

NEW HORIZONS

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Approved by Planning Commission 11/27/89

Approved by City Council 2/05/90

NEW HORIZONS

SPECIFIC PLAN

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I. EXECUTIVE SUMMARY



I. EXECUTIVE SUMMARY

The 135-acre New Horizons project is located in the north-eastern portion of the City of Perris in Riverside County. The project area was annexed to the City of Perris in early 1988. The New Horizons project site is approximately 135 acres in size, including 9.1 acres of land within the Metropolitan Water District (MWD) right-of-way. The land within the MWD right-of-way is not owned by the master developers, but the developers intend to seek permission from the MWD to develop the right-of-way as a landscaped greenbelt to serve the community. All development plans for land within the MWD right-of-way will be subject to review and approval by the MWD and the City of Perris. Should the MWD not allow improvements as proposed, the linear greenbelt shall remain as unimproved open space. The developer shall then secure the MWD right-of-way within the project to restrict access to the MWD property.

The planning for the New Horizons project Specific Plan utilized an ecosystemic approach involving a complete physical, environmental, and infrastructural analysis of the project site during preliminary planning stages. The land plan, therefore, responds to a known set of opportunities and constraints. An associated Environmental Impact Report (EIR) has been prepared separately for the City of Perris by Douglas Wood and Associates and discusses existing on-site natural and man-made resources, as well as expected impacts that the project will have on the site and surrounding areas. The EIR also includes discussion of various mitigation measures and project alternatives. This Specific Plan will allow the development of quality housing within market type and price ranges anticipated to be in large demand in the Perris Valley, with special attention being given to family-oriented housing.

Future residents of the New Horizons project will enjoy all the benefits of a master planned community. An Illustrated Land Use Plan of the project is provided in the jacket at the conclusion of this document. This Specific Plan proposes a total of 579 single-family dwellings and 215 apartment units organized around a proposed 9.1-acre linear greenbelt that bisects the property. This linear greenbelt will be located within the existing Metropolitan Water District (MWD) right-of-way that crosses the site. Two large pipelines within the right-of-way serve to transport water from the Colorado River to areas within Southern California. A proposed utilities corridor, running from north to south, may form the western border of the site. Should Southern California Edison (SCE)

A development review application shall be submitted to the Department of Community Development in the City of Perris for all tentative subdivision maps within the New Horizons Specific Plan project area.

II. INTRODUCTION/ PROJECT DESCRIPTION



II. INTRODUCTION/PROJECT DESCRIPTION

A. INTRODUCTION

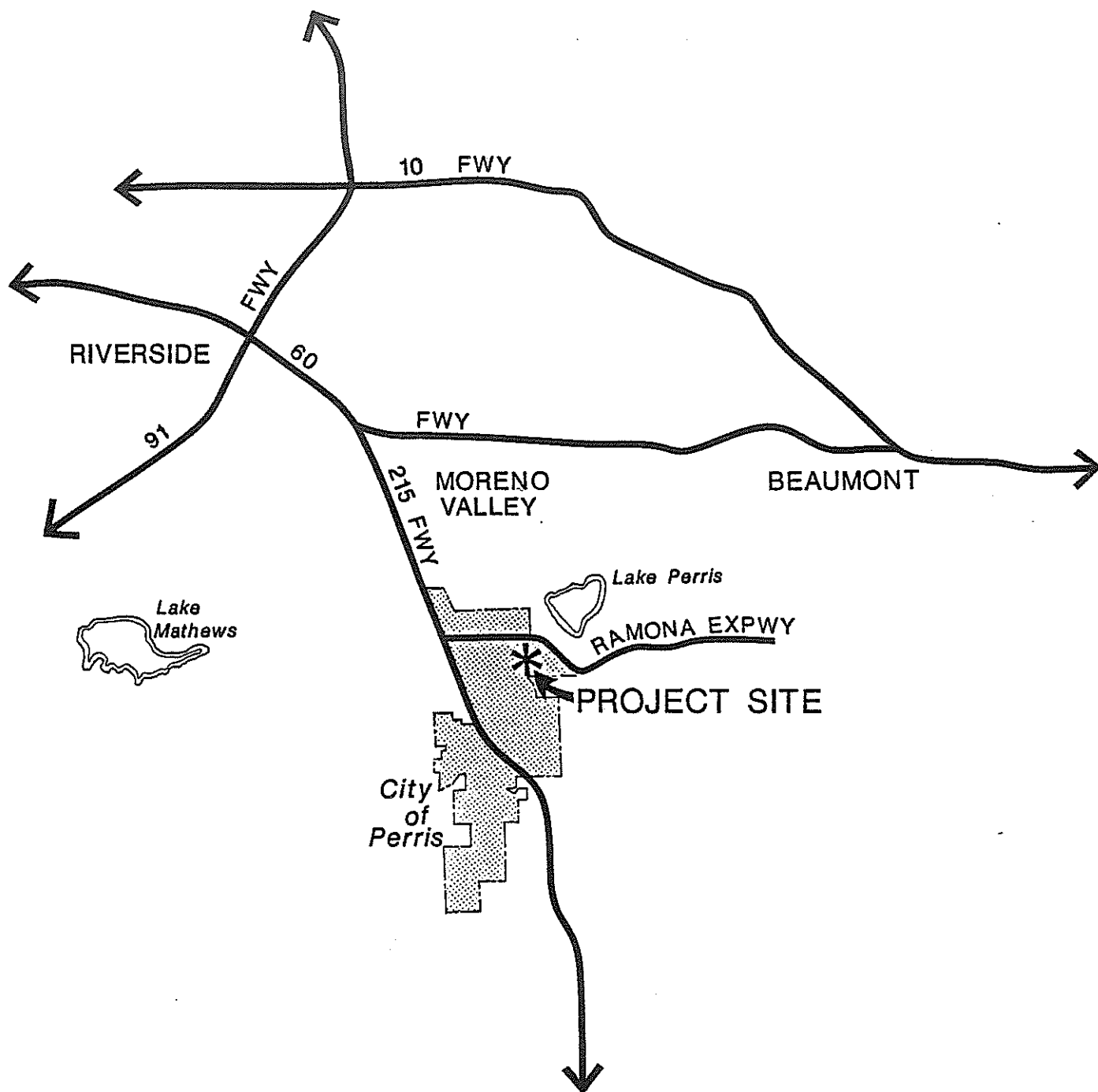
1. Purpose and Intent of Specific Plan

The purpose and intent of this Specific Plan is to assure the development of the New Horizons project as a coordinated master planned community. This Specific Plan has been developed to provide the City of Perris with a comprehensive set of plans, programs, regulations, and conditions that may be used by City staff to review development in the project area, as well as by builders and developers to ensure quality development.

The New Horizons Specific Plan has been prepared in accordance with the requirements of the California Government Code for Specific Plans (Government Code Sections 65450 - 65457) and addresses all issues and topics specified in the code.

A key function of the Specific Plan is to complete the detailed planning and environmental review procedure necessary for the project development. In accordance with Section 65453 of the California Government Code, an Environmental Impact Report (EIR) has been prepared by outside, independent consultants under the direction of the City. The EIR is intended to serve as the program environmental document for the specific plan and all individual projects that are undertaken pursuant to, and in conformance with, the Specific Plan.

According to Section 15168 of the California Environmental Quality Act (CEQA) Guidelines, a program EIR is appropriate when a series of actions taken over a period of time will result in what will ultimately be a cohesive project. In this case, the New Horizons project will be developed in several phases, resulting in what will eventually be perceived as a single project. To the extent that future, more detailed project plans for the development of each phase are found to be in substantial conformance with the standards and guidelines contained in the New Horizons Specific Plan and also conform with the project described and evaluated in the EIR, no further environmental documentation will be required. Individual projects may proceed with site plan and building design review and/or other discretionary approvals.



REGIONAL LOCATION MAP



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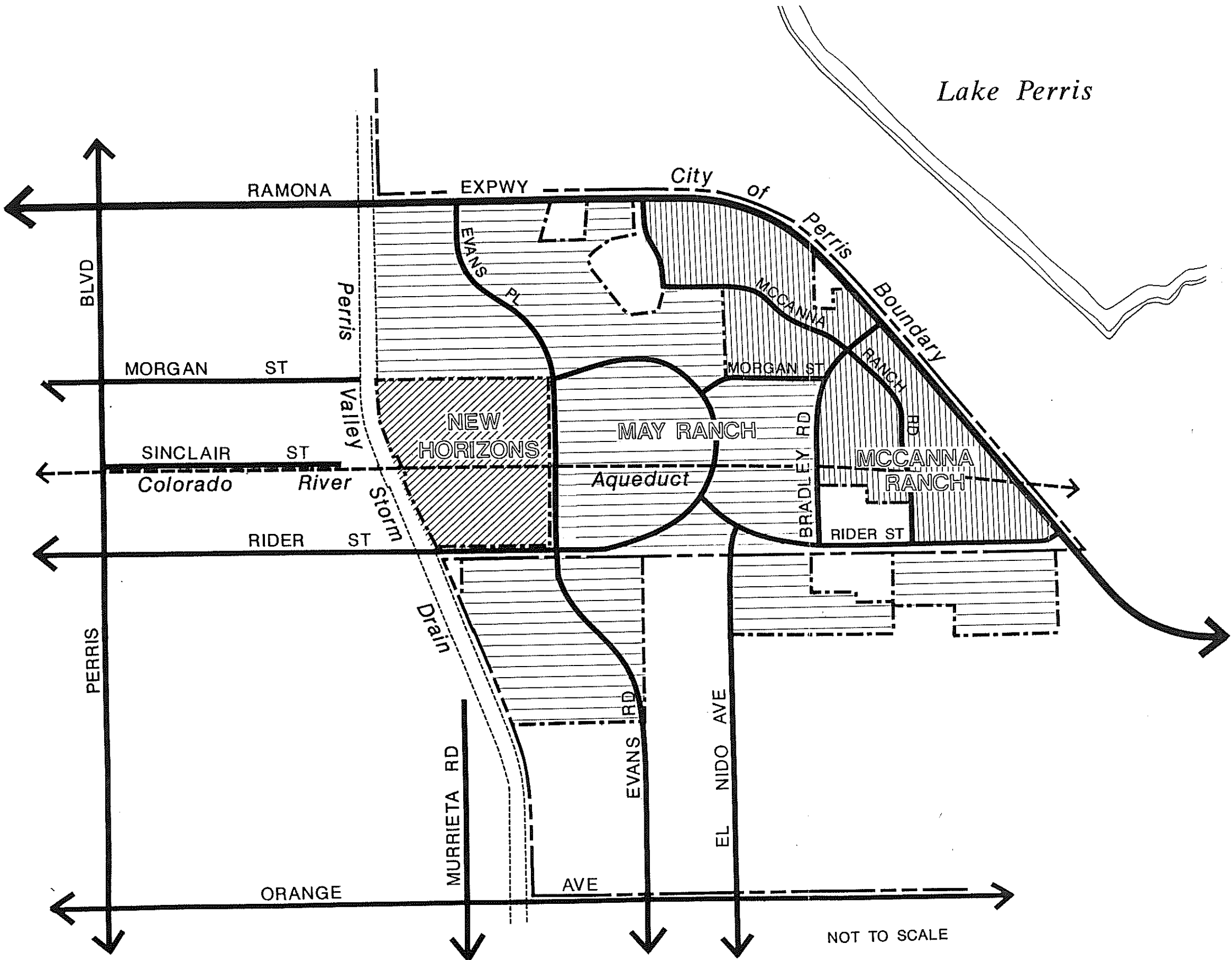
NOT TO SCALE

FIGURE 1



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 1020 BLACK STREET, SUITE 402
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VICINITY MAP



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FIGURE 2

NOT TO SCALE



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mixed residential densities for a variety of population ages and income levels. Specifically, the City of Perris experienced a growth rate of approximately 9% between 1984 and 1988. During the 1988 calendar year, the City estimates that the growth rate will rise dramatically to 22% - 27%; this growth rate is expected to continue at the same pace for the next several years.

In January of 1988, the City of Perris annexed two large parcels of land. Annexation Area 28 included 900 acres of land and Annexation Area 31 included 320 acres. With the addition of these areas to the City, and if the City continues to grow at its existing pace, then the City's population at buildout should range from 70,000 to 100,000 persons.

Most of the recent residential development has occurred along the Highway 60 corridor in Moreno Valley and along Perris Boulevard. In addition to the residential developments currently under construction, two major shopping centers and business park/industrial areas are also under development in the vicinity of the intersection of Highway 60 and Interstate 215. These developments consist of the 311-acre Canyon Springs project and the 590-acre Town Gate project. These projects will contain regional shopping malls, offices, hotels, and industrial uses. Both of these mixed-use projects are located approximately 7.5 miles north of the City of Perris.

The employment base of the region is expected to increase significantly in the near future. This prediction is based on the following: a) rezoning for primarily industrial and commercial uses in the northern portion of Moreno Valley, b) recent industrial plan approvals in the County of Riverside northwest of March Air Force Base, and c) County of Riverside initiated industrial rezoning and subsequent annexation into the City of Moreno Valley of the area south of March Air Force Base. Such increases in the employment base are expected to sustain demand in all sectors of the housing market.

Even though much of the vacant land in the Perris Valley area is currently farmed, agriculture is not considered a long-term viable use for the area due mainly to encroaching urbanization and the increasing cost of water.

The approved 744-acre Specific Plan known as the "May Ranch" project is being developed by Kaufman & Broad of Southern California, Inc., and surrounds the New Horizons project on three sides: the north, east, and south. May Ranch is a planned mixed use development containing residential, commercial, open space, and park uses. Approximately 77 acres of

May Ranch will be devoted to commercial development and 41 acres will be devoted to park and open space uses. In addition, a maximum total of 3,883 dwelling units (3,508 single-family detached homes and 375 multi-family dwellings) are planned at an overall density of five dwellings per acre. At buildout in 1999, May Ranch will support an estimated population of 10,678 persons. The May Ranch Specific Plan was approved by the City of Perris in December, 1988.

To the east of the May Ranch project is the approximately 245-acre McCanna Ranch project, a master planned residential community by Barratt Irvine. The McCanna Ranch project will provide 1,380 dwelling units and will support a population of approximately 4,172 persons at buildout in 1992-93.

Figure 3, Area Land Use Plans, on page 11, depicts the locations of May and McCanna Ranches and their relationship to the New Horizons project.

C. EXISTING SITE CONDITIONS

A separate environmental assessment (EIR) has been prepared for the New Horizons project under the direction of the City of Perris by Douglas Wood and Associates. This EIR is intended to assure appropriate review of the potential project related impacts as required by both state and local ordinances. The EIR includes an extensive analysis and evaluation of the site and surrounding area. This section has been included in the Specific Plan document to provide a brief background of existing site conditions and features. At present, the project site is vacant land with no permanent structures or buildings.

1. Topography, Soils and Geology

The project site is situated on the eastern edge of the flat Perris Valley and exhibits almost no topographic relief. The land generally slopes from an elevation of 1446 feet above mean sea level at the intersection of Morgan Street and Evans Road near the northeast corner of the site, to an elevation of approximately 1436 feet above mean sea level at the southwestern corner of the site (an elevation difference of 10 feet). Significant topographic features include a 175-foot-wide Metropolitan Water District (MWD) right-of-way that extends from east to west across the entire site. Two large pipelines carry Colorado River water through this right-of-way to areas within Southern California. The extremely gentle slopes of the project area, in the 0 to 2 percent category, presents no landform-related site development constraints.

The project area is considered a seismically active area, however there are no known active faults on or immediately adjacent to the site. The hazard of surface fault rupture is considered to be very low. Seismic risk is considered moderate as compared to other areas of Southern California.

The most significant fault to affect the project area is the San Jacinto fault, approximately 8 miles northeast of the project area. This fault is historically active with numerous earthquakes occurring along its length, which extends between the San Gabriel Mountains and Mexico. The southern portion of the San Andreas fault, approximately 35 miles to the northeast, is also historically active within this region.

The site is not located within an Alquist-Priolo Special Studies Zone and the potential for liquefaction is considered low.

2. Hydrology and Drainage

The site is mostly flat exhibiting almost no topographic relief (see above). The site drains to the southwest at a gradient of approximately 0.3%. Approximately two-thirds of the project site is located within an existing 100-year flood plain as shown on Figure 18, Flood Plain & Drainage Channel Plan, on page 46 of this Specific Plan.

Development within the New Horizons Specific Plan area will be subject to the dictates of the Riverside County Flood Control & Water Conservation District and the City of Perris. Currently, these agencies are studying a number of options regarding various mitigation measures that could be implemented in order to ensure safe residential development and eliminate potential on-site flooding hazards. These options will be explored in depth at the tentative mapping stage.

In addition, the entire property is located within the Lake Perris Reservoir Dam inundation area. Inundation of the area would occur if the dam were to fail. The Lake Perris Dam is in a "safe and stable condition" according to the State of California Department of Water Resources Board of Consultants Review Report. The Perris Valley Area Master Drainage Plan, which encompasses the project site, was adopted by the City of Perris in July 1987. Drainage fees are collected by the City's Planning Department on a set fee per acre basis. The fee is \$5083.00 per acre. For lots smaller than one acre, the fee is based on a percentage basis. For example, a one-half acre parcel would be assessed a fee of \$2541.50 (1/2 of \$5083.00).

Storm drain facilities in the vicinity of the project site include two 5-foot by 7-foot trapezoidal channels that parallel Morgan and Rider Streets and discharge into the Perris Valley Storm Drain.

The New Horizons project is located within the Riverside County Flood Control "Perris Valley Master Plan of Drainage". The Master Plan for the project shows a future trapezoidal channel, designated as Line "T", bisecting the site from east to west. It is anticipated that this line will be constructed as part of the New Horizons development. However, the timing of the construction will depend on coordination with the Riverside County Flood Control & Water Conservation District and the City of Perris.

As of July 1989, these agencies are studying the ultimate configuration for the Perris Valley Storm Drain. Line "T" will discharge into this facility. The type of facility, as well as the vertical and horizontal alignment of Line "T" will be governed by the final design of the Perris Valley Storm Drain. There are two developments currently being designed, May and McCanna Ranches, which would construct a temporary channel within the future Line "T" right-of-way. This temporary channel will be designed to support development within Phase I (Planning Areas 1, 3 & 4) of the New Horizons Specific Plan. See Figure 21, Phasing Plan, on page 54 for those areas of the project to be developed in Phase I of the New Horizons project.

Areas tributary to Line "T" will be discharged into Line "T", areas south of Line "T" will drain according to existing drainage patterns. If Line "T" is not constructed or required as part of the project, then the right-of-way for Line "T" will be developed with residential uses.

The ultimate design for Master Plan Line "T" may be either a trapezoidal channel or a closed conduit. If a closed conduit is used, the pipe will be placed in the future streets and the 55 foot right-of-way will not be required.

Figure 18, Flood Plain & Drainage Channel Plan on page 46, shows the portion of the site which lies within the 100 year flood plain. In order for the New Horizons project to be developed, the site will either be raised out of the flood plain, or the flood plain will be lowered. The design of the Perris Valley Storm Drain will lower the 100 year flood plain elevation to a level at or below the existing ground adjacent to the channel right-of-way. The timing of the channel construction is not known at this time, therefore a decision as to which alternative will set the criteria for the design

cannot be made. However, regardless of which alternative is chosen, the project will meet the requirements of the Riverside County Flood Control District and the City of Perris.

3. Air Quality

The proposed project is located in the South Coast Air Basin and, jurisdictionally, is the responsibility of the South Coast Air Quality Management District (SCAQMD) and the California Air Resources Board (CARB). This SCAQMD sets and enforces regulations for stationary sources in the basin. The CARB is charged with controlling motor vehicle emissions.

The SCAQMD, in coordination with the Southern California Association of Governments (SCAG), has developed an Air Quality Management Plan (AQMP) for the air basin. The South Coast Air Basin has been designated a non-attainment area for ozone, carbon monoxide, nitrogen dioxide, total suspended particulates, and lead. The AQMP is designated to accommodate a moderate amount of new development and growth throughout the basin.

The main source of emissions generated by the project will be from motor vehicles. Other emissions will be generated from the residential combustion of natural gas for space heating and the generation of electricity. Emissions will also be generated by the commercial use of natural gas and electricity. Temporary impacts to air quality in the vicinity of the project will result from project construction activities. Air pollutants will be emitted by construction equipment and dust will be generated during grading and site preparation.

Several mitigation measures are proposed to limit air quality impacts. In order to reduce the quantity of particulate matter during the grading and construction phase of the New Horizons project, SCAQMD Rule 403 shall be adhered to. (See Grading Plan Development Standard 6.b.22.) Also, because most of the project-related air pollution emissions are generated by automobiles, there is very limited potential for any effective mitigation on the part of any single developer. However, where feasible, the project shall integrate the following features into the project design:

- o Transit facilities, such as benches, shelters and turnouts.
- o Energy efficient buildings.
- o Solar access orientation of structures.

- o Solar heated and cooled structures and swimming pools.

For additional information on Air Quality, please refer to the separate EIR document.

