
RIVERGLEN SPECIFIC PLAN

City of Perris

Prepared for:

UNITEX

Prepared by:

**LAND·PLAN
DESIGN
GROUP**

Planning/Landscape Architecture

APRIL 1, 1992

RIVERGLEN SPECIFIC PLAN
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I. PROJECT OVERVIEW

A. Project Summary

The Riverglen Specific Plan project site is approximately 333 acres located in the City of Perris within the County of Riverside. Riverglen is designed as an integrated planned community and includes parks, trails, an elementary school, residential uses, and two commercial sites. The Specific Plan itself is a result of a cooperative planning effort by City staff, the staffs for numerous public agencies and districts, the landowner and a team of planning, engineering, environmental and financial consultants. The goal of the planning effort is to produce one of the City of Perris' finest living and working environments. With its highly amenitized elements of the site and its enhanced landscape and architectural character, the plan will create an impressive master-planned community.

Approximately 41 acres of the Riverglen site is retained in open space including developed parks, trails, recreational areas and an elementary school. The developed park sites are interconnected through an open space framework of trails and expanded parkways. Within the park sites, a multitude of recreational facilities will be provided which include volleyball, softball, soccer, basketball, tot lot play equipment, picnic stations, barbecues, as well as other amenities.

The commercial opportunities on approximately 15 acres will be enhanced by the village atmosphere set forth by the architecture style, the types of shops and the landscape. A supermarket, a variety of restaurants and shops are among those anticipated uses to service the residents of the community. These commercial sites will also generate employment opportunities for the local residents. In addition, the City of Perris will benefit from the revenues generated by this development.

The residential uses are designed to provide a range of single family homebuying opportunities. It is anticipated that approximately 1,257 residential units will be generated from the development. A range of architectural styles will be encouraged so that diversity, harmony and excellence in design will be achieved. Living within the Riverglen community, residents will enjoy the image set forth by the architecture, landscape treatments and open space.

B. Scope and Format

This Specific Plan has been organized into five sections as described below.

Section I: Project Overview

Provides an overview of the project setting, location, land uses, circulation and public facilities.

Section II: Introduction/Methodology/Background

Provides a description of the purpose and authority for the Specific Plan, introductory provisions, consistency with the City of Perris General Plan, supporting documents, references, and a summary of the Specific Plan.

Section III: Specific Development Plan

Provides detailed descriptions of the land use, design elements and infrastructure of the project. This includes a discussion of project phasing and implementation.

Section IV: Development Regulations

Provides detailed land use regulations applicable to all uses in the Specific Plan.

Section V: Environmental Impact Report (separate volume)

C. Project Location

The Riverglen planning area is located at the southeastern portion of the City of Perris. Its relationship to the region is depicted on Exhibits 1 & 2. The planning area is approximately 333 acres and is bounded on the north and east by the Interstate 215 Perris Freeway (Escondido Expressway), on the west by the San Jacinto River Flood Channel and the south by the Atchison-Topeka and Santa Fe Railroad which parallels Case Road. The New Perris Specific Plan is located to the north of the site and the Green Valley Specific Plan is located to the south, both of which have recently been approved by the City Council. Exhibit 3 identifies the planning area within the local vicinity.

D. Land Use

Land uses within the Riverglen Specific Plan include commercial, residential uses of various densities, and both improved and unimproved open space. These land uses are indicated on Exhibit 7 and are described below.

1. Residential Uses

Within the specific plan area approximately 1,257 dwelling units are planned. There are a total of four residential land use categories providing a diversity in housing types.

2. Commercial Uses

15.2 acres commercial/retail have been included in the master plan located at both entries to the community.

