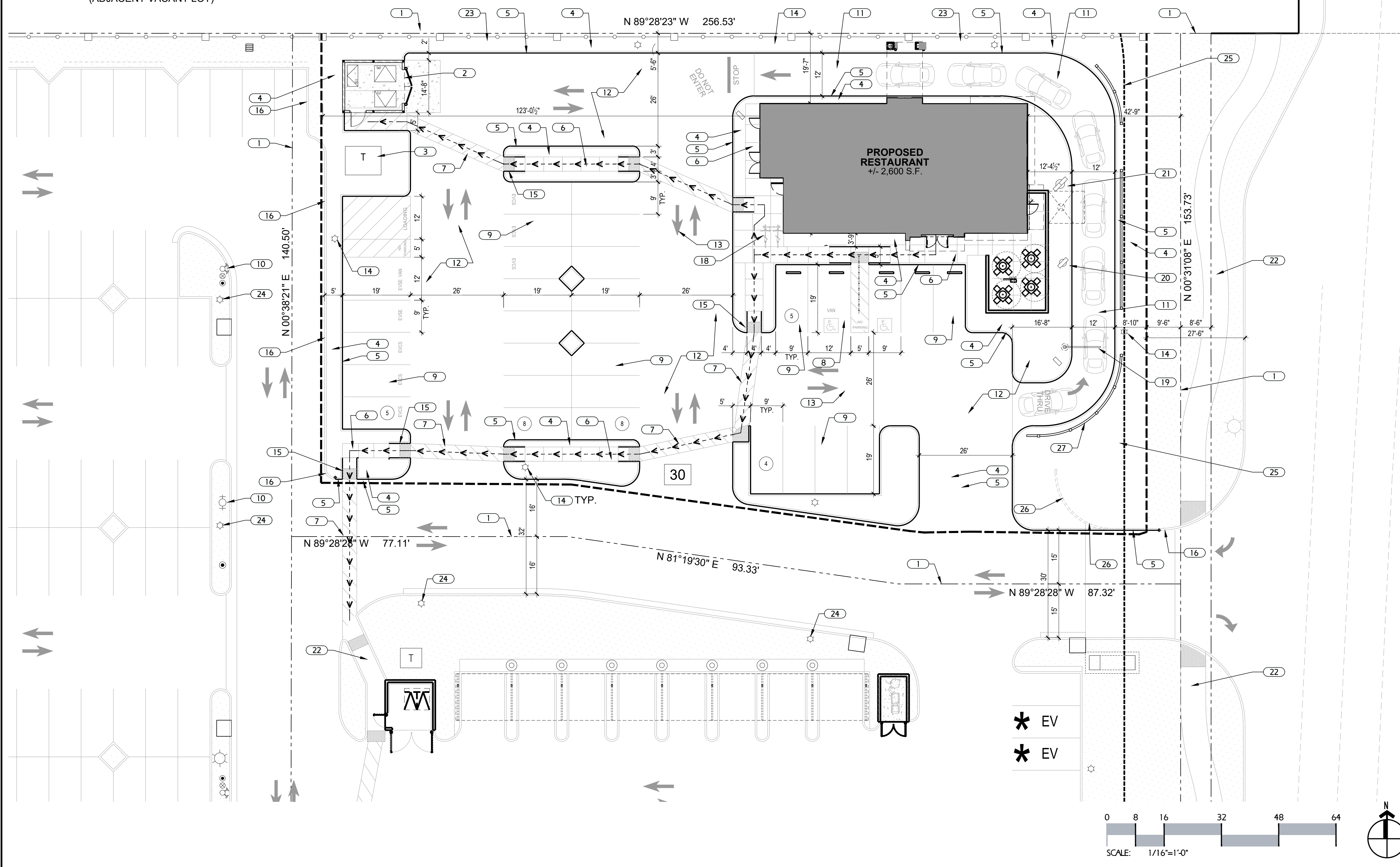


HLSP  
HARVEST LANDING SPECIFIC PLAN  
(ADJACENT VACANT LOT)

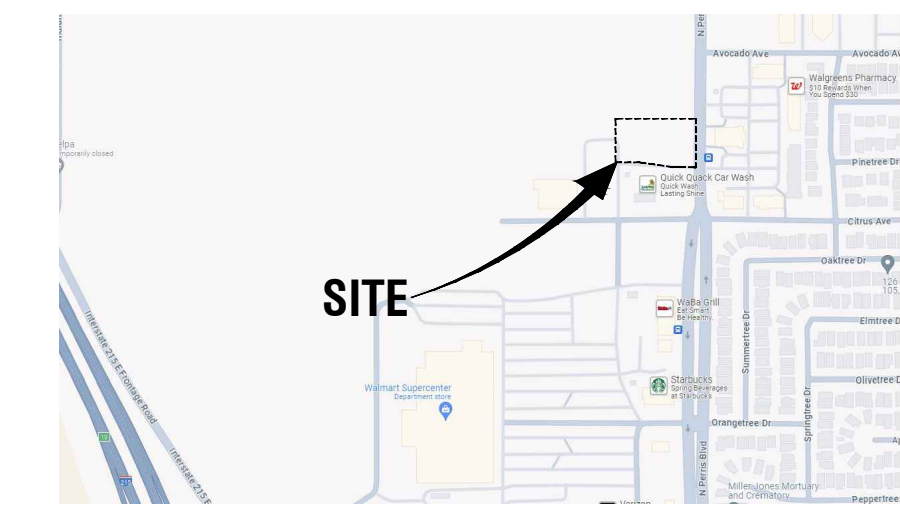


**PRELIMINARY SITE PLAN** SCALE: 1/16"=1'-0" **1**

**SHEET INDEX:**

- A0.1: SITE PLAN
- A0.2: TRASH ENCLOSURE DETAILS
- A2.0: FLOOR PLAN
- A3.0: EXTERIOR ELEVATIONS
- A3.1: EXTERIOR ELEVATIONS

**VICINITY MAP:**



**LEGEND:**

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL:
  - 48" MIN. CLEAR WIDTH
  - PATH OF TRAVEL
  - 5% MAX. SLOPE
  - 2% MAX CROSS SLOPE
- ACCESSIBLE PARKING
- SITE LIGHTING
- LANDSCAPE

**KEY NOTES:**

1. PROPERTY LINE.
2. TRASH ENCLOSURE SEE DET. 1/A0.2
3. (E) ELEC. TRANSFORMER.
4. LANDSCAPE PLANTER.
5. 6" CONCRETE CURB.
6. CONCRETE SIDEWALK.
7. PEDESTRIAN PATH OF TRAVEL.
8. ACCESSIBLE PARKING STALL (TYP.).
9. STANDARD PARKING STALL (TYP.).
10. (E) HYDRANT OR FIRE DEPT. CONNECTION
11. CONCRETE DRIVE THRU LANE.
12. A/C PAVEMENT.
13. PAINTED DIRECTIONAL ARROWS.
14. (N) SITE LIGHTS TO MATCH EXISTING.
15. CURB RAMP WITH DETECTABLE WARNING SURFACE W/ TRUNCATED DOMES.
16. (E) CURB TO PATCH (N) WORK INTO NOT USED
17. NOT USED
18. BIKE RACK FOR (2) BICYCLES. SEE DET. 10/A0.2
19. HEIGHT DETECTOR POLE
20. PRE ORDER MENU BOARD
21. ORDER MENU BOARD
22. (E) SIDE WALK
23. (E) SITE WALL - CMU PILASTERS WITH BLACK METAL FENCE, PROTECT IN PLACE
24. (E) LIGHT POLE
25. (E) EASEMENT
26. (E) CURB TO BE REMOVED
27. (N) WALL WITH PILASTERS SEE DET. 9/A0.2

**BUILDING DATA:**

TOTAL SITE AREA: 37,897 S.F (±0.87 ACRES)  
 BUILDING AREA: 2,600 S.F.  
 240 S.F. PATIO

DINING AREA: 670 SF DINING INSIDE  
 240 SF OF PATIO DINING  
 910 SF

TOTAL DINING: 910 SF

STORIES: (1)

BUILDING HEIGHT: 25'-0" (45' MAX. ALLOWED)

USE: A-2 RESTAURANT DRIVE-THRU

CONST. TYPE: V-B

COVERAGE: BLDG/PARCEL 6.86%

**PARKING AND LANDSCAPE CALCS:**

**PARKING REQUIRED:**

RESTAURANT DRIVE-THRU  
 REQ'D PARKING: 1/50 SF OF DINING +10 SPACES  
 910/50 SF +10= 28 SPACES

**PARKING PROVIDED:**

- 30 SPACES (9'X19')

INCLUDES 1 VAN ACCESSIBLE ADA, 1 REGULAR ADA AND 8 EVCS SPACES (AS REQUIRED PER 2022 GREEN BUILDING STANDARDS FOR 26-50 PARKING SPACES, INCLUDES ONE EVSE ACCESSIBLE 12' SPACE, ONE EVSE REGULAR SPACE AND 6 EVCS)

**LANDSCAPE REQUIRED:**

10% OF TOTAL SITE AREA (30,933 SF) = 3,093 S.F LANDSCAPE IS REQUIRED.

LANDSCAPE PROVIDED: 6,030 S.F

**SITE DATA:**

CLIENT: POLLO CAMPERO OF CA., LLC  
 12404 PARK CENTRAL DR. #250N  
 DALLAS, TX 75251

PROJECT ADDRESS: NWC OF PERRIS BLVD. & CITRUS AVE  
 PERRIS, CA 92571

JURISDICTION: CITY OF PERRIS, CA

APN: 305-150-065

CC (COMMERCIAL COMMUNITY)

SETBACKS:

- FRONT : 10'
- SIDE : 10'
- REAR: 10'

CONSULTANT:



38 EXECUTIVE PARK  
 SUITE 310  
 IRVINE, CA 92614

STAMP:

PROJECT OWNER:



R164

PROJECT ADDRESS:

NWC OF PERRIS BLVD. & CITRUS AVE.,  
 PERRIS, CA 92571

ISSUE FOR DESCRIPTION:

PLANNING RE-SUBMITTAL

ISSUE DATE:

08/28/2024

REVISIONS:

NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	04/11/2024
2	PLANNING RE-SUBMITTAL	08/28/2024

PROJECT MANAGER:

VK

DRAWN BY:

J.C

PROJECT NUMBER:

PCC21008.0

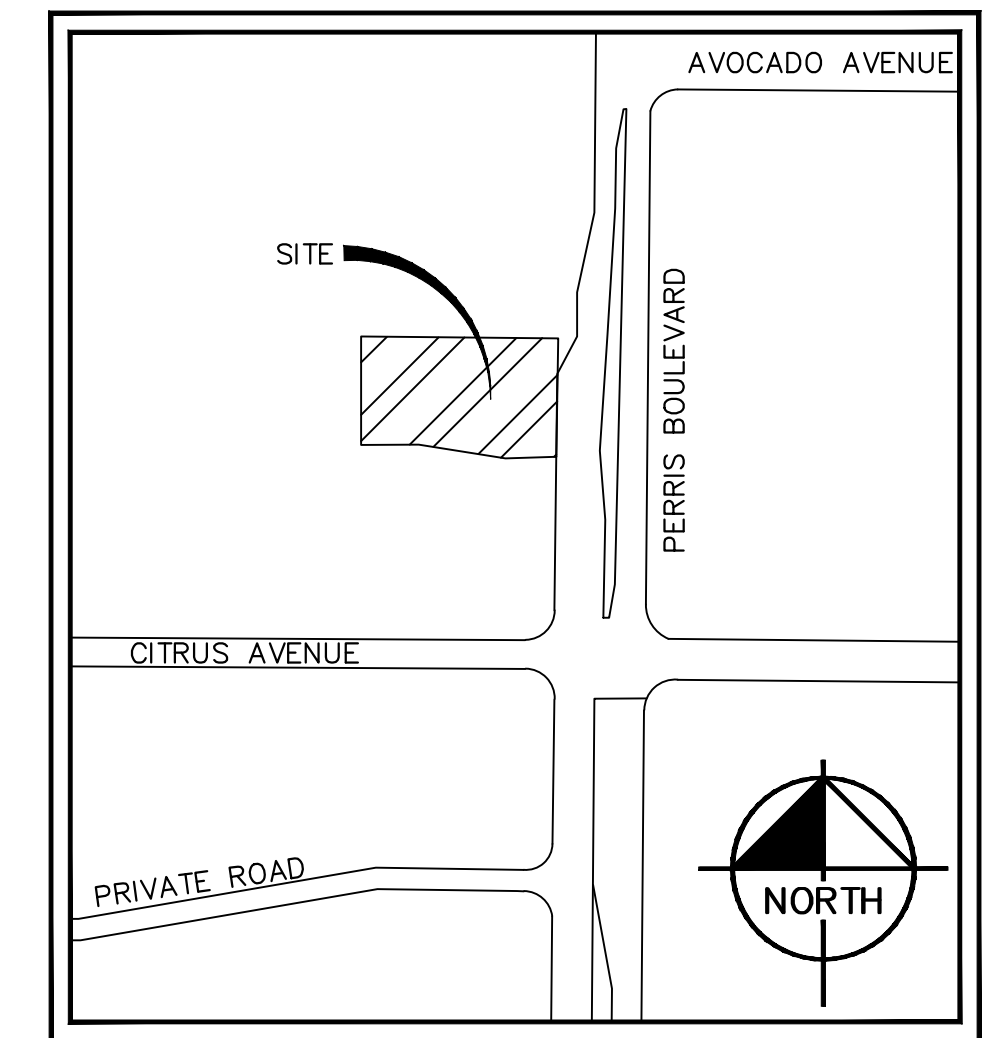
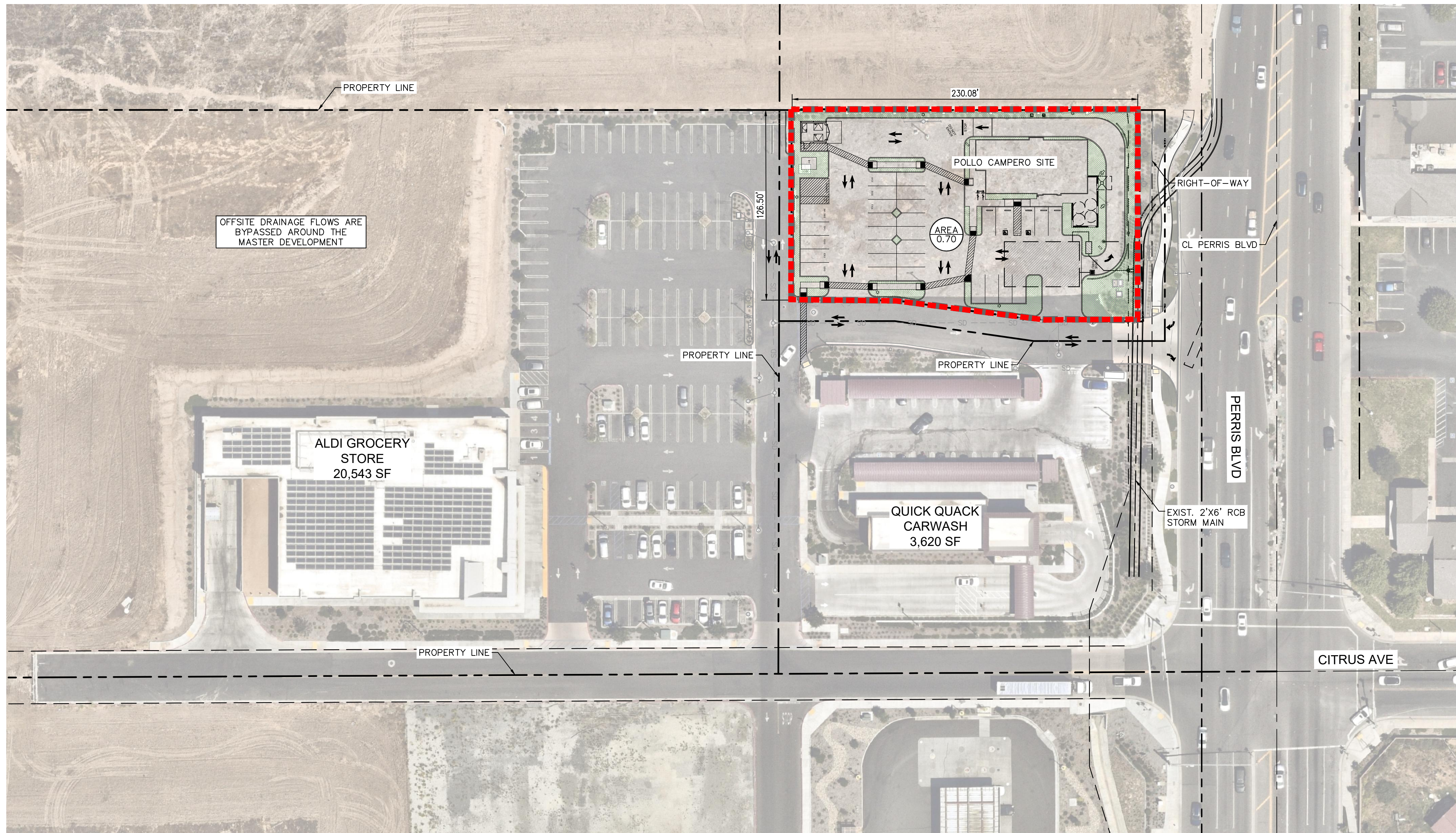
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SITE PLAN

SHEET NUMBER:

**A0.1**

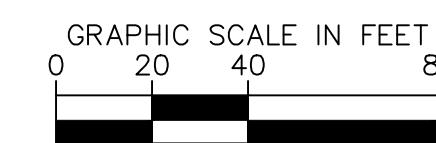
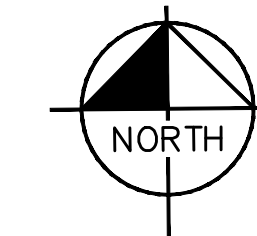
Drawing name: K:\RIV\_LDEV\Pollo Campero\195367002 - Pollo Campero (Perris)\CAD\Exhibits\OVERALL SITE PLAN\_Perris.dwg W01.0 Oct 17, 2024 4:40pm by: Jessi Dreschler  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. No use or improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



VICINITY MAP  
NTS

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LIMITS OF DISTURBANCE
- LANDSCAPE AREA



**811**  
Know what's below.  
Call before you dig.

DIAL TOLL FREE  
**811**  
AT LEAST TWO DAYS  
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT - SOUTHERN CALIFORNIA

**BENCH MARK:**  
ELEVATIONS SHOWN HEREON ARE BASED UPON RIVERSIDE COUNTY BENCHMARK M-26, ELEVATION 1436.24 FEET (NGVD 29)

**DESCRIPTION:**  
IN THE INTERSECTION OF PERRIS BOULEVARD AND NUEVO ROAD A 1" IRON PIPE IN A CAP WELL MONUMENT AND MARKED COUNTY SURVEYOR.