4. Vegetation and Wildlife

Two biotic communities are represented on the project site: cultivated agriculture and ruderal. Both community types present are the result of past disturbances by man. As a result, the quality and diversity of vegetation and wildlife species on-site is low and relatively insignificant. A few species of smaller birds are expected to use these areas for limited foraging as are several small rodents from adjacent areas. Resident populations, however, are non-existent.

Ruderal vegetation refers to the highly adaptive and invasive species of plants which follow recent, intrusive disturbances by man. These non-native species are considered to be common roadside weeds. Species present include ornamental ferns and various common roadside weeds. Ruderal vegetation provides minimal habitat value to all but a few highly adaptable wildlife species. These include Brewer's blackbird, mockingbird, and house mouse.

Although the site is indicated on the "Endangered, Rare & Threatened Wildlife Ranges & Habitats" map within the County of Riverside Comprehensive General Plan, no species are found on the property. Please refer to the Environmental Impact Report for New Horizons for a detailed discussion of on-site biological resources.

5. Cultural and Scientific Resources

According to archaeological site records on file at the Eastern California Information Center, there are no archaeological sites on the property. The closest sites are located approximately one mile to the northeast of the project. These and other sites are too distant to be impacted by the subject project. Similarly, no paleontological resources were discovered on-site during a field survey. For more information on cultural and scientific resources, please refer to the separate EIR document which was prepared for the New Horizons project by Douglas Wood & Associates in conjunction with this Specific Plan.

6. Existing Public Utilities

At present, several Southern California Edison (SCE) transmission lines cross the project site. The largest of these lines, a 115 kilovolt (KV) above-ground transmission line, traverses the project site from north to south. This 115 KV line may be relocated with SCE's permission into either the proposed utilities corridor or parallel to planned project streets. All proposals to relocate existing electrical lines must be reviewed and approved by SCE before relocation may begin. The exact interface between on-site electrical lines and the adjacent residential uses will be addressed concurrently with tract map submittals at the design development phase. Refer to Figure 4 on the following page for the locations of the existing on-site electrical lines.

In addition to the 115 KV line, there are also several above-ground KV lines existing within the project boundaries. Figure 4, Existing Electrical Lines, depicts the locations of the existing on-site electrical lines.

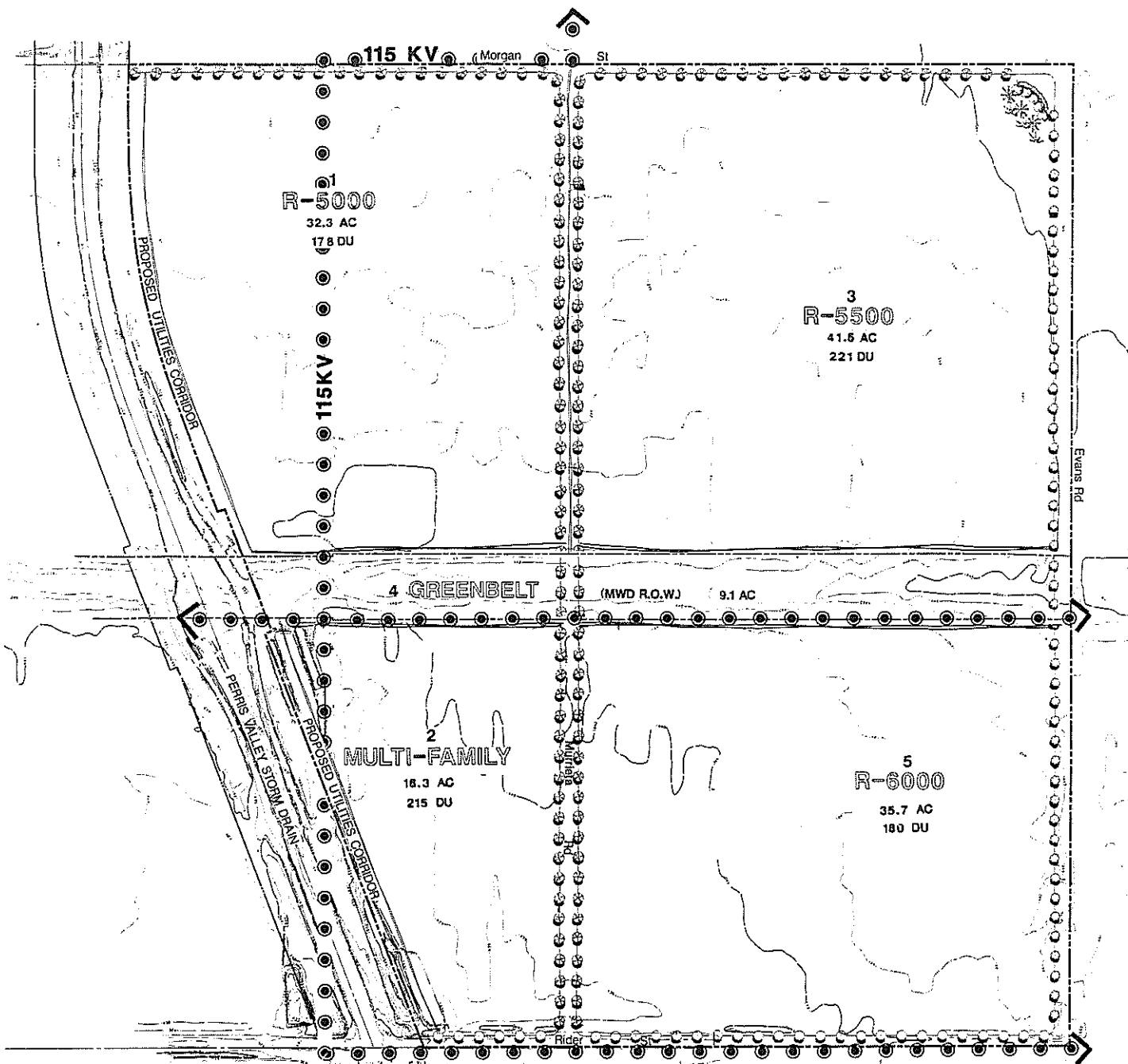
For a detailed discussion of existing on-site water and sewer facilities, refer to page 42. See also Figures 16 and 17 on pages 43 and 44 in this Specific Plan for the proposed Water and Sewer Plans.

7. Existing Zoning and General Plan Designations

The project site is located within the city limits of the City of Perris in the eastern portion of Riverside County. Currently, the City's Land Use Map designates the site for light agricultural uses (A-1). The project site is flanked to the north, south, and east by the May Ranch and McCanna Ranch Specific Plan Zone designations. West of the project site, across the Perris Valley Storm Drain channel, the land is designated as A-1 and M-1 (light manufacturing). See Figure 5, Existing Zoning, on page 18, for the existing zoning designations of the property and surrounding parcels.

Directly to the north and east of the New Horizons project site, is the approved May Ranch Specific Plan. See Figure 2, Vicinity Map, for the location of the May Ranch Specific Plan relative to the New Horizons project site.

Development of the 135-acre New Horizons property will require an amendment to the City's General Plan and Zoning Map to convert the existing "A-1" (light agriculture) designation to an "SP" (Specific Plan) designation. Both a General Plan Amendment application and Change of Zone application are being filed concurrently with this Specific Plan. The project applicants are requesting the change of the "A-1" zoning



LEGEND

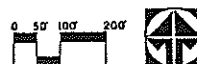
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EXISTING ELECTRICAL LINES

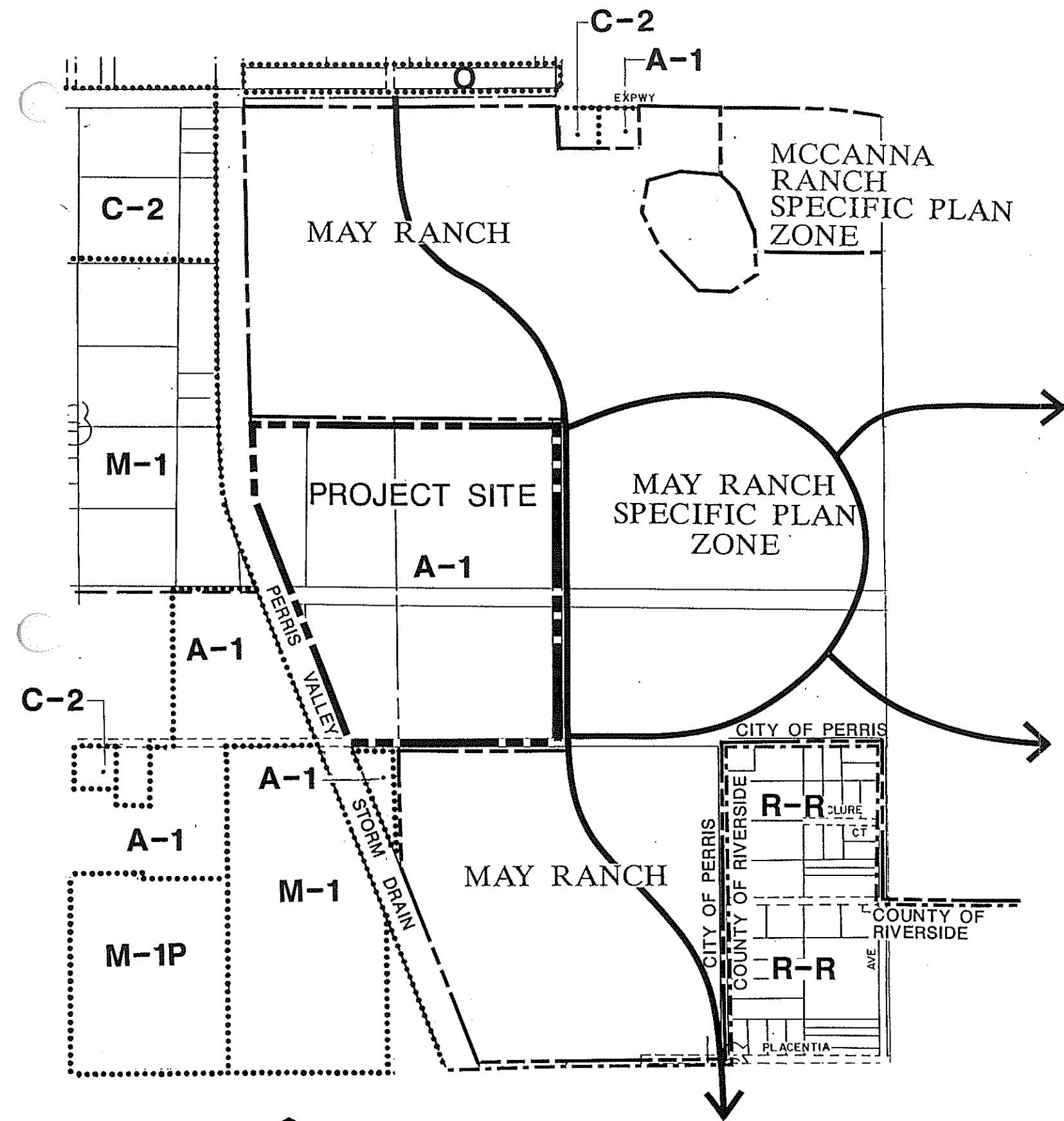
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FIGURE 4



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EXISTING ZONING

A-1	LIGHT AGRICULTURE
C-2	GENERAL COMMERCIAL
M-1	LIGHT MANUFACTURING
M-1P	LIGHT MANUFACTURING OVERLAY ZONE
R-R	RURAL RESIDENTIAL (COUNTY OF RIVERSIDE)
O	OPEN SPACE
	MAY RANCH MCCANNA RANCH SPECIFIC PLAN ZONE
	ZONE BOUNDARIES
	CITY OF PERRIS/ COUNTY OF RIVERSIDE BOUNDARY

**NEW
HORIZONS**

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NOT TO SCALE 18



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FIGURE 5

designation to "SP". Through approval of the New Horizons Specific Plan, the City's General Plan will be amended thereby assuring conformity between the Specific Plan, the General Plan, and the City's zoning ordinance. It should be noted that the 9.1-acre proposed greenbelt will require the approval of the MWD and the City of Perris as part of the approval for this Specific Plan.

D. PROJECT DESCRIPTION

1. Type of Project

The approximately 135-acre New Horizons project is envisioned as a balanced family-oriented master planned community. As shown in the Land Use Summary, Table 1, on page 22 of the New Horizons Specific Plan includes a mix of apartments and single-family detached residential dwellings. A maximum total of 215 apartments are planned on 16.3 acres in the southwest corner of the project site. The apartments will be constructed at an average density of 15 dwellings per acre (du/ac).

Single-family detached housing types within New Horizons will be organized according to three density categories: R-5000, R-5500, and R-6000. In no event shall any lot be less than 5,000 sq. ft. in size. In addition, no more than 579 single-family and 215 multi-family dwelling units shall be permitted in the New Horizons Specific Plan. For a more detailed discussion of project area land uses and housing, refer to Section III.A. and III.B. on pages 22 and 32 of this Specific Plan.

In addition to the various housing types offered within the New Horizons project, a proposed 9.1-acre public linear greenbelt is planned in the Metropolitan Water District (MWD) right-of-way, subject to permission from the MWD. The greenbelt will be landscaped and will be designed as a passive recreation facility. Also on-site, a public utilities corridor is proposed to run north-south along the western edge of the project site. The Perris Valley Storm Drain lies adjacent to the proposed utilities corridor on the western border of the project. Refer to pages 31 and 32 for more detailed information regarding the proposed linear greenbelt and the utilities corridor.

Phasing of the New Horizons project is discussed on page 53 under Project Phasing.

2. Market Objectives

The Specific Plan for New Horizons is intended to allow for the development of a quality residential community. It is anticipated that the housing types to be constructed will be priced to be highly marketable and will be in large demand in the Perris Valley. Specifically, the market objectives are:

- * To reinforce the community identity of the project vicinity through control of project design elements such as landscaping, color, paving, walls, fencing, signage, distinctive community entry treatments and through a viable circulation network.
- * To reflect anticipated marketing needs and public demand by providing affordable detached single-family dwelling units that will be marketable within the region.
- * To provide quality detached housing to serve entry-level couples, family, and retirement buyers.

3. Community Facilities District

It is anticipated that initial infrastructure improvements and ongoing maintenance responsibilities will be provided using the widest possible array of techniques, with the possible option of including a Mello Roos Community Facilities District. If a Mello Roos District is created, it will be used for financing major infrastructure improvements (e.g., water, storm drains, sewer, streets, etc.) in conjunction with other major development occurring in the adjoining May Ranch Specific Plan area and the nearby McCanna Ranch project.

The Mello Roos Community Facilities Act of 1982, commencing with Section 53311 of the Government Code, allows a local public agency to form a "community facilities district" within its boundaries to provide certain specified public improvements and services for the benefit of present and future residents within the district. Proceedings for the formation of a community facilities district are initiated by the appropriate local public agency to consider the exact facilities to be constructed, the incurring of bonded indebtedness and the levy of a "special tax" to pay the debt on any bonds subsequently issued. The special tax is then collected on the tax roles of the County, as would any other tax of a special district. The act is particularly appropriate for providing a means of financing regional improvements which may be necessary for property development as well as traditional local facilities.

4. Development Agreement or Vested Tentative Map

The New Horizons project site is located within the City limits of the City of Perris. To facilitate the orderly and planned growth and development of New Horizons, the project developer may process either a Development Agreement or Vesting Tentative Map with the City of Perris. However, approval of this Specific Plan does not imply that the City of Perris will enter into a Development Agreement with the developers of the New Horizons project or approve a Vesting Tentative Map. The laws applicable to development agreements (Government Code Section 65864 et seq.) are designed to allow the public agency and the developer to enter into an agreement corresponding to the specific problems that are raised by a particular development.

III. SPECIFIC DEVELOPMENT PLAN



In addition, a 9.1-acre linear greenbelt is proposed within the MWD right-of-way that bisects the project site from east to west. All development plans for the linear greenbelt will be subject to final review and approval by the MWD and the City of Perris.

The New Horizons Specific Plan project site is subdivided into five planning areas comprising residential and linear greenbelt uses. Three of the planning areas (Planning Areas 1, 3, and 5) are planned with single-family, detached housing. There is also a planning area designated with multi-family residential uses (Planning Area 2). A linear greenbelt is proposed in Planning Area 4. Because Planning area 4 is within the MWD right-of-way, development plans for the linear greenbelt will need to be reviewed and approved by the Metropolitan Water District (MWD). Figures 7 through 11 depict graphic representations of each planning area. Please note that access points, as shown in Figures 7 through 11 on pages 25 to 29, are conceptual in nature and are subject to change as tentative subdivision maps are prepared. Table 2, Planning Area Summary on page 30 includes a breakdown of the project by planning areas.

All areas designated for residential uses may be developed at a lower number of dwelling units, without requiring a change in the PRD - Specific Plan zoning. The tabulation on Figure 6, Specific Land Use Plan, reflects the total average density of the project. Actual densities in each planning area may vary above or below the average, based upon the size and shape of the individual planning area. However, the total number of single-family dwelling units may not exceed that allowed in each land use category and the total number of single-family lots allowed in the project may not exceed 579 lots. The total number of multi-family dwelling units shall not exceed 215 units at a density of no more than 15 dwelling units per acre (du/ac).

1. Residential

Approximately 125.9 acres, or 93 percent of the project, within the 135-acre New Horizons project will be devoted to residential uses. Of the residential acreage, about 109.6 acres (87 percent) will consist of single-family development and 16.6 acres (13 percent) will be developed as an apartment site. In all, 579 single-family and 215 multi-family dwelling units (794 units total) shall be constructed within the New Horizons project. Refer to Figure 6, Specific Land Use Plan, on page 23, for the location of the proposed residential development and each of the four residential planning areas. A detailed discussion of the proposed

PLANNING AREA 1

R-5000
32.3 AC
178 DU
5.5 DU/AC

NOTE:
THE ULTIMATE DESIGN FOR MASTER PLAN
LINE "T" MAY BE A CLOSED CONDUIT.
IF THIS HAPPENS, THE PIPE WILL BE PLACED
IN THE FUTURE STREETS AND THE 55' R/W
WILL NOT BE REQUIRED.

