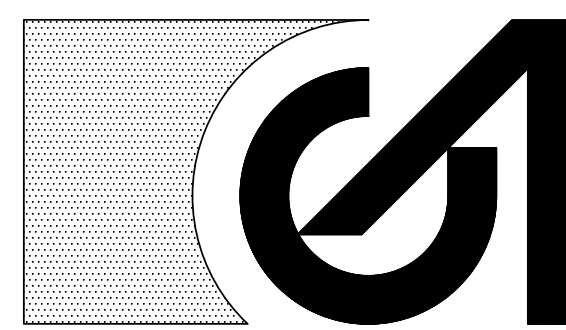
- R-13 INSULATION IN ALL 1ST FLOOR OFFICES AND RESTROOM WALLS.
- R-13 INSULATION IN ALL 1ST FLOOR INTERIOR FURRING @ EXTERIOR WALLS.
- R-19 + R-2 INSULATION IN WAREHOUSE/OFFICE DEMISING WALL AND R-19 IN MEZZANINE FLOOR FRAMING.
- R-30 INSULATION IN ROOF ABOVE MEZZANINE LEVEL AREA ONLY.

Exit & Fire Access Legend & Notes

- AE** ACCESSIBLE ENTRANCE & EXIT CONNECTED TO ADA PATH OF TRAVEL.
 - F** FIRE ACCESS DOORS WITH "NOT ACCESSIBLE" SIGN INSTALLED AT INTERIOR STRIKE SIDE OF DOOR TO COMPLY WITH CBC SECTION 11B-703. & "NOT AN ENTRANCE" AT EXTERIOR SIDE OF DOOR.
- MAXIMUM EXIT TRAVEL DISTANCE PER CBC SECTION 1017.2.2 FOR S-1 OCCUPANCY AREA ONE-STORY IN HEIGHT WHERE MINIMUM CEILING HEIGHT IS 24 FEET FROM THE FINISHED FLOOR TO THE CEILING OR ROOF AND THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PER SECTION 903.3.1.1 SHALL BE 400 FEET.

First Floor Plan





CARTER GROUP ARCHITECTS INC.