MARK	BY	DATE	REVISIONS	APPR	DATE
AF		09/06/24	2ND CUP SUBMITTAL		
AF		04/10/24	1ST CUP SUBMITTAL		
ENGINEER				CITY	

CITY OF PERRIS

APPROVED BY: \_\_\_\_\_  
CONTRACT CITY ENGINEER DATE



**Kimley»Horn**

3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501  
PHONE: 951-543-9868

PREPARED BY: \_\_\_\_\_  
DATE: 10/17/2024

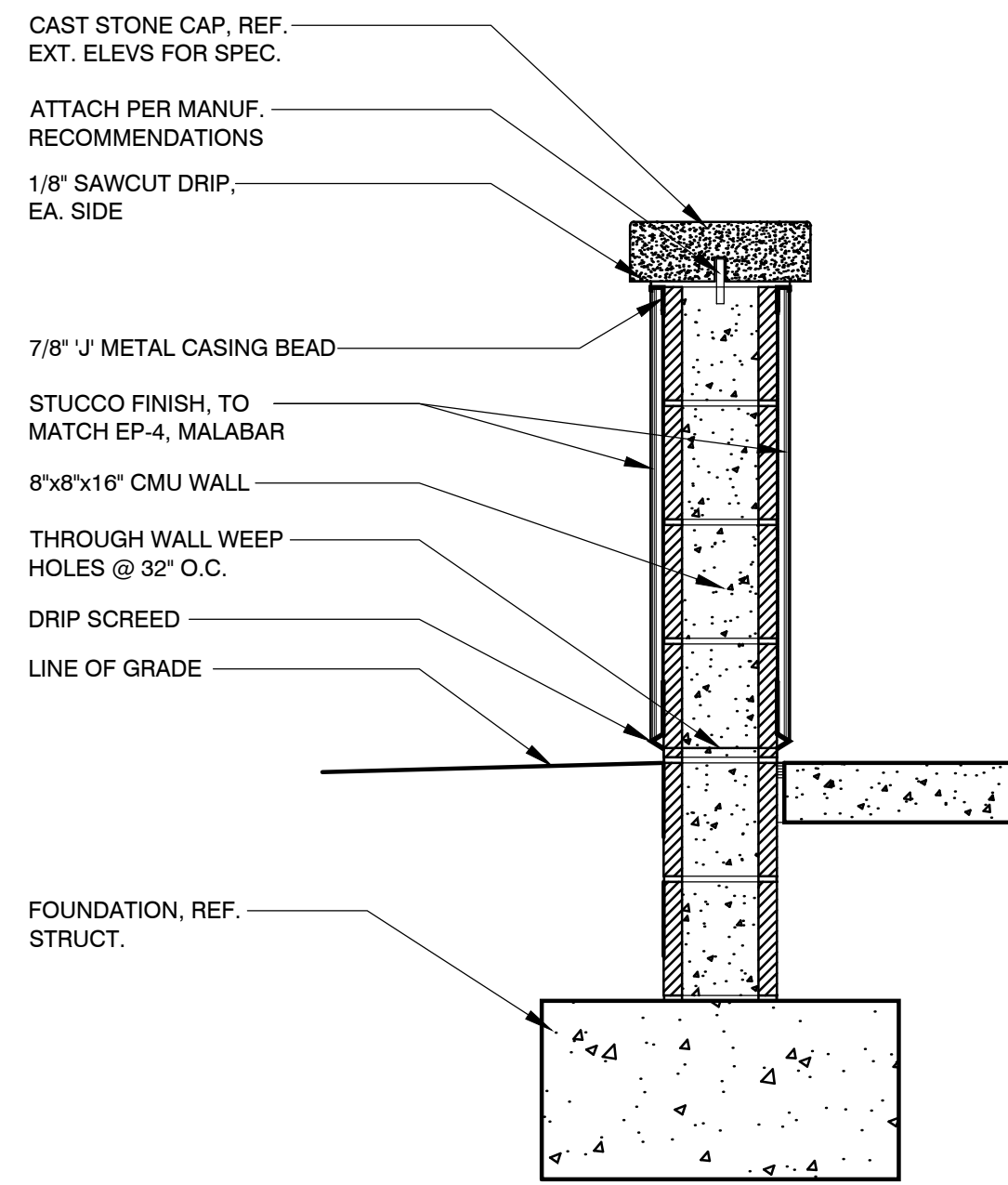
JOHN POLLOCK R.C.E. 86160

OVERALL SITE PLAN  
ADDENDUM TO PERRIS MARKETPLACE  
(P19-05039) PARCEL 3  
POLLO CAMPERO (P24-05095)  
APN: 305-150-065 - PERRIS, CA

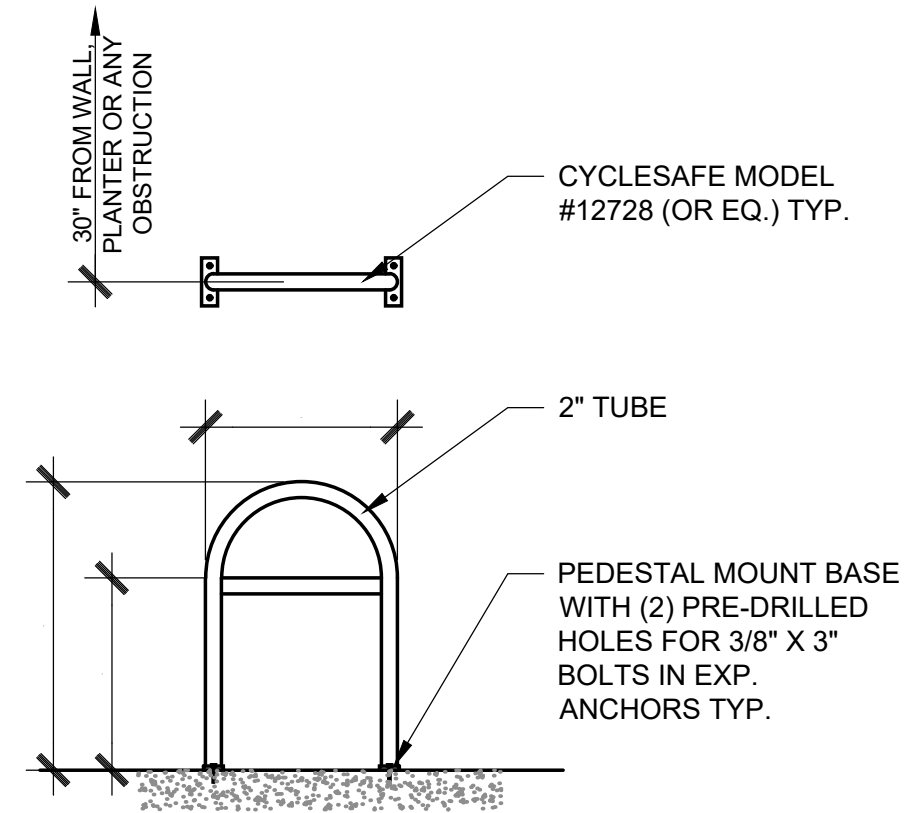
EXHIBIT  
A

SHEET 1 OF 1

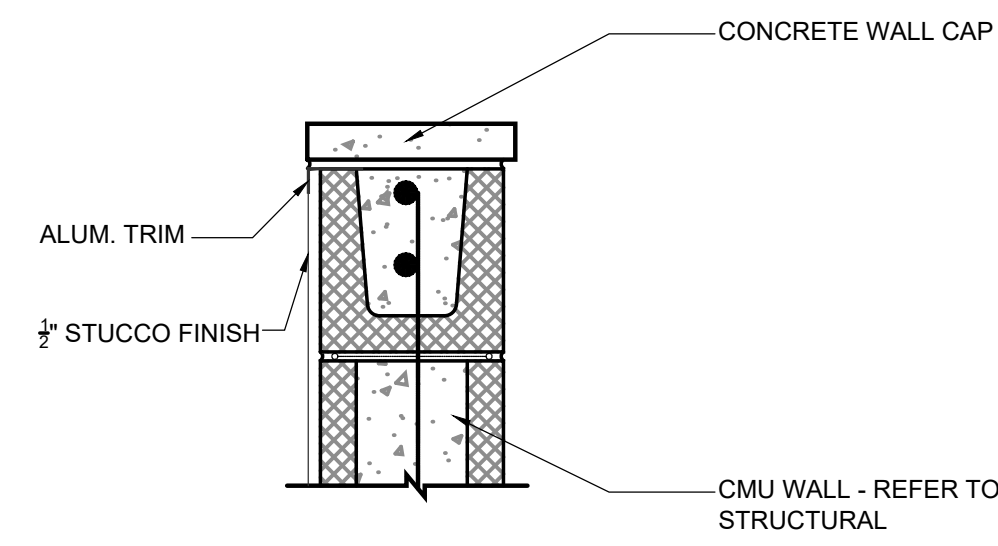
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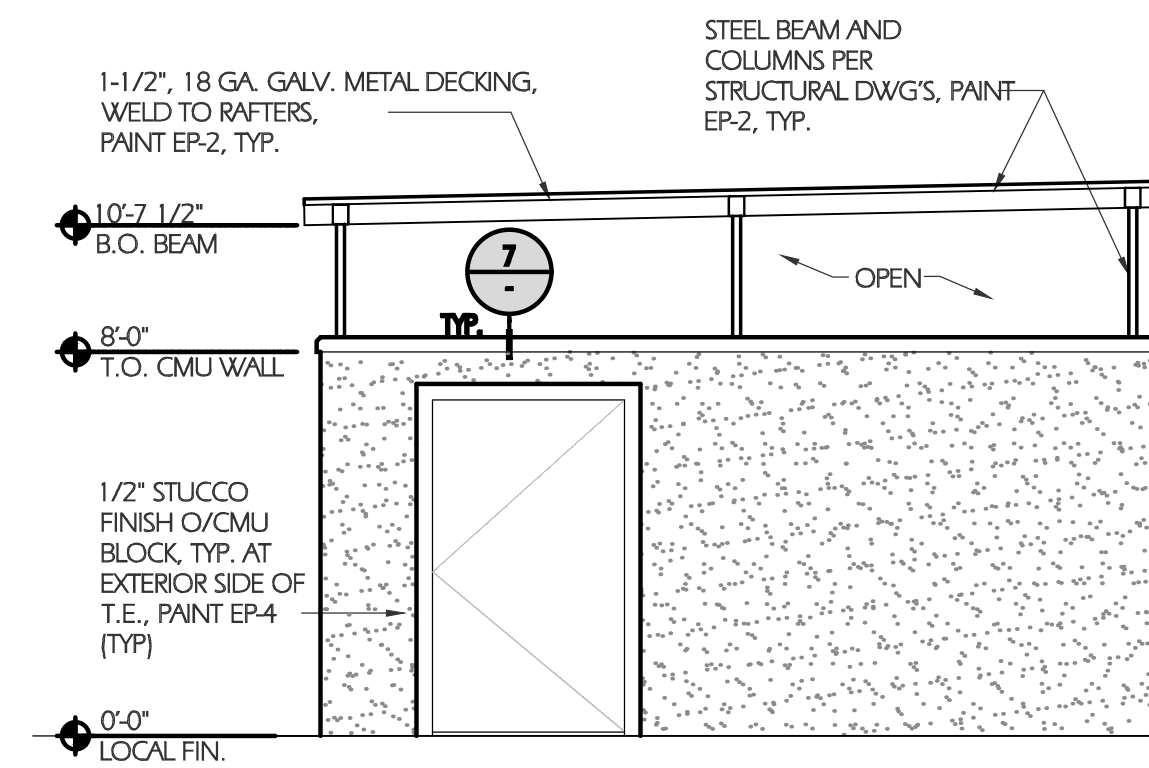
**SECTION AT SITE WALL** SCALE 3/4"=1'-0" 13



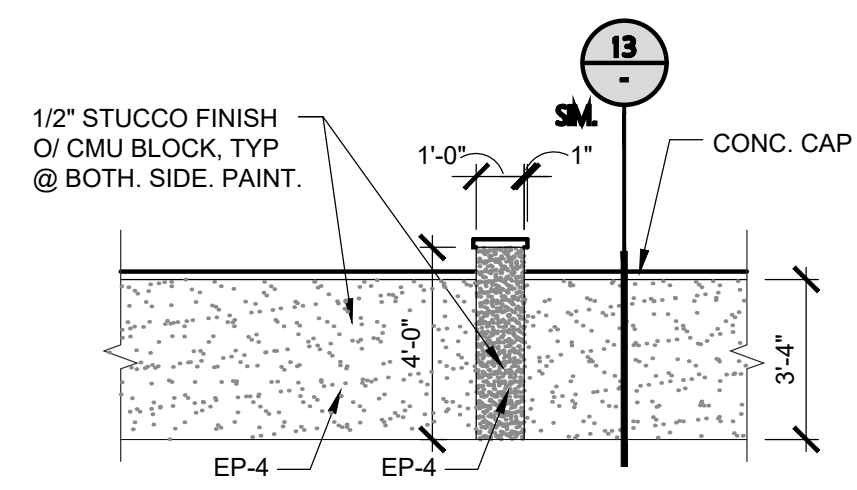
**BIKE RACK DETAIL** SCALE 1/2"=1'-0" 10



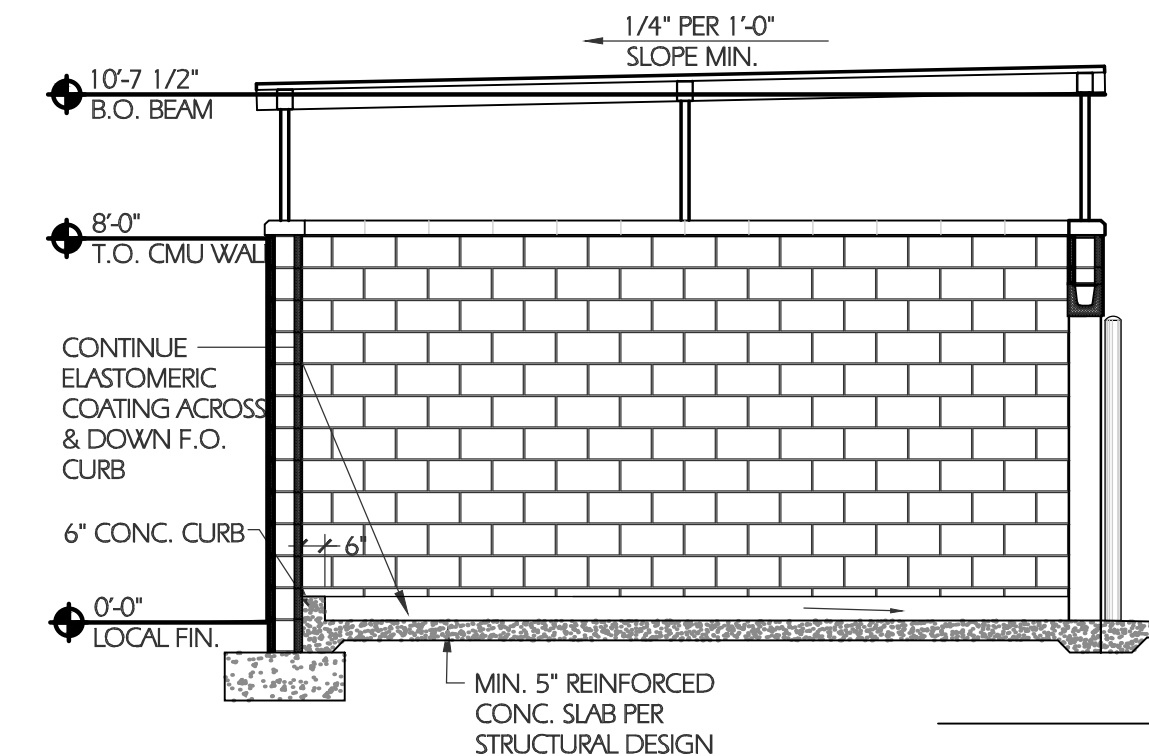
**TRASH ENCLOSURE WALL DETAIL** SCALE 1 1/2"=1'-0" 7