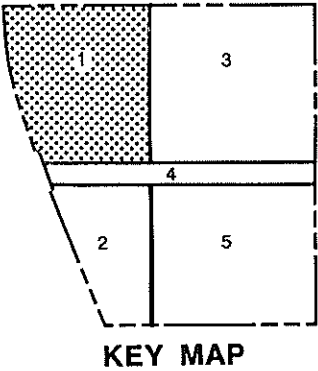
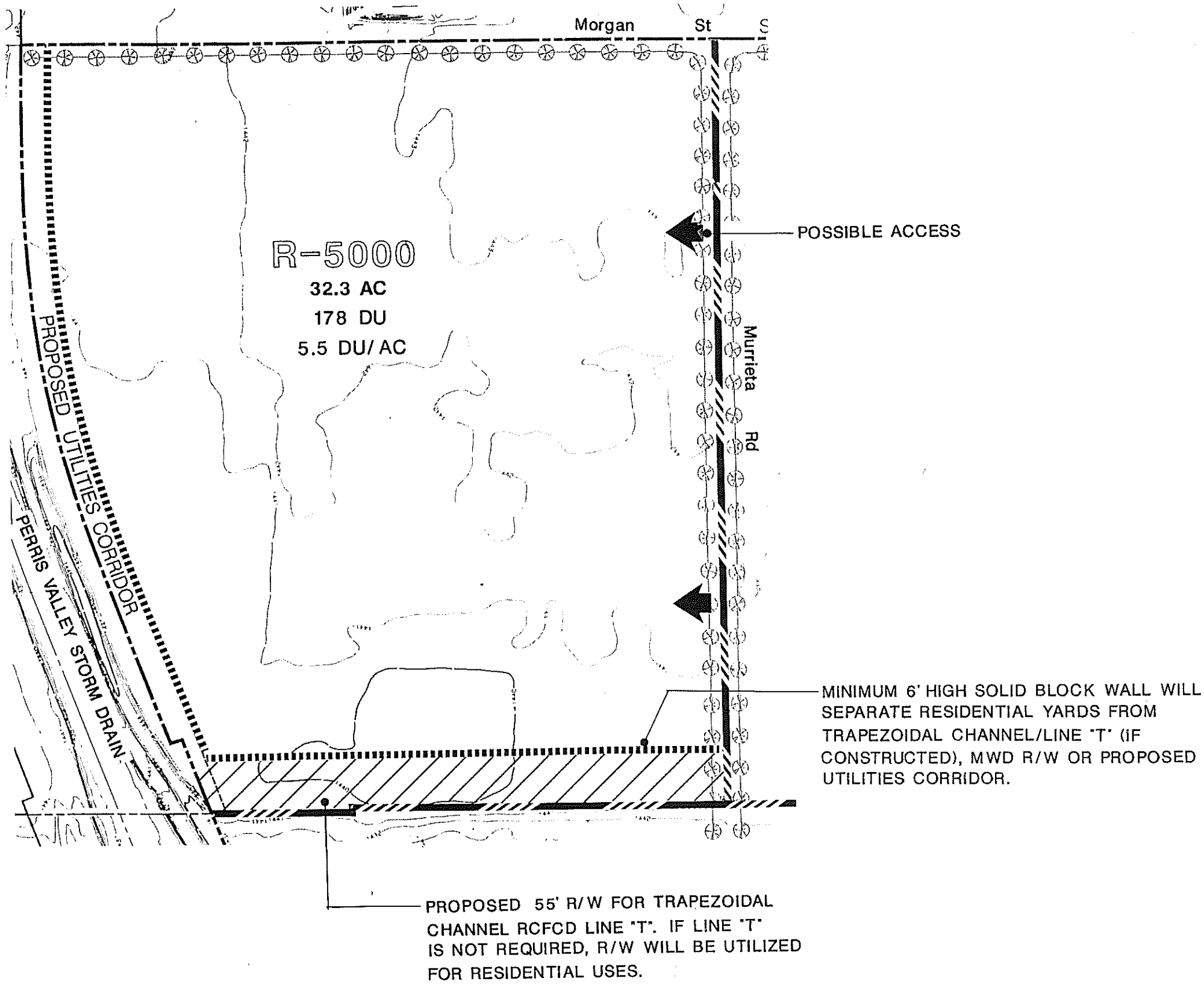


FIGURE 7

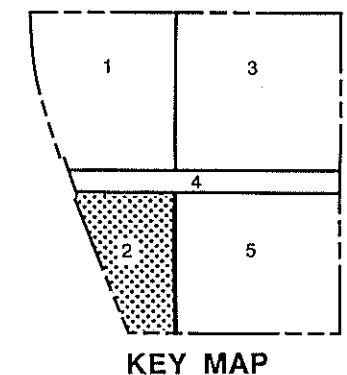
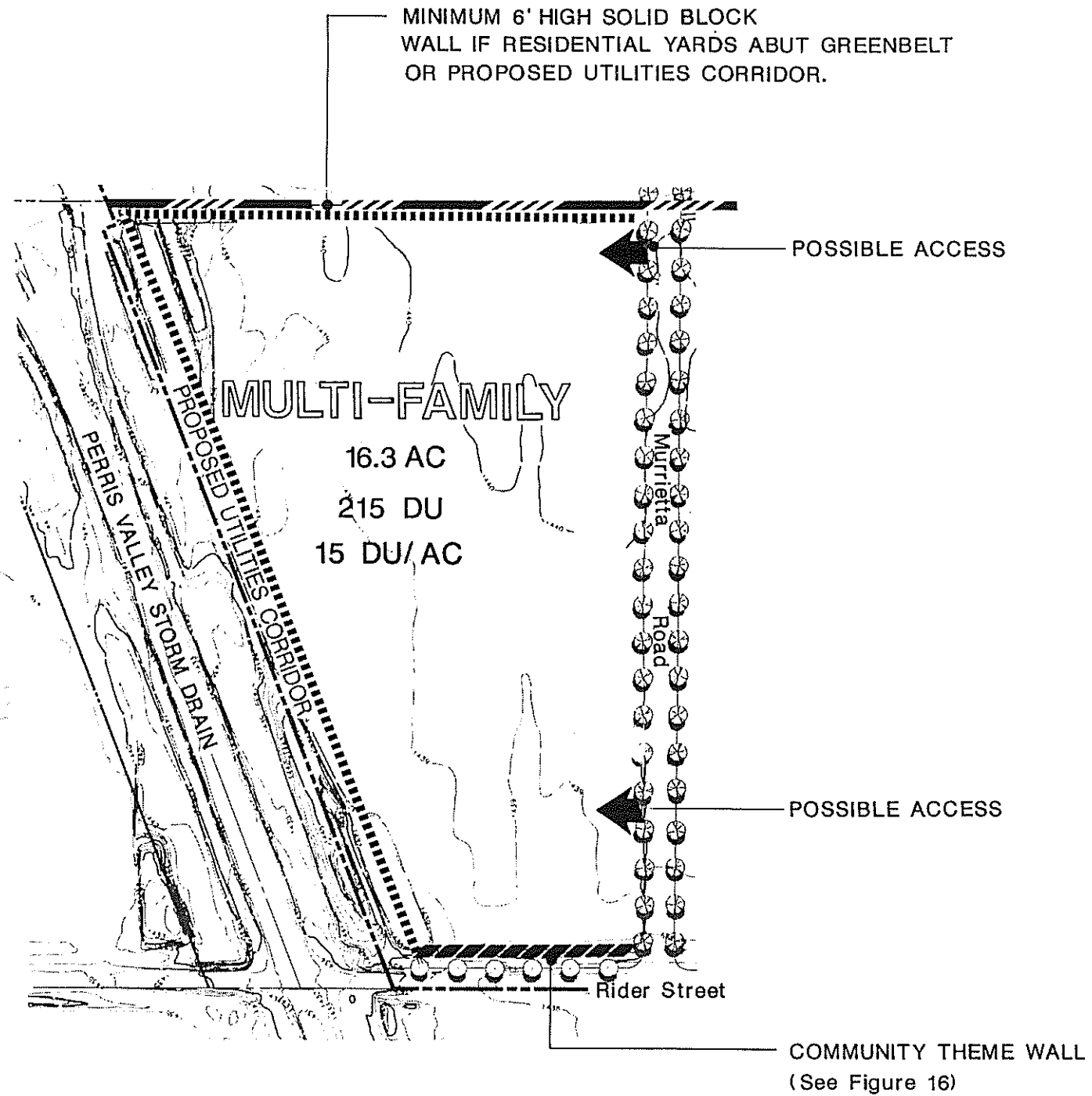
PLANNING AREA 2

MULTI-FAMILY

16.3 AC

215 DU

15 DU/AC



KEY MAP

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FIGURE 8

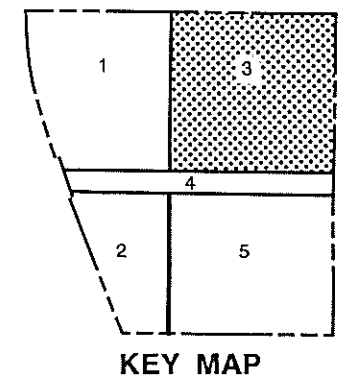
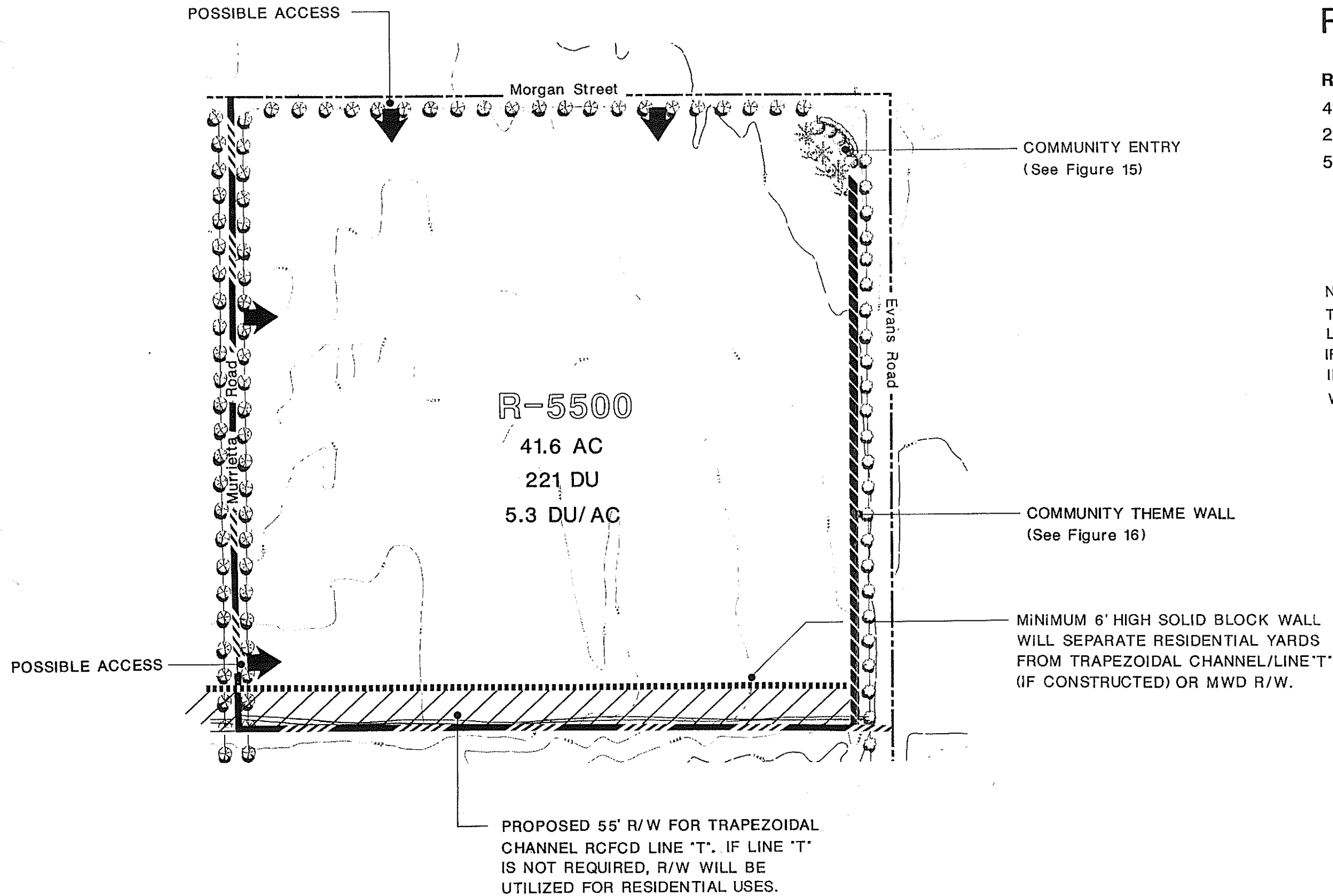


PLANNING AREA 3

R-5500
41.6 AC
221 DU
5.3 DU/AC

NOTE

THE ULTIMATE DESIGN FOR MASTER PLAN LINE "T" MAY BE A CLOSED CONDUIT. IF THIS HAPPENS, THE PIPE WILL BE PLACED IN THE FUTURE STREETS AND THE 55' R/W WILL NOT BE REQUIRED.



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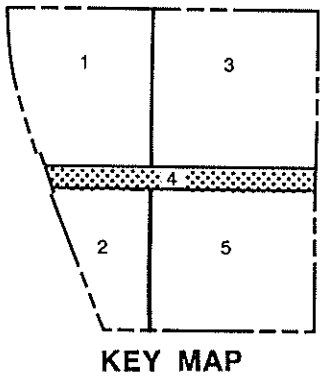
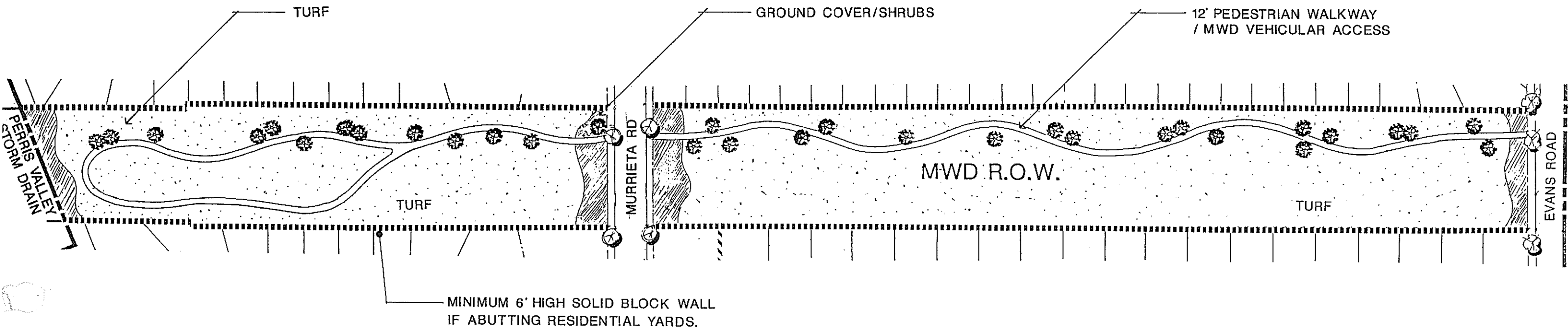
FIGURE 9



TURRIN & BRINK
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1017 JENSEN RD. SUITE 200
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PLANNING AREA 4

GREENBELT
9.1 AC



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NOT TO SCALE



FIGURE 10
TERRIN & BRINK
Planning Consultants
22111 14TH AVE. STE. 101
TUSTIN, CA 92680
TEL: 714/261-1111 FAX: 714/261-1112
WWW.TERRIN-AND-BRINK.COM

PLANNING AREA 5

R-6000
 35.7 AC
 180 DU
 5.0 DU/AC

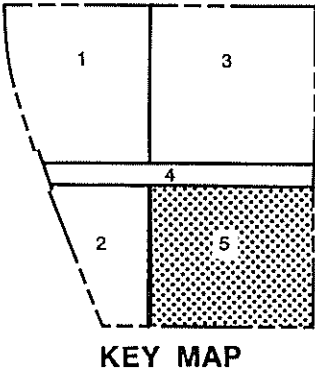
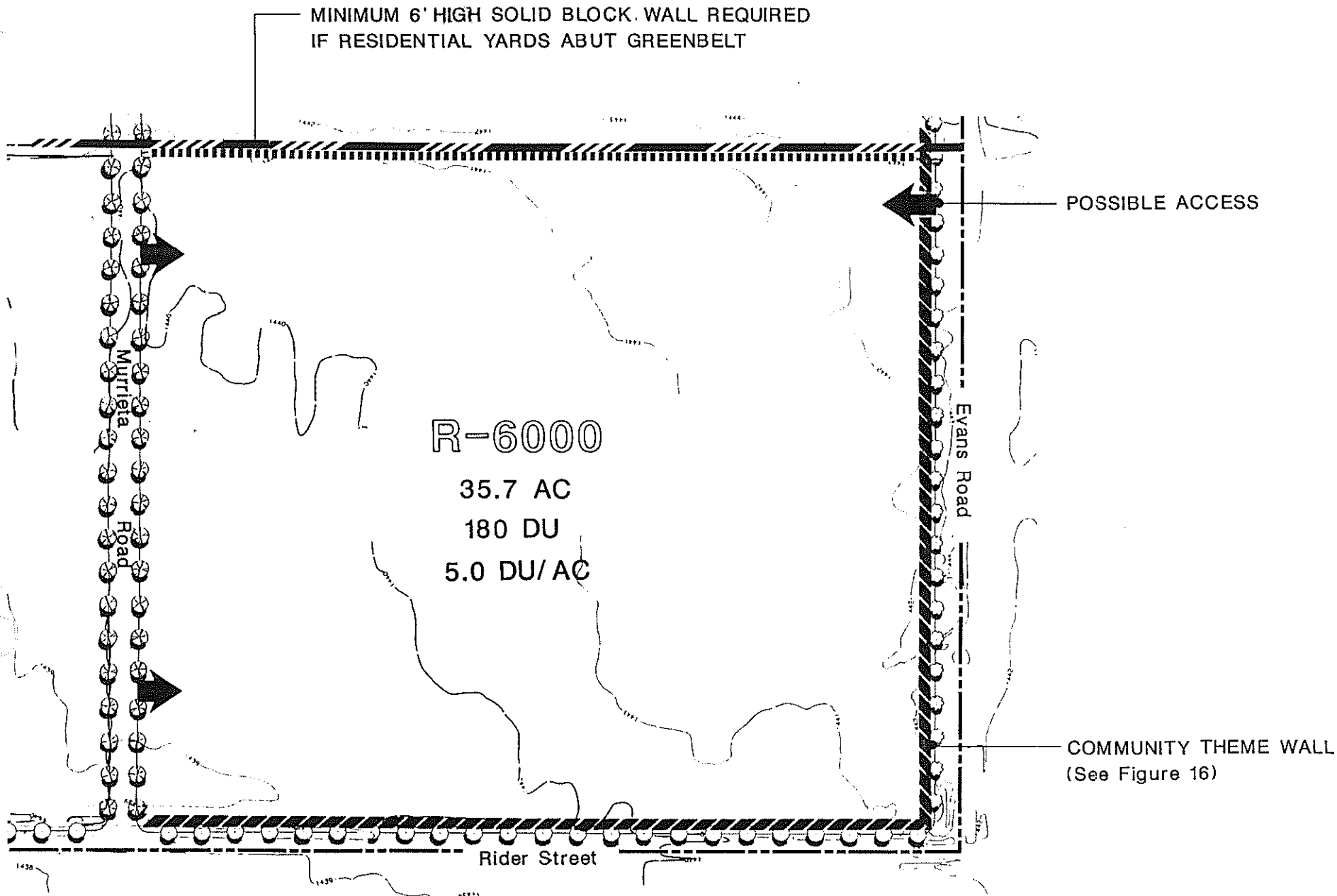


FIGURE 11



TABLE 2
PLANNING AREA SUMMARY

<u>PLANNING AREA</u>	<u>MINIMUM LOT SIZE</u>	<u>TOTAL ACREAGE</u>	<u>GROSS DENSITY</u>	<u>TOTAL DWELLING UNITS</u>
1	5,000 SF	32.3 AC	5.5 DU/AC	178 DU
2 (MULTI-FAMILY)	--	16.3 AC	15 DU/AC	215 DU
3	5,000 SF	41.6 AC	5.3 DU/AC	221 DU
4 (GREENBELT)	--	9.1 AC	--	--
5	5,500 SF	35.7 AC	5.0 DU/AC	180 DU
TOTAL PROJECT	--	135.0 AC	5.9 DU/AC	794 DU

residential development is discussed in Section III.B., Housing Program, on page 32 of this Specific Plan.

In the event that the City of Perris chooses to extend the width of the Perris Valley Storm Drain right-of-way to accommodate the proposed widening of the Storm Drain, then the developer shall be entitled to either monetary compensation and/or a density transfer over the balance of the New Horizons property in order to allow the developer to maintain a total of 579 single-family and 215 multi-family dwellings. However, in no event shall the number of units to be constructed within the New Horizons Specific Plan area exceed 579 single-family and 215 multi-family dwelling units. A minimum lot size of 5,000 square feet is established for the entire project.

2. MWD Right-of-Way

A 9.1-acre Metropolitan Water District (MWD) right-of-way passes through the center of site from east to west. This right-of-way has a constant width of 175 feet as it crosses the site and is shown as Planning Area 4 on Figure 10 on page 28. Within the right-of-way are two large existing pipelines which carry water from the Colorado River to areas within Southern California. These pipes are 12-feet and 13-feet in diameter; the center of each pipe is located 25 feet from the centerline of the MWD right-of-way. See Figure 15 for a graphic representation of the pipe locations. The MWD does not permit the planting of trees within 15 feet of the centerline of any pipeline under its control.

A linear greenbelt is proposed within the MWD right-of-way, provided that MWD and the City of Perris have reviewed and approved all plans for the proposed use of the right-of-way. Refer to Section III.D., Open Space and Recreation Program, on page 39 for an in depth discussion of the proposed linear greenbelt.

3. Public Utilities Corridor

A 2.3-acre public utilities corridor, running from north to south, is proposed along the western boundary of the project site. This corridor will have an average width of approximately 40 feet.

Currently, several Southern California Edison (SCE) transmission lines cross the project site. The largest of these lines, a 115 kilovolt (KV) above-ground transmission line, extends from north to south. If SCE grants their permission for relocating this transmission line, then the 115 KV line may be relocated into either the new proposed utilities corridor or parallel to planned streets. The project master developer will grant or dedicate the corridor to SCE if the land is used for public utilities. Furthermore, SCE will be responsible for landscaping and maintenance of the corridor. No recreational facilities or uses are proposed within the corridor.

If SCE chooses not to relocate the existing on-site transmission lines into the proposed utilities corridor, then the corridor will be unnecessary and the master developer will develop the land with residential uses.

In addition, there are also several above-ground 12 KV lines existing on-site. Please refer to Figure 4, Existing Electrical Lines, for a graphic representation of the locations of the existing transmission lines.

A minimum 6 foot high solid block wall shall separate the adjoining residential yards from this public utilities corridor. In addition, all walls facing the public utilities corridor will be treated with a graffiti resistive coating. Access to the corridor will be available from Morgan and Rider Streets.

4. Linear Greenbelt

The New Horizons project proposes that a landscaped linear greenbelt be developed in the 9.1-acre MWD right-of-way. All landscaping and development plans for the linear greenbelt will be subject to approval by the MWD and the City of Perris. The proposed greenbelt will contain a 12-foot wide pedestrian path that will also provide vehicular access for routine maintenance of the greenbelt and MWD right-of-way. The greenbelt will be available for passive recreation uses. For more information regarding the proposed linear greenbelt, please refer to Section III.D., Open Space and Recreation Program, on page 39 of this Specific Plan.