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developer

CGU CAPITAL MANAGEMENT

302 W. 5th Street
Suite 103
San Pedro, CA
90731
310-241-2992

project

PATTERSON BUSINESS CENTER BUILDING

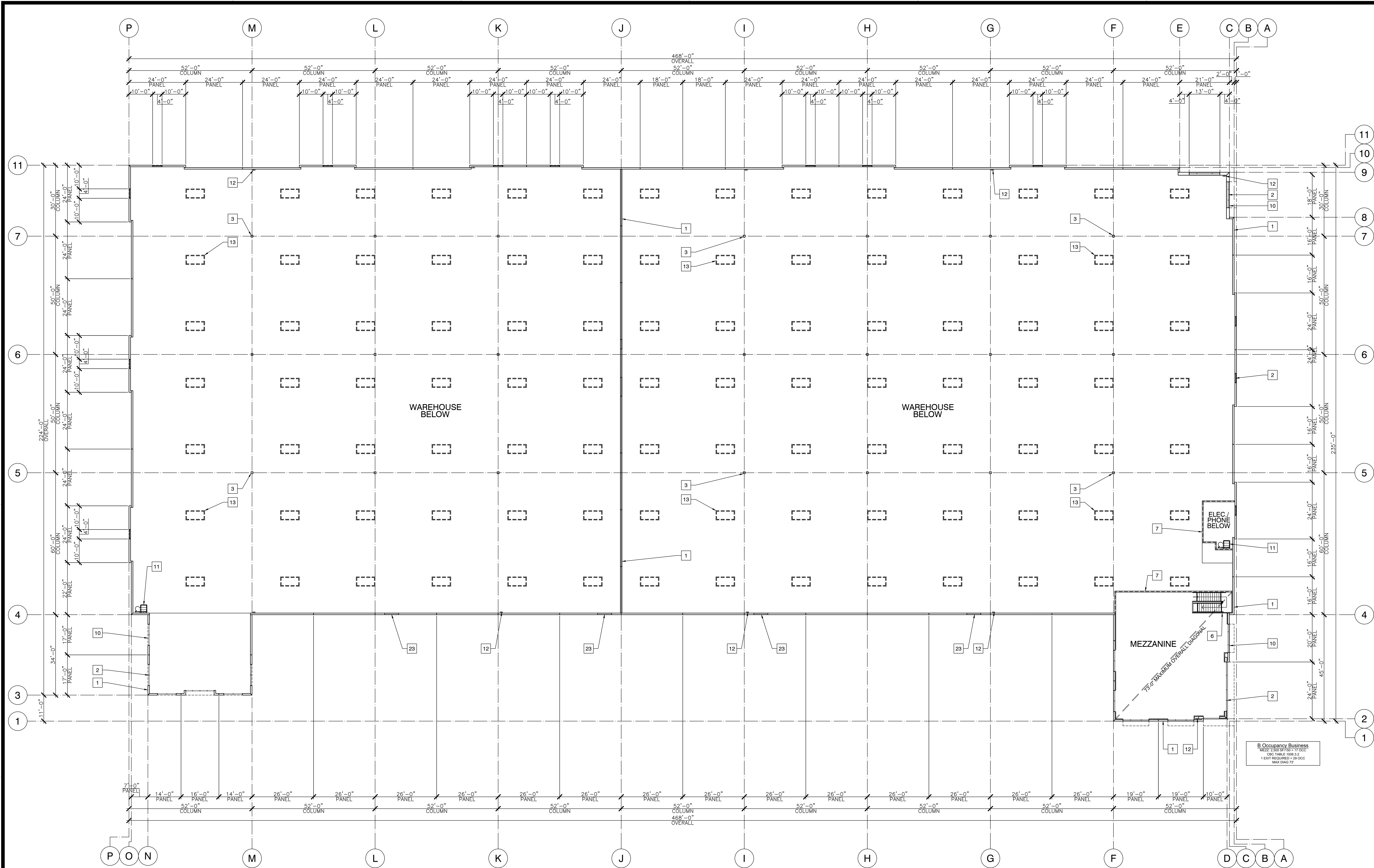
5030 Patterson Avenue,
Perris, CA
92571

DPR22-00013
PLN21-05282

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Mezzanine Floor Plan

ISSUED FOR BID 00/00/23	JOB NO. P2-521
PLAN CHECK 00/00/23	DRAWN BY
PERMIT 00/00/23	CHECKED BY
REVISIONS BUILDING & SAFETY 1	PLOT DATE 1/23/23
REVISIONS FIRE PLAN CK 2	SCALE
REVISIONS CONSTRUCTION 3	SHEET NO.
	A2.2
	OF SHEETS



Floor Plan Notes

- | | | |
|--|--|---|
| 1 REINFORCED CONCRETE TILT-UP WALL PANEL. SEE STRUCTURAL PLANS. | 11 ROOF HATCH ACCESS LADDER. SEE ROOF PLAN. | 22 NOT SHOWN. |
| 2 ALUMINUM STOREFRONT WITH FRONTSET GLAZING SYSTEM WITH VISION AND SPANDREL GLASS. SEE EXTERIOR ELEVATIONS. | 12 ROOF DRAIN AND OVERFLOW DRAIN PIPES. SEE ROOF PLAN. | 23 MECHANICAL VENTING LOUVERS. SEE ELEVATIONS & MECHANICAL PLANS. |
| 3 STEEL COLUMNS. SEE STRUCTURAL PLANS. | 13 SKYLIGHT ABOVE. SEE ROOF PLAN. | |
| 4 4" PARTIAL-HEIGHT METAL STUD WALL WITH 5/8" GYPSUM BOARD ON BOTH SIDES. | 14 NOT SHOWN. | |
| 5 4" PARTIAL-HEIGHT METAL STUD WALL FURRING ON INTERIOR SIDE OF CONC. PANELS WITH 5/8" GYPSUM BOARD ON ONE SIDE. NOTE: FULL-HEIGHT AT STAIRS. | 15 NOT SHOWN. | |
| 6 4" FULL-HEIGHT METAL STUD STAIR WALL UP TO MEZZANINE WITH 5/8" GYPSUM BOARD ON BOTH SIDES. | 16 NOT SHOWN. | |
| 7 6" FULL-HEIGHT METAL STUD DEMISING WALL TO ROOF FRAMING WITH 5/8" GYPSUM BOARD ON BOTH SIDES. | 17 NOT SHOWN. | |
| 8 NOT SHOWN. | 18 NOT SHOWN. | |
| 9 SINGLE OR DOUBLE 4" FULL-HEIGHT METAL STUD PLUMBING WALL WITH CAVITY & 5/8" GYPSUM BOARD ON OUTSIDE FOR BACK-TO-BACK WALL HUNG TOILET CARRIERS. SEE ENLARGED & PLUMBING PLANS. | 19 NOT SHOWN. | |
| 10 ROOF OR PANEL LINE ABOVE. SEE ROOF & ELEVATION PLANS. | 20 NOT SHOWN. | |
| | 21 NOT SHOWN. | |

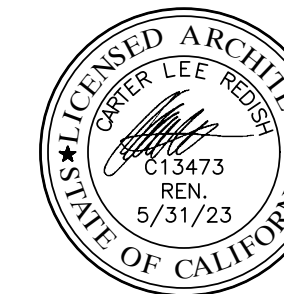
Insulation Notes

- R-13 INSULATION IN ALL 1ST FLOOR OFFICES AND RESTROOM WALLS.
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- R-30 INSULATION IN ROOF ABOVE MEZZANINE LEVEL AREA ONLY.

Mezzanine Floor Plan



SCALE 1/16" = 1'-0"