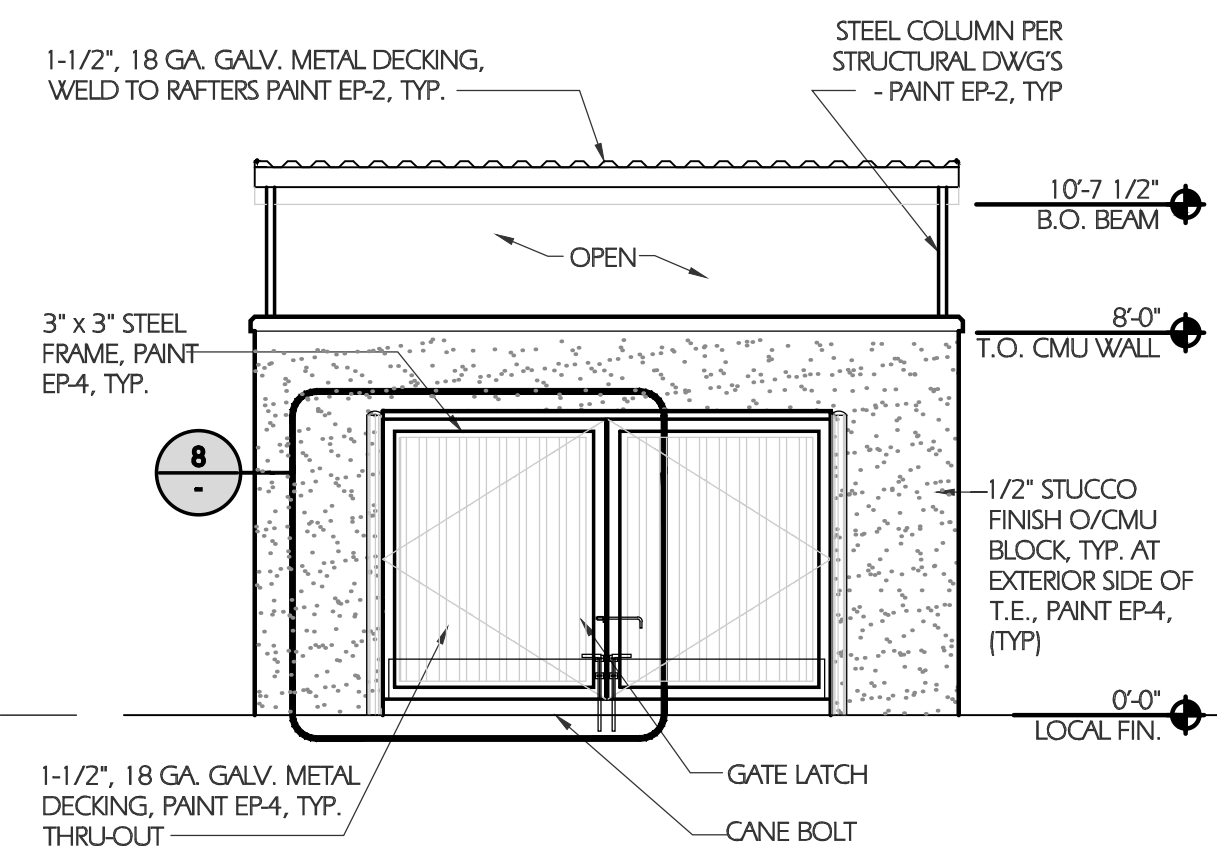
**NORTH ELEVATION** SCALE 1/4"=1'-0" 3



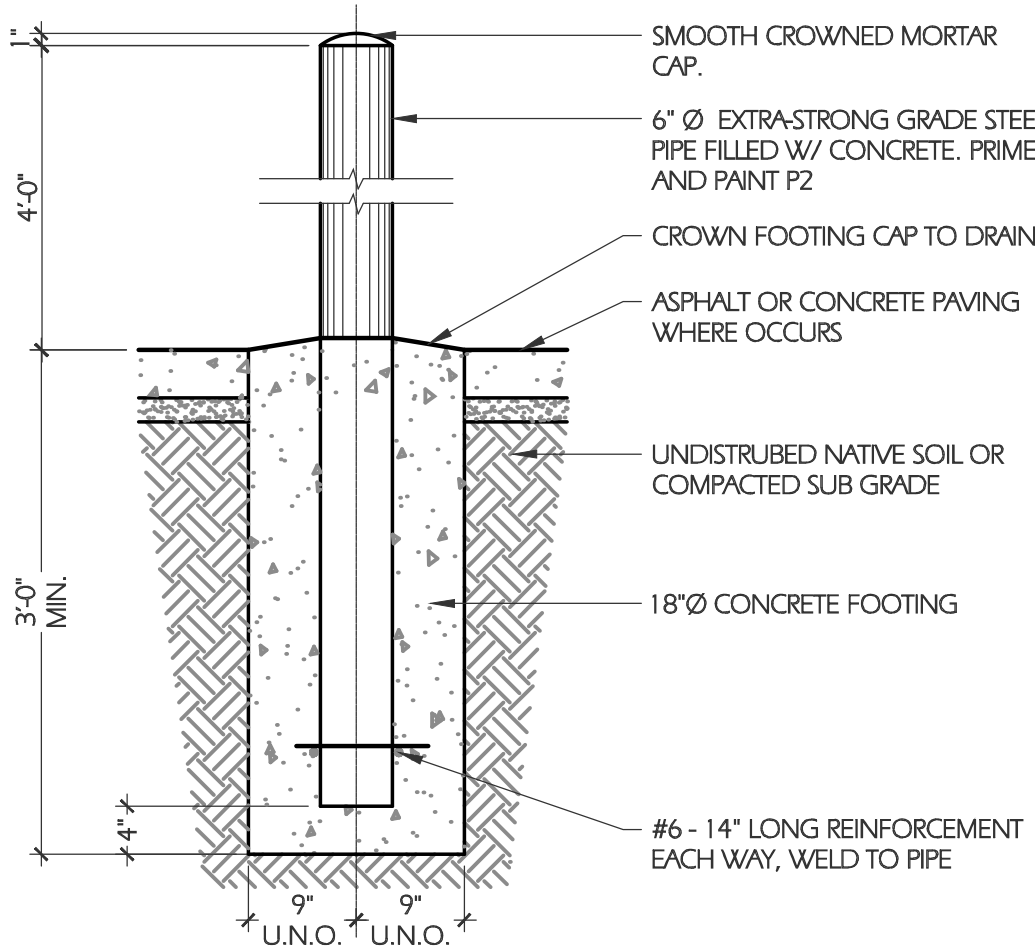
**SITE WALL @ D.T. ELEVATION** SCALE 1/2"=1'-0" 9



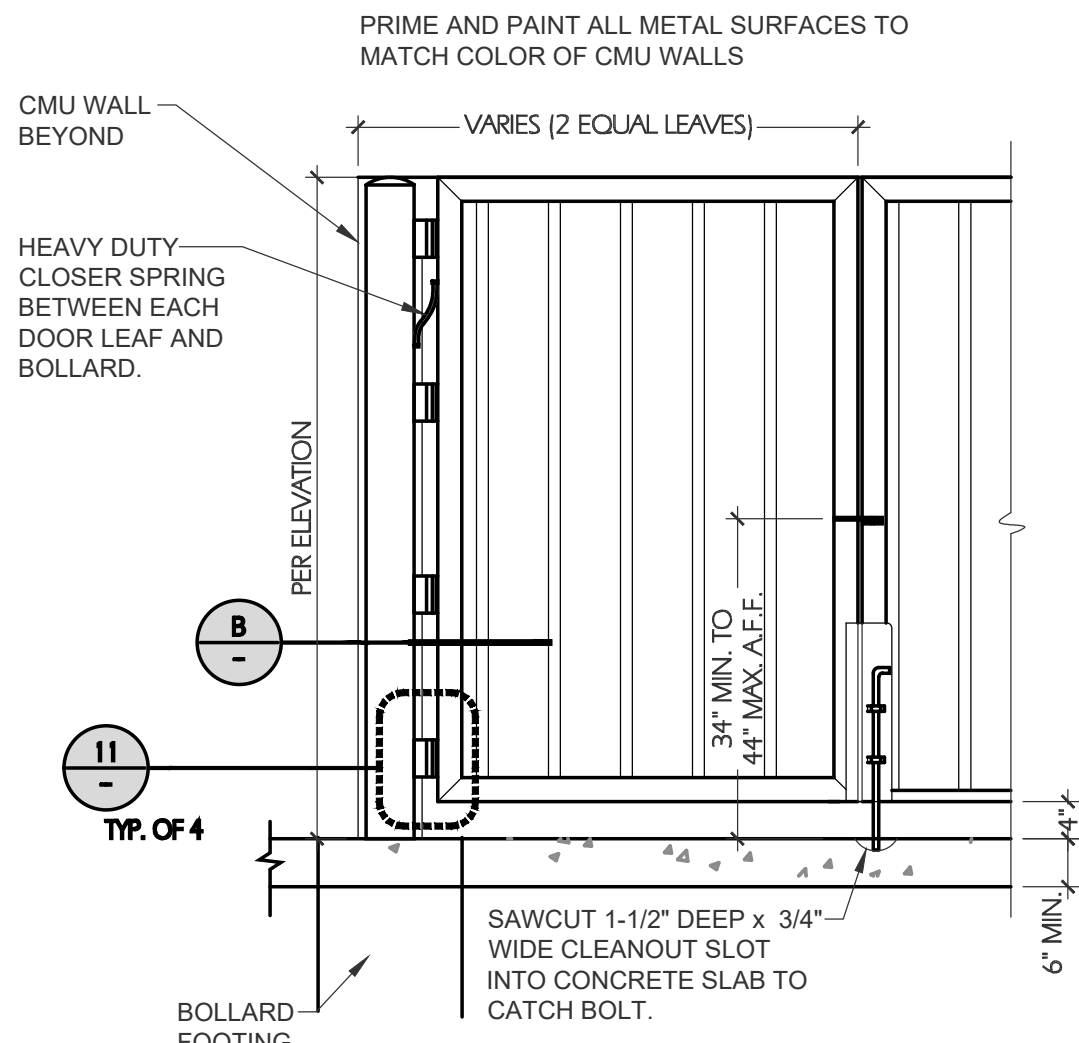
**TRASH ENCLOSURE SECTION** SCALE 1/4"=1'-0" 6



**EAST ELEVATION** SCALE 1/4"=1'-0" 2

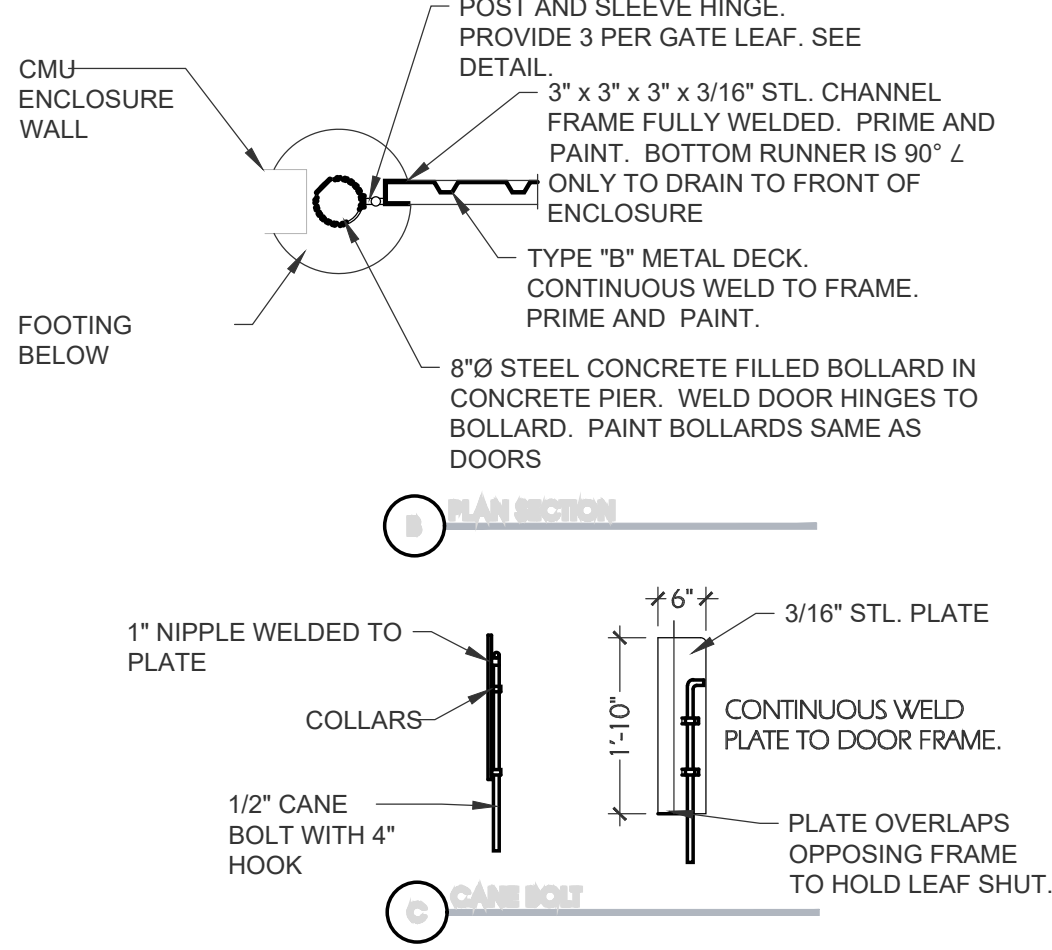


**TRAFFIC BOLLARD** SCALE 3/4"=1'-0" 12



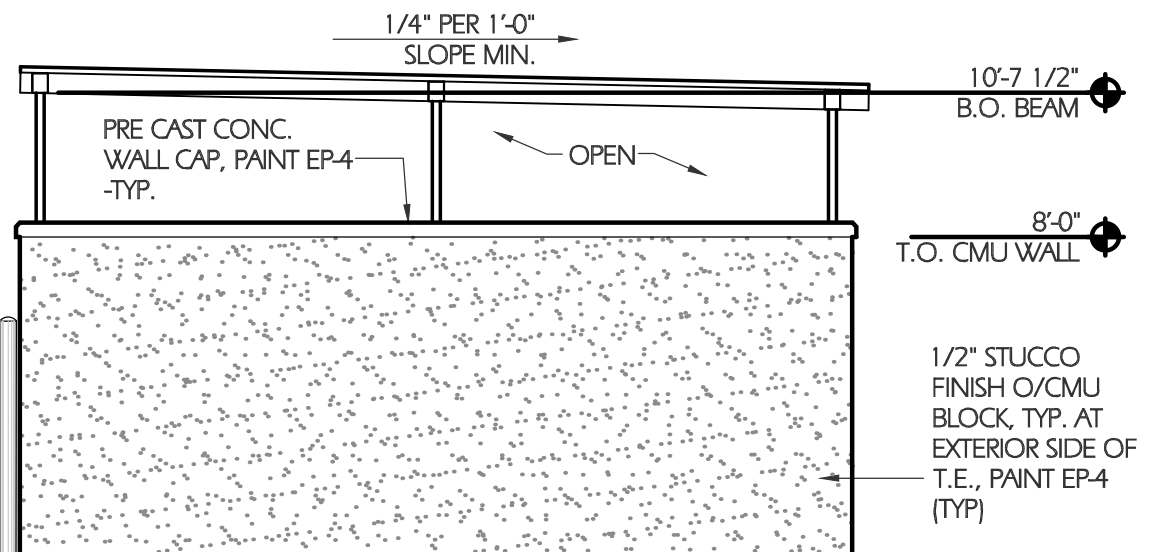
NOTE: LUBRICATE INTERIOR OF SLEEVE AND SURFACES OF SLIP RINGS WITH HD INDUSTRIAL GREASE PRIOR TO INSTALLATION OF GATE.

**GATE HINGE** SCALE 3"=1'-0" 11

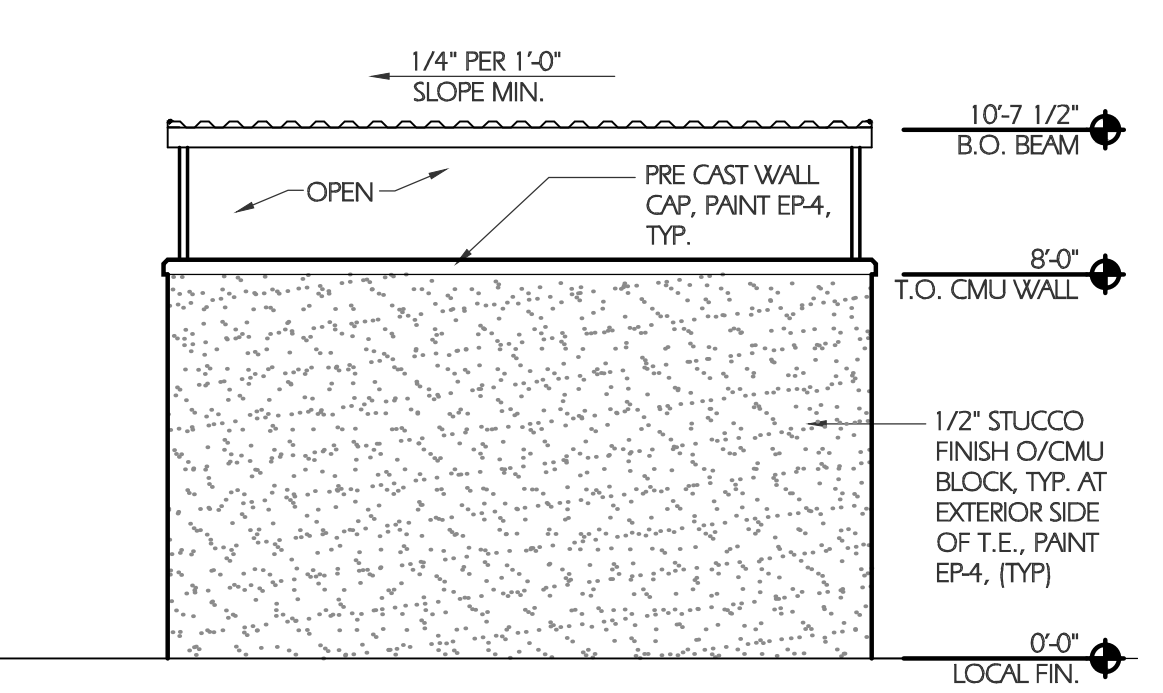


**TRASH ENCLOSURE GATE** SCALE 1/4"=1'-0" 8

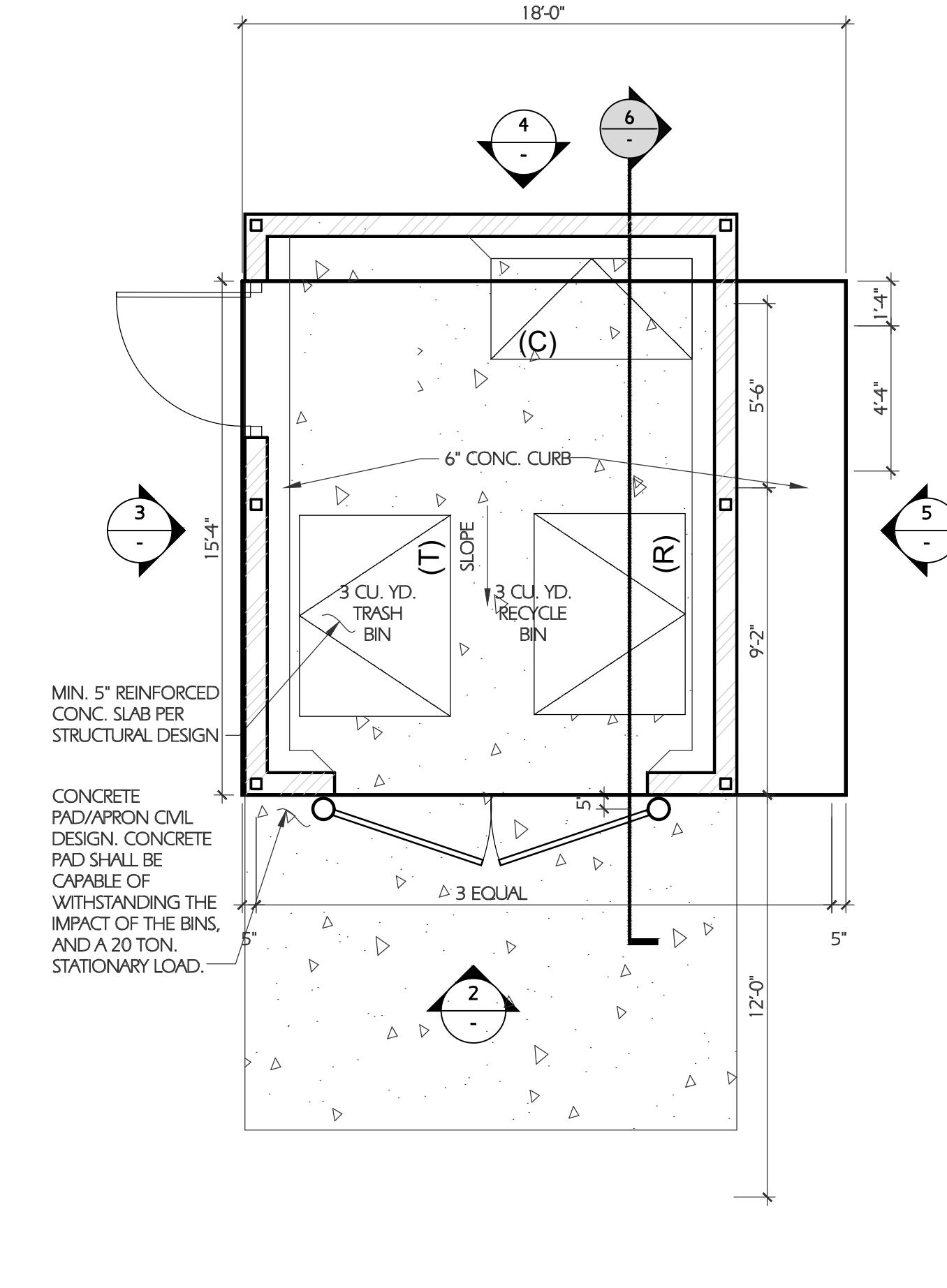
FINISH SCHEDULE	
EXTERIOR PAINT	
EP-1	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR FINISH: SW 6885 KNOCKOUT ORANGE, EGGSHELL NOTES: PRIME AND 2 FINISH COATS
EP-2	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR FINISH: SW 2856 FAIRFAX BROWN NOTES: PRIME AND 2 FINISH COATS
EP-4	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR FINISH: SW 9110 MALABAR NOTES: PRIME AND 2 FINISH COATS