B. HOUSING PROGRAM

The major objective of the New Horizons project is to provide detached single-family dwellings in a balanced family-oriented community setting. A variety of neighborhoods featuring a diverse lot and home styles will satisfy a broad spectrum of lifestyles. In addition, approximately 215 apartment units

shall be constructed on 16.3-acres to provide for the housing needs of the community. Such a diversity of housing is intended to appeal to several market segments, including singles, couples, young families, move-up families, and the retired.

Typical housing types as approved by the City of Perris within the New Horizons project will be organized according to four density categories. These categories include:

(1) R-6000 RESIDENTIAL DEVELOPMENT:

Detached, single-family residential development is planned on 35.7 acres in the southeastern portion of the New Horizons Specific Plan project area (Planning Area 5). The total number of dwelling units in Planning Area 5 shall not exceed 180 units. The average density will be 5.0 dwellings per gross acre. In no case shall any lot in this zone be less than 5,500 square feet in size. Homes may be designed to range from 1 story bungalows to more spacious 2 story homes. Mobile homes shall not be permitted. The minimum living area per dwelling unit shall be 1,200 square feet. All dwellings within this zone shall be subject to the development standards contained in Section V.B.1, Specific Plan Zoning Standards, starting on page 63 of this Specific Plan.

(2) R-5500 RESIDENTIAL DEVELOPMENT:

The R-5500 residential areas are established for the development of approximately 221 detached, single-family homes on 41.6 acres in Planning Area 3, north of the MWD right-of-way. The total number of dwelling units in Planning Area 3 shall not exceed 221 units at an average density of 5.0 dwellings per gross acre. Homes may be designed to range from 1 story bungalows to more spacious 2 story homes. Mobile homes shall not be permitted. The minimum living area per dwelling unit shall be 1,100 square feet. In no case shall any lot be smaller than 5,000 square feet in size. All dwellings within this zone shall be subject to the development standards contained in Section V.B.2, Specific Plan Zoning Standards, starting on page 67 of this Specific Plan.

(3) R-5000 RESIDENTIAL DEVELOPMENT:

Detached, single-family dwelling units are planned in Planning Area 1. Planning Area 1 contains a total of 32.3 acres. The total number of dwelling units in Planning Area 1 shall not exceed 178 dwellings. The average density will be 5.5 dwellings per gross acre. Conventional single-family detached homes shall be constructed in Planning Areas 1. Mobile homes shall not be permitted. The minimum living area per dwelling unit shall be 1,000 square feet. In no case shall any lot be less than 5,000 square feet in size. All dwellings within this zone shall be subject to the development standards contained in Section V.B.3, Specific Plan Zoning Standards, starting on page 70 of this Specific Plan.

(4) MULTI-FAMILY RESIDENTIAL DEVELOPMENT:

The multi-family zone is intended to provide rental units or condominiums for a variety of housing needs. These units will be constructed at the intersection of Murrieta Road and Rider Street. The apartments will be constructed at an average density of 15 units per acre, not to exceed a maximum total of 215 units. The buildings will be designed to contain a variety of one, two, and three bedroom units. Studio apartments may also be provided if there is a need. The minimum building site area shall not be less than 6,000 sq. ft., but in no case shall a multiple family dwelling occupy a site which provides less than 2000 sq. ft. of land area per each family unit. Each dwelling unit shall have a minimum ground floor area of not less than four hundred eighty (480) sq. ft., exclusive of unroofed porches, carports and garages. All dwellings within the Multi-Family zone shall be subject to the development standards contained in Section V.B.4, Specific Plan Zoning Standards, starting on page 73 of this Specific Plan.

In all, there will be 579 detached single-family dwellings and 215 apartment units constructed in the New Horizons project. In no event, shall any lot be less than 5,000 sq. ft. in area be permitted. In addition, no more than 579 single-family dwellings shall be permitted in the New Horizons Specific Plan, regardless of lot size.

Blending of these density categories is the result of thoughtful planning so that the completed dwellings complement one another and are unified through project design elements such as architecture, landscaping, walls, fencing, and community entry treatments. Refer to pages 47 through 53 for a detailed discussion of proposed project design elements.

The developer and/or builder of each residential tract or apartment complex will impose and control architectural standards to assure compatibility of individual development tracts with the same distinctive community theme. The developer and/or builder of each development will be required to submit plans for architectural product types and public right-of-way landscaping to the City of Perris for review and approval in conjunction with tentative map submittals.

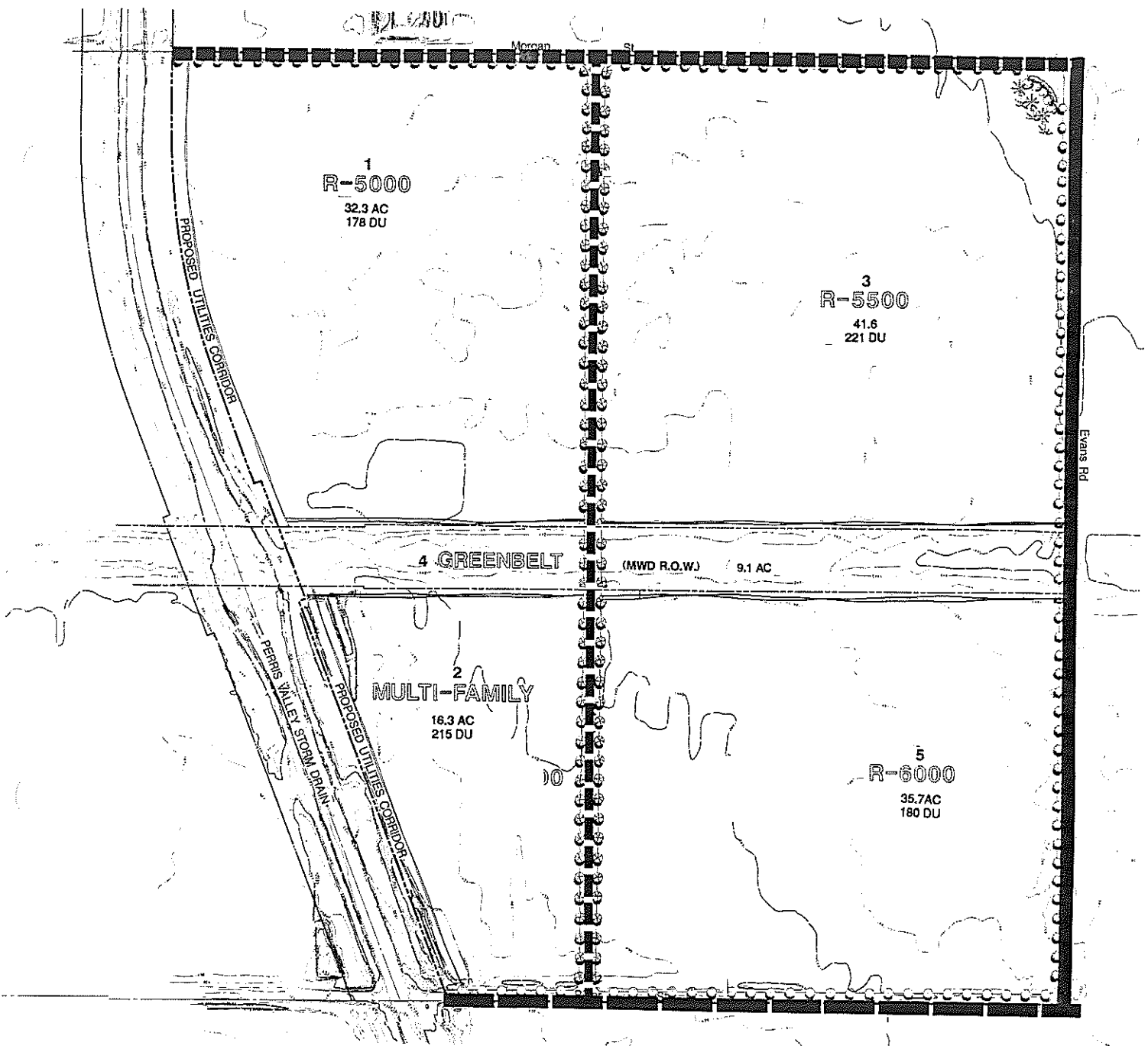
C. MASTER CIRCULATION PLAN

The proposed roadway circulation system for the New Horizons project contains roadway widths, alignments, and access locations that respond to the adopted May Ranch Plan of Circulation and meets the needs of the project and other nearby developments. The New Horizons Project will be developed in conjunction with the May Ranch Plan of Circulation as adopted by the City of Perris on May 16, 1989.

Access to the project site is available from the Ramona Expressway at Rider Road. The Ramona Expressway is designated as an Expressway on the Riverside County Master Plan of Highways and is the major thoroughfare in the area. The Ramona Expressway also provides access to the site from Interstate 215 (I-215) which is about 2 1/2 miles to the west of the project. Currently, Rider Street and a portion of Evans Road are the only available direct access to the site.

There are four categories of public streets proposed for the New Horizons project. All project streets are shown on Figure 12, Master Circulation Plan. Refer to Figures 13 & 14 for typical street cross sections. The following roadway categories are found on-site:

Arterial Highway (Evans Road) - 110 foot right-of-way. This design will allow for two travel lanes and one parking lane in each direction. A median will allow for left-hand turn lanes and center landscaping. Also, there will be 12 feet of sidewalk and landscaping on either side of the roadway. New Horizons will only be responsible for development of half of the right-of-way for Evans Road, plus 10 feet additional pav-



LEGEND

	ARTERIAL HWY (EVANS RD)
	MAJOR HWY (RIDER ST)
	COLLECTOR ST (MORGAN ST)
	LOCAL ST (MURRIETA ST)

R.O.W.
110'
92'
60'
56'

MASTER CIRCULATION PLAN

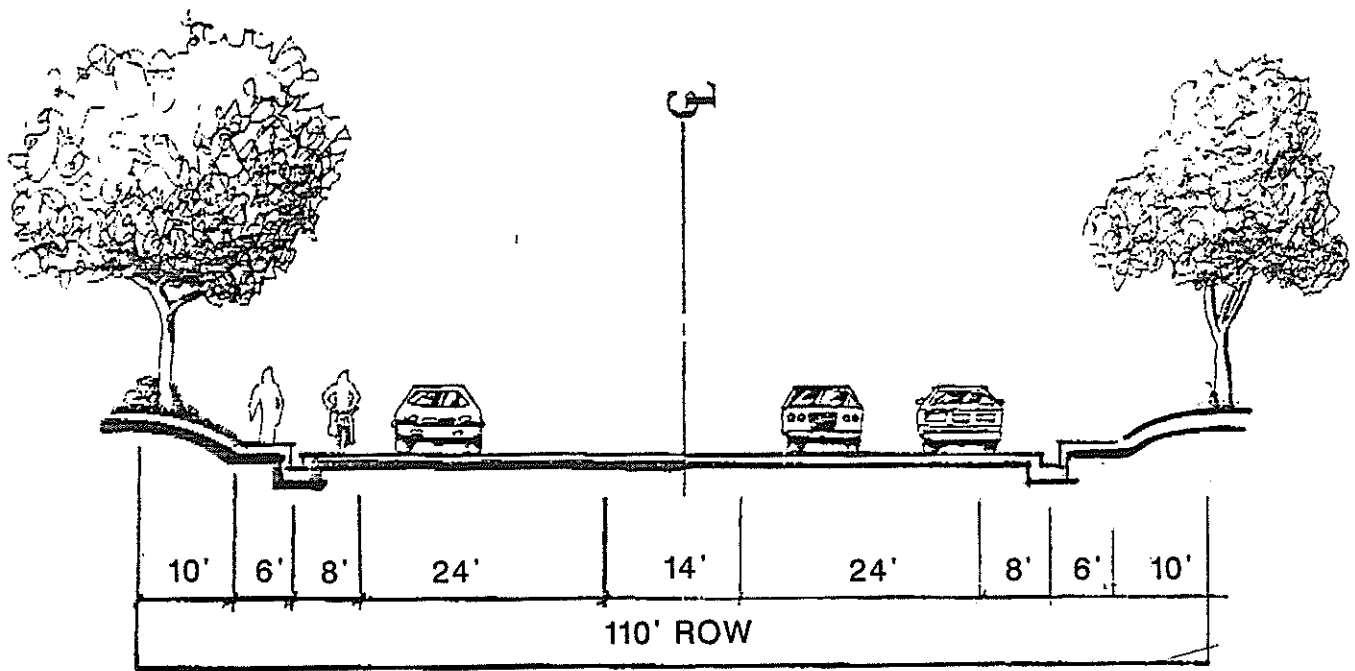
NEW HORIZONS

Prepared for:
 PERRIS PARTNERS 17671 IRVINE BLVD., STE. 205
 TUSTIN, CA. 92680

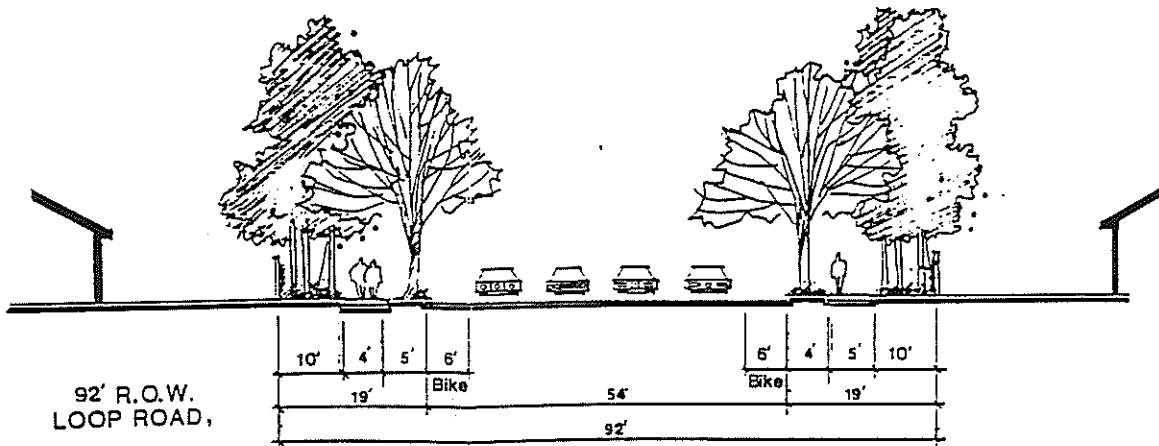
FIGURE 12



TURRIN&DRINK
 Planning Consultants
 1111 HOLLADAY BLVD., SUITE 200
 SANTA ANA, CALIF. 92701-1711 (714) 443-1122
 7120 FRANK STREET, SUITE 101
 SAN DIEGO, CALIF. 92121-1606 (619) 594-3095



ARTERIAL HWY
(EVANS RD)



MAJOR HWY *
(RIDER ST)

TYPICAL STREET CROSS SECTIONS

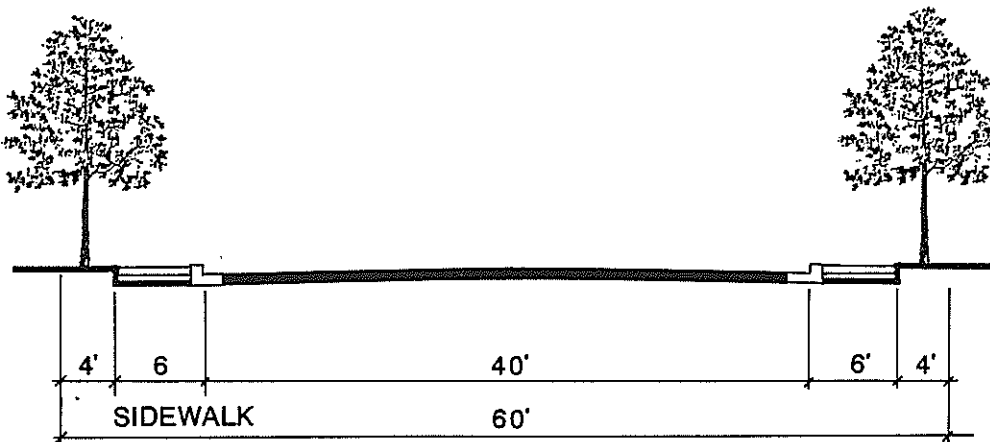
NEW HORIZONS

* NOTE: A LEFT TURN POCKET SHALL BE CONSTRUCTED ON RIDER ST. (EAST BOUND) TO CENTER ST. (NORTHBOUND). PAVEMENT WIDTH SHALL WIDEN TO 68' TO ACCOMMODATE THE TURN LANE.

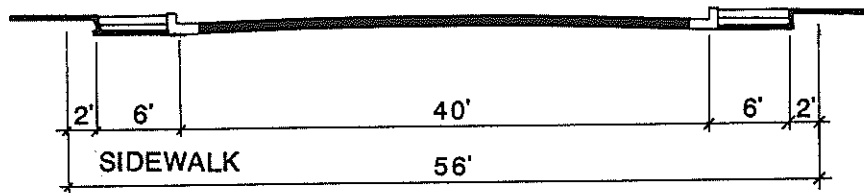
Prepared for:
PERRIS PARTNERS 17671 IRVINE BLVD., STE. 205
TUSTIN, CA. 92680

FIGURE 13

TURRINI & BRINK
Planning Consultants
1101 HALLWAY BLVD. 100
SANTA ANA, CA 92705 (714) 847-3770
2100 ROAD STREET, SUITE 102
SAN DIEGO, CA 92101 (619) 594-3999



COLLECTOR/LOCAL STREET
(MORGAN ST)



LOCAL INTERIOR STREET
(MURRIETA STREET, ALL LOCAL
IN-TRACT STREETS)

TYPICAL STREET CROSS SECTIONS

NEW
HORIZONS

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FIGURE 14

TURRIN & BRINK
Planning/Consultants
1412 HALLMARK BLVD., SUITE 200
SAN DIEGO, CALIF. 92108-1744 619-594-2774
FAX 619-594-2775
WWW.TURRIN-AND-BRINK.COM

ing and grading on the other side of centerline of street subject to availability of the adjacent property.

Major Street (Rider Street) - 92 foot right-of-way. This design will allow two travel lanes and one bike lane in each direction. New Horizons will be responsible for development of half of the right-of-way.

A bridge crossing the Perris Valley Storm Drain at Rider Street is shown on the City's Circulation Master Plan. The bridge will be a community-wide benefit. The developer(s) of the New Horizons project will participate in financing of the bridge structure.

Collector Street (Morgan Street) - 60 foot right-of way. This design allows for one travel lane and one parking lane in each direction with 10 feet for sidewalk and landscaping. All 60 foot right-of-way streets will be developed to half street standards, plus 10 feet of additional paving and grading on other side of centerline of street subject to availability of the adjacent property. The areas applicable will be identified on the tentative tract maps. New Horizons will only be responsible for development of half of the street right-of-way for Morgan Street, plus 10 feet additional paving and grading on the other side of centerline of street subject to availability of the adjacent property.

Local Residential Streets (Murrieta and Local In-Tract Streets) - 56 foot right-of-way. This design provides for one travel and one parking lane with 8 feet for parkway and sidewalk in each direction.

D. OPEN SPACE AND RECREATION PROGRAM

The New Horizons project proposes that the 9.1-acre Metropolitan Water District (MWD) right-of-way be developed as a public community greenbelt. The 175 ft. wide linear greenbelt will be designed for passive uses and include a twelve (12) foot wide pedestrian trail along the entire length of the MWD right-of-way. The path will also provide access for routine maintenance of the greenbelt and the MWD right-of-way.