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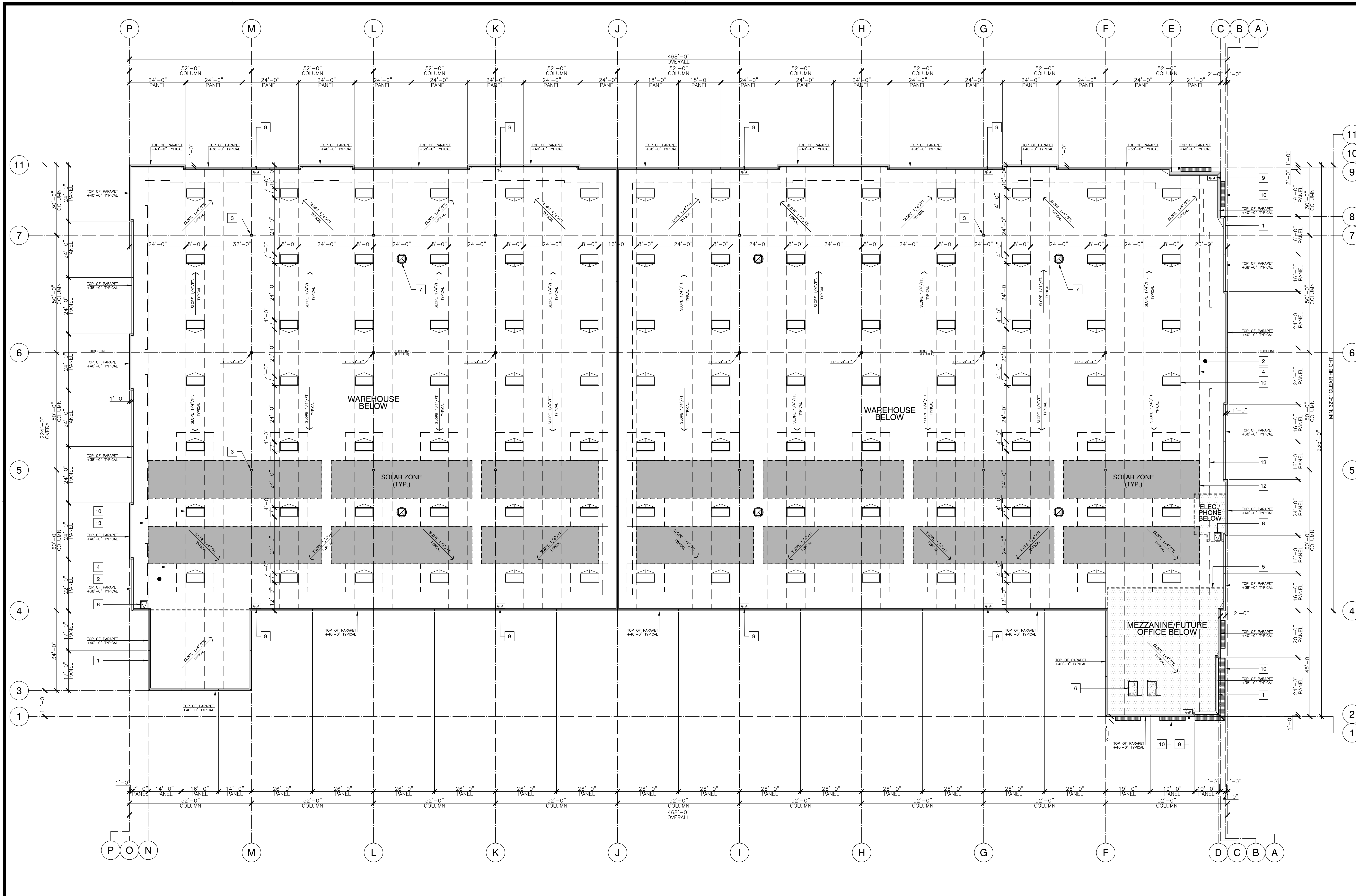
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Roof Plan

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REVISIONS & SAFETY	PLLOT DATE 1/23/23
REVISIONS FIRE PLAN CK	SCALE
REVISIONS CONSTRUCTION	SHEET NO. A2.3
	OF SHEETS



Roof Plan Notes

- 1 REINFORCED CONCRETE TILT-UP WALL PANEL. SEE STRUCTURAL PLANS.
- 2 BUILT-UP CLASS "A" CAP SHEET MEMBRANE ROOFING SYSTEM WITH LOW-SLOPE COOL ROOF REFLECTANCE TO MEET 0.63 FOR NEW CONSTRUCTION AND ALTERATIONS. (S140.30) (A41).
- 3 STEEL COLUMN BELOW. SEE STRUCTURAL PLANS.
- 4 ROOF FRAMING. SEE STRUCTURAL PLANS.
- 5 DEMISING WALL BELOW. SEE FLOOR PLAN.
- 6 TBD HVAC UNIT LOCATION. SCREENED BY PARAPETS. SEE MECHANICAL PLANS.
- 7 TBD EXHAUST FANS. SEE MECHANICAL PLANS.
- 8 ROOF HATCH & GUARD "BILOO" ROOF ACCESS HATCH. MODEL 3036 S-20. ICB0 #2469.
- 9 INTERIOR ROOF DRAIN AND OVERFLOW DRAIN. SEE PLUMBING DRAWINGS.
- 10 METAL CANOPY. SEE WALL SECTIONS & STRUCTURAL PLANS.
- 11 SKYLIGHT: KINGSTON TUFFLITE PRISMATIC SINGLE DOME CURB MOUNT (MODEL: 4896-AL-CM-1-WPP-L-AM) WITH SECURITY GRILLS (MODEL: SG-1). SEE DETAIL.
- 12 SOLAR ZONE: FUTURE SOLAR (PV) PANELS AREA. SEE NOTES & ELECTRICAL PLANS.
- 13 SOLAR ZONE FIRE PATH ACCESS PERIMETER (MIN. 6" WIDE FROM ROOF EDGE & 4" FROM ANY OBJECT OR EQUIPMENT).

General Roof Notes

- 1. ALL ROOF MOUNTED EQUIPMENT TO BE SCREENED ON ALL SIDES BY EITHER A SEPARATE SCREEN OR PARAPET WALLS THAT ARE AT LEAST AS HIGH AS THE EQUIPMENT TO BE SCREENED AND ANY UNSCREENED VENTS OR FANS TO BE PAINTED TO MATCH ROOF.