**SOUTH ELEVATION** SCALE 1 1/2"=1'-0" 5



**WEST ELEVATION** SCALE 1/4"=1'-0" 4



**TRASH ENCLOSURE PLAN** SCALE 1/4"=1'-0" 1

CONSULTANT:



38 EXECUTIVE PARK SUITE 310 IRVINE, CA 92614

STAMP:

PROJECT OWNER:



R164

PROJECT ADDRESS:

NWC OF PERRIS BLVD. & CITRUS AVE., PERRIS, CA 92571

ISSUE FOR DESCRIPTION:

PLANNING RE-SUBMITTAL

ISSUE DATE:

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PROJECT MANAGER:

VK

DRAWN BY:

J.C

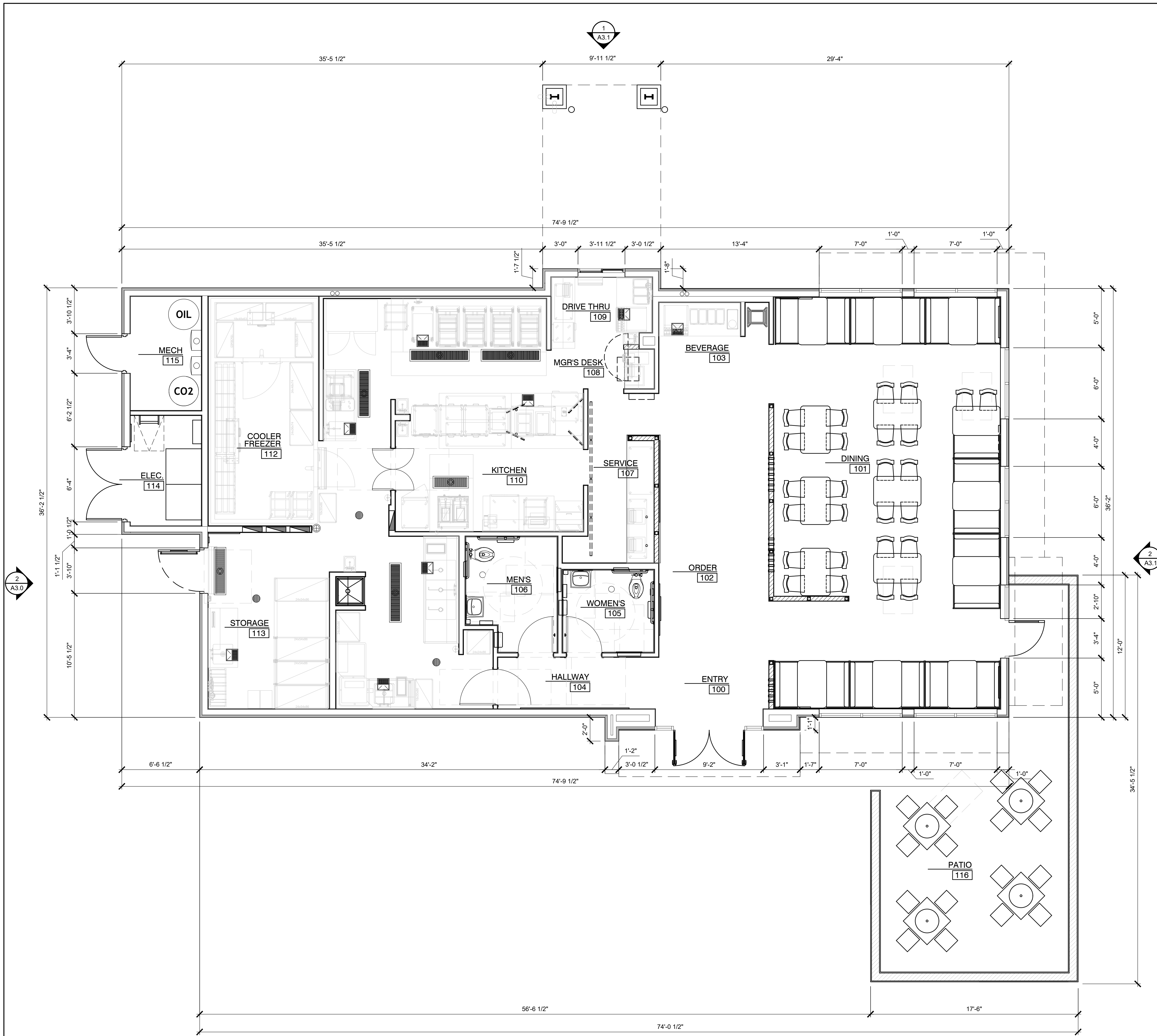
PROJECT NUMBER: PCC21008.0

SHEET TITLE:

TRASH ENCLOSURE DETAILS

SHEET NUMBER:

A0.2



**GENERAL NOTES - FLOOR PLAN**

- INTERIOR PARTITIONS ARE DIMENSIONED TO THE FACE OF THE FINISHED WALL. EXTERIOR WALL DIMENSIONS ARE TO FACE OF STUD, COLUMN GRIDS OR THE EDGE OF SLAB AS NOTED.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS. NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN DRAWING CONDITIONS AND FIELD CONDITIONS.
- PROVIDE BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES. PROVIDE FIRE-RESISTANT BLOCKING WHEN REQUIRED BY CODE.
- ALL PARTITIONS WITH SINKS AND / OR WET EQUIPMENT, ALL WALLS IN TOILET ROOMS, AND ALL WALLS IN KITCHEN AREA ARE TO HAVE 5/8" CEMENT BOARD TO MINIMUM 1'-0" FROM THE FLOOR. THE BALANCE OF WALL SHEATHING IN WET AREAS IS TO BE 5/8" TYPE 'X' WATER RESISTANT GYPSUM BOARD UNLESS NOTED OTHERWISE.
- MINIMUM DIMENSION FROM ANY CORNER OR WALL TO FRAMING STUD AT A DOOR JAMB OPENING SHALL BE 4 INCHES UNLESS NOTED OTHERWISE.
- ALL PARTITION FRAMING NOT BRACED TO PERIMETER WALLS ARE TO BE SECURED OR DIAGONALLY BRACED AT MINIMUM 4'-0" O.C. REFER TO PARTITION TYPES AND RELATED DETAILS.
- APPROVED FIRE EXTINGUISHERS ARE TO BE PROVIDED AND INSTALLED AS REQUIRED BY LOCAL AUTHORITY.

**WALL LEGEND**

	EXTERIOR WALL
	INTERIOR WALL
	PARTIAL HEIGHT WALL
	NEW WALK-IN COOLER FREEZER WALL

**BUILDING AREA BREAKDOWN**

INDOOR DINING ROOM:	670 SF
SERVICE COUNTER AND ENTRY:	445 SF
KITCHEN AND BOH:	1,485 SF
TOTAL BUILDING SF:	2,600 SF
PATIO DINING:	240 SF

**CONSULTANT:**

**PM DESIGN**  
Architectural Solutions Group

38 EXECUTIVE PARK  
SUITE 310  
IRVINE, CA 92614

---

**STAMP:**

---

**PROJECT OWNER:**

**Pollo CAMPERO**

R164

---

**PROJECT ADDRESS:**

NWC OF PERRIS BLVD. & CITRUS AVE.,  
PERRIS, CA 92571

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**PROJECT MANAGER:**

VK

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**DRAWN BY:**

J.C.

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**PROJECT NUMBER:** PCC21008.0

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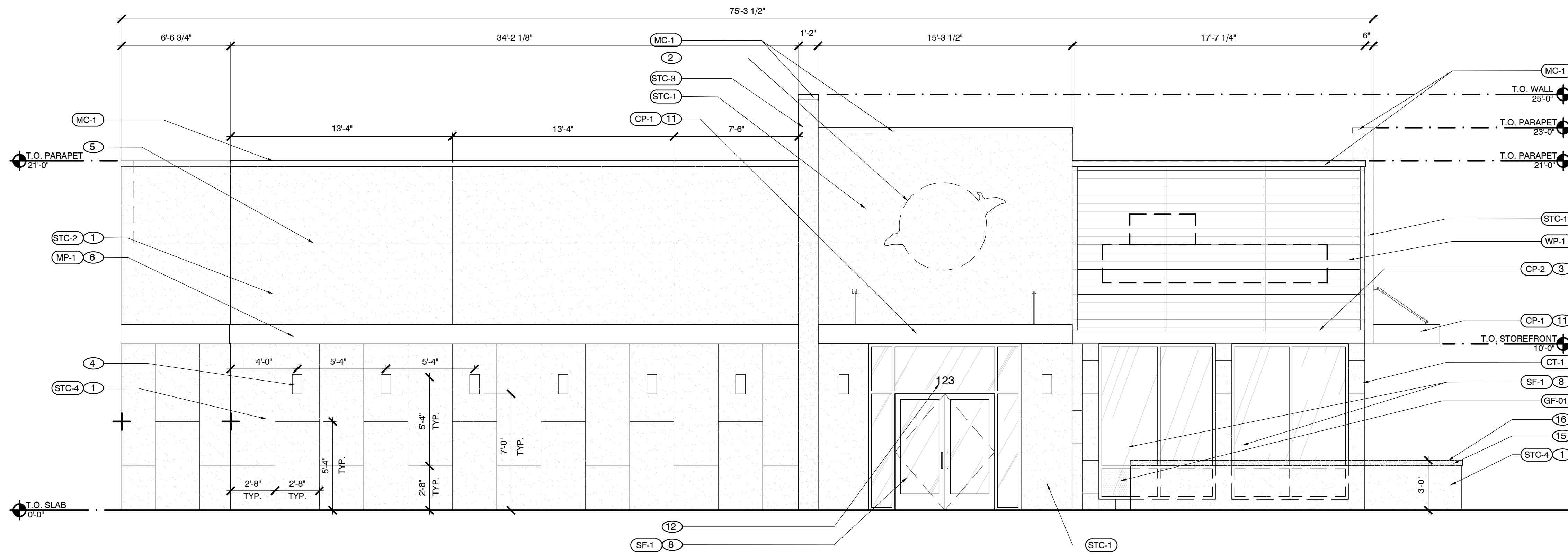
**SHEET TITLE:**

FLOOR PLAN

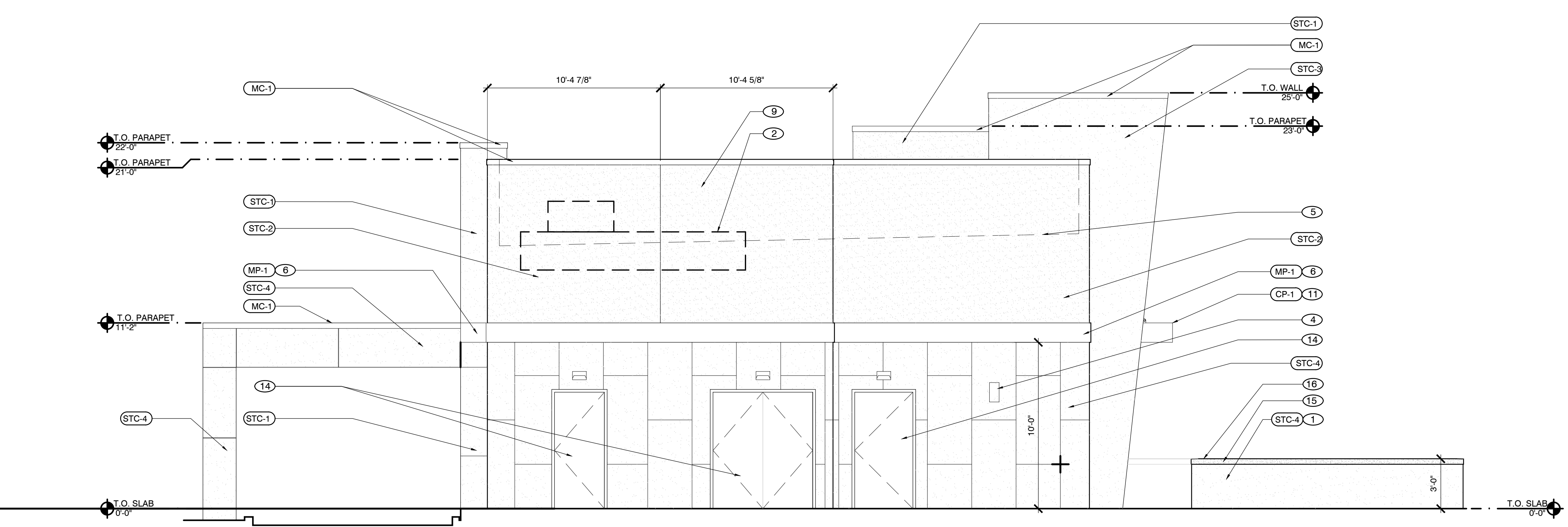
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**SHEET NUMBER:**

**A2.0**



**01 Exterior Elevation - South**  
SCALE: 1/4" = 1'-0"



**02 Exterior Elevations - West**  
SCALE: 1/4" = 1'-0"

KEYNOTES	
1	STO STUCCO SYSTEM
2	APPROXIMATE LOCATION FOR SIGNAGE BY SIGNAGE VENDOR (UNDER SEPARATE PERMIT)
3	GREEN METAL CANOPY AT WINDOWS, BY SIGNAGE
4	EXTERIOR WALL MOUNTED LIGHT FIXTURE, REF. ELEC. DRAWINGS FOR SPEC.
5	LINE OF ROOF DECK BEYOND
6	ALUMINUM BAND
7	DOWNSPOUT NOZZLE
8	STOREFRONT FRAMING SYSTEM
9	STUCCO CONTROL JOINT
10	DRIVE-THRU WINDOW
11	SILVER METAL CANOPY W/ DOWN LIGHTS AT ENTRY/DRIVE THRU, BY SIGNAGE
12	LOCATION OF BUILDING NUMBER
13	LOCATION OF KNOX BOX (VERIFY LOCATION WITH FIRE MARSHAL)
14	DOOR
15	CAST STONE CAP
16	PATIO LOW WALL

EXTERIOR FINISHES	
C#	DESCRIPTION
STUCCO	
STC-1	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-1, KNOCKOUT ORANGE
STC-2	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-2, FAIRFAX BROWN
STC-3	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-3, HIGH STRUNG
STC-4	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-4, MALABAR
EXTERIOR PAINT	
EP-1	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 6985 KNOCKOUT ORANGE, EGGSHELL NOTES: PRIME AND 2 FINISH COATS
EP-2	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 2856 FAIRFAX BROWN NOTES: PRIME AND 2 FINISH COATS
EP-3	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 6705 HIGH STRUNG NOTES: PRIME AND 2 FINISH COATS
EP-4	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 9110 MALABAR NOTES: PRIME AND 2 FINISH COATS
EP-5	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 6258 TRICORN BLACK NOTES: PRIME AND 2 FINISH COATS
EP-6	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 6233 SAMOVAR SILVER NOTES: PRIME AND 2 FINISH COATS
EXTERIOR CERAMIC WALL TILE	
CT-1	MANUFACTURER: CROSSVILLE PRODUCT: PORCELAIN TILE, 12" x 24" SERIES / COLOR: COLOR BLOX, COTTON SHEETS GROUT: POLYBLEND, HAYSTACK #380
METAL COPING	
MC-1	PRODUCT: GALVANIZED AND FACTORY FINISHED PARAPET COPING COLOR / FINISH: ANODIC CLEAR FINISH (METALLIC) - 'EP-6'
METAL PANELING	
MP-1	PRODUCT / FINISH: METAL PANELING COLOR: POLISHED ALUMINUM - 'EP-6'
CANOPY	
CP-1	MANUFACTURER: CUSTOM BUILT PRODUCT: METAL CANOPY, STRUCTURAL SHAPES AND PANELS COLOR / FINISH: ANODIC CLEAR FINISH (METALLIC) - 'EP-6' NOTES: PRIME, 2 COLOR AND 2 FINISH COATS
CP-2	MANUFACTURER: CUSTOM BUILT PRODUCT: METAL CANOPY, STRUCTURAL SHAPES AND PANELS COLOR / FINISH: TO MATCH 'EP-3', CLEAR FINISH NOTES: PRIME, 2 COLOR AND 2 FINISH COATS
WALL PANELS	
WP-1	MANUFACTURER: NICHHA, COMPOSITE PANEL OF CEMENT, FLY ASH, SILICA AND WOOD FIBER PRODUCT / FINISH: VINTAGEWOOD BARK AWP 1818 17'-7 7/8" H x 71'-9/16" L
STOREFRONT	
SF-1	PRODUCT / FINISH: CLEAR ANODIZED ALUMINUM, KAWNER OR EQ. GLASS FILM
GF-01	MANUFACTURER: 3M FASARA GLASS FINISHES PRISM/DOT PRODUCT: LUNA 6 SH2PCL6 COLOR: WHITE APPLY ON INTERIOR SIDE OF GLASS CLASS A-ASTM E84 FIRE CLASSIFICATION