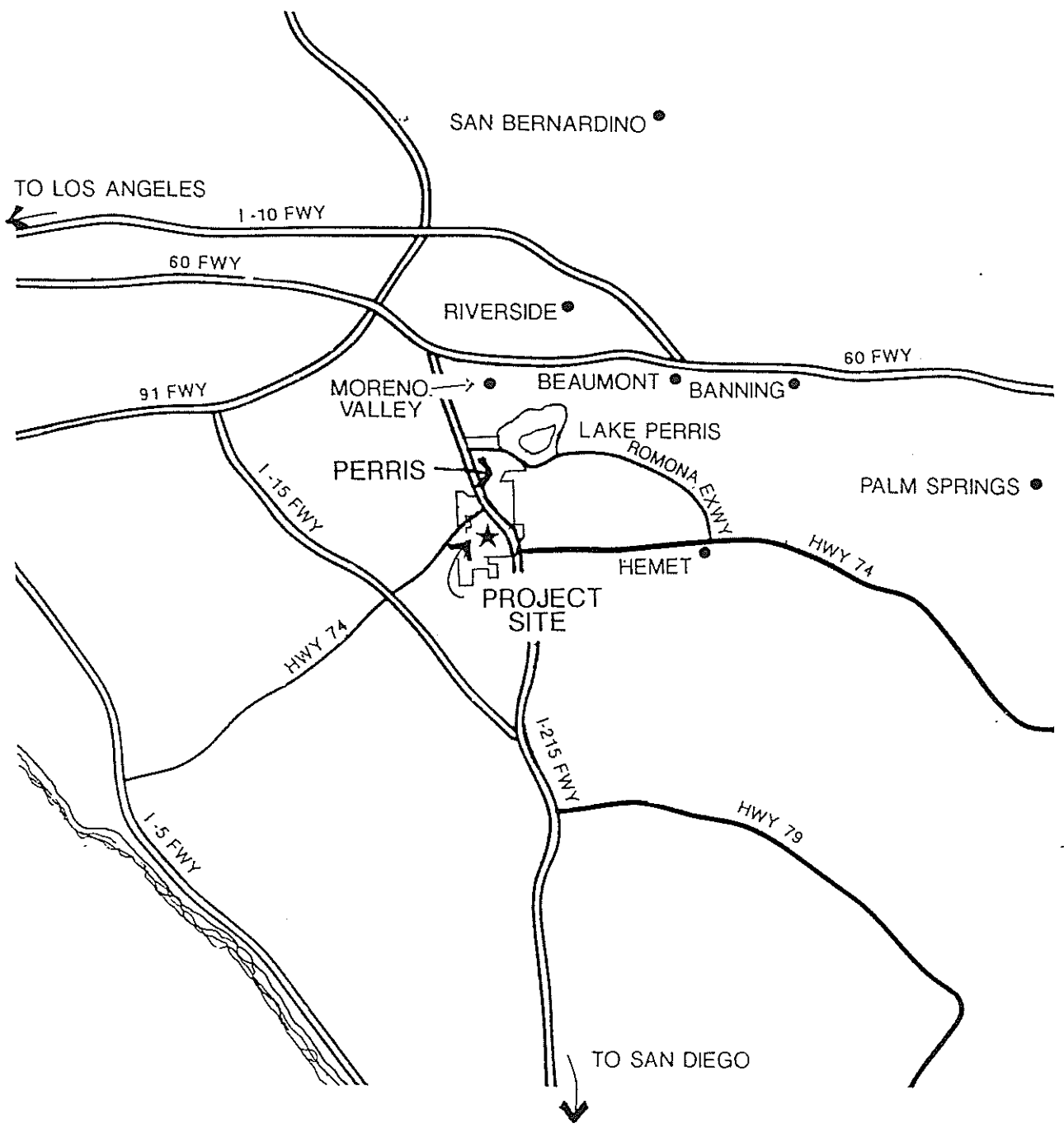
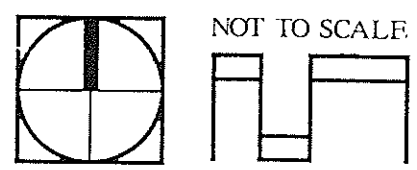