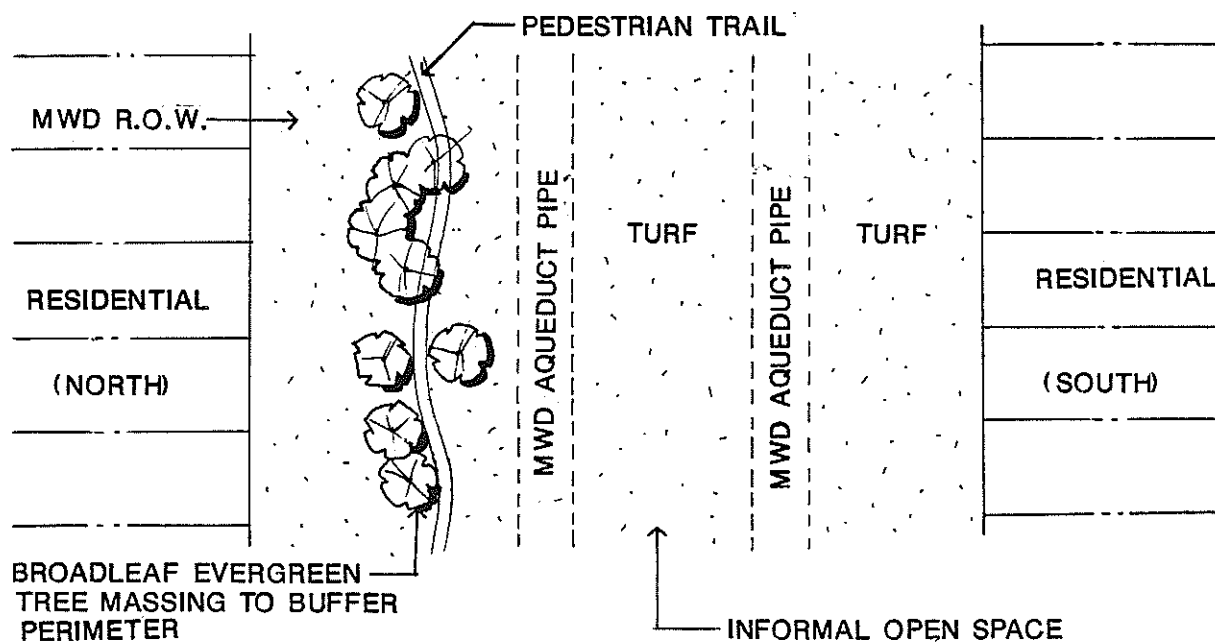
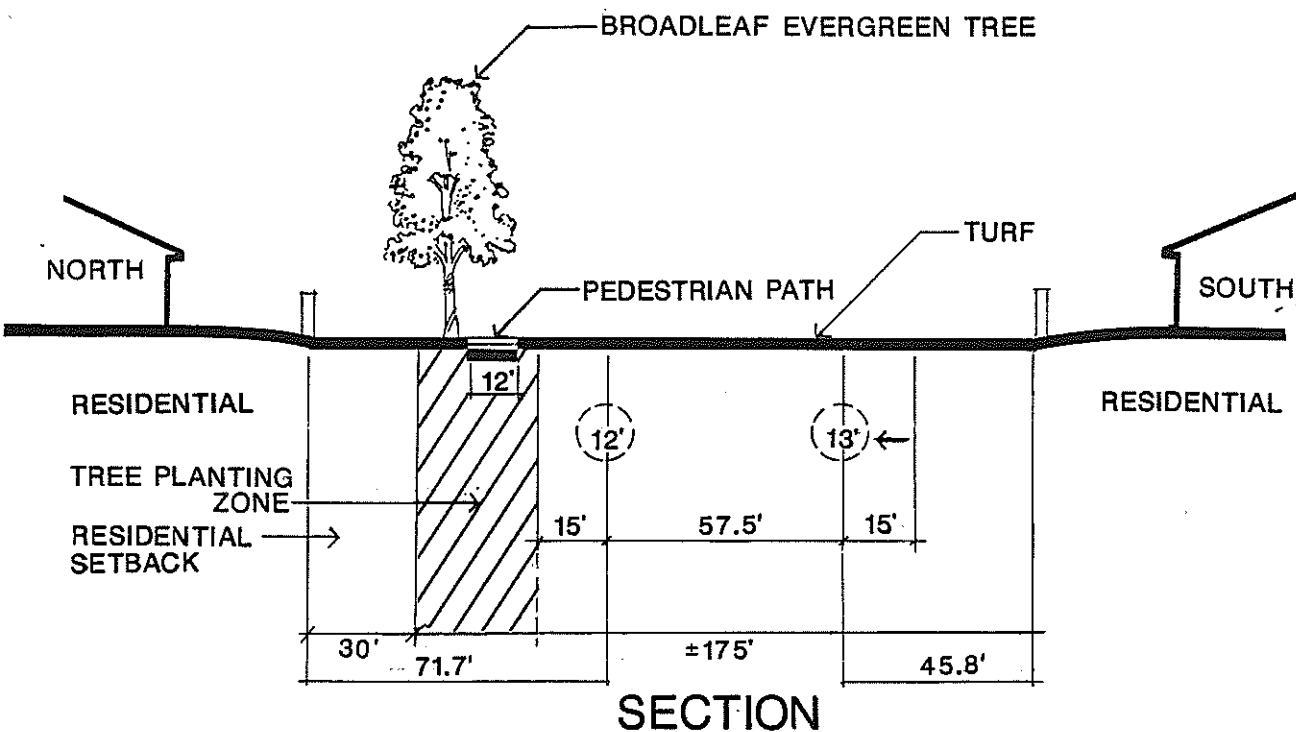
The linear greenbelt is being designed as a passive recreational facility with a combined pedestrian trail and MWD service road. The majority of the greenbelt will be turfed open space available for informal play and games such as frisbee. When developed, the following facilities and amenities shall be considered for Planning Area 4: landscaping (including trees, turf and shrubs); automatic dual irrigation system; paved pedestrian/bicycle paths; picnic tables; park benches; drinking fountains; refuse receptacles; and an exercise course, frisbee golf course and/or shuffleboard courts. No athletic fields, tot lots, or programmed recreational facilities are planned in the greenbelt.

The proposed twelve foot wide trail will tie into the trail traversing through the MWD right-of-way in the adjacent May Ranch project. The location of the path, as well as the materials of which it shall be constructed, shall be subject to approval by the MWD and the City of Perris. Access to the linear greenbelt from the adjacent residential neighborhoods will be available from Evans and Murrieta Roads. A minimum 6 foot high solid wall shall separate any adjoining residential rear yards from the MWD right-of-way, except as may be provided pursuant to Condition No. 21 of the Conditions of Approval.

Please refer to Figure 10, Planning Area 4, on page 28 for a graphic illustration of the linear greenbelt. This is a conceptual plan only and is not intended to represent the final site layout. Figure 15 shows a typical cross section and plan view of the greenbelt.

No trees in the linear greenbelt shall be permitted within 15 feet of the centerline of any MWD pipeline as per MWD standards or within 30 feet of any residential lot. The 30 foot setback from adjacent residential lots is proposed per recommendation by the Perris Police Department. Use of shrubs should be kept to a minimum and all shrubs should be low and intermittently spaced.

The proposed greenbelt will be improved and landscaped by the master developer/builder as a 50% credit against City park fees. Every effort shall be made to coordinate the landscape planting with the adjoining May Ranch project to create the appearance of one continuous greenbelt. Permanent irrigation facilities shall be installed for all landscaped areas within the greenbelt. The project developer intends to cooperate with the City of Perris and the Eastern Municipal Water District (EMWD) to utilize tertiary water facilities for irrigation of certain parkways and the proposed linear greenbelt as dictated by the EMWD. In addition, the location of the pedestrian trail will be designed to align with the



GREENBELT-PLAN VIEW & SECTION

NEW
HORIZONS

Prepared for:
PERRIS PARTNERS 17671 IRVINE BLVD., STE. 205
TUSTIN, CA. 92680

NOTE: FINAL DESIGN FOR PLANNING AREA 4, SHALL CONSIDER THE FACILITIES AND AMENITIES DESCRIBED ON PAGE 40 IN CONFORMANCE WITH CONDITIONS OF APPROVAL #21 AND 43h.

FIGURE 15

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Planning Consultants
1212 PINEHURST BLVD. #100
SAN ANTONIO, TEXAS 78204-2176
710-591-1100 FAX 710-591-1101
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proposed trail in the adjacent May Ranch greenbelt. Upon completion of all planned improvements, a Landscape Maintenance District will assume maintenance responsibility for the greenbelt. All development plans for the proposed greenbelt will be subject to review and approval by the MWD and the City of Perris. Should the MWD not allow improvements as proposed, the linear greenbelt shall remain as unimproved open space. The developer will then secure (i.e., fence) the MWD right-of-way within the project to restrict public access to the MWD property. In addition, all walls facing the MWD right-of-way will be treated with a graffiti resistive coating.

E. WATER AND SEWER PLANS

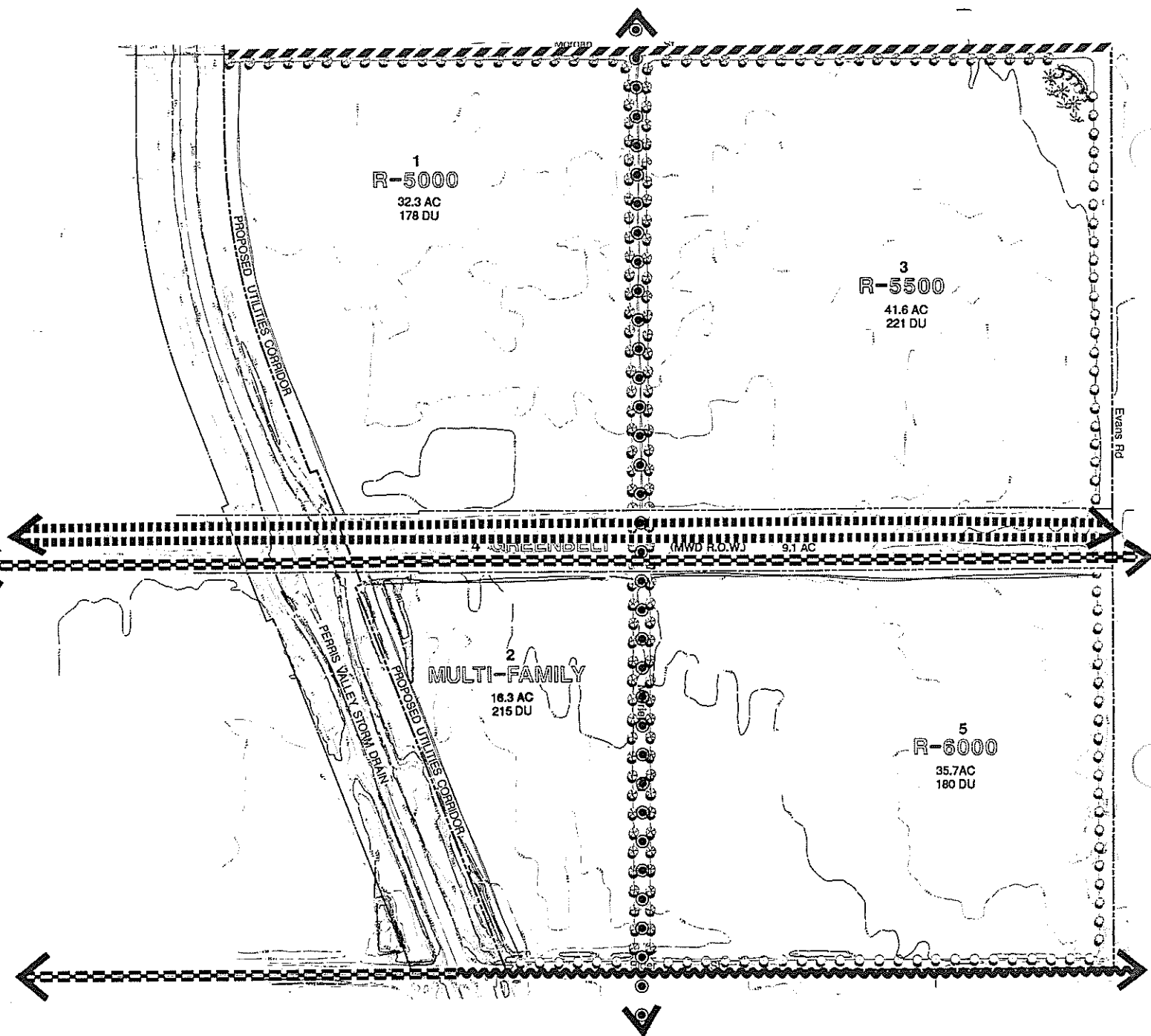
At present, the project site is being farmed. There may be on-site wells associated with the irrigation of crops. These existing on-site wells shall be capped to the satisfaction of the City Engineer. Water and sewage disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department, Eastern Municipal Water District (EMWD), and Regional Water Quality Control. Figure 16 shows the locations of existing and proposed water lines. Figure 17 illustrates both existing and proposed sewer facilities.

Detailed water and sewer plans shall be submitted concurrently with tentative subdivision maps. These plans will be subject to approval by the appropriate City, County, and quasi-public agencies, districts, and departments.






The New Horizons project has petitioned the EMWD for inclusion in the proposed Northwest Perris Valley Sewer Assessment District No. 10.

F. CONCEPTUAL GRADING PLAN

The existing topography of the project site is mostly flat. Because the site exhibits almost no topographic relief, it is expected that very minimal cut and fill grading operations will be required. However, it may prove necessary to import fill dirt to raise the property above the existing flood plain. A conceptual grading plan will be created at a later date as more detailed plans are prepared for the project. Each planning area will be graded prior to the start of construction of that particular planning area. In addition, all grading within the New Horizons Specific Plan shall be performed in accordance with City of Perris Ordinances and policies.



LEGEND

-  MWD AQUEDUCT (2 PIPES)
-  36" WATER LINE (EXISTING)
-  27" WATER LINE (EXISTING)
-  24" WATER LINE (EXISTING)
-  8" WATER (FUTURE)

WATER PLAN

**NEW
HORIZONS**

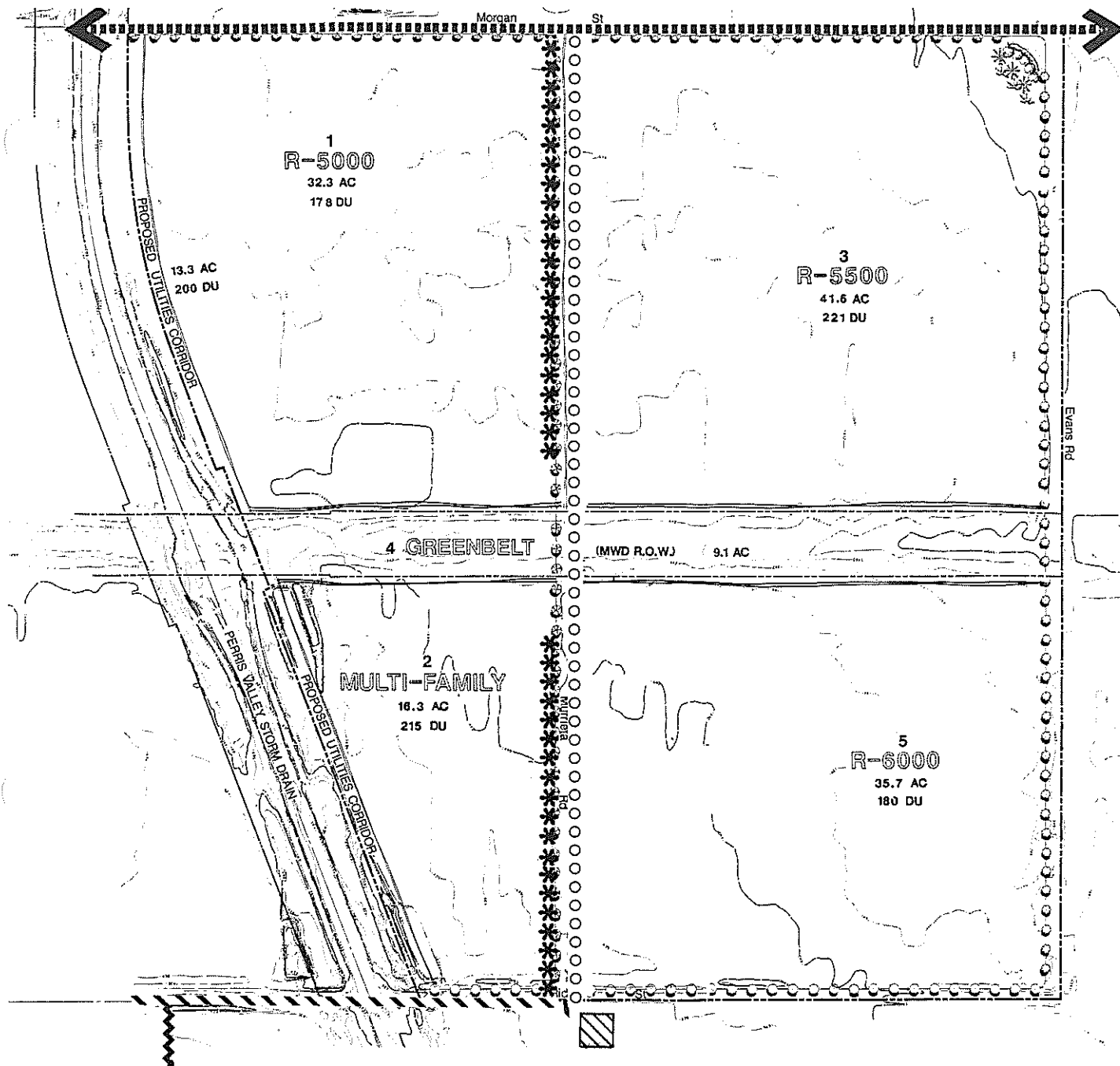
Prepared for:
PERRIS PARTNERS 17671 IRVINE BLVD., STE. 205
TUSTIN, CA. 92680



FIGURE 16



TURPIN & BRINK
Planning Consultants
1100 N. GATEWAY BLVD., SUITE 200
SANTA ANA, CA 92701 (714) 845-3770
FAX (714) 845-3771
WWW.TURPINBRINK.COM



LEGEND

- 48" SEWER (FUTURE) @ WILSON AVE.
- 24" SEWER (PER McCANNA RANCH)
- 21" SEWER (FUTURE)
- 8" FORCE MAIN (TEMPORARY)
- 8" SEWER (FUTURE)
- TEMPORARY LIFT STATION

SEWER PLAN

NEW HORIZONS

Prepared for:
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TUSTIN, CA. 92680

FIGURE 17



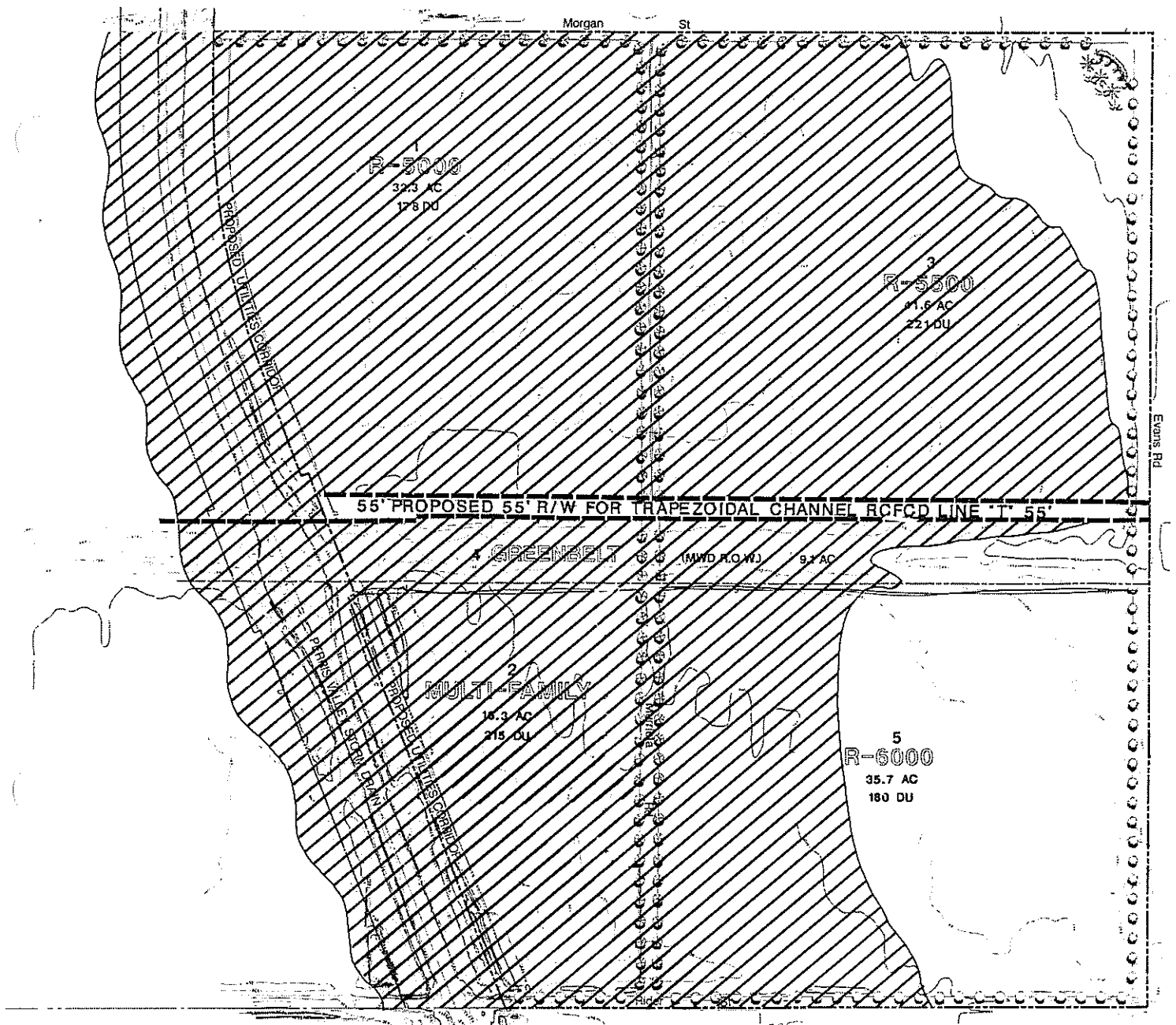
TURRINI & BRINK
 Planning Consultants
 1812 HILLVIEW DRIVE, SUITE 200
 COSTA MESA, CALIF. 92626-1270
 (714) 442-1171 FAX (714) 442-1170
 1000 ORANGE STREET, SUITE 101
 SAN DIEGO, CALIF. 92101-1000

G. FLOOD CONTROL & DRAINAGE PLAN

The City of Perris has adopted Urgency Ordinances Numbers 785 and 789 placing temporary restrictions on development approvals and the issuance of building permits along the Perris Valley Storm Drain between Ramona Expressway and the San Jacinto River. This moratorium affects land within the proposed 750 foot right-of-way width of the Perris Valley Storm Drain including land within the New Horizons project. The New Horizons Specific Plan is based on the assumption that the moratorium will be lifted and that the New Horizons project will be permitted to proceed. The New Horizons project will be designed to accommodate the proposed ultimate configuration of the Perris Valley Storm Drain, which has not been decided as of July, 1989.