Insulation Notes

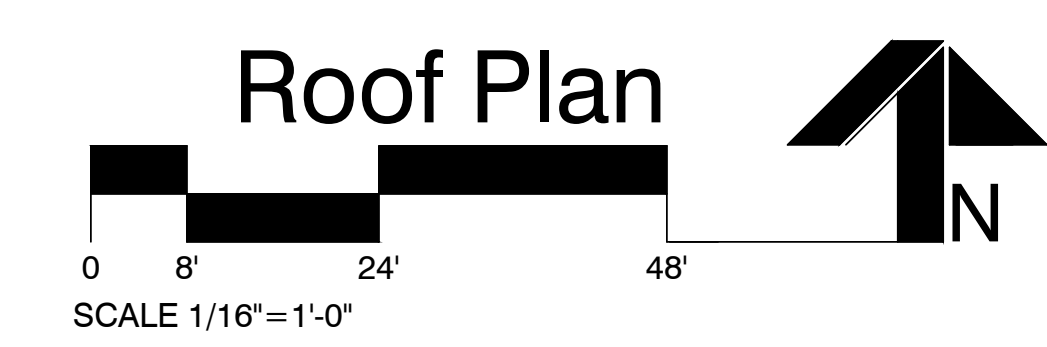
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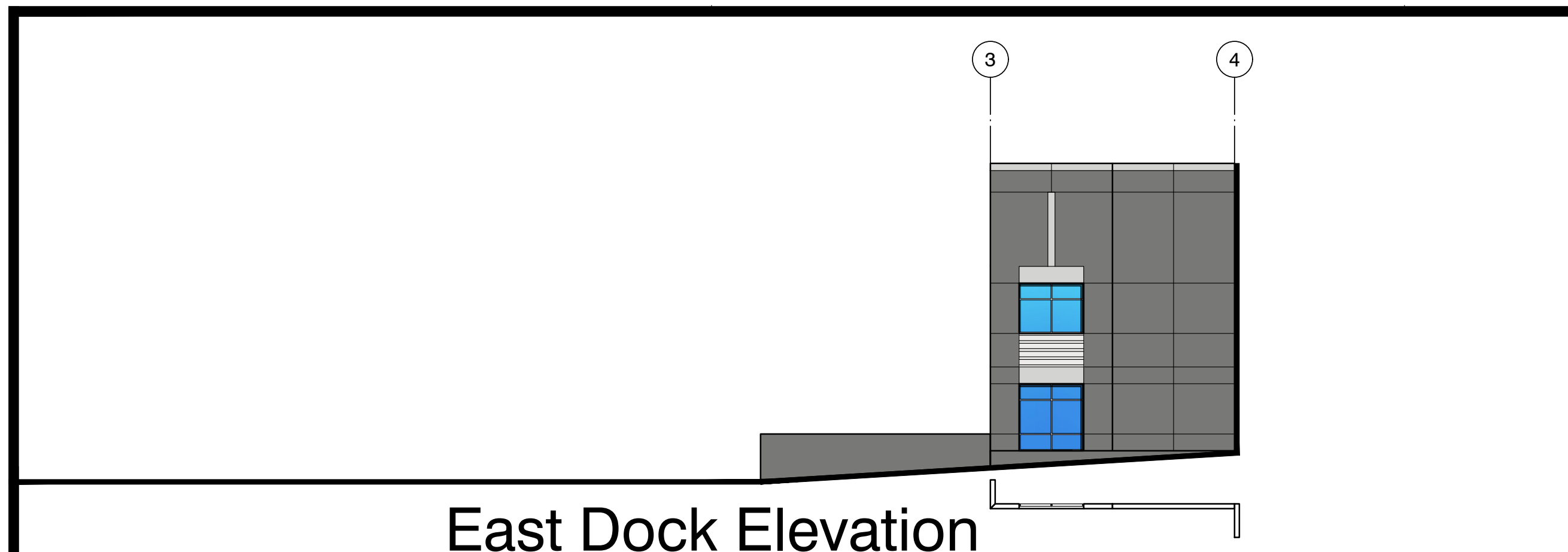
Fire Protection Notes

- 1. BUILDING DESIGNED FOR HIGH-PILED STORAGE BETWEEN 12 FT AND 40 FT.
- 2. EARLY SUPPRESSION-FAST RESPONSE MONITORED SPRINKLER SYSTEM CLASS I-IV COMMODITIES IN ACCORDANCE WITH CFC CHAPTER 32 AND 2013 NFPA 13.
- 3. SMOKE AND HEAT VENTS ARE NOT REQUIRED WHEN STORAGE AREAS WITH AN EXIT ACCESS TRAVEL DISTANCE OF 200 FEET OR LESS OR PROTECTED BY EARLY SUPPRESSION FAST RESPONSE (ESFR) SPRINKLER SYSTEMS INSTALLED IN ACCORDANCE WITH 2013 NFPA 13.
- 4. 98 X 48X SKYLIGHTS PROVIDED IN WAREHOUSE: 98 SKYLIGHTS X 32 SF (A5.2) = 3,136 SF OF SKYLIGHT AREA.
- 5. 88,453 SF WAREHOUSE AREA 3,136 SF SKYLIGHT AREA FOR 3.54% OF WAREHOUSE AREA.