EXHIBIT 1
REGIONAL MAP

RIVERGLEN
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NOT TO SCALE

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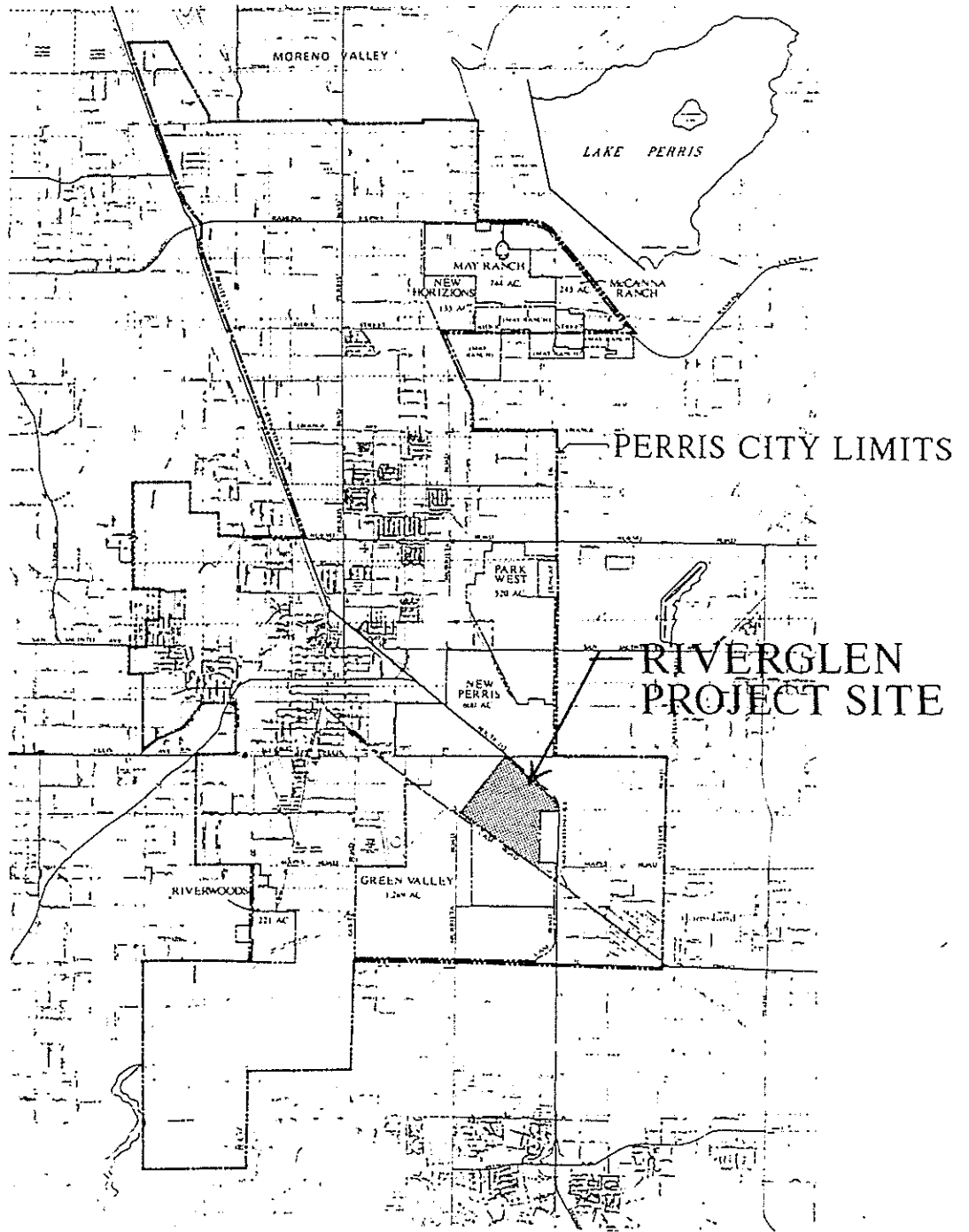


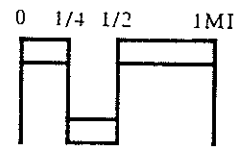
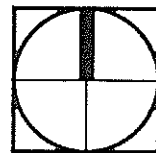
EXHIBIT 2