The New Horizons project site is located within the Riverside County Flood Control "Perris Valley Master Plan of Drainage", and currently drains to the southwest at a rate of approximately 0.3%. The project is bisected by Master Plan Line "T" as shown on Figure 18, Flood Plan & Drainage Channel Plan, on page 46. This line will be constructed as part of the New Horizons development. The timing of the construction will depend on coordination with the Riverside County Flood Control District and the City of Perris.

As of July 1989, these agencies are studying the ultimate configuration for the Perris Valley Storm Drain. Both the storm drain type and the vertical and horizontal alignment of line "T" will be governed by the final design of the Perris Valley Storm Drain. The design of the Perris Valley Storm Drain will lower the 100 year flood plain elevation to a level at or below the existing ground adjacent to the channel right-of-way. Line "T" will discharge into this facility. The type of facility, as well as the vertical and horizontal alignment of Line "T" will depend upon the ultimate channel configuration. There are two (2) developments currently being designed, May Ranch and McCanna Ranch, which would construct a temporary channel within the future Line "T" right-of-way. This temporary channel will be designed to support some development within the New Horizons Specific Plan area. The extent to which this can be accomplished will depend upon coordination with the governing agencies. Areas tributary to Line "T" will be discharged into Line "T", areas south of Line "T" will drain according to existing drainage patterns. Line "T" will be constructed through the southern portions of Planning Areas 1 and 3 and will not affect the MWD right-of-way or the proposed linear greenbelt in any manner.



100-YEAR
FLOODPLAIN

NOTE: THE ULTIMATE DESIGN FOR MASTER PLAN LINE "T"
MAY BE A CLOSED CONDUIT. IF THIS HAPPENS,
THE PIPE WILL BE PLACED IN THE FUTURE STREETS
AND THE 55' R/W WILL NOT BE REQUIRED.

FLOOD PLAIN & DRAINAGE CHANNEL PLAN

NEW
HORIZONS

Prepared for:
PERRIS PARTNERS 17671 IRVINE BLVD., STE. 205
TUSTIN, CA. 92680

FIGURE 18



Figure 18, Flood Plain & Drainage Channel Plan, shows that a portion of the site lies within the 100 year flood plain. In order for this project to be developed, the proposed pad areas will either have to be raised above the flood plain using imported fill dirt, or the development will occur after the ultimate channel is constructed thereby effectively lowering the flood plain.

The timing of the channel construction is not known at this time, therefore a decision as to which alternative will set the criteria for the design cannot be made. However, regardless of which alternative is chosen, the project will meet the requirements of the Riverside County Flood Control & Water Conservation District and the City of Perris.

H. PROJECT DESIGN

1. Goals and Objectives

The New Horizons project is envisioned as a quality family-oriented master planned community. Through careful attention to community design, New Horizons will offer a desirable living environment and a way of life for future residents. A cohesive community will be developed through consistency in architecture, streetscaping, landscaping, entry monumentation and signage. Detailed plans for architecture and public right-of-way landscaping will be submitted to the City in conjunction with submittal of tentative subdivision maps. The following section contains is a discussion of the various design elements.

2. Entry and Roadside Hierarchy

Landscaping in the New Horizons project will be used to delineate and define the hierarchy of project roadways and entries. This will be accomplished by carefully selecting street trees that will give each major street and residential neighborhood identity. For example, a particular species of street tree will be along each of the major project roads (i.e., Evans Road, Morgan Street, Rider Street, Murrieta Avenue). In addition, special landscape trees will be planted along the local streets in each residential neighborhoods: the 6,000 sq. ft., 5,500 sq. ft., and 5,000 sq. ft. residential area. The apartment complex in the southwest corner of the project will have its own identity that is distinct from the other residential developments.

A project/community entry is planned at the southwest corner of the intersection of Morgan Street and Evans Road. This entry will be landscaped with special signage depicting the

New Horizons project logo. Graphic illustrations of a possible project entry landscape treatment and associated landscape setbacks are shown in Figures 19A and 19B, Project Entry and Project Entry Setbacks on pages 49 and 50.

3. Project Landscaping

As mentioned above, landscaping in the New Horizons project will be used to identify the hierarchy of the street system, from major access roads to local residential streets. This will be accomplished by careful consideration of the relationship between street and plant materials characteristics, such as size, form, texture, and color. Specific arrangements of plant materials create a sense of character that reinforces this identity. The following lists are fairly comprehensive, however, the lists are not intended to limit or preclude the use of other plant materials. Rather, it is suggested that some, not all, of the plants below be incorporated into the project where feasible and desirable.

Street Trees:

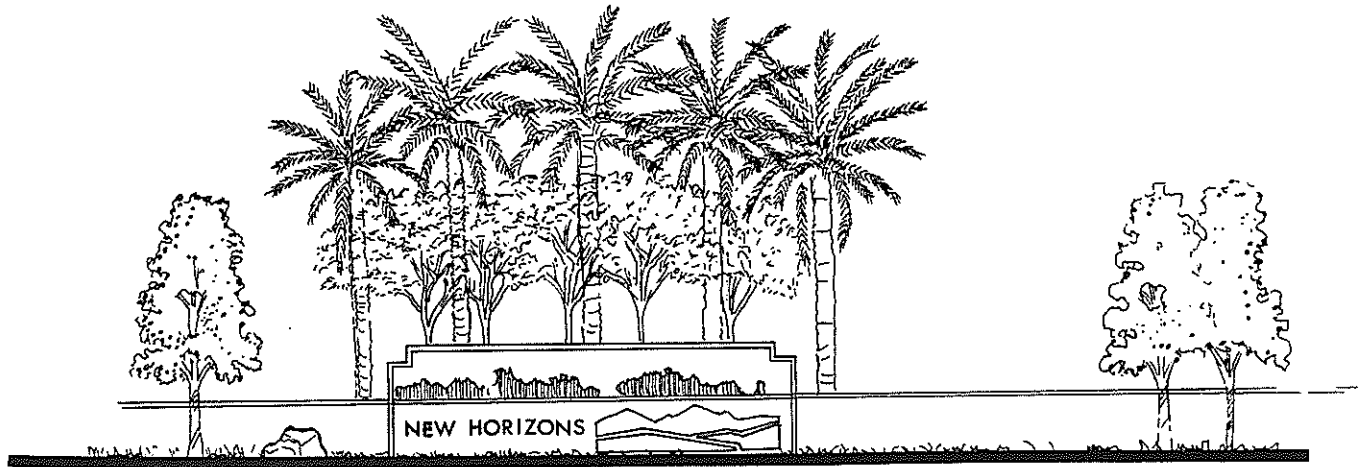
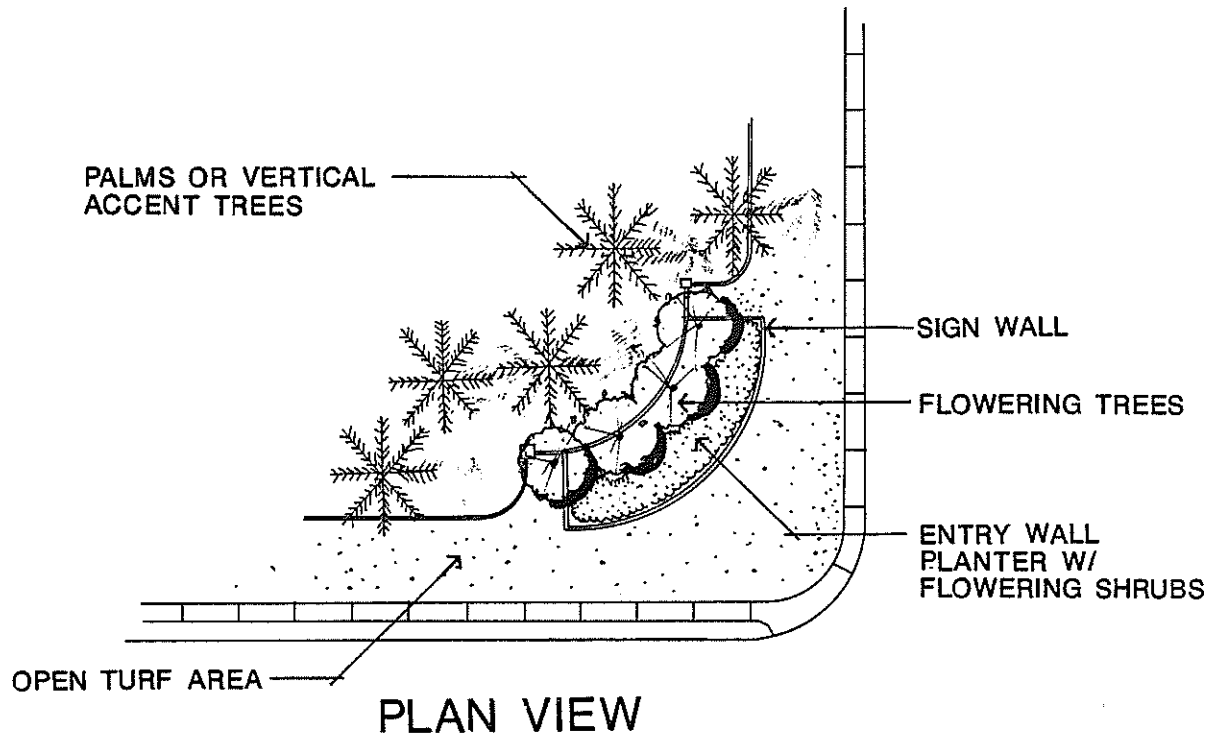
The trees listed below are recommended for street plantings within the New Horizons project area. Minimum 15-gallon trees shall be planted along streets at intervals of one tree per lot. Trees should be selected in accordance with existing trees that may line established streets in the City and surrounding areas. The City of Perris will make a determination of the type of street tree(s) to be planted along project area streets at the design development stage. These trees are also appropriate for planting in the 9.1-acre on-site linear greenbelt.

Botanical Name

Albizia julibrissin
Alnus rhombifolia
Calocedrus decurrens
Cedrus atlantica
Ceratonia siliqua
Cinnamomum camphora
Cupaniopsis anacardioides
Koelreuteria henryi
Liquidambar styraciflua

Common Name

Silk Tree
White alder
Incense cedar
Atlas cedar
Carob
Camphor tree
Carrotwood
Flame tree
Liquidambar



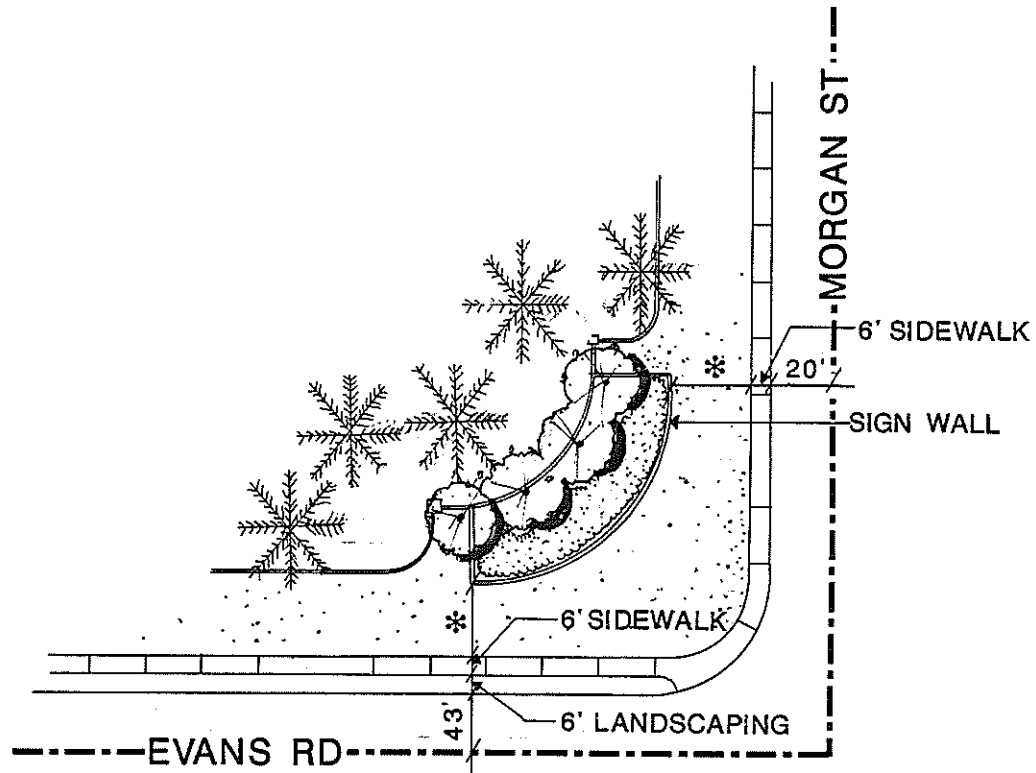
PROJECT ENTRY

NEW
HORIZONS

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NOT TO SCALE

TURRINI & BRINK
Planning Consultants
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SANTA ANA, CALIF. 92705 (714) 641-2779
2700 PLAZA STREET, SUITE 101
SANTA ANA, CALIF. 92705 (714) 641-2779



PLAN VIEW

*SETBACKS WILL BE THE SAME AS THE SETBACKS FOR MAY RANCH ENTRY MONUMENTATION AT THE INTERSECTION OF MORGAN ST & EVANS RD

PROJECT ENTRY SETBACKS

**NEW
HORIZONS**

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FIGURE 19B

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7700 FRANK STREET, SUITE 101
SAN DIEGO, CALIF. 92121 (619) 584-1015

Botanical Name (cont.)

Common Name (cont.)

Liriodendron tulipifera
Olea europaea
Pinus carnariensis
Pinus halepensis
Pinus pinea
Pistacia chinensis
Pittosporum undulatum
Platanus acerifolia
Platanus racemosa

Tulip tree
Olive
Canary Island pine
Aleppo pine
Italian stone pine
Chinese pistache
Victorian box
Sycamore
California sycamore

Special Accent Trees:

The following trees are recommended for use in special entry landscape treatments and project focal points. These trees should be used to emphasize special areas within the New Horizons project.

Botanical Name

Common Name

Arecastrum romanzoffianum
Ficus retusa nitida
Jacaranda acutifolia
Lagerstroemia indica
Pyrus kawakami
Quercus agrifolia
Washingtonia filifera
Washingtonia robusta

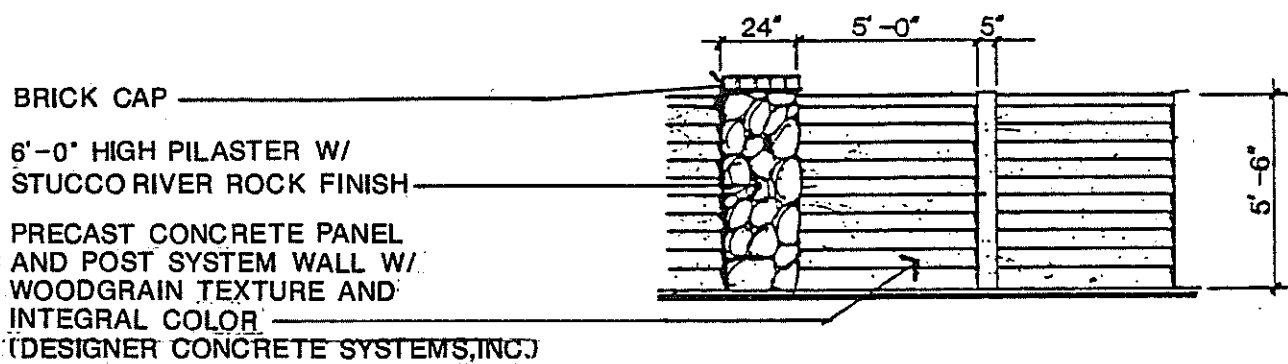
Queen Palm
Indian Laurel
Jacaranda
Crape myrtle (tree)
Evergreen pear
California Live Oak
California fan palm
Mexican fan palm

4. Community Theme Walls

A community theme wall is planned along Rider Street and Evans Road. The wall, as depicted in Figure 20 on the following page, will be designed to reflect the materials and design of the community theme walls used along the major streets in the adjoining May Ranch project. By using a similar wall design as the May Ranch project, the New Horizons project will harmonize and blend in with the surrounding development, providing an aesthetically pleasing community.

5. Irrigation

Permanent irrigation facilities shall be installed for all public right-of-way and street median plantings in conjunction with public street and greenbelt improvements. The project developer intends to cooperate with the City of Perris and the Eastern Municipal Water District (EMWD) to



NOTE: Pilasters occur at corners of walls only.

COMMUNITY THEME WALL

NEW
HORIZONS

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FIGURE 20

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utilize tertiary water facilities for irrigation of certain parkways and the proposed linear greenbelt within the New Horizons Specific Plan area as dictated by the EMWD.

6. Project Maintenance

The applicant and/or developer shall be responsible for maintenance and upkeep of all common landscaped areas (greenbelts, parkways, entry monuments, medians) and off-site drainage facilities not accepted by Riverside County Flood Control and irrigation systems until such time as these operations are accepted by the Landscape Maintenance District.

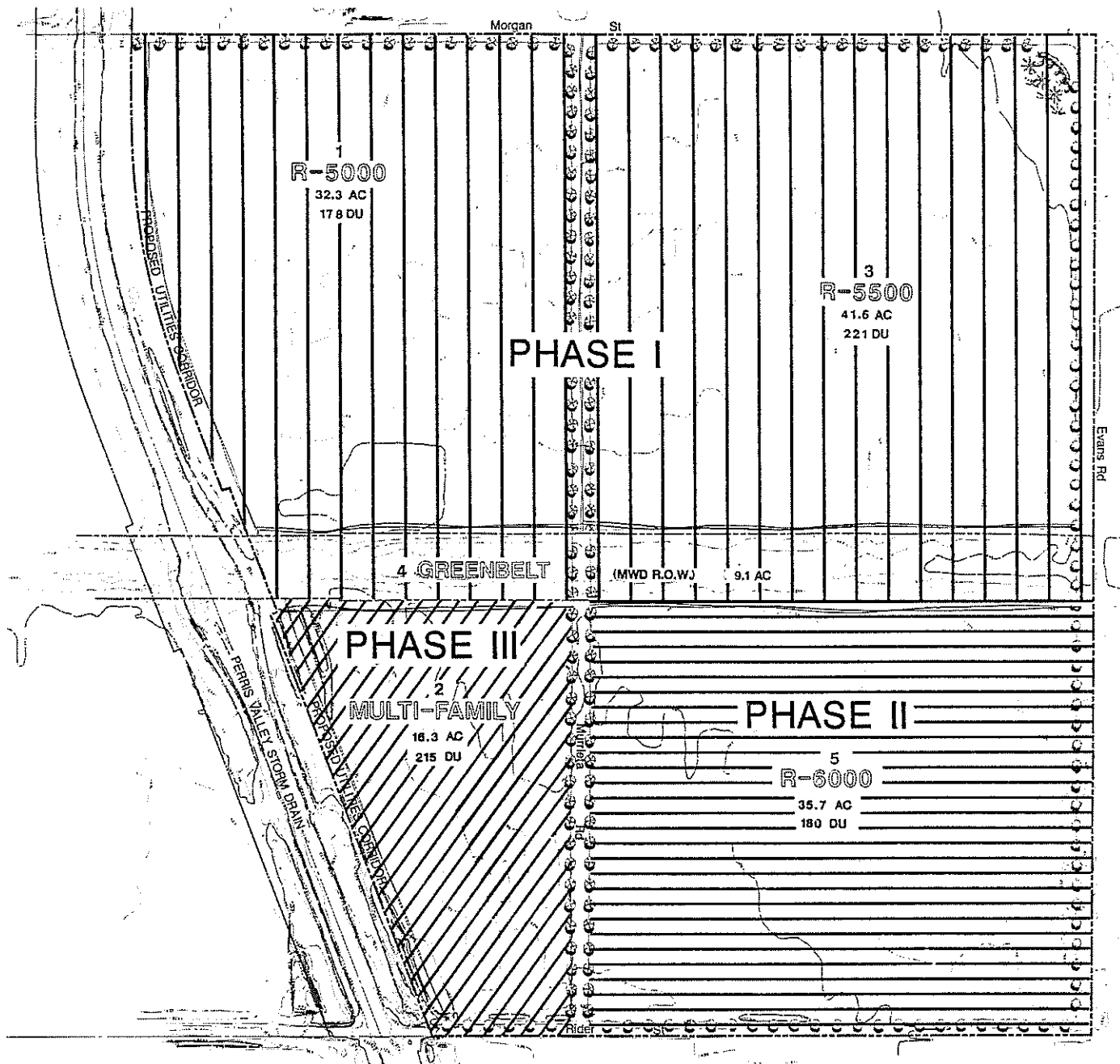
I. PROJECT PHASING

The proposed New Horizons project will be phased incrementally with single-family residential dwelling units being constructed over an approximate 2-to 4-year time frame in three phases. Refer to Figure 21 for the Phasing Plan.