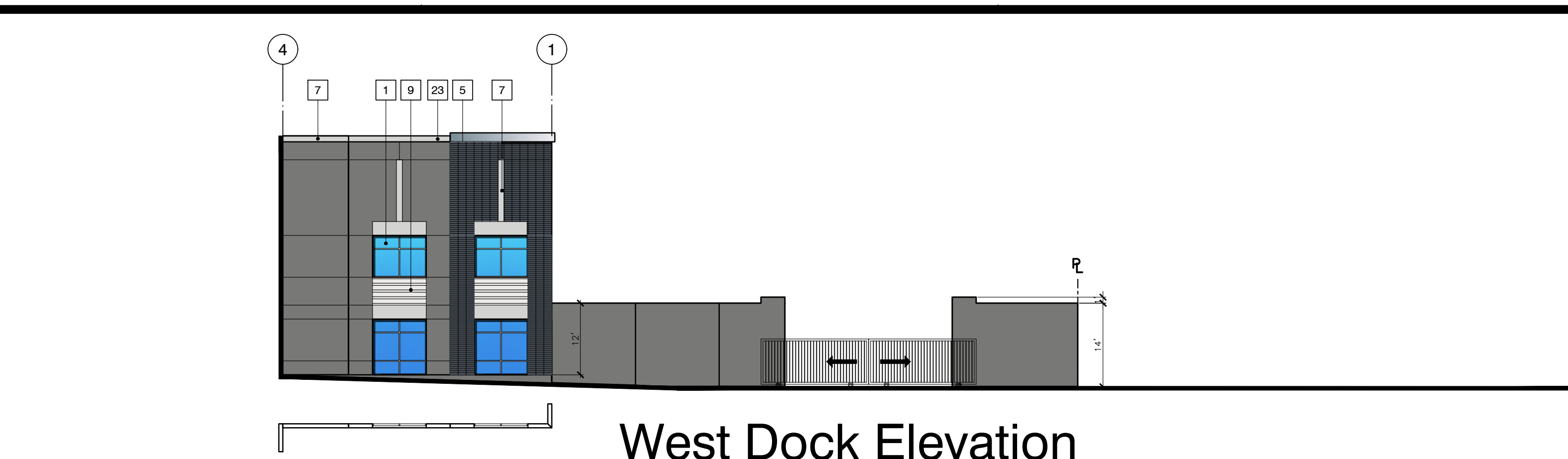
Solar Ready Zone

- 1. TOTAL ROOF AREA = **90,820 SF**
- 2. TOTAL AREA COVERED BY SKYLIGHTS = **3,136 SF** (88 SKYLIGHTS X 32 SF/SKYLIGHT)
- 3. MINIMUM SOLAR ZONE AREA = **13,162 SF** (15% X TOTAL ROOF AREA MINUS AREA COVERED BY SKYLIGHTS) (90,820 SF MINUS 3,136 SF = 87,684 SF)
- 4. TOTAL SOLAR ZONE AREA PROVIDED = **13,164 SF** (+ 32 SF)