PERRIS CONTEXT MAP

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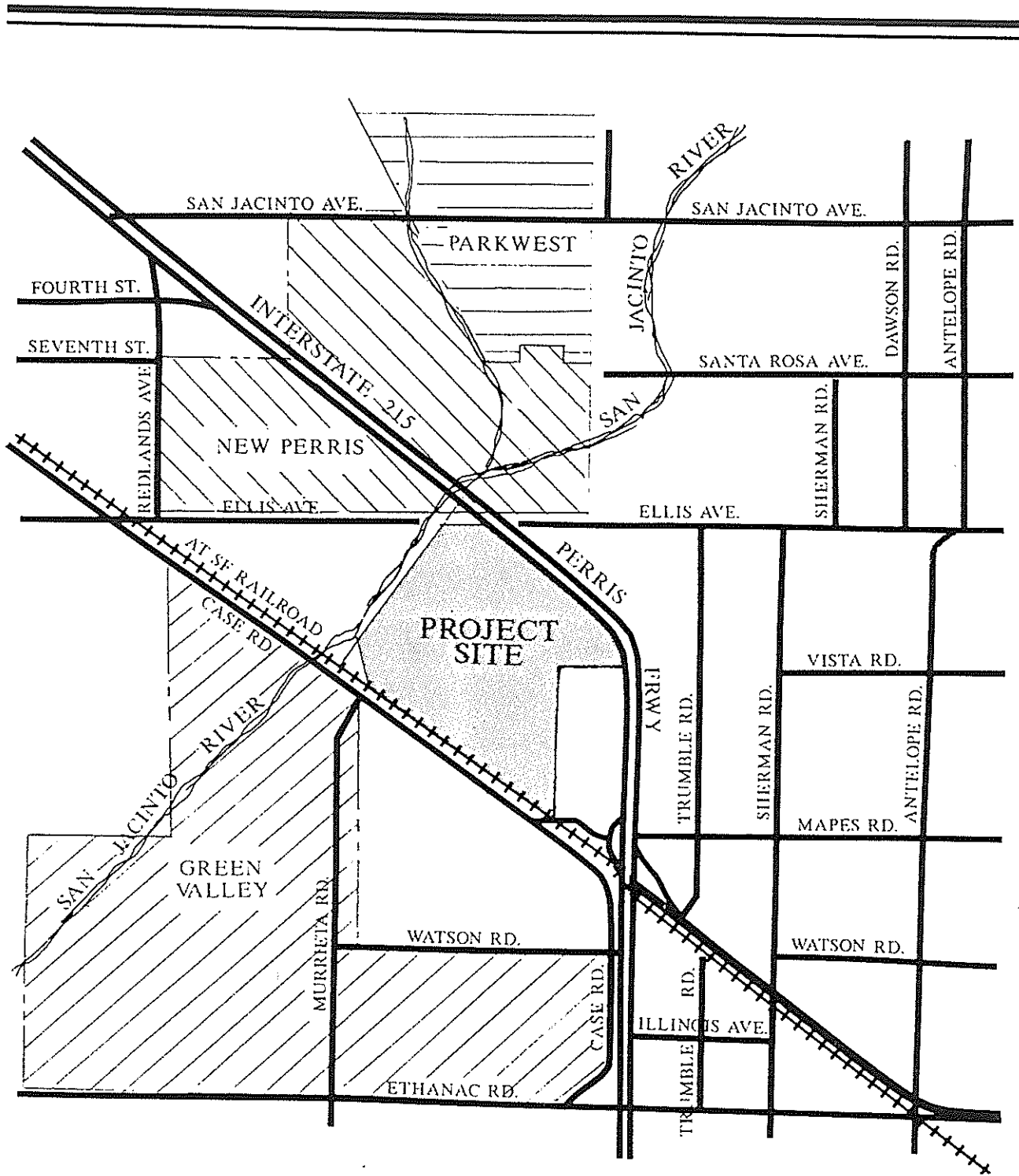
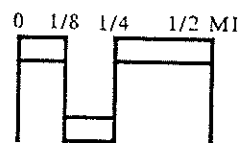
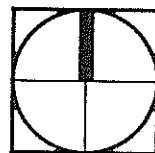


EXHIBIT 3
VICINITY MAP

RIVER GLEN
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3. Schools

An elementary school site has been planned to meet the needs of the community and is located adjacent to a neighborhood park.