There are 5 separate planning areas within the entire New Horizons project (See Figure 6, Specific Land Use Plan on page 23). These areas were defined on the basis of lot size, density, and physical constraints such as roads, utility easements, and rights-of-way. The Phasing Plan is based on these planning areas. For example, the first phase (Phase I) will include all development within Planning Areas 1, 3 and 4. The second phase (Phase II) will include all development within Planning Area 5. The final phase (Phase III) will include the multi-family development in Planning Area 2. The development of the apartments is expected to extend beyond the time frame estimated for the other residential areas. The exact timing of the apartment complex will depend upon the demand for multi-family housing, as well as other market conditions.

Construction of the New Horizons project will begin with mass grading of the site and installation of infrastructure (i.e., roads, sewer and water lines, gas lines, etc.) and culminating with occupancy of the single-family residential dwelling units. All roadways and other backbone infrastructure will be installed concurrently with the adjoining New Horizons development. Improvements within the linear greenbelt will occur during the first phase of development.

Access to the New Horizons project during Phase I development will be available from the north and east from the Ramona Expressway via Rider Street and/or Evans Street. Access from the west will be available from Rider Street.



PHASING PLAN

**NEW
HORIZONS**

Prepared for:
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FIGURE 21



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IV. GENERAL PLAN CONSISTENCY ANALYSIS



IV. GENERAL PLAN CONSISTENCY ANALYSIS

A. INTRODUCTION

The New Horizons Specific Plan has been developed to respond to all opportunities and constraints presented by the physical, environmental and jurisdictional conditions of the site. Section V of this document discussed in detail how the Specific Plan has been design for harmony with the various conditions. It is also critical that the project be in harmony with the City of Perris General Plan. Therefore, the section will evaluate the Specific Plan's compatibility with goals, policies, and objectives of the City of Perris General Plan. For more detailed information, refer to the separate EIR document that was prepared for the New Horizons project by outside, independent consultants under the direction of City staff.

B. GENERAL PLAN GOALS AND POLICIES

1. Land Use Element

The proposed development is located within the city limits of the City of Perris in Riverside County. The City's Land Use Map designates the project site for light agriculture (A-1 zoning). The New Horizons project has been designed to conform with the goals and policies of the Land Use Element of the City's General Plan. A discussion of the most applicable goals, policies and programs relating to the project follows.

Land Use Goal

- a. To encourage an orderly, contiguous development pattern sufficient to handle the City's expected population growth, in a manner that will preserve the City's fiscal capacity to provide the expanded public services that will be required by both it present and future residents.
- b. To assure equal opportunity for the availability of decent, affordable and sound housing units for all economic segments of the community without regard to ethnic, racial or religious background. Ensure that sufficient buildable land area, accessible to public utilities and City services, will be available for the construction of housing units needed by low and moderate income households expected to reside within the City.

- c. To provide a system of open space and recreation facilities that is adequate for the needs of the City's residents by maintaining and enhancing existing parks and facilities, as well as insuring and open space form of natural areas in conjunction with the City's future physical growth.
- d. Provide a safe and efficient network of local streets and arterial highways to provide for the efficient movement of inter-regional traffic through the region as well as providing a logical system of routes to connect the various sectors of the City and the central business district with a minimum of traffic and safety conflicts.

New Horizons Land Use Program

The major objective of the proposed project is to provide family-oriented single-family dwellings in a carefully designed environment that will contribute to a sense of a cohesive community. The project has been designed to provide a variety of lot sizes and product types, including some multi-family housing, that will meet the needs of existing and future Perris residents.

In addition to the residential uses proposed in the New Horizons project, an 9.1-acre linear greenbelt has been planned within the MWD right-of-way. This greenbelt will tie into adjacent parks which are also planned to the east of the New Horizons project in the May Ranch and McCanna Ranch developments. The proposed open space network will assure that adequate open space is provided to serve the residents of the New Horizons project and the City as a whole.

The New Horizons project has been master planned to provide a safe and efficient network of local streets and arterial highways that will connect to the major circulation routes in the City as shown in the Circulation Element of the Perris General Plan. The proposed circulation system will facilitate traffic within the entire region, as well as the project. Also, the completion of Evans Road will provide additional access to the Ramona Expressway.

2. Natural Hazards and Public Safety Element

The emphasis of the City of Perris natural Hazards and Public Safety Element is to protect the citizens. The natural hazards and public safety element are combined into one document and share a common set of goals and policies. The project has been designed to be in conformance with the

provisions of this element. Given below are the goals and the most applicable policies with related programs.

City Drainage Goal

Encourage a comprehensive approach to drainage problems in large areas that are prone to sheet-flows and shallow flooding.

New Horizons Drainage Program

Development plans for drainage and flood control facilities and improvements shall be submitted to the City of Perris and in conjunction with tentative tract maps for approval by the City, as well as the Riverside County Flood Control and Water Conservation District.

City Drainage Goal

Approved developments shall not result in the diversion of storm runoff into adjacent properties, nor cause any undue alteration of natural drainage courses that cannot be handled by existing or proposed storm drainage and flood control improvements. Compliance with the recommendations and conditions of the Riverside County Department of Flood Control and Water Conservation shall be required prior to development approval.

New Horizons Drainage Program

Drainage and flood control facilities and improvements shall be provided in accordance with the Riverside County Flood Control and Water Conservation District and the City of Perris requirements.

City Noise Policy (Interior)

Developments that are proposed within intensified impact zones along highways, arterial or collector streets, and rail facilities shall be required to incorporate measures to reduce traffic noise impacts to acceptable levels, especially higher density residential uses. Such measures shall include an acceptable and effective combination of earth berms, landscape buffers, and architectural insulation features sufficient to reduce interior noise levels to Line 45 dB(A).

New Horizons Noise Program (Interior)

All development within the New Horizons development will be constructed to all applicable jurisdictional standards and regulations.

City Noise Policy (Exterior)

Residential construction shall be strongly discouraged in those areas where exterior noise levels exceed Line 65 dB(A), especially within the March Air Force Base aircraft noise impact contours as depicted in the 1984 AICUZ Report. This report should be used as a guide in determining the appropriate type of land uses as well as appropriate noise mitigation measures to be used within these impact zones.

New Horizons Noise Program (Exterior)

The New Horizons project site is not located within an area where existing or projected future exterior noise levels from aircraft exceed 65 dB(A).

City Fire Protection Policy

Each development must prove the existence of a sufficient water supply and pressure level that is adequate for the suppression of structural fires. Required water lines and fire hydrants must be installed in accordance with the standards of the County of Riverside Fire Department.

New Horizons Fire Protection Program

Prior to the issuance of building permits, the applicant/developer shall provide fire protection fees in accordance with the recommendations of the adopted Public Safety Study.

City Fire Protection Policy

All development proposals should demonstrate an adequate fire response time and capability based upon the scale, intensity and proposed densities of the particular project.

New Horizons Fire Protection Program

Each tentative subdivision map will be submitted to the City of Perris for review and approval. During this process, the adequacy of the project regarding fire response times, as well as the capability of the City Fire Department to adequately handle the proposed development, will be demonstrated.

City School Policy

In compliance with California State Law, the developer of the New Horizons project will pay the required school fees at the then prevailing rate.

New Horizons School Program

The two school districts in the Perris area (i.e., the Val Verde Elementary School District and the Perris Union High School District) have imposed developers fees which are required to be paid before building permits are taken out. These fees may not exceed the State of California mandated maximum amounts.

3. Infrastructure and Public Services Element

The emphasis of the City of Perris Infrastructure and Public Services Element is to support both existing and proposed development with services which include streets, water mains, sewage collection lines and storm drain facilities.

City Water Supply Policy

Each lot in an approved subdivision shall be served by a public domestic water supply.

New Horizons Water Supply Program

Every lot within the New Horizons Specific Plan project area will be served by a public domestic water supply. Water supply facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department, Eastern Municipal Water District, and Regional Water Quality Control.

City Sewage Disposal Policy

All provisions for sewage disposal within any approved land division or development project within the City of Perris shall meet the standards of the Riverside County Department of Health and the Regional Water Quality Control Board.

New Horizons Sewage Disposal Program

Sewage disposal facilities shall be designed and installed in accordance with the requirements and specifications of the Riverside County Health Department, Eastern Municipal Water District, and Regional Water Quality Control.

City Circulation Policy

Improved street access shall be provided to all new parcels in accordance with the standards of the City of Perris Circulation Element and applicable sections of the subdivision ordinance.

New Horizons Circulation Program

A well-balance circulation transportation network has been design for the project that is adequately sized for safe and efficient movement of people and goods. Not only will the proposed roadways service the project, but the planned roadways will also expand the City's circulation system and facilitate traffic flow throughout the entire region.

The proposed street system, as proposed, will contain a variety of road sizes and widths. The proposed roadways include:

City Circulation Policy

Local street patterns shall be logically related to the overall network of arterial and collector streets as provided for in the circulation network. Driveway entrances onto surrounding arterial, secondary, and major streets should be restricted in all possible instances, and through traffic on interior residential streets should be minimized.

New Horizons Circulation Program

Residential neighborhoods will be accessed by local streets and will not be traversed by heavy through traffic. No private driveway access shall be permitted on Evans Road, Morgan Street, or Rider Street.

City Agricultural Preservation Policy

The continued viability of agricultural uses within the City shall be enhanced by discouraging the premature expansion of urban land uses into areas that are presently devoted to large scale agricultural production, and that are beyond the present range of urban infrastructure such as sewer collection facilities and improved roads. Future residential and urban growth should occur in a logical and contiguous pattern, so as not to exert an undue influence on agricultural land values or operations.

New Horizons Agricultural Preservation Program

The New Horizons Specific Plan project is a logical extension of existing development and proposed development in the City of Perris. The 744-acre May Ranch and the 245-acre McCanna Ranch Specific Plans will together provide a cumulative total of 5,263 residential dwelling units. The New Horizons project will add no more than 579 single-family homes and 215 apartments to the overall area. These two projects form contiguous development with the New Horizons project site. The New Horizons project will serve as an in-fill project between existing City development and the May Ranch and McCanna Ranch Specific Plans. Clearly, the New Horizons Specific Plan project will merely reinforce development and growth patterns that are already occurring in the Perris region. Because the site will eventually be surrounded by residential development, it will no longer be viable for agricultural uses.

4. Environmental Resources, Conservation and Open Space Element

The emphasis of this element is to retain open space to preserve its scenic character and to protect plant and wildlife communities. Land should also be set aside to satisfy the recreational, educational and other public needs of the City's future population.

City Recreational Policy

Encourage the development of a system of community parks and recreational facilities for a recreational and open space resource for the residents of the Perris Valley Region.

New Horizons Recreational Program.

The New Horizons project proposes an improved and landscaped public greenbelt on 9.1 acres. The project applicant will continue working with the City of Perris to insure that adequate open space and recreation facilities are provided for the future use of project residents. This may take the form of fees paid to the City by the master developer of the New Horizons project. A Landscape Maintenance District will be responsible for maintaining the linear greenbelt and all public recreational and open space facilities.

5. Historic, Community and Scenic Resources Element

The emphasis of the City of Perris Historic, Community and Scenic Resources Element is to preserve historical structures and districts that have particular historic value as to their

architectural styles and to encourage quality design in new developments within the City of Perris.

City Goal

Efforts shall be made to identify and preserve any significant archaeological resources on or surrounding the site of proposed development.

New Horizons Program

It is not expected that any significant archaeological resources will be found or identified within the project area. However, if archaeological resources are discovered on-site, a mitigation program, as set forth in the Program EIR, will be implemented.

City Goal

A high quality of aesthetic design should be encouraged in the development of the City's residential areas. Effective landscaping treatment should be required as a part of all new development.

New Horizons Program

The New Horizons Program is planned as a cohesive community with a distinct identity. A plant palette has been developed for the project and includes specific street trees as well as special accent trees for entries and focal points. This palette is included in this document in Section III.H.3., Project Landscaping.

V. PLAN IMPLEMENTATION AND DEVELOPMENT STANDARDS



V. PLAN IMPLEMENTATION AND DEVELOPMENT STANDARDS

A. IMPLEMENTATION OVERVIEW: APPLICABILITY AND RELATIONSHIP TO EXISTING CITY OF PERRIS ORDINANCES

The City of Perris Development Code allows provisions for a Specific Plan Zone. The Specific Plan will act as the zoning for the subject property. For this reason, detailed regulations and standards, which will govern future development of this site, are included with this Specific Plan. Those sections of the City's Zoning Code that are general or procedural in nature and pertaining to all other projects or zones in the City shall remain in force for the New Horizons project. Except as specifically referenced herein, no other provisions of the City's Zoning Ordinance shall apply.

B. SPECIFIC PLAN ZONING STANDARDS

1. R-6000 Residential Development Standards

a. Land Use

Those portions of the New Horizons Specific Plan project area that are designated for R-6000 residential areas and may contain conventional single-family detached homes and patio homes on minimum 5,000 sq. ft. lots. This density will allow for the development of 180 dwelling units on approximately 35.7 acres. Site design is the result of thoughtful planning so that the completed dwellings complement, rather than detract from, the natural visual quality of the surrounding area.

b. Permitted Uses

The following uses are permitted in all areas of the New Horizon Specific Plan project area that are designated for R-6000 development:

- o Permanent one-family dwellings.
- o Temporary real estate tract offices and on-site sales facilities located within a subdivision, to be used only during the original sale of the subdivi-

sion, but not to exceed a period of 5 years in any event.

- o Churches and other places of worship are not permitted uses.

c. Accessory Uses Permitted

- o All accessory uses customarily incidental to the foregoing permitted uses and not used or operated commercially, including, but not limited to, the following:
 - * Directional and informational signs.
 - * Fences and/or walls.
 - * Flags, banners and flag poles to be used in conjunction with temporary sales offices only and not to exceed 30 feet in height.
 - * Garages and/or carports.
 - * Patio Covers.
 - * Trellis structures and arbors.
- o Non-commercial keeping of pets, excluding large animals, which are readily classifiable as being customarily incidental and accessory to a permitted principal residential use.
- o Home occupations subject to City restrictions and/or permits (as described in Section 19.20.020 of the City of Perris Zoning Code.)

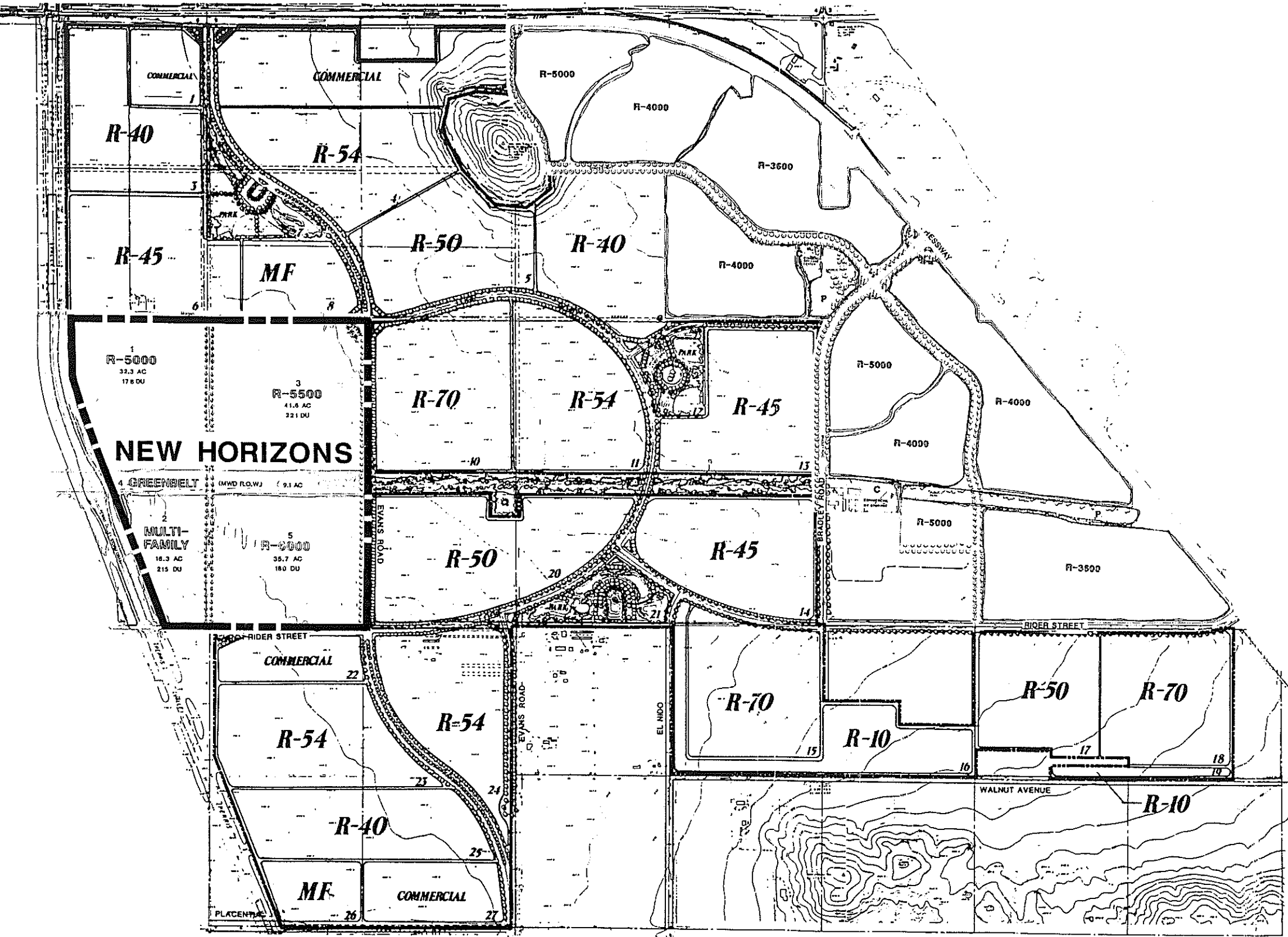
d. Design Criteria

- o In the R-6000 residential area, one- and two story homes shall be permitted. No lots shall be smaller than 5,500 square feet.
- o Each dwelling unit in the R-6000 residential area shall have a minimum living area of 1,200 square feet, exclusive of garages and porches, either covered or uncovered.
- o Physical design of buildings, walls or fencing, lighting and landscaping shall achieve consistency in the use of materials, color texture, height and bulk.
- o Building design techniques which maximize family and functional privacy should be utilized whenever possible.
- o Street signs and community directional signs shall be consistent with the character of the community and in terms of size, color and materials.

- o Roadway planting should be consistent with the street trees and special accent trees as listed on pages 48 and 51 of this Specific Plan. All plantings should be designed to complement neighborhood architectural styles.
- o Front yard landscaping shall include at least one (1) 15-gallon street tree to be installed by the builder. Trees should be selected to reinforce the neighborhood landscape theme.
- o A development review application shall be submitted to the Department of Community Development in the City of Perris for all tentative subdivision maps within the New Horizons Specific Plan project area.
- e. Site Development Standards
 - o Building height shall not, in any event, exceed a maximum of 30 feet.
 - o The overall minimum average lot size shall be 5,500 square feet. In no case shall any lot shall be less than 5,500 square feet.
 - o Minimum front setback shall vary between 20' and 27' with an average of 25' as measured from the edge of the proposed future roadway right-of-way.
 - o Minimum side setback shall be 10 feet as measured from the edge of the proposed future roadway right-of-way for street side yards or 5 feet from the adjacent interior lot line for interior side yards, exclusive of fireplaces and chimneys. Fireplaces and chimneys may intrude a maximum of 2' into the side yard setback. The minimum separation between buildings shall be 10 feet.
 - o Minimum rear setback shall be 15 feet as measured from the edge of the proposed future roadway right-of-way or the adjacent lot line. Construction of accessory uses such as patio covers may extend to within 10 feet of the rear property line.
 - o Minimum lot width shall be 50 feet at the street right-of-way line, except on cul-de-sacs where the minimum lot frontage shall be 30 feet at the street right-of-way line.

- o Maximum lot coverage on any lot shall not exceed 50 percent.
- o Minimum lot depth shall be not less than 90-feet.
- o Fencing and walls shall be designed according to the standards and guidelines as set forth in the City of Perris Zoning Code, Section 19.20.130.
- o Off-street parking consisting of at least a two-car garage with a minimum of 360 square feet will be provided for each dwelling.