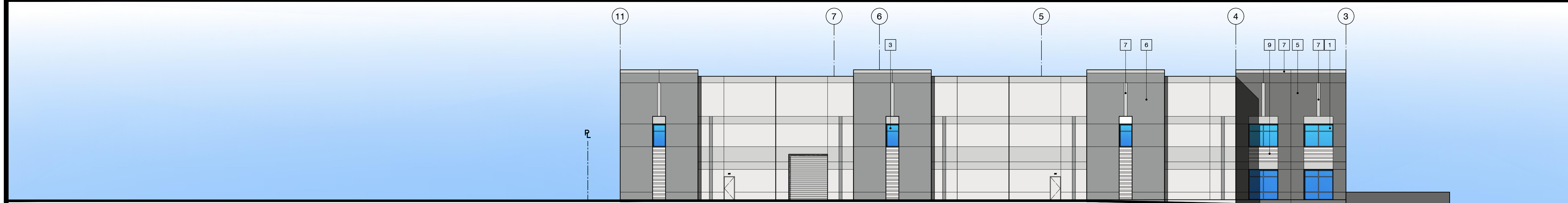




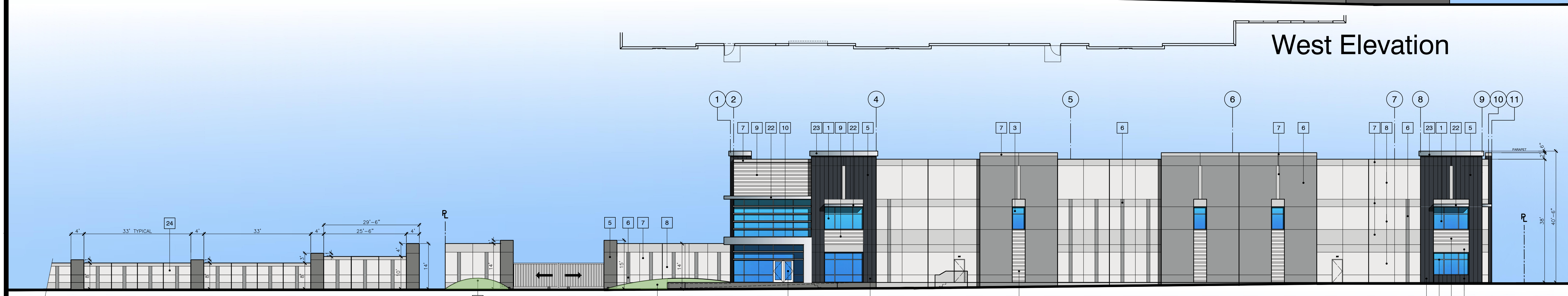
East Dock Elevation



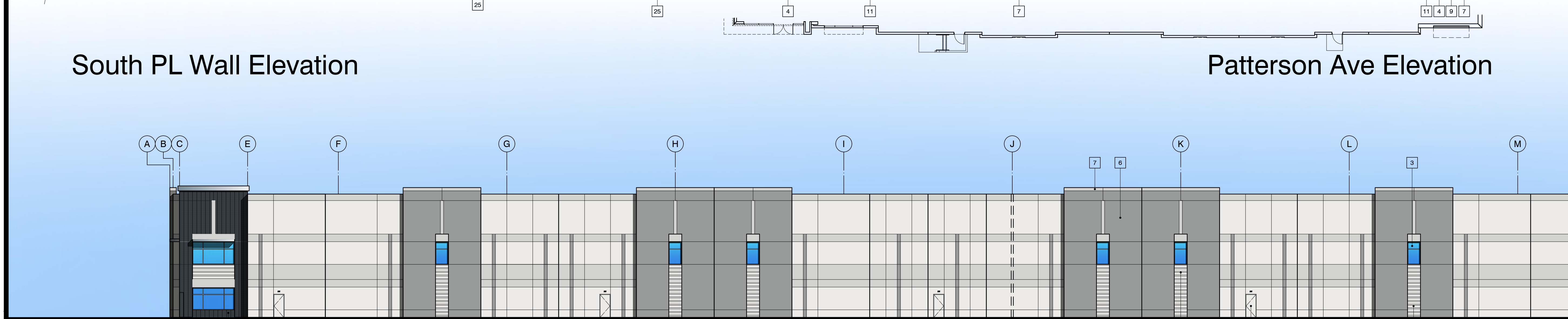
West Dock Elevation



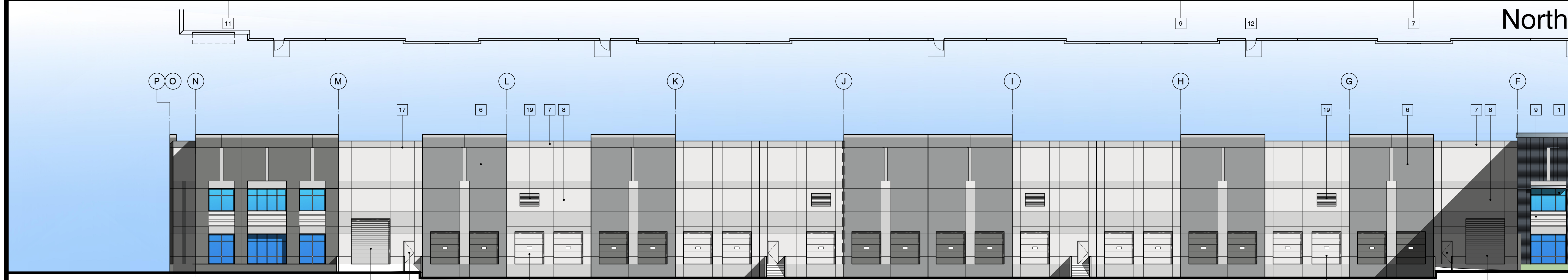
West Elevation



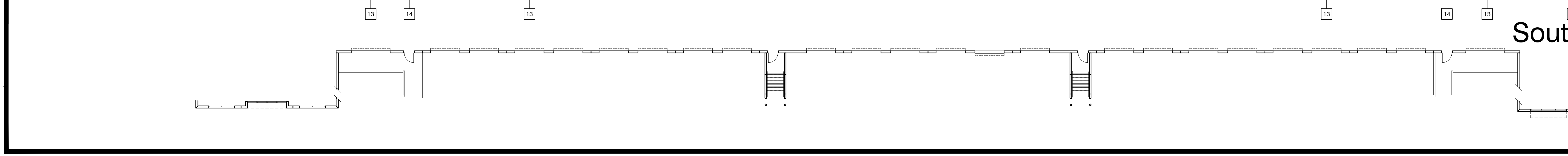
Patterson Ave Elevation



South PL Wall Elevation



North Elevation



South Elevation
SCALE 1/16"=1'-0"
Scheme 1.10

Elevation Notes

- 1 VISION GLASS OFFICE: VITRO AG 1" IGU SOLARBAN 60 (2) PACIFICA + CLEAR LOW-E
- 2 SPANDREL GLASS OFFICE: VITRO 1" INSULATING VISTACOOL (2) PACIFICA CLEAR 3-0588 MEDIUM GRAY OPACIFIER (4)
- 3 VISION GLASS WAREHOUSE: VITRO 1/4" INCH MONOLITHIC SOLARBAN 60 PACIFICA LOW-E
- 4 ALUMINUM STOREFRONT: FRONT SET GLAZED SYSTEM CLEAR ANODIZED W/ NARROW STILE ENTRY DOORS
- 5 CONCRETE TILT-UP WALL: SMOOTH FINISH DUNN-EDWARDS COLOR: LEGENDARY GREY DE6369
- 6 CONCRETE TILT-UP WALL: SMOOTH FINISH DUNN-EDWARDS COLOR: WALRUS DE6368
- 7 CONCRETE TILT-UP WALL: SMOOTH FINISH DUNN-EDWARDS COLOR: SILVER SPOON DE6366
- 8 CONCRETE TILT-UP WALL: SMOOTH FINISH DUNN-EDWARDS COLOR: LACE VEIL DE6372
- 9 CONCRETE TILT-UP WALL: 1 1/2" DEEP FLUTED RIB PATTERN FITZGERALD FORMLINERS #14306
- 10 METAL ACCENT PANEL: METAL PANEL BY ALPOLIC. COLOR: SLMX METALIC SILVER.
- 11 BRICK VENEER ACCENT: ENDICOTT - THIN BRICKS MANGANESE IRONSPOT SMOOTH UTILITY 3-5/8" x 11-5/8" & NORMAN 2-1/4" x 11-5/8"
- 12 SITE/GATE WALL: SMOOTH FINISH DUNN-EDWARDS COLOR: SILVER SPOON DE6366
- 13 OVERHEAD DOORS: EXTERIOR ENAMEL DUNN-EDWARDS COLOR TO MATCH ADJACENT WALL COLOR.
- 14 EXIT DOORS: HOLLOW METAL DOOR & FRAME EXTERIOR ENAMEL DUNN-EDWARDS COLOR TO MATCH ADJACENT WALL COLOR.
- 15 STEEL GATE & DOOR: BI-PARTING ROLLING STEEL FRAMED GATE WITH PERFORATED CORRUGATED METAL SCREEN.
- 16 ADDRESS SIGN LOCATION: 12" HEIGHT RAISED CHANNEL LETTERING INTERNALLY ILLUMINATED.
- 17 1 1/2" PANEL REVEALS: SEE DETAILS
- 18 EXTERIOR WALL LIGHTING: SEE ELECTRICAL PLANS.
- 19 VENTING LOUVERS: SEE MECHANICAL PLANS.
- 20 HVAC UNIT LOCATION: HIDDEN ON ALL SIDES BY PARAPETS. SEE MECHANICAL PLANS.
- 21 ROOF LINE/HEIGHTS: SEE ROOF PLAN.
- 22 METAL CANOPY: SEE ROOF AND STRUCTURAL PLANS.
- 23 METAL TOP CAP: SEE WALL SECTIONS & DETAILS.
- 24 PROPERTY LINE SCREEN WALL: CONCRETE TILT-UP PANELS. COLORS AS SHOWN.
- 25 LANDSCAPE BERM: SEE LANDSCAPE PLANS.