4. Parks and Open Space

Four park sites, trails and other open space totalling approximately 34 acres are provided. A trail/bikeway system is designed to interconnect the various park and open space uses to the different land use areas.

E. Circulation

The circulation plan for Riverglen has been developed in response to the traffic needs identified in a traffic study prepared by Mohle, Grover & Associates. Road alignments and sections are designed to the standards of the City of Perris. Major access to the site is provided from the Interstate 215 Freeway at the Route 74/Case Road off-ramp. The second access to the site will be provided from the proposed Murrieta Road which will traverse the western portion of the site.

F. Public Facilities and Infrastructure

The site is within the jurisdiction of Eastern Municipal Water District (EMWD) and is included within their master plan for the area. The project site lies within the Riverside County Flood Control District. The Specific Plan proposes to implement the 100-year flood control plan through a system of channels that are integrated into the overall community design. The public utility infrastructure necessary to service the proposed project will be installed during the appropriate construction phases.

G. Financial Program

There is an added cost to meet the high standards set forth in this Specific Plan. That cost must be primarily passed on to the homebuyers and business property owners if these standards are to be met within the financial constraints of the City, the County and the various districts. It is anticipated that a Community Facilities District (CFD) will be set up to finance the public infrastructure, schools, and landscape improvements. A Landscape and Lighting District will be formed to provide for the landscape maintenance of the project. To the extent believed feasible, these costs are passed on in the form of additional taxes and assessments as the most economical and straight forward method. Each new property owner in Riverglen will be given a statement disclosing these estimated taxes and assessments, and each tax bill will list the services and facilities provided. The overall tax and assessment rate to the typical homebuyer will be approximately two percent which is still less than two-thirds of the typical tax bill prior to the enactment of Proposition 13. The financial plan described here has been successful in other master-planned communities.

II. INTRODUCTION / METHODOLOGY / BACKGROUND

A. Specific Plan Purpose / Methodology

I. General

a. Introduction

The methodology for the preparation of the Riverglen Specific Plan was divided into three basic phases, each phase building upon the findings of the previous phase. During each phase, the City staff has worked in coordination with the consultant team to insure that tangible decisions would be reached at the conclusion of the work.

The first phase of this process included an assessment of: local issues and opportunities; goals and objectives of the City as stated in the General Plan; physical and environmental characteristics of the site; economic development, market potential, and the limitation of existing basic infrastructure facilities. This assessment has provided a firm basis for formulating a development concept for the site.

The second phase of work involved the development of alternative land use concepts for the study area. These alternatives explored various ways that both the General Plan of the City and the objectives of the developer could be translated into more detailed land uses, design concepts and development opportunities for the property. A section in the Environmental Impact Report will address the alternatives considered during this process.

During this second phase, it was also determined that a General Plan Amendment would be required. As such, processing of the General Plan Amendment will occur concurrently with the Specific Plan.

The final phase of work involved the refinement of the preferred alternative concept through more detailed planning and design of land uses, circulation, community identity, design controls and infrastructure needs. The purpose of this refined plan is to ensure that the plan for Riverglen is realistic, that it can be built and operated within the capabilities of the responsible public agencies and that it will serve and further the goals and policies of the community as they are expressed in the General Plan.

b. Purpose

The policies, plans, and programs of the City's General Plan establishes the basic framework for development of the Riverglen Specific Plan area. The City's General Plan encourages that development of this area proceed according to an adopted Specific Plan or similar planning tool. The primary purpose of this Specific Plan is to implement the policies of the City on a specific planning

area basis. The Plan addresses interrelated environmental considerations, balancing developmental needs with environmental ones. When adopted, the specific plan will serve both a regulatory and planning function, guiding the necessary infrastructure and public service requirements.

c. Authority For The Specific Plan

The Riverglen Specific Plan is created through the authority granted to the City of Perris by the California Government Code. The adoption of the Plan by the City of Perris is authorized by the California Government Code, Title 7, Divisional Chapter 3, Articles 8 and 9, Sections 65450-65507, under this Code. The Planning Commission must hold a public hearing before the Planning Agency can recommend the adoption of a specific plan. The City Council may then adopt a specific plan by ordinance or resolution. California Government Code Section 375507 provides as follows:

“When it deems it to be for the public interest, the legislative body may initiate and adopt an ordinance or resolution establishing a Specific Plan or an amendment thereto.”