CONSULTANT:

38 EXECUTIVE PARK  
SUITE 310  
IRVINE, CA 92614

STAMP:

PROJECT OWNER:

R164

PROJECT ADDRESS:  
NWC OF PERRIS BLVD. & CITRUS AVE.,  
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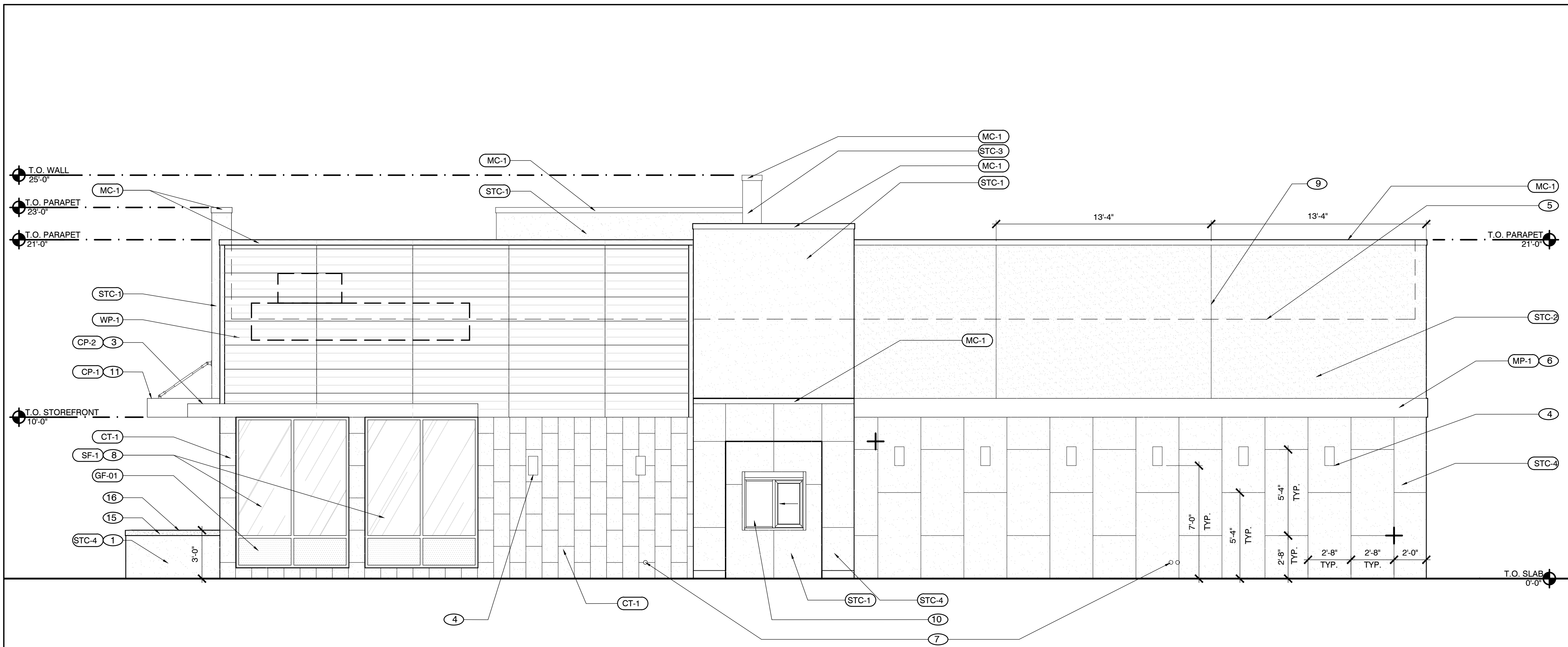
PROJECT MANAGER:  
VK

DRAWN BY:  
J.C

PROJECT NUMBER: PCC21008.0

SHEET TITLE:  
EXTERIOR ELEVATIONS

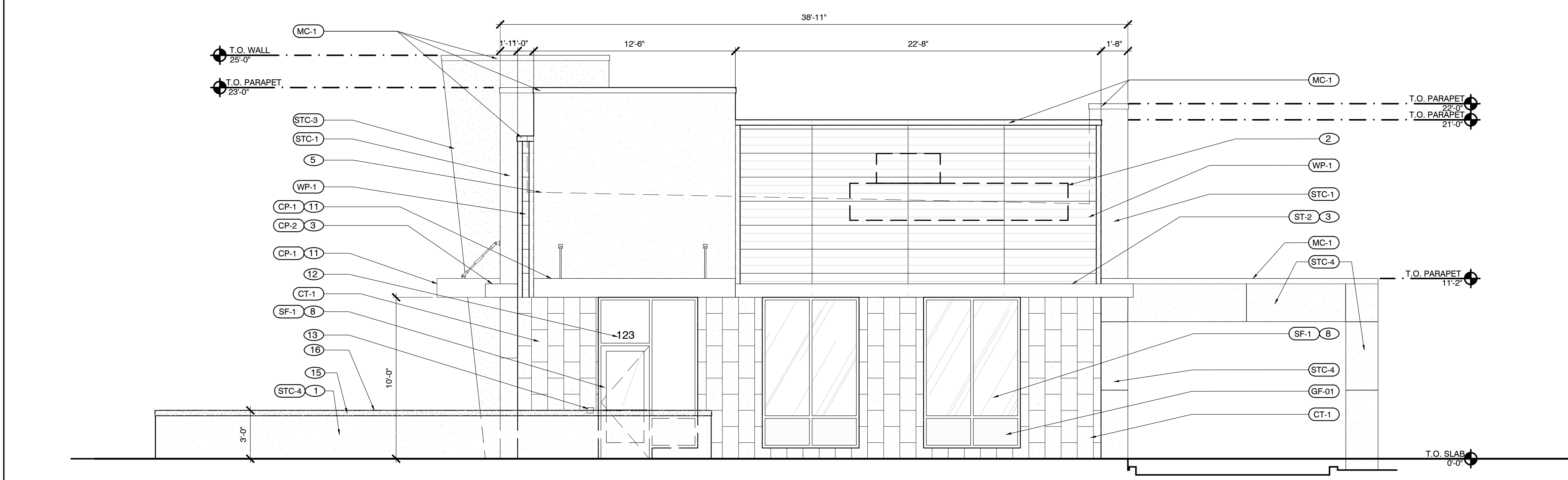
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**A3.0**



KEYNOTES	
1	STO STUCCO SYSTEM
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STC-3	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-3, HIGH STRUNG
STC-4	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-4, MALABAR
EXTERIOR PAINT	
EP-1	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 6985 KNOCKOUT ORANGE, EGGSHELL NOTES: PRIME AND 2 FINISH COATS
EP-2	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 2856 FAIRFAX BROWN NOTES: PRIME AND 2 FINISH COATS
EP-3	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 6705 HIGH STRUNG NOTES: PRIME AND 2 FINISH COATS
EP-4	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 9110 MALABAR NOTES: PRIME AND 2 FINISH COATS
EP-5	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 6258 TRICORN BLACK NOTES: PRIME AND 2 FINISH COATS
EP-6	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR / FINISH: SW 6233 SAMOVAR SILVER NOTES: PRIME AND 2 FINISH COATS
EXTERIOR CERAMIC WALL TILE	
CT-1	MANUFACTURER: CROSSVILLE PRODUCT: PORCELAIN TILE, 12" x 24" SERIES / COLOR: COLOR BLOX, COTTON SHEETS GROUT: POLYBLEND, HAYSTACK #380
METAL COPING	
MC-1	PRODUCT: GALVANIZED AND FACTORY FINISHED PARAPET COPING COLOR / FINISH: ANODIC CLEAR FINISH (METALLIC) - "EP-6"
METAL PANELING	
MP-1	PRODUCT / FINISH: METAL PANELING COLOR: POLISHED ALUMINUM - "EP-6" CANOPY
CP-1	MANUFACTURER: CUSTOM BUILT PRODUCT: METAL CANOPY, STRUCTURAL SHAPES AND PANELS COLOR / FINISH: ANODIC CLEAR FINISH (METALLIC) - "EP-6" NOTES: PRIME, 2 COLOR AND 2 FINISH COATS
CP-2	MANUFACTURER: CUSTOM BUILT PRODUCT: METAL CANOPY, STRUCTURAL SHAPES AND PANELS COLOR / FINISH: TO MATCH "EP-3", CLEAR FINISH NOTES: PRIME, 2 COLOR AND 2 FINISH COATS
WALL PANELS	
WP-1	MANUFACTURER: NICHHA, COMPOSITE PANEL OF CEMENT, FLY ASH, SILICA AND WOOD FIBER PRODUCT / FINISH: VINTAGEWOOD BARK AWP 1818 17'-7 7/8" H x 71'-9/16" L
STOREFRONT	
SF-1	PRODUCT / FINISH: CLEAR ANODIZED ALUMINUM, KAWNER OR EQ. GLASS FILM
GF-01	MANUFACTURER: 3M FASARA GLASS FINISHES PRISM/DOT PRODUCT: LUNA 6 SH2PCL6 COLOR: WHITE APPLY ON INTERIOR SIDE OF GLASS CLASS A-ASTM E84 FIRE CLASSIFICATION

**01** Exterior Elevation - North  
SCALE: 1/4" = 1'-0"



**02** Exterior Elevations - East  
SCALE: 1/4" = 1'-0"

CONSULTANT:

**PM DESIGN**  
Architectural Solutions Group

38 EXECUTIVE PARK  
SUITE 310  
IRVINE, CA 92614

STAMP:

PROJECT OWNER:

**Bill CAMPERO**

R164

PROJECT ADDRESS:  
NWC OF PERRIS BLVD. & CITRUS AVE.,  
PERRIS, CA 92571

ISSUE FOR DESCRIPTION:  
PLANNING RE-SUBMITTAL

ISSUE DATE:  
08/28/2024

REVISIONS:

NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	04/11/2024
2	PLANNING RE-SUBMITTAL	08/28/2024

PROJECT MANAGER:  
VK

DRAWN BY:  
J.C

PROJECT NUMBER: PCC21008.0

SHEET TITLE:  
EXTERIOR ELEVATIONS

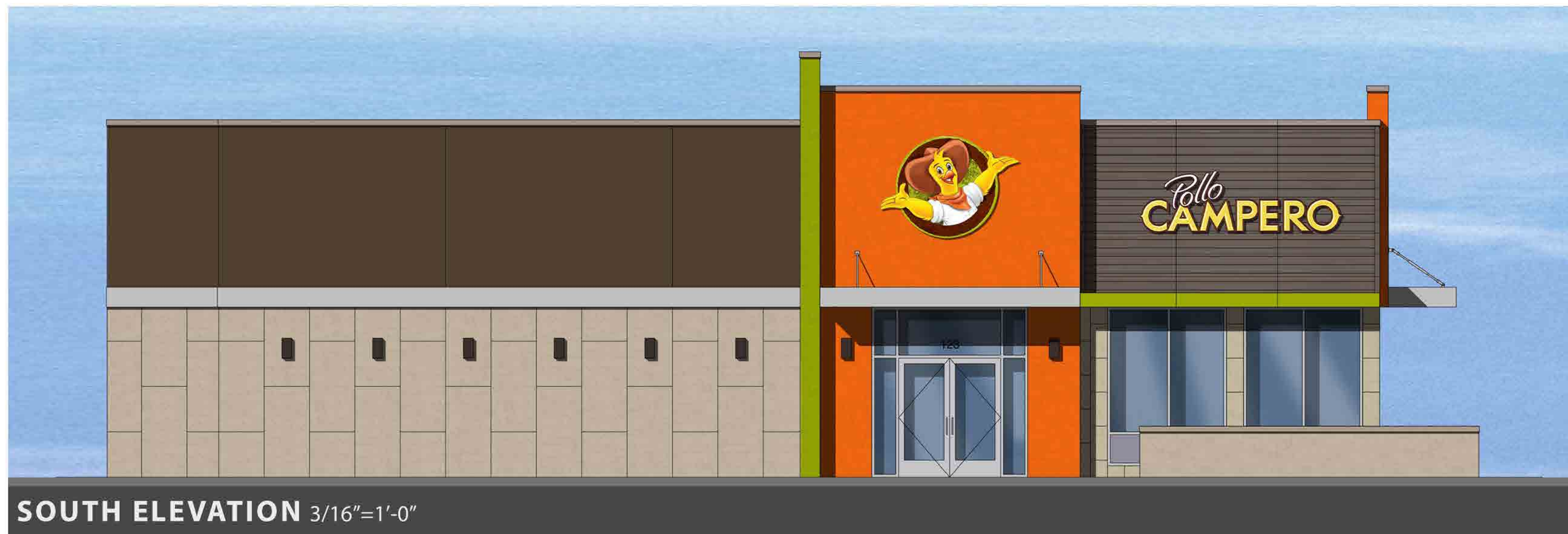
SHEET NUMBER:  
**A3.1**



EAST ELEVATION 3/16"=1'-0"



WEST ELEVATION 3/16"=1'-0"



SOUTH ELEVATION 3/16"=1'-0"



NORTH ELEVATION 3/16"=1'-0"

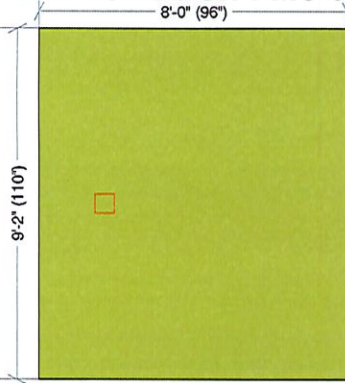
MATERIAL LEGEND:

- |   |   |   |   |
|---|---|---|---|
|  |  |  |  |
| SHERWIN WILLIAM<br>SW6885<br>KNOCKOUT ORANGE  | SHERWIN WILLIAM<br>SW2586<br>FAIRFAX BROWN  | SHERWIN WILLIAM<br>SW9110<br>MALABAR  | DALTILE EVO2 LIGHT  |
|  |  |  |   |
| PAC-CLAD ANODIC CLEAR   | NICHIHA<br>VINTAGEWOOD BARK   | SHERWIN WILLIAM<br>SW6705<br>HIGH STRUNG  |   |

# ILLUMINATED DRIVE THRU CANOPY<sub>D1</sub>

NOT UNDER ADDITIONAL SIGNAGE/BUILDING PERMIT, ELEMENTS ILLUSTRATED HERE ARE PERMITTED UNDER MASTER BUILDING PERMIT. CONDUIT AND FOUNDATION PROVIDED BY GC.

## CANOPY TOP: PAINT TO MATCH PMS 383C



### Specifications

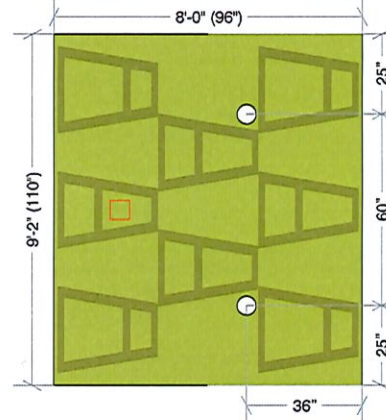
CANOPY TOP & BOTTOM: .063 ALUMINUM PAINTED TO MATCH PATTERN  
ALUMINUM FRAME: PAINTED GREEN PMS 166C.  
STEEL POST: PAINTED ORANGE PMS 166C.  
BASE PLATE INSTALLATION.  
PRE-WIRED WITH TWO (2) 6" LED LIGHTS.

CANOPY TOP IS GREEN PMS 383C.  
BOTTOM/UNDERNEATH IS GREEN PMS 383C WITH GLYPH'S PMS 392C.  
MATTHEWS CUSTOM SILVER COLOR TRIM AROUND SIDES.

### Color Guide

GREEN PMS 383C
GREEN PMS 392C
ORANGE PMS 166C - 3M 3630-44
MATTHEWS CUSTOM SILVER

## CANOPY UNDERSIDE:



### Specifications

ROUTED .125" ALUMINUM LETTERS WELDED TO 1/4" x 2" x 46 3/8" FLAT BAR PAINTED ORANGE PMS 166C

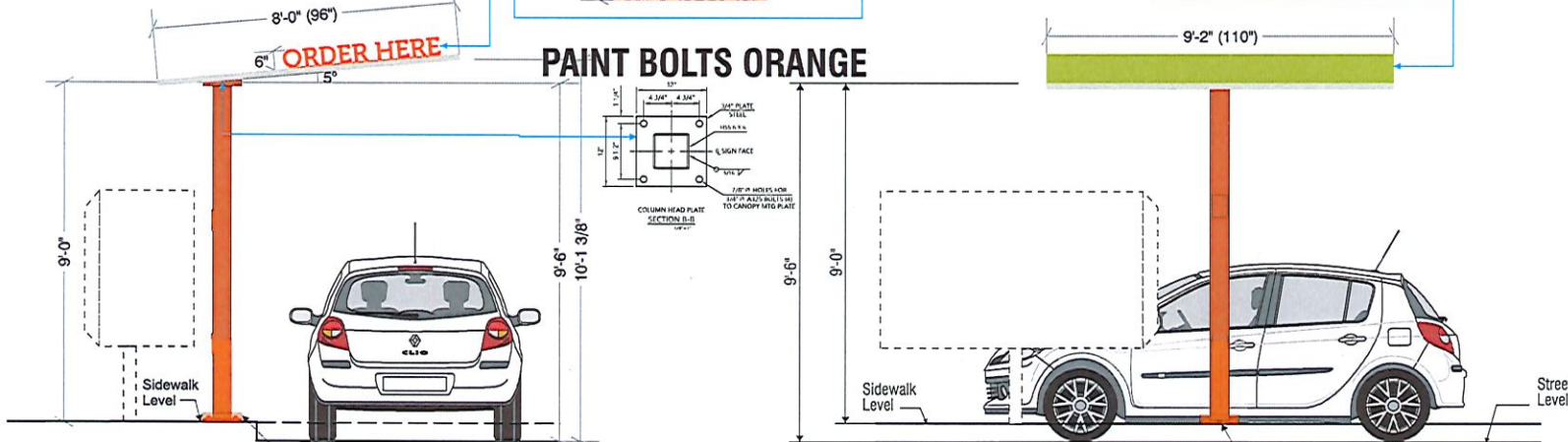
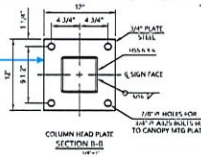
### Color Guide

ORANGE PMS 166C - 3M 3630-44
------------------------------

ROUTED .125" ALUMINUM LETTERS WELDED TO 1/4" x 2" x 46 3/8" FLAT BAR PAINTED ORANGE PMS 166C

50 1/8"  
6" **ORDER HERE**

## PAINT BOLTS ORANGE



DRIVE THRU CANOPY LAYOUT  
SCALE 1:60

12 1/2" x 12 1/2" x 3" H base plate cover: .090 aluminum  
Sits on ground to cover base plate after installation:  
Caulk with paintable caulking, paint orange to match pole

Top view of cover Hole for 6"x 6" pole

3021 RIDGE RD., STE 292  
ROCKWALL, TX 75032  
PHONE/FAX: 469-264-7171

ACCOUNT REP  
**DONNA LUKENBILL**

DESIGNER <b>JRL</b>	DATE <b>08.05.2024</b>
REVISION <b>6</b>	PAGE TIME <b>9.0 HOURS</b>

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### REVISION NOTES:

- R1 - 08.02.2023
- R2 - 03.01.2024 - Updated to latest standards
- R3 - 04.09.2024 - Updated with latest site plan and elevations
- R4 - 04.17.2024 - Add CL sign to SOUTH ELEVATION
- R5 - 08.05.2024 - Updated to latest standards
- R6 - 09.05.2024 - Updated with latest site plan & elevations, changed to green canopies, updated to latest DT Canopy standard

NOTE: PRIMARY ELECTRIC TO BE BROUGHT TO ALL SIGN LOCATIONS BY OTHERS. SIGNS CONNECTED ONLY IF POWER IS SUPPLIED WITHIN 3' OF INSTALLATION SITE.