AREA LAND USE PLANS



--- PROJECT BOUNDARY



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FIGURE 3

NOT TO SCALE



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2. R-5500 Residential Development Standards

a. Land Use

Those portions of the New Horizons Specific Plan project area that are designated for R-5500 residential areas will contain conventional single-family detached homes and patio homes on minimum 5,000 sq. ft. lots. This density will allow for the development of 221 dwelling units on approximately 41.6 acres. Site design is the result of thoughtful planning so that the completed dwellings complement, rather than detract from, the natural visual quality of the surrounding area.

b. Permitted Uses

The following uses are permitted in all areas of the New Horizon Specific Plan project area that are designated for R-5500 development:

- o Permanent one-family dwellings.
- o Temporary real estate tract offices and on-site sales facilities located within a subdivision, to be used only during the original sale of the subdivision, but not to exceed a period of 5 years in any event.
- o Churches and other places of worship are not permitted uses.

c. Accessory Uses Permitted

- o All accessory uses customarily incidental to the foregoing permitted uses and not used or operated commercially, including, but not limited to, the following:
 - * Directional and informational signs.
 - * Fences and/or walls.
 - * Flags, banners and flag poles to be used in conjunction with temporary sales offices only and not to exceed 30 feet in height.
 - * Garages and/or carports.
 - * Patio Covers.
 - * Trellis structures and arbors.
- o Non-commercial keeping of pets, excluding large animals, which are readily classifiable as being customarily incidental and accessory to a permitted principal residential use.
- o Home occupations subject to City restrictions and/or permits (as described in Section 19.20.020 of the City of Perris Zoning Code.)

d. Design Criteria

- o In the R-5500 residential area, one- and two-story homes shall be permitted. No lot shall be smaller than 5,000 square feet.
- o Each dwelling unit in the R-5500 residential area shall have a minimum living area of 1,100 square feet, exclusive of garages and porches, either covered or uncovered.
- o Physical design of buildings, walls or fencing, lighting and landscaping shall achieve consistency in the use of materials, color texture, height and bulk.
- o Building design techniques which maximize family and functional privacy should be utilized whenever possible.
- o Street signs and community directional signs shall be consistent with the character of the community and in terms of size, color and materials.
- o Roadway planting should be consistent with the street trees and special accent trees as listed on pages 48 and 51 of this Specific Plan. All plantings should be designed to complement neighborhood architectural styles.
- o Front yard landscaping shall include at least one (1) 15-gallon street tree to be installed by the builder. Trees should be selected to reinforce the neighborhood landscape theme.
- o A development review application shall be submitted to the Department of Community Development in the City of Perris for all tentative subdivision maps within the New Horizons Specific Plan project area.

e. Site Development Standards

- o Building height shall not, in any event, exceed a maximum of 30 feet.
- o The minimum lot size shall be 5,000 square feet.

- o Minimum front setback shall vary between 20' and 27' with an average of 25' as measured from the edge of the proposed future roadway right-of-way.
- o Minimum side setback shall be 10 feet as measured from the edge of the proposed future roadway right-of-way for street side yards or 5 feet from the adjacent interior lot line for interior side yards, exclusive of fireplaces and chimneys. Fireplaces and chimneys may intrude a maximum of 2' into the side yard setback. The minimum separation between buildings shall be 10 feet.
- o Minimum rear setback shall be 15 feet as measured from the edge of the proposed future roadway right-of-way or the adjacent lot line. Construction of accessory uses such as patio covers may extend to within 10 feet of the rear property line.
- o Minimum lot width shall be 40 feet at the street right-of-way line, except on cul-de-sacs where the 30 foot minimum street frontage shall be 30 feet at the street right-of-way line.
- o Maximum lot coverage on any lot shall not exceed 50 percent.
- o Minimum lot depth shall be not less than 85-feet.
- o Fencing and walls shall be designed according to the standards and guidelines as set forth in the City of Perris Zoning Code, Section 19.20.130.
- o Off-street parking consisting of at least a two-car garage with a minimum of 360 square feet will be provided for each dwelling.

3. R-5000 Residential Development Standards

a. Land Use

Those portions of the New Horizons Specific Plan project area that are designated for R-5000 residential areas will contain single-family detached homes, patio homes, and attached homes on minimum 5,000 sq. ft. lots. This density will allow for the development of 178 dwelling units on approximately 32.3 acres. Site design is the result of thoughtful planning so that the completed dwellings complement, rather than detract from, the natural visual quality of the surrounding area.

b. Permitted Uses

The following uses are permitted in all areas of the New Horizon Specific Plan project area that are designated for R-5000 development:

- o Permanent one-family dwellings including but not limited to conventional single-family dwelling units and patio homes.
- o Temporary real estate tract offices and on-site sales facilities located within a subdivision, to be used only during the original sale of the subdivision, but not to exceed a period of 5 years in any event.
- o Churches and other places of worship are not permitted uses.

c. Accessory Uses Permitted

- o All accessory uses customarily incidental to the foregoing permitted uses and not used or operated commercially, including, but not limited to, the following:
 - * Directional and informational signs.
 - * Fences and/or walls.
 - * Flags, banners and flag poles to be used in conjunction with temporary sales offices only and not to exceed 30 feet in height.
 - * Garages and/or carports.
 - * Patio Covers.
 - * Trellis structures and arbors.
- o Non-commercial keeping of pets, excluding large animals, which are readily classifiable as being customarily incidental and accessory to a permitted principal residential use.

- o Home occupations subject to City restrictions and/or permits (as described in Section 19.20.020 of the City of Perris Zoning Code.)
- d. Design Criteria
 - o In the R-5000 residential area, one- and two-story homes shall be permitted on lots a minimum of 5,000 square feet in size.
 - o Each dwelling unit in the R-5000 residential area shall have a minimum living area of 1,000 square feet, exclusive of garages and porches, either covered or uncovered.
 - o Physical design of buildings, walls or fencing, lighting and landscaping shall achieve consistency in the use of materials, color texture, height and bulk.
 - o Building design techniques which maximize family and functional privacy should be utilized whenever possible.
 - o Street signs and community directional signs shall be consistent with the character of the community and in terms of size, color and materials.
 - o Roadway planting should be consistent with the street trees and special accent trees as listed on pages 48 and 51 of this Specific Plan. All plantings should be designed to complement neighborhood architectural styles.
 - o Front yard landscaping shall include at least one (1) 15-gallon street tree to be installed by the builder. Trees should be selected to reinforce the neighborhood landscape theme.
 - o A development review application shall be submitted to the Department of Community Development in the City of Perris for all tentative subdivision maps within the New Horizons project area.
- e. Site Development Standards
 - o Building height shall not, in any event, exceed a maximum of 30 feet.
 - o Minimum lot area shall be 5,000 square feet.

- o Minimum front setback shall vary between 20' and 27' with an average of 25' as measured from the edge of the road right-of-way.
- o Minimum side setback shall be 10 feet as measured from the edge of the proposed future roadway right-of-way for street side yards or 5 feet from the adjacent interior lot line for interior side yards, exclusive of fireplaces and chimneys. Fireplaces and chimneys may intrude a maximum of 2' into the side yard setback. The minimum separation between buildings shall be 10 feet. One side yard may be reduced to 0 feet for a patio (zero lot line) style home. In no case shall the total aggregate side yard between detached units be less than 10 feet.
- o Minimum rear setback shall be 15 feet as measured from the edge of the proposed future roadway right-of-way or the adjacent lot line. Construction of accessory uses may extend to within 5 feet of the rear property line.
- o Minimum lot width shall be 40 feet at the street right-of-way line, except on cul-de-sacs where the minimum width shall be 30 feet at the street right-of-way line.
- o Maximum lot coverage on any lot shall not exceed 50 percent.
- o Minimum lot depth shall be not less than 75-feet.
- o Fencing and walls shall be designed according to the standards and guidelines as set forth in the City of Perris Zoning Code, Section 19.20.130.
- o Off-street parking consisting of at least a two-car garage with a minimum of 360 square feet will be provided for each dwelling.

4. Multi-Family Development Standards

a. Land Use

Those portions of the New Horizons Specific Plan project area that are designated for multi-family and apartment development will be subject to the following regulations and standards. A total of 215 apartments, condominiums, or other multi-family product types are proposed on an 16.3-acre site. The density shall not exceed, on the average, 15 dwelling units per acre (du/ac).

b. Permitted Uses

The following uses are permitted in all areas of the New Horizon Specific Plan project area that are designated for multi-family and apartment development:

- o Permanent Multi-Family Dwellings.
- o Apartments.
- o Townhomes.
- o Temporary real estate tract offices and on-site sales facilities located within a subdivision, to be used only during the original sale of the subdivision, but not to exceed a period of 5 years in any event.
- o Churches and other places of worship are not permitted uses.
- o Home occupations are not permitted uses.

c. Accessory Uses Permitted

- o All accessory uses customarily incidental to the foregoing permitted uses and not used or operated commercially, including, but not limited to, the following:

- * Athletic Fields.
- * Balconies.
- * Basketball Courts
- * Directional and informational signs.
- * Fences and/or walls.
- * Garages and/or carports.
- * Laundry Buildings.
- * Patio Covers.
- * Playgrounds & Tot Lots.
- * Restroom Structures and Shower Facilities.
- * Swimming Pools and Spas.
- * Tennis Courts & Racketball Courts.
- * Trellis structures and arbors.

- o Non-commercial keeping of pets, excluding large animals, which are readily classifiable as being customarily incidental and accessory to a permitted principal residential use.

d. Design Criteria

Architecture:

- o In the multi-family and apartment areas, two-story buildings shall be permitted.
- o All multi-family and apartment developments shall provide elevations of substantial variation to include a mixture of roof lines and exterior materials.
- o Building design techniques which maximize family and functional privacy should be utilized whenever possible.

Parking:

- o Parking spaces shall be provided per City of Perris Standards. Handicapped parking shall be provided per City of Perris and California State Standards. In addition to covered tenant parking, uncovered visitor parking shall be provided at a rate of 1 space for every 3 units.

Signage:

- o Street signs and community directional signs shall be consistent with the character of the community and in terms of size, color and materials.

Landscaping:

- o Roadway plantings should be designed per City of Perris standards and the landscaping requirements contained on pages 48 through 53 of this Specific Plan. All plantings should be designed to complement neighborhood architectural styles.
- o Community monumentation, flowering accents, shrubs, and distinctive trees shall be used to designate neighborhood entry points.
- o Minimum site landscaping shall be 15%.

- o Physical design of buildings, patios, balconies, laundry buildings, walls or fencing, lighting and landscaping shall achieve consistency in the use of materials, color texture, height and bulk.
- o Landscaping along all interior and exterior streets shall include minimum 15-gallon street trees to be planted no further apart than fifty (50) feet on center, within the street right-of-way. Said trees shall be installed by the builder concurrently with installation of streets, and shall be at least five (5) feet, but no further than ten (10) feet from the back of the sidewalk or the curb if there is no sidewalk. In addition, all parking lots of ten (10) spaces or more shall devote a minimum of fifteen percent (15%) of the total parking area to landscaping per City of Perris Standards.

All landscaping within streets and parking lots/areas shall be protected from automobile traffic by concrete curbs at least six (6) inches high. All landscaped islands shall have a minimum width of five feet and a minimum planting area of 25 square feet, excluding curbing. Trees should be selected to reinforce the selected landscape theme.

- o Automatic irrigation systems shall be installed for all trees and shrubs. The layout of the system should consider meter water pressure, pipe size and length, and type of heads (sprinkler, bubbler or rainbird).

Public Service Infrastructure:

- o The proposed development site must have available, at the time of approval, the full complement of urban services including water supply collection lines and access to improved street. The developer shall make all necessary financial guarantees that required utility extensions will be made to serve the project proposal prior to issuance of construction permits or final subdivision map approval.
- o Natural gas, telephone, CATV service connections shall be made available to each unit in a proposed multi-family residential project prior to final approval of occupancy. All feasible arrangements shall be made to install underground utility electric and telephone service lines in all multi-family residential areas.

Public Safety:

- o Fire: An adequate fire flow capacity must be assured on the project to the satisfaction of the Fire Department. Installation of fire hydrants and required water lines shall be performed by the developer per the requirements of the Fire Chief and all City standards.
- o All building and site plans shall be subject to the approval of the Chief to ensure adequate interior access routes through the project emergency vehicles in the suppression of fires.
- o Police: All multi-family residential projects that are approved shall not result in a concentration of residents or structures that will burden the staffing or budgeting resources of the Police Department providing necessary surveillance and crime prevention services.
- o All proposed site designs shall be submitted to the City Police Chief for approval in evaluating design features which may pose a potential hazard in the occurrence of crime.

Development Plan Review:

- o A development review application shall be submitted to the Department of Community Development in the City of Perris for all tentative subdivision maps within the New Horizons Specific Plan project area.
- e. Site Development Standards
 - o Building height shall not, in any event, exceed 40 feet or two stories.
 - o The minimum building site area shall not be less than 6,000 sq. ft., but in no case shall a multiple family dwelling occupy a site which provides less than 2000 sq. ft. of land area per each family unit.
 - o Front yard setbacks shall be not less than twenty-five (25) feet in depth from the proposed curb line and shall be fully landscaped. Landscaped front yard setbacks may count as part of the City's Open Space requirement. No parking or building/structure encroachment shall be permitted.
 - o Minimum side setback shall be twenty (20) feet as measured from the edge of the proposed future roadway right-of-way for street side yards or five (5) feet from

the adjacent interior lot line for interior side yards, exclusive of fireplaces and chimneys. Fireplaces and chimneys may intrude into the side yard setback. The minimum separation between buildings shall be ten (10) feet. Side yard setbacks shall be fully landscaped. In addition, no parking or building/structure encroachment shall be permitted in any side yard setback.

- o If main buildings are adjacent to residential development, the rear yard setback shall be not less than thirty-six (36) feet in depth from the edge of the proposed future roadway right-of-way or adjoining lot line, of which a minimum of twelve (12) feet shall be fully landscaped. No building/structure encroachment shall be permitted. Twenty-four (24) feet of the setback may be used for uncovered parking or access. If the rear yard is adjacent to a street, the setback shall be the same as for the front yard.
- o Maximum lot coverage on any lot shall not exceed 50 percent. Lot coverage shall include all buildings, carports, garages, etc. but not driveways, walkways, or uncovered parking areas.
- o Minimum lot depth shall be not less than 75-feet.
- o Every dwelling unit hereafter erected shall have a minimum ground floor area of not less than six hundred (600) sq. ft., exclusive of covered or uncovered porches, carports, and garages. Its architecture and general appearance shall be in keeping with the character of the neighborhood and such as not to be detrimental to the general welfare of the New Horizons community.
- o Fencing and walls shall be designed according to the standards and guidelines as set forth in the City of Perris Zoning Code, Section 19.20.130, except that four (4) feet in height shall be the limitation for fencing and screening along the front yard lot line and that portion of the side yard lot line from the front lot line to the front setback distance.
- o A one-hour fire wall is required between two adjoining dwelling units.
- o Off-street parking spaces for each dwelling unit shall be provided in accordance with the requirements of the City of Perris Parking Ordinance, based on size and number of dwelling units. Adequate vehicle access ways and turnaround areas shall also be provided in conjunction with parking areas. Additional off-street guest parking areas may be required at the discretion of the

Planning Commission, especially in those cases where project frontage is on streets that are designated segments of the Circulation Element.

- o Landscaping and tree planting should be provided in project open space and also as visual screening in parking areas. Street trees shall be provided along all property frontage as appropriate. Permanent irrigation systems for landscaping maintenance shall also be required.
- o Local access to all multi-family residential areas should be totally exclusive of any neighboring single-family residential properties or developments. However, direct access to multi-family residential areas will be permitted directly from Murrieta Road and/or Morgan Street. Limited access from Evans Road will be permitted.
- o Interior loop roads and cul-de-sacs which provide access to individual units and parking areas within a multi-family project shall be designed in accordance with the standards of the Circulation Element and all applicable Ordinances, including the Planned Unit Overlay Zone. Ingress and egress to City streets, together with internal circulation patterns, shall be designed to assure an adequate level of traffic safety.
- o Provisions for trash collection locations and angle of placement shall be determined such that service vehicles shall not have to perform a backing maneuver to approach the collection bins. Trash collection areas shall not be located within the setback areas.
- o Trash collection areas shall be screened by landscaping or architectural features in such a manner as not to be visible from a public street. Trash collection bays (enclosures) within view of second story or multi story buildings shall, additionally, be covered with a fire proof and open trellis.
- o Outside storage or incidental service areas shall be obscured from view by structures which are architecturally blended with the main building.

f. Open Space and Recreation

1) Private Open Space:

- a) Each individual ground floor living unit shall be provided with a minimum of one hundred fifty (150) square feet of contiguous and usable outdoor living

space, exclusive of any front yard, which shall be enclosed by a solid wall or other approved screening, six (6) feet in height.

The rectangle inscribed within such private open space shall not have a dimension less than ten (10) feet. Not more than seventy-five (75) square feet of private open space for ground floor dwelling units shall be covered by an overhanging balcony or patio roof. Patios and balconies may be included in the calculation of private open space.

- b) Each individual dwelling unit of a multi-family dwelling having no ground floor living area shall be provided with a minimum of seventy-five (75) square feet of aboveground private open space and the rectangle inscribed therein shall have no dimension less than five (5) feet. All aboveground private open space shall have at least one (1) exterior side open above the railing height.
- c) Each square foot of private usable open space provided beyond the minimum requirements of this section shall be considered equivalent to one and one-half (1 1/2) square feet of the required common open space provided in the multiple-family project, other than in the common pool area. In no case shall private open space constitute more than forty percent (40%) of the total required common open space of the project.
- d) Private open space shall be adjacent to and not more than four (4) feet above or below the floor level of the dwelling unit served.

2. Common Open Space

Each unit of a multiple-family dwelling shall be provided with a minimum of one hundred fifty (150) square feet of common open space, exclusive of driveways, sidewalks and parking areas. Portions of yards (excluding the front yard and private open spaces) which are contiguous to all units in a multiple-family complex, pools, paved recreation areas and indoor recreation facilities may be included in the calculation of common open space. Not less than thirty percent (30%) of the required open space shall be in permanent landscaping. Such landscaping shall be comprised of live plant materials with permanent irrigation facilities and automatic timers installed.

5. Greenbelt Development Standards

a. Land Use

Approximately 11 acres of the project site is being retained as greenbelts and open space (the proposed utility corridor) to provide residents with a variety of community recreational and open space resources. The New Horizons project includes plans for the development of a proposed 9.1-acre linear community greenbelt. This greenbelt will require approval from the MWD prior to implementation. The recreational component of the project is designed to provide relief from the built environment, and will also serve as a corridor for pedestrian circulation.

b. Permitted Uses

The following uses are permitted in all areas of the New Horizon Specific Plan project area that are designated for park, greenbelt or open space:

- * Park and recreation areas.
- * Public service/utility facilities.

c. Site Development Standards

- o Minimum lot area shall be 1 acre.
- o Signs shall not be erected prior to obtaining approval from the City and Metropolitan Water District (MWD).
- o No fence, wall or other type of screening shall be erected in recreational areas prior to obtaining City approval.

C. DEVELOPMENT APPROVAL PROCESS

Following or concurrent with approval of this Specific Plan, subdivision maps will be filed, reviewed and approved by the City of Perris. The City's process of reviewing these maps is facilitated by inclusion of development standards within this Specific Plan document. The Director of Planning and Community Development will be responsible for determining what plans are in substantial compliance with the Specific Plan. Changes in street alignments to provide better circulation or reallocation of dwelling units among the planning areas will be permitted without amending this Specific Plan.

A development review application shall be required for submittal to the Department of Community Development in the City of Perris for all tentative subdivision maps within the New Horizons Specific Plan project area.

D. AMENDMENT PROCESS

In accordance with the California Government Code Sections 65453 - 65454, Specific Plans shall be prepared, adopted and amended in the same manner as General Plans, except that Specific Plans may be adopted by resolution or by ordinance. This Plan may be amended as necessary in the same manner it was adopted, by ordinance. Said amendment or amendments shall not require a concurrent General Plan amendment unless it is determined by City staff that the proposed amendment would substantially affect the General Plan Goals, objectives, policies, or programs. An environmental assessment form shall accompany the proposed amendment, but it is presumed that the master Environmental Impact Report (EIR) approved for the project area includes all future development for the Specific Plan. If further environmental documentation were required, in special cases, it would be a very focused analysis and action as documented in Section 15162 - 15182 of the CEQA guidelines.

E. MAINTENANCE ASSOCIATIONS

The creation and successful operation of a maintenance assessment district is an important factor in maintaining the aesthetic quality of the project. Maintenance responsibilities are as follows:

- o The City of Perris or an assessment district or other similar mechanism will be responsible for the maintenance and upkeep of the community monumentation at the corner of Morgan Street and Evans Road, as well as any other entry monumentation that may be constructed as part of the New Horizons project.

- o The City of Perris will be responsible for maintaining all other public streets and rights-of-way, as well as the public linear greenbelt.
- o The Southern California Edison (SCE) Company will be responsible for maintaining the proposed utilities corridor should it elect to relocate electrical lines into the corridor. If SCE chooses not to relocate the existing electrical lines on-site into the proposed utilities corridor, then the corridor will be developed with residential uses.