Exterior Color & Material Legend

5 Dunn-Edwards Legendary Grey DE6369	6 Dunn-Edwards Walrus DE6368	7 Dunn-Edwards Silver Spoon DE6366	8 Dunn-Edwards Lace Veil DE6372
9 Fluted Rib Concrete Fitzgerald Formliner #14306 Dunn-Edwards Lace Veil DE6372	10 Alpolic Metal Panels SLMX Metallic Silver	11 Endicott Thin Bricks Manganese Ironspot Smooth	



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PATTERSON BUSINESS CENTER BUILDING

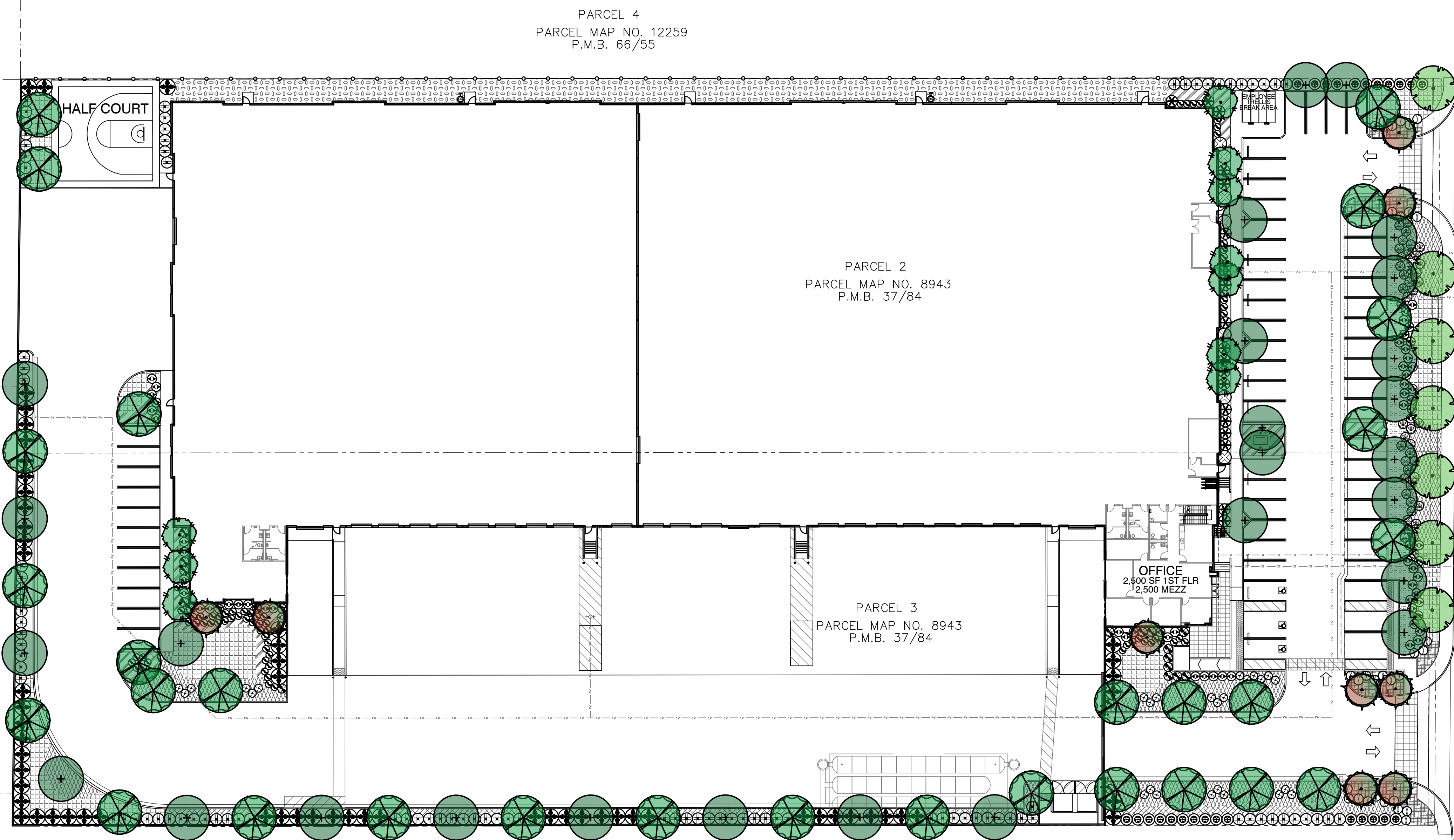
5030 Patterson Avenue.
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Preliminary Colored Elevations

ISSUED FOR BID 00/00/24	JOB NO. P2-521
PLAN CHECK 00/00/24	DRAWN BY
PERMIT 00/00/24	CHECKED BY
REVISIONS BUILDING & SAFETY 1	PLOT DATE 2/07/24
REVISIONS FIRE PLAN CK 2	SCALE
REVISIONS CONSTRUCTION 3	SHEET NO.
4	P-A3.1
5	OF SHEETS



PLANTING LEGEND:

BOTANIC NAME	COMMON NAME	SIZE / SPACING	WUCOLS
LAGERSTROEMIA 'WATERMELON RED'	RED CRAPE MYRTLE	36" BOX	LOW
PLATANUS ACERFOLIA 'BLOODGOOD'	LONDON PLANE TREE	24" BOX	MODERATE
QUERCUS ILEX	HOLLY OAK	15 GALLON	LOW
TRISTANIA CONFERTA	BRISBANE BOX	15 GALLON	MOD.
ULMUS PARVIFOLIA 'TRUE GREEN'	EVERGREEN CHINESE ELM	15 GALLON	MOD.
SHRUBS / VINES			
AGAVE DESMETTIANA 'VARIEGATA'	VARIEGATED SMOOTH AGAVE	5 GAL	LOW
ARBUTUS UNEDO 'OKTOBERFEST'	DWARF STRAWBERRY TREE	5 GAL	LOW
CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER	1 GAL	LOW
CISTUS PURPUREUS	ORCHID ROCKROSE	1 GAL	LOW
HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	LOW
LEUCOPHYLLUM FRUTESESCENS	TEXAS RANGER	5 GAL	LOW
MUHLENBERGIA CAPILLARIS	PINK MUHLY	5 GAL	LOW
RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	LOW
RHUS INTEGRIFOLIA	SUGARBUSH	5 GAL	LOW
RIBES AUREUM	GOLDEN CURRANT	5 GAL	LOW
SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL	LOW
GROUNDCOVERS			
AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	1 GAL @ 36" O.C.	LOW
BACCHARIS 'TWIN PEAKS'	DWARF COYOTE BUSH	1 GAL @ 72" O.C.	LOW
CAREX TUMULICOLA	BERKELEY SEDGE	FLATS @ 12" O.C.	LOW
CISTUS PULVERULENTUS	MAGENTA ROCKROSE	1 GAL @ 48" O.C.	LOW
DALEA GREGGII	TRAILING INDIGO BUSH	1 GAL @ 60" O.C.	LOW
GREVILLEA LANIGERA 'COASTAL GEM'	COASTAL GEM GREVILLEA	1 GAL @ 30" O.C.	LOW
	3" MINIMUM DEPTH STABILIZED DECOMPOSED GRANITE. COLOR TO BE 'CALIFORNIA GOLD'		
	3" MINIMUM DEPTH 3/4" CRUSHED ROCK. COLOR TO BE 'BARKWOOD'		

California Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET _a)	57.41	Project Type	Non-Residential	0.45			
Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
Moderate Trees	0.5	Drip	0.81	0.62	840	519	18,456
Low Shrubs - Overhead	0.3	Overhead	0.75	0.40	8,271	3,308	117,760
Low Shrubs - Drip	0.3	Drip	0.81	0.37	13,945	5,165	183,837
				Totals	23,056	8,992	320,054
						ETWU Total	320,054
						Maximum Allowed Water Allowance (MAWA)	369,297
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area	8,992						
Total Area	23,056						
Average ETAF	0.39						

CONCEPTUAL LANDSCAPE PLAN

PATTERSON BUSINESS CENTER

CITY OF PERRIS

NORTH

0 30' 60' 120'

L1

PARCEL 4
PARCEL MAP NO. 12259
P.M.B. 66/55

PARCEL 2
PARCEL MAP NO. 8943
P.M.B. 37/84

PARCEL 3
PARCEL MAP NO. 8943
P.M.B. 37/84

PARCEL 4
PARCEL MAP NO. 8943
P.M.B. 37/84

OFFICE
2,500 SF 1ST FLR
2,600 MEZZ

PATTERSON AVENUE

PLANTING LEGEND:

BOTANICAL NAME	COMMON NAME	SIZE / SPACING	WUCOLS
TREES			
LAGERSTROEMIA 'WATERMELON RED'	RED CRAPE MYRTLE	36" BOX	LOW
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AGAVE DESMETTIANA 'VARIEGATA'	VARIEGATED SMOOTH AGAVE	5 GAL	LOW
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	3" MINIMUM DEPTH STABILIZED DECOMPOSED GRANITE. COLOR TO BE 'CALIFORNIA GOLD'		
	3" MINIMUM DEPTH 3/4" CRUSHED ROCK. COLOR TO BE 'BARKWOOD'		

NOTES:
 - ALL TREES WITHIN 6' OF HARDSCAPE TO RECEIVE ROOTBARRIER
 - ALL PLANTER AREAS TO RECEIVE A 3" MINIMUM DEPTH LAYER OF SHREDDED WOOD BARK MULCH UNLESS OTHERWISE NOTED
 - PLANT WATER USE VALUES ARE PER WUCOLS IV PLANT LIST

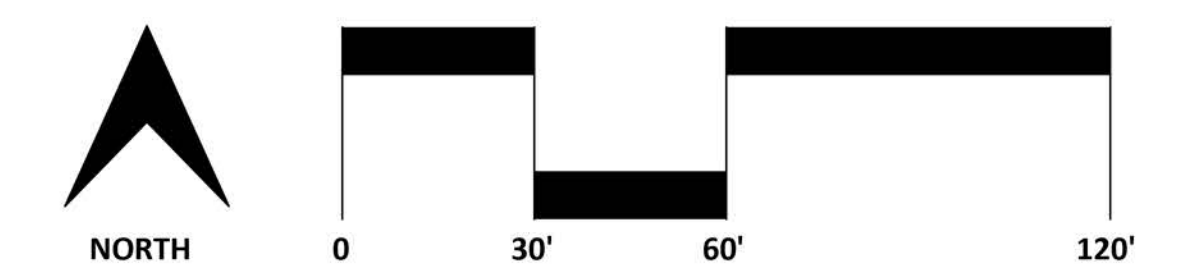
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Totals						23,056	8,992
ETWU Total						320,054	
Maximum Allowed Water Allowance (MAWA)						369,297	

Regular Landscape Areas	ETAF
Total ETAF x Area	8,992
Total Area	23,056
Average ETAF	0.39

CONCEPTUAL LANDSCAPE PLAN

PATTERSON BUSINESS CENTER

CITY OF PERRIS



L1a