NOTE: All possible improvements to match colors of the 3M films or Pantone matching system colors have been provided. No exact color scheme can be guaranteed, due to printing limitations, environmental factors, and other characteristics that change how we perceive color.

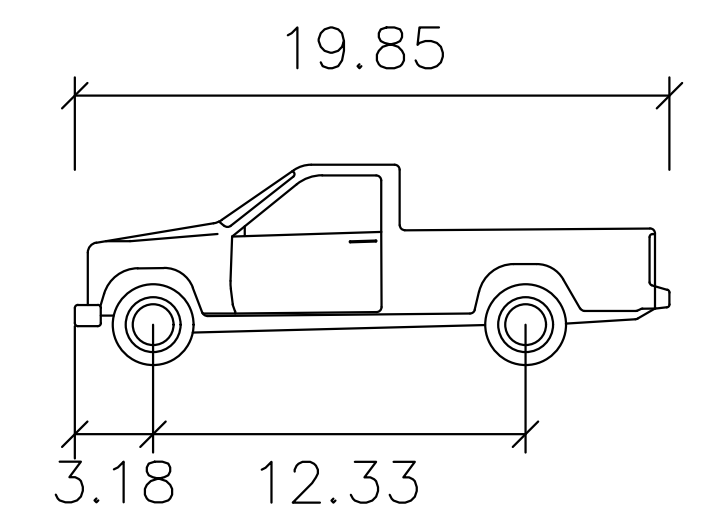
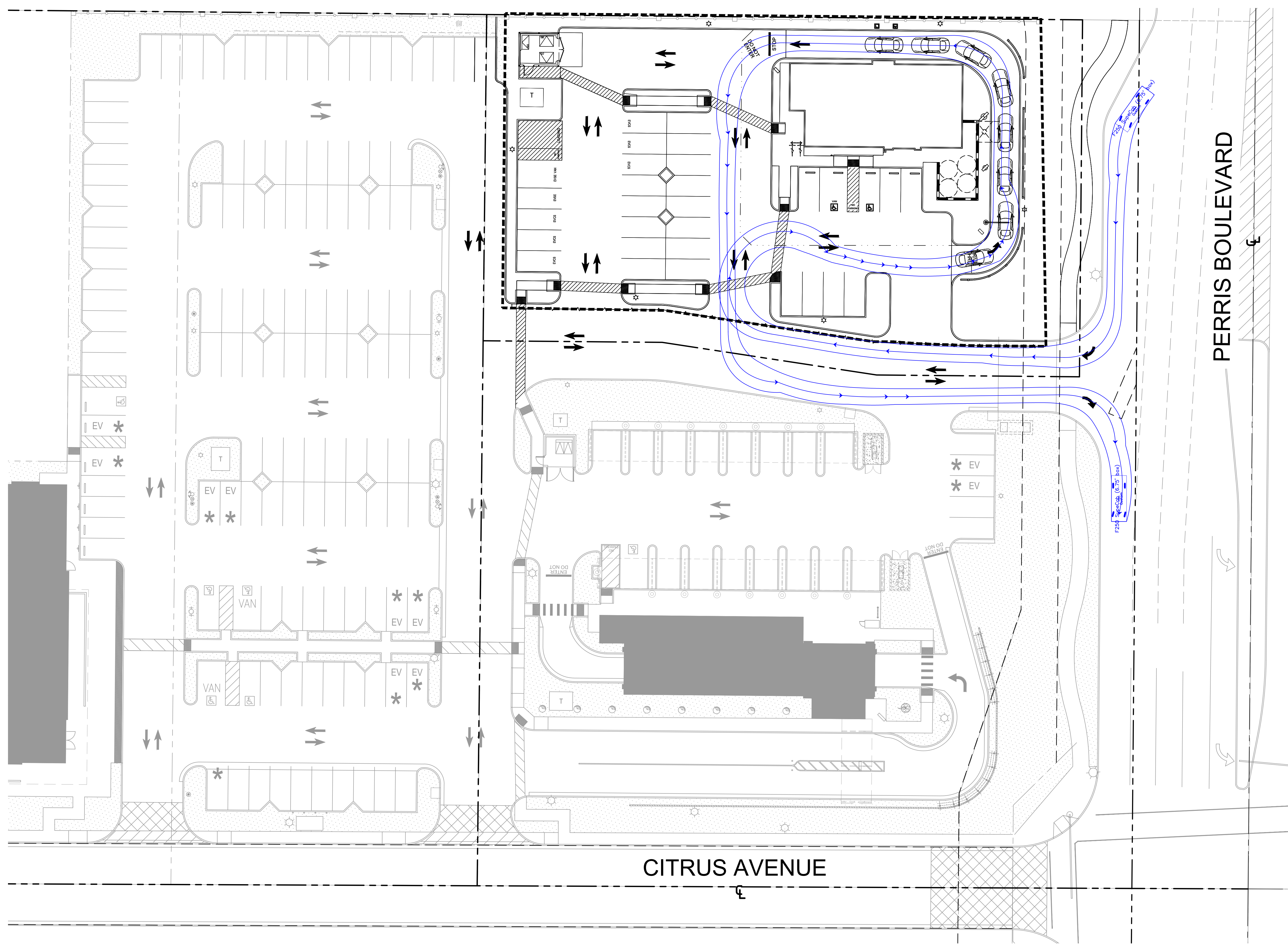


**SCOPE OF WORK: FABRICATE, SHIP, AND INSTALL ONE (1) NEW ILLUMINATED DRIVE THRU CANOPY WITH RECESSED SPEAKERS.**

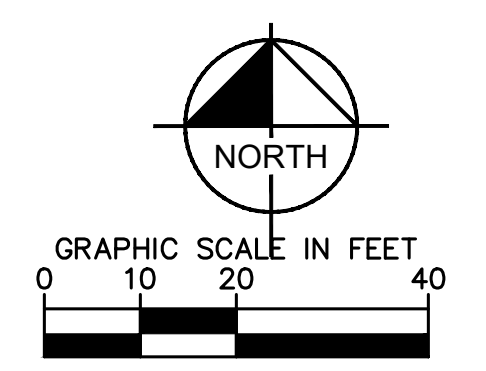
**NOTE: PRIMARY ELECTRIC TO BE BROUGHT TO SIGNS BY OTHERS.**



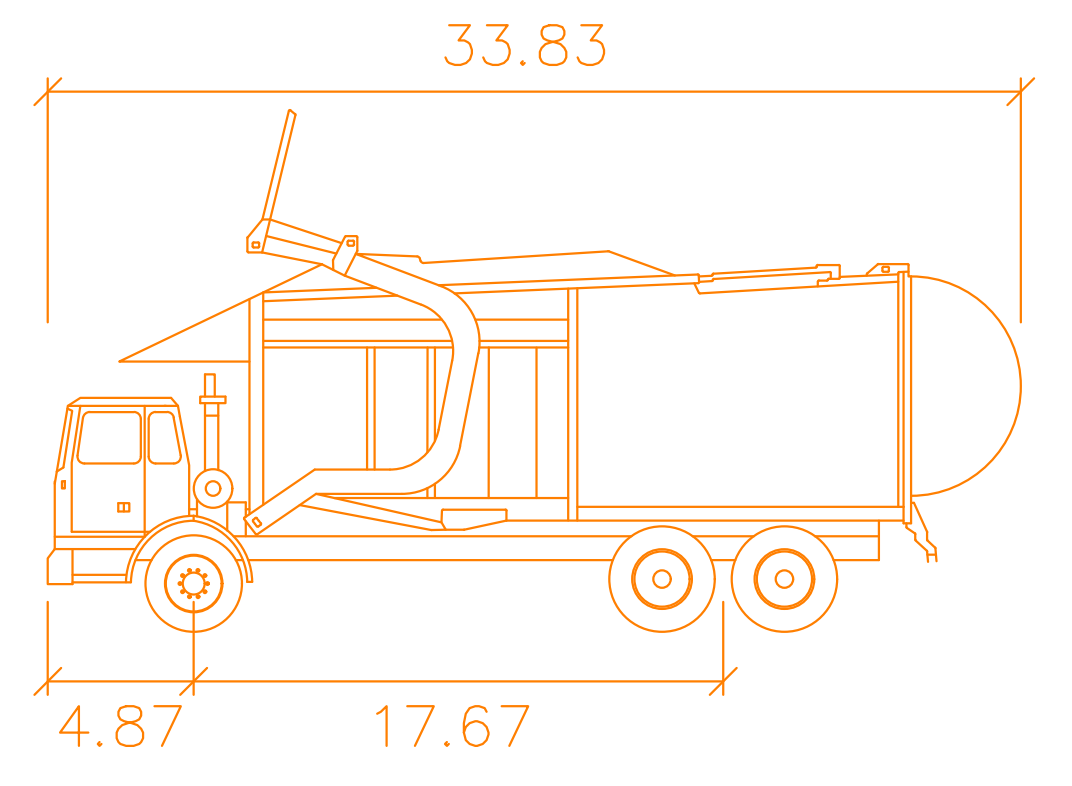
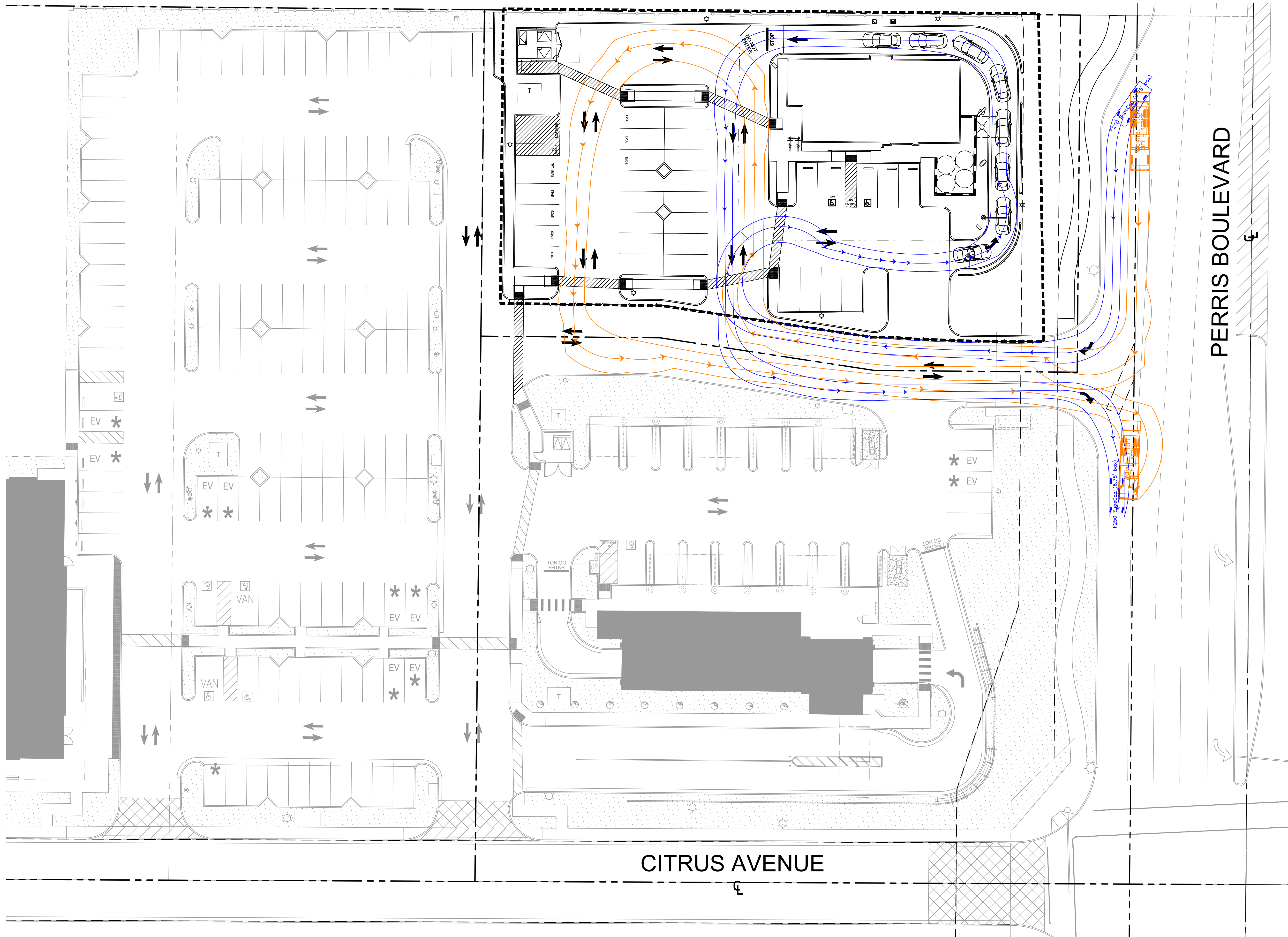
# POLLO CAMPERO PERRIS: CITRUS AVE. & PERRIS BLVD



F250 SuperCab (6.75' box)  
 feet  
 Width : 6.50  
 Track : 5.69  
 Lock to Lock Time : 6.0  
 Steering Angle : 31.5

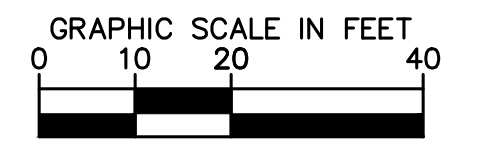
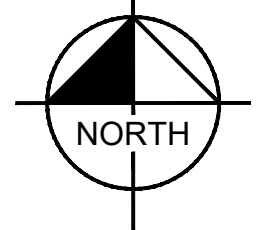


# POLLO CAMPERO PERRIS: CITRUS AVE. & PERRIS BLVD

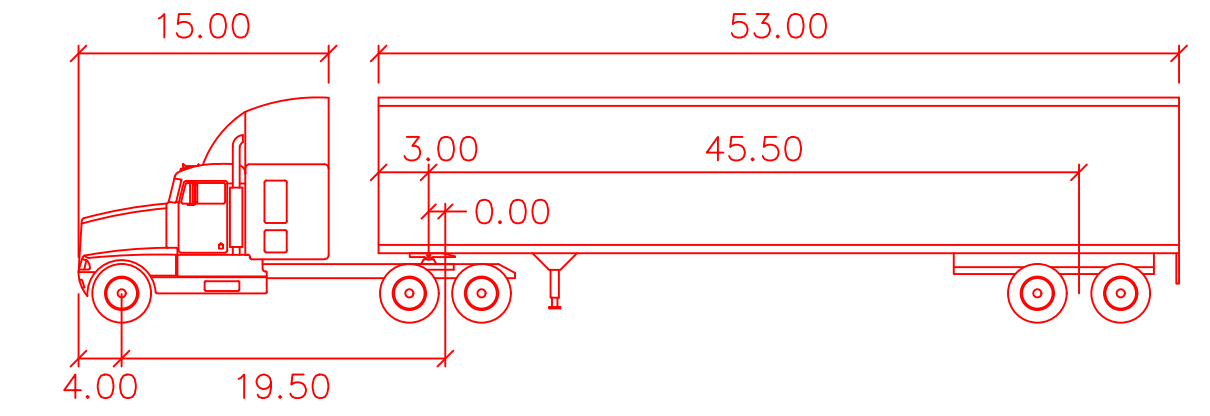
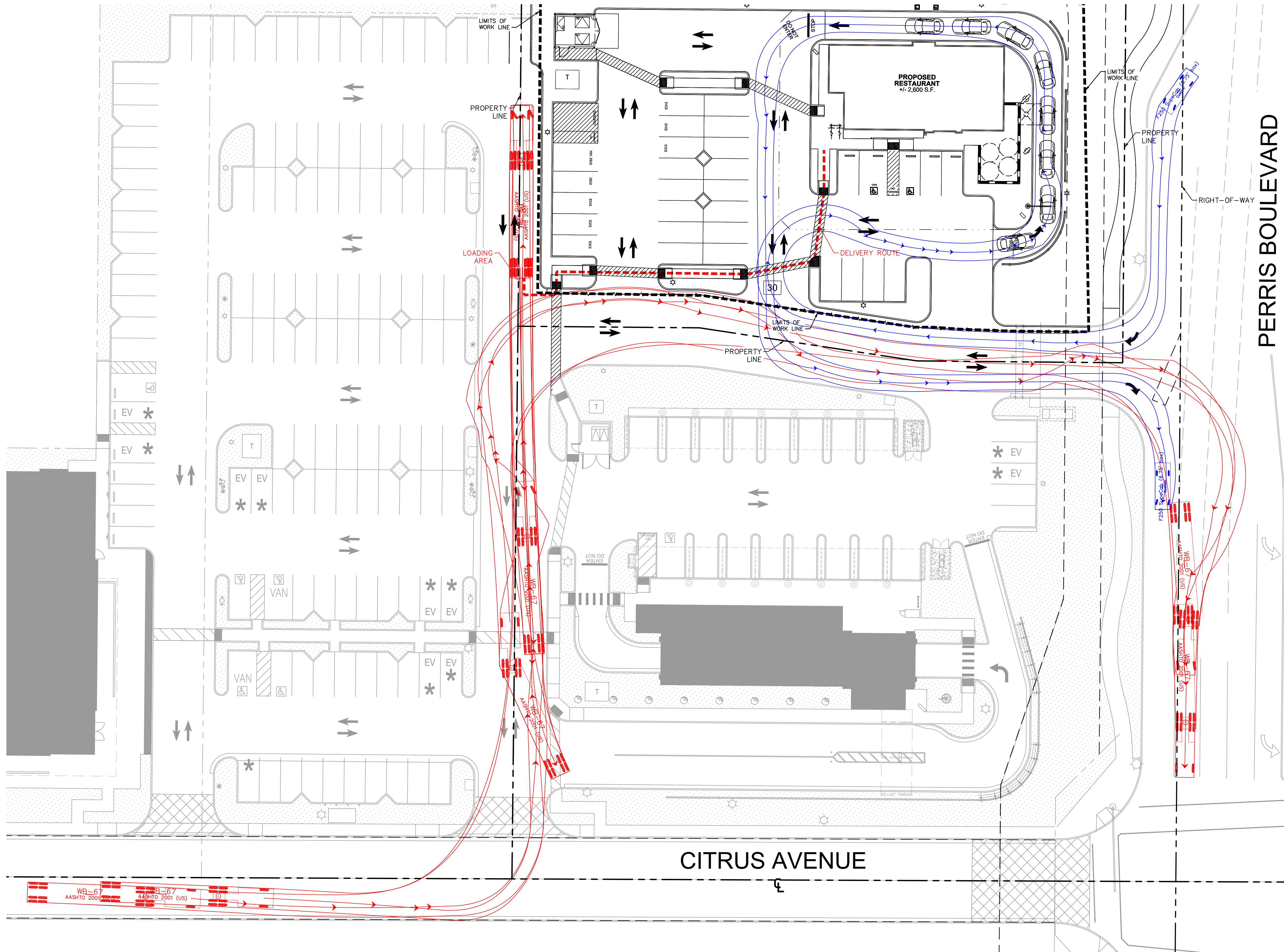


Wayne Titan

	feet
Width	: 8.46
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

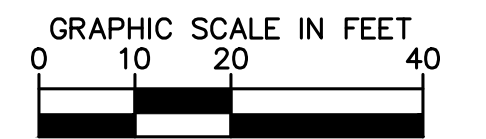
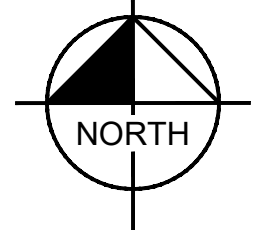
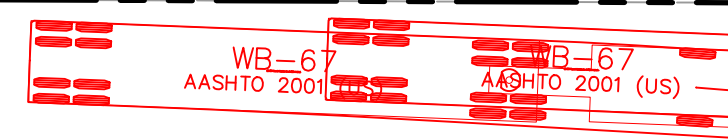


# POLLO CAMPERO PERRIS: CITRUS AVE. & PERRIS BLVD



WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



# LEGEND

	CENTERLINE		GRADE BREAK LINE		PROPOSED FLOW (DIRECTION AND SLOPE)
	PROPERTY LINE		RIDGE LINE		PROPOSED GRATE INLET
	RIGHT-OF-WAY LINE		FLOW LINE		POINT OF CONNECTION
	EASEMENT		SAWCUT LINE		PROPOSED 1500 GAL. GREASE INTERCEPTOR
	PROPOSED STORM DRAIN PIPE		CIVIL LIMIT OF WORK		LANDSCAPE AREA
	EXISTING STORM DRAIN PIPE		PROPOSED SPOT ELEVATION		PROPOSED UNDERGROUND DETENTION SYSTEM
	PROPOSED SEWER PIPE		EXISTING SPOT ELEVATION		
	EXISTING SEWER PIPE				

# LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PERRIS IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL "A" OF CERTIFICATE OF COMPLIANCE—LOT LINE ADJUSTMENT NO. 21-05128 RECORDED JANUARY 31, 2022 AS INSTRUMENT NO. 2022-0050457 OF OFFICIAL RECORDS, IN THE CITY OF PERRIS COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, BEING A PARCEL 3 OF CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT NO. 06-0261, RECORDED OCTOBER 20, 2006 AS DOCUMENT NO. 2006-0772728 OF OFFICIAL RECORDS OF SAID COUNTY, DESCRIBED AS FOLLOWS:

A PORTION OF LOT "C" IN BLOCK 19 OF FIGADOTA FARMS NO. 6 AS SHOWN BY MAP ON FILE IN BOOK 16 PAGE 77 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE CENTERLINE INTERSECTION OF CITRUS AVENUE (VACATED) AND PERRIS BOULEVARD (50.00 FOOT IN HALF WIDTH) AS SHOWN ON SAID MAP; THENCE NORTH 00° 30' 55" EAST ALONG SAID CENTERLINE OF PERRIS BOULEVARD, A DISTANCE OF 373.59 FEET; THENCE NORTH 89° 28' 41" WEST, A DISTANCE OF 50.00 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAID PERRIS BOULEVARD, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89° 28' 41" WEST, A DISTANCE OF 1271.20 FEET TO A POINT ON THE CENTERLINE OF BARRETT AVENUE (VACATED), AS SHOWN ON SAID MAP, SAID POINT BEING NORTH 00° 37' 11" EAST AND DISTANT 380.02 FEET FROM THE CENTERLINE INTERSECTION OF SAID CITRUS AVENUE (VACATED) AND SAID BARRETT AVENUE (VACATED), SAID POINT ALSO BEING THE POINT OF TERMINUS OF DESCRIBED LINE.

EXCEPTING THEREFROM, AND PORTION OF SAID LOT "C" LYING WITH PARCEL A OF PARCEL MAP 34131-1, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP FILED MAY 29, 2014, IN BOOK 237 PAGES 4 THROUGH 6 INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

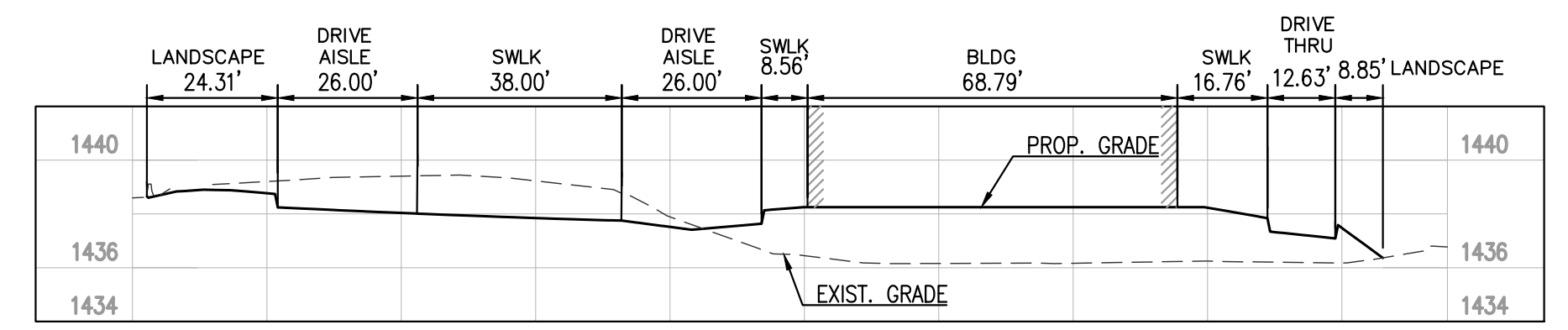
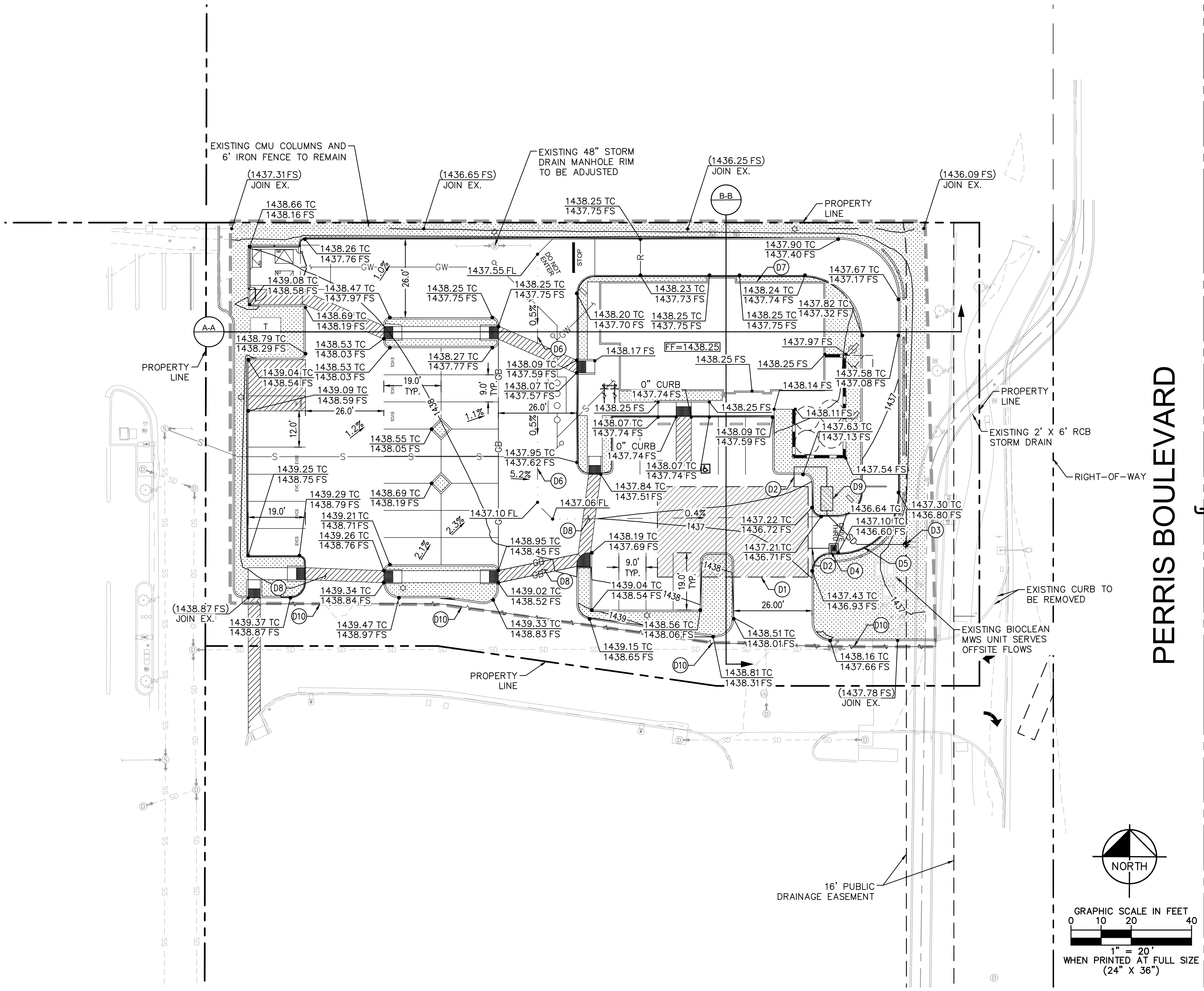
TOGETHER WITH A PORTION OF LOT "D" IN BLOCK 19 OF FIGADOTA FARMS NO. 6, AS SHOWN BY MAP ON FILE IN BOOK 16 PAGE 77 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, LYING NORTHERLY OF THE FOLLOWING DESCRIBED LINE; COMMENCING AT THE NORTHWEST CORNER OF SAID PARCEL 3; THENCE ALONG THE WEST LINE OF SAID PARCEL AND THE WEST LINE OF SAID LOT "D"; SOUTH 00° 38' 21" WEST, 140.50 FEET TO THE POINT OF BEGINNING; THENCE LEAVING SAID WEST LINE THE FOLLOWING THREE (3) COURSES:

1. SOUTH 89° 28' 28" EAST, 77.11 FEET;
2. SOUTH 81° 19' 30" EAST, 93.33 FEET;
3. SOUTH 89° 28' 28" EAST, 87.32 FEET TO THE WEST RIGHT-OF-WAY LINE OF PERRIS BOULEVARD AS SHOWN ON PARCEL MAP NO. 34131-1 AS PER MAP FILED IN PARCEL MAP BOOK 237 PAGES 4 THROUGH 6 INCLUSIVE, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM, AND PORTION OF SAID LOT "D" LYING WITH PARCEL A OF PARCEL MAP 34131-1, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP FILED MAY 29, 2014, IN BOOK 237 PAGES 4 THROUGH 6 INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

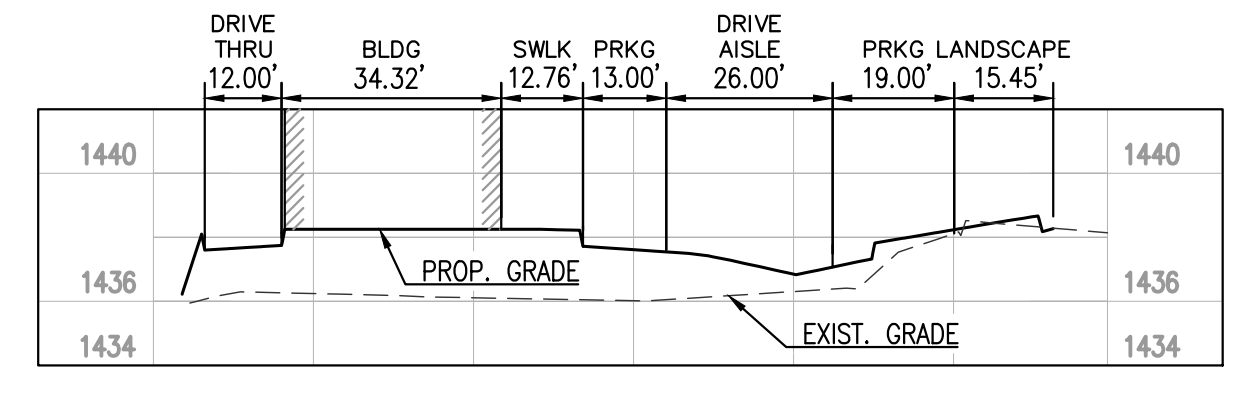
# GRADING AND DRAINAGE NOTES

- (D1) PROPOSED UNDERGROUND DETENTION SYSTEM.
- (D2) INSTALL 6" SDR-26 PVC STORM DRAIN PIPE AT 0.5% MIN
- (D3) CONNECT TO EXISTING 2'X6' RCB STORM DRAIN
- (D4) INSTALL 24" X 24" JENSEN PRECAST DROP INLET.
- (D5) PAINT "NO DUMPING—DRAINS TO OCEAN" ON CURB ADJACENT TO CATCH BASIN
- (D6) INSTALL FLOW LINE IN PROPOSED PAVEMENT. 0.50% MINIMUM.
- (D7) ROOF DOWNSPOUT TO DRAIN TO PROPOSED GRADE.
- (D8) ACCESSIBLE PATH OF TRAVEL MUST HAVE 5% MAXIMUM RUNNING AND 2% MAXIMUM CROSS SLOPE AT ALL TIMES (INCLUSIVE OF VALLEY GUTTER CROSSING).
- (D9) INSTALL MODULAR WETLANDS LINEAR VAULT SYSTEM (MWS L-4-6-V)
- (D10) REMOVE EXISTING REDWOOD HEADER ALONG EXISTING EDGE OF PAVEMENT.



**GRADING SECTION VIEW: A - A**

N.T.S



**GRADING SECTION VIEW: B - B**

N.T.S

**811**  
DIAL TOLL FREE  
811  
Know what's below.  
Call before you dig.  
AT LEAST TWO DAYS BEFORE YOU DIG

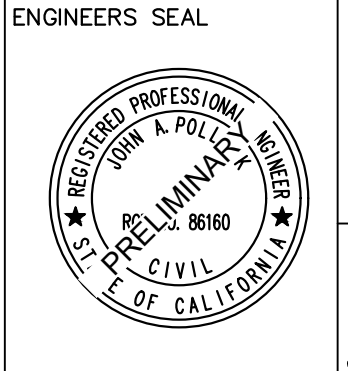
**BENCH MARK:**  
ELEVATIONS SHOWN HEREON ARE BASED UPON RIVERSIDE COUNTY BENCHMARK M-26, ELEVATION 1436.24 FEET (NGVD 29)

**DESCRIPTION:**  
IN THE INTERSECTION OF PERRIS BOULEVARD AND NUEVO ROAD A 1" IRON PIPE IN A CAP WELL MONUMENT AND MARKED COUNTY SURVEYOR.

MARK	BY	DATE	REVISIONS	APPR	DATE
AF		09/06/24	2ND CUP SUBMITTAL		
AF		04/10/24	1ST CUP SUBMITTAL		

**CITY OF PERRIS**

APPROVED BY: \_\_\_\_\_  
CONTRACT CITY ENGINEER DATE



**Kimley-Horn**

3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501  
PHONE: 951-543-9868

PREPARED BY: JOHN B. LOCK  
DATE: 8/27/24

**PRELIMINARY GRADING PLAN**  
**PRELIMINARY PRECISE GRADING PLAN**  
**POLLO CAMPERO - PERRIS**  
**PERRIS BLVD AND CITRUS AVENUE**  
APN: 305-150-065

SHEET NO. 1  
OF 3 SHTS  
PROJECT NUMBER: 19537002  
FILE NO.:

# SITE DATA

PROJECT DESCRIPTION: NEW CONSTRUCTION OF A POLLO CAMPERO DRIVE THRU RESTAURANT AND PARKING LOT.  
 ADDRESS: N. PERRIS BOULEVARD AND CITRUS AVENUE, PERRIS, CA 92571  
 TOTAL PAD AREA: 2,600 S.F.  
 BUILDING AREA: 2,600 S.F.  
 V-B CONSTRUCTION

# LEGEND

- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING FIRE WATER LINE
- PROPOSED FIRE WATER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- EXISTING SEWER PIPE
- PROPOSED SEWER PIPE
- FLOW LINE
- SAWCUT LINE
- CIVIL LIMIT OF WORK
- PROPOSED FLOW (DIRECTION AND SLOPE)
- PROPOSED GRATE INLET
- POINT OF CONNECTION
- PROPOSED 1500 GAL. GREASE INTERCEPTOR
- PROPOSED UNDERGROUND DETENTION SYSTEM

# CONSTRUCTION NOTES

## FIRE WATER CONSTRUCTION NOTES

- (F1) CONNECT TO EXISTING FIRE WATER MAIN.
- (F2) INSTALL STANDARD 6" PVC C-900 FIRE WATER LINE.
- (F3) INSTALL LINE SIZE C-900 PVC CLASS 150 BEND WITH THRUST BLOCK.
- (F4) EXISTING FIRE WATER LINE.
- (F5) EXISTING FIRE HYDRANT.
- (F6) BUILDING POINT OF CONNECTION.
- (F7) EXISTING FIRE LINE DCDA FOR OVERALL SHOPPING CENTER.

## DOMESTIC WATER CONSTRUCTION NOTES

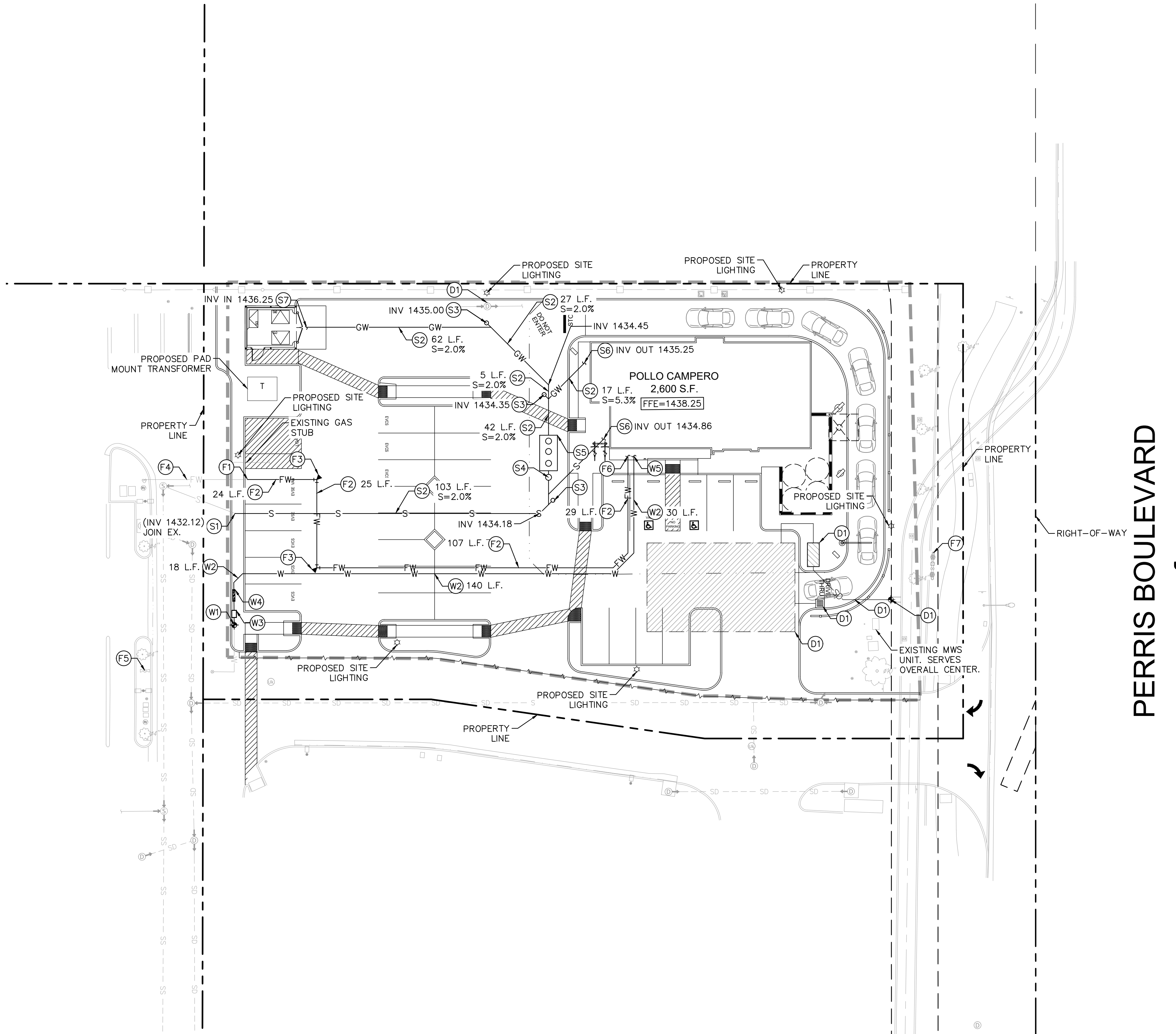
- (W1) CONNECT TO EXISTING WATER MAIN.
- (W2) INSTALL 1.5" PVC SCH. 80 DOMESTIC WATER LINE
- (W3) INSTALL 1.5" DOMESTIC WATER METER.
- (W4) INSTALL 1.5" DOMESTIC WATER BACKFLOW PREVENTER.
- (W5) BUILDING POINT OF CONNECTION.

## SANITARY SEWER CONSTRUCTION NOTES

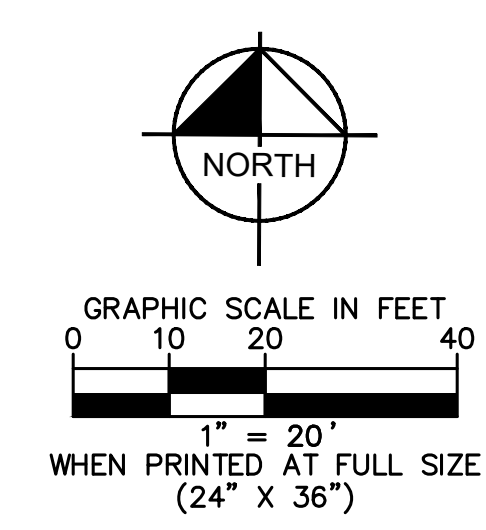
- (S1) CONNECT TO EXISTING SEWER MAIN.
- (S2) INSTALL 6" SDR-35 PVC SEWER PIPE.
- (S3) INSTALL SEWER CLEANOUT.
- (S4) INSTALL JENSEN PRECAST SAMPLE BOX OR EQUAL.
- (S5) INSTALL PROPOSED 1500 GAL. GREASE INTERCEPTOR OR EQUAL.
- (S6) BUILDING POINT OF CONNECTION.
- (S7) GREASE WASTE LINE POINT OF CONNECTION AT TRASH ENCLOSURE.

## GRADING AND DRAINAGE NOTES

- (D1) REFER TO PRELIMINARY GRADING SHEET FOR MORE INFORMATION.



PERRIS BOULEVARD



Drawing name: K:\RIV\_LDEV\Pollo Campero\195367002 - Pollo Campero (Perris)\CAD\ Preliminary\ Preliminary Utility Plan.dwg Utility Plan Sep 06, 2024 9:52am by: caron.florian  
 This document, together with the concept and design presented herein, is an instrument of service, and its use is limited to the specific project and site for which it was prepared. It is not to be used for any other project or site without the written authorization and approval of Kimley-Horn and Associates, Inc. and shall be without liability to Kimley-Horn and Associates, Inc.

**BENCH MARK:**  
 ELEVATIONS SHOWN HEREON ARE BASED UPON RIVERSIDE COUNTY BENCHMARK M-26, ELEVATION 1436.24 FEET (NGVD 29)

**DESCRIPTION:**  
 IN THE INTERSECTION OF PERRIS BOULEVARD AND NUEVO ROAD A 1" IRON PIPE IN A CAP WELL MONUMENT AND MARKED COUNTY SURVEYOR.

MARK	BY	DATE	REVISIONS
AF	09/06/24	2ND CUP SUBMITTAL	
AF	04/10/24	1ST CUP SUBMITTAL	

CITY OF PERRIS

APPROVED BY: \_\_\_\_\_  
 CONTRACT CITY ENGINEER DATE



**Kimley-Horn**

3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501  
 PHONE: 951-543-9868

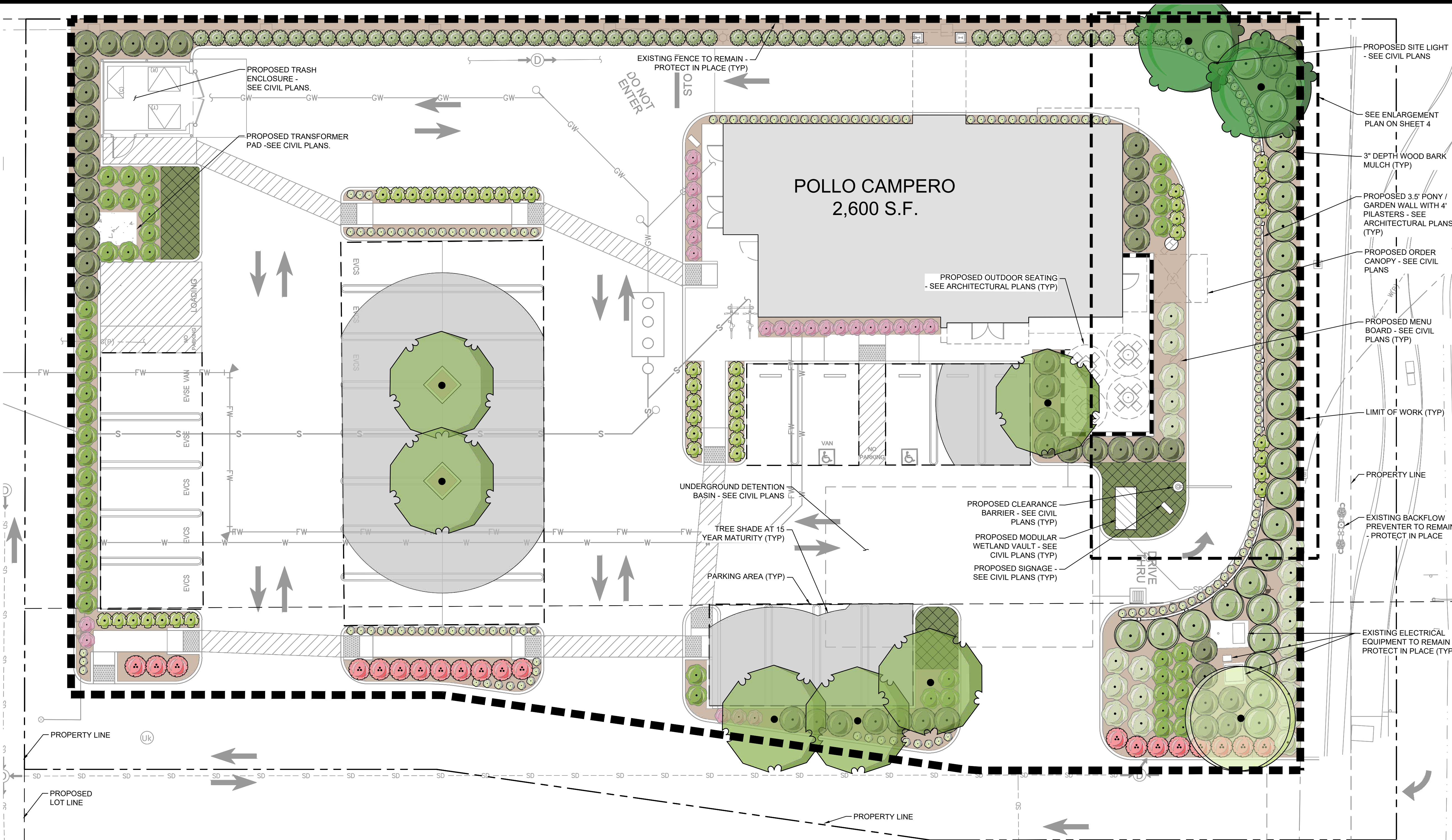
PREPARED BY: \_\_\_\_\_  
 JOHN P. LOCK R.C.E. 86160 DATE 8/27/24

PRELIMINARY UTILITY PLAN  
 PRELIMINARY PRECISE GRADING PLAN  
 POLLO CAMPERO - PERRIS  
 PERRIS BLVD AND CITRUS AVENUE  
 APN: 305-150-065

PROJECT NUMBER: 19537002

SHEET NO. 2  
 OF 3 SHTS  
 FILE NO.:

Drawing name: \\sdfp01\co\_snd\RV\_LDEV\Pollo Campero\195367002 - Pollo Campero (Perris)\CAD\Preliminary\Preliminary Landscape Plan.dwg PRELIMINARY LANDSCAPE PLAN Nov. 14, 2024 12:46pm by: Maryam.Abubakr  
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PARKING LOT SHADE REQUIREMENTS	
PARKING AREA	5,219 SF
SHADE REQUIRED	50% - 2,610 SF
SHADE PROVIDED	50.7% - 2,645 SF

\*BASED ON CANOPY SIZE AT 15 YEAR MATURITY

PARKING LOT TREES	
PARKING LOT TREE REQUIREMENTS	
1 TREE PROPOSED FOR EVERY 6 PARKING SPACES	
30 PARKING SPACES / 6 PER TREE =	6 TREES
PROVIDED =	6 TREES

LANDSCAPE AREA REQUIREMENTS	
LANDSCAPE AREA	
MINIMUM 10% OF SITE TO BE LANDSCAPED	
30,933 SF TOTAL SITE AREA X 10% =	3,093 SF REQUIRED LANDSCAPE
PROVIDED =	6,313 SF

SHRUB REQUIREMENTS	
LANDSCAPE AREA	
1 SHRUB PER 30 SF PLANTING AREA	
6,313 SF TOTAL SITE AREA / 30 SF =	210 SHRUBS REQUIRED
PROVIDED =	432 SHRUBS

**PRELIM/ENTITLEMENTS NOTE**

**LANDSCAPE NOTE:**  
THE SELECTION OF PLANT MATERIAL IS BASED ON CLIMATIC, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. DECOMPOSED GRANITE SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUN-OFF. ALL SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER SOIL TEMPERATURE, AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF PERRIS MUNICIPAL CODE.

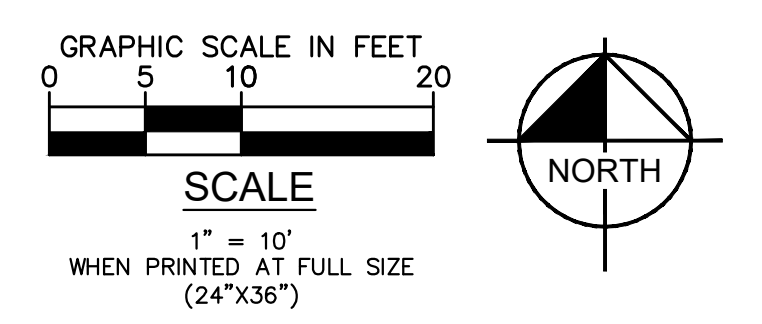
**IRRIGATION NOTE:**  
AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE 100% COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. THE WATER SUPPLY FOR THIS SITE IS A POTABLE WATER CONNECTION AND A DEDICATED IRRIGATION METER WILL BE PROVIDED. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH NO WATER LOSS DUE TO WATER CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL POINT SOURCE SYSTEM SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF PERRIS MUNICIPAL CODE.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.  
*Randall A. Kopff*  
RANDALL A. KOPFF JR, LLA 6633

**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT/SPREAD	CAL.	WUCOLS
<b>TREES</b>						
	1	EXISTING TREE TO REMAIN	-	-	-	-
	2	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' / TUSCARORA CRAPE MYRTLE	24" BOX	9'-10" HT. X 3'-4" SPR.	0.75" CAL.	MODERATE
	6	PISTACIA CHINENSIS / CHINESE PISTACHE	36" BOX	12'-14" HT. X 6'-7" SPR.	1.75" CAL.	MODERATE
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS	
<b>SHRUBS</b>						
	150	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	5 GAL.	2' O.C.	LOW	
	46	CALLISTEMON VIMALIS 'LITTLE JOHN' / LITTLE JOHN WEEPING BOTTLEBRUSH	5 GAL.	5' O.C.	LOW	
	43	DIETES IRIDIODES / FORTNIGHT LILY	5 GAL.	3.5' O.C.	MODERATE	
	20	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL.	4' O.C.	LOW	

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS
	12	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY	5 GAL.	6' O.C.	LOW
	6,313 SF	3" DEPTH WOOD BARK MULCH			
	5,219 SF	PARKING AREA			
	2,645 SF	TREE SHADE AT 15 YEAR MATURITY			
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS
	56	LEYMUS CONDENSATUS 'CANYON PRINCE' / CANYON PRINCE GIANT WILD RYE	5 GAL.	3' O.C.	LOW
	24	MUHLENBERGIA CAPILLARIS 'REGAL MIST' / MUHLI GRASS	5 GAL.	3' O.C.	LOW
	45	MUHLENBERGIA RIGENS / DEER GRASS	5 GAL.	4' O.C.	MODERATE
	20	WESTRINGIA FRUTICOSA / COAST ROSEMARY	5 GAL.	5' O.C.	LOW
	28	XYLOSMA CONGESTUM 'COMPACTA' / COMPACT XYLOSMA	5 GAL.	6' O.C.	MODERATE

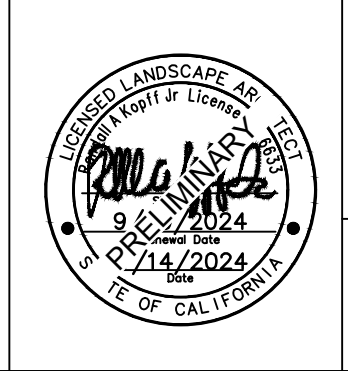


**811**  
DIAL TOLL FREE 811  
Know what's below. Call before you dig.  
AT LEAST TWO DAYS BEFORE YOU DIG  
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

**BENCH MARK:**  
ELEVATIONS SHOWN HEREON ARE BASED UPON RIVERSIDE COUNTY BENCHMARK M-26, ELEVATION 1436.24 FEET (NGVD 29)  
**DESCRIPTION:**  
IN THE INTERSECTION OF PERRIS BOULEVARD AND NUEVO ROAD A 1" IRON PIPE IN A CAP WELL MONUMENT AND MARKED COUNTY SURVEYOR.

MARK	BY	DATE	REVISIONS	APPR	DATE
	AF	09/06/24	2ND CUP SUBMITTAL		
	AF	04/10/24	1ST CUP SUBMITTAL		

**CITY OF PERRIS**  
APPROVED BY:  
CONTRACT CITY ENGINEER DATE



**Kimley-Horn**  
3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501  
PHONE: 951-543-9868  
PREPARED BY:  
RANDALL KOPFF PLA 6633 8/27/24 DATE

**PRELIMINARY LANDSCAPE PLAN**  
**PRELIMINARY PRECISE GRADING PLAN**  
**POLLO CAMPERO - PERRIS**  
**PERRIS BLVD AND CITRUS AVENUE**  
APN: 305-150-065  
PROJECT NUMBER: 19537002  
SHEET NO. 3 OF 3 SHEETS  
FILE NO.:



# R164 PERRIS, CA - SIGHTLINES ALONG PERRIS BLVD