The California Government Code provides that a specific plan shall include the following elements:

- 1) Land Use: The location of housing, business, industry, open space, recreation facilities, educational facilities, churches and related religious facilities, public buildings and grounds, solid and liquid waste disposal facilities, together with regulations establishing height, bulk, and setback lines.
- 2) Circulation: The plan may include the location of streets, road standards, maintenance provisions, and other transportation needs. This plan may include standards for both private and public facilities.
- 3) Density: Standards for population density and building density may be included. This may include lot size, permissible types of construction, provisions for water supply, sewage disposal, storm water drainage and the disposal of solid waste.
- 4) Design: The City, through the specific plan process, may provide design criteria for the study area to enhance local image, promote high aesthetic standards and promote the location and development of public focal points.

In order to obtain approval, future development plans, tentative parcel maps or tract maps submitted within the Riverglen Specific Plan area must be consistent with the Specific Plan.

d. Introductory Provisions

1) Enforcement

The City Director of Planning and Community Development (Planning Director) shall enforce the provisions of this Specific Plan and all the applicable codes of all governmental agencies and jurisdictions in such matters including, but not limited to, building, mechanical, fire and electrical codes, as well as codes pertaining to drainage, waste water, public utilities, subdivisions and grading.

2) Definitions

Words, phrases and terms not specifically defined herein shall have the same definition as provided in the City Zoning Code.

3) Relationship to other Regulations

The Specific Plan will contain most of the information needed to guide the development of a particular parcel within the study area. However, areas not specifically covered by this Plan will continue to be governed by existing City regulations, and no provisions of this Plan are intended to repeal, abrogate, annul, impair, or interfere with any existing City ordinance except as is specifically repealed by adoption of this plan.

4) Conflict with Other Regulations

Whenever the provisions of this Plan impose more restrictive regulations or otherwise establish more restrictive regulations than are imposed or required by any other city ordinance, code or regulations, the provision of this Plan shall govern.

5) Interpretation

The City Planning Director or his/her designee, shall have the responsibility to interpret the provisions of the Specific Plan. All such interpretations shall be in written form and permanently maintained. Any person aggrieved by such an interpretation may request that such interpretation be reviewed by the Planning Commission. If this person is aggrieved by the interpretation of the Planning Commission, he/she may appeal to the City Council for final interpretation.

6) Ambiguities

Unless otherwise provided, any ambiguity concerning the content or application of the Riverglen Specific Plan shall be interpreted by the Planning Director or his/her designee.

e. Application

The Riverglen Specific Plan applies only to that property known as the Riverglen Specific Plan area. The Land Use Plan delineates the property which is subject to this Specific Plan.

f. California Environmental Quality Control Act (CEQA)

An Environmental Impact Report (EIR) will be prepared by the City of Perris for Riverglen in accordance with CEQA requirements. The EIR assesses the environmental impacts of the proposed development in all areas of the specific plan, including: land use, circulation, infrastructure, and policies of the Riverglen Specific Plan. The EIR is applicable to future development projects within the Riverglen Specific Plan area (i.e., site plans, subdivision maps, etc.).

2. Consistency With the City of Perris General Plan

a. Summary

The intent of a planned community is to provide the developer and the City an overall concept plan, a detailed land use plan, and regulatory provisions to implement all aspects of the planned community. It is the City's desire to encourage large scale projects be planned and developed under a master plan concept and the City of Perris' General Plan outlines a series of goals, policies and objectives. The Riverglen Specific Plan compliments, reinforces and promotes these goals, policies and objectives, a summary of which is listed below.

- Provide a balance of land uses within the planning area to ensure that the residential population is served adequately by public, commercial, and employment generating land uses.
- Create development within the planning area which would distinguish Perris from other cities and the region in general.
- Manage growth to maintain the "quality of life" in Perris and ensure that future development is supported by adequate infrastructure and other public services.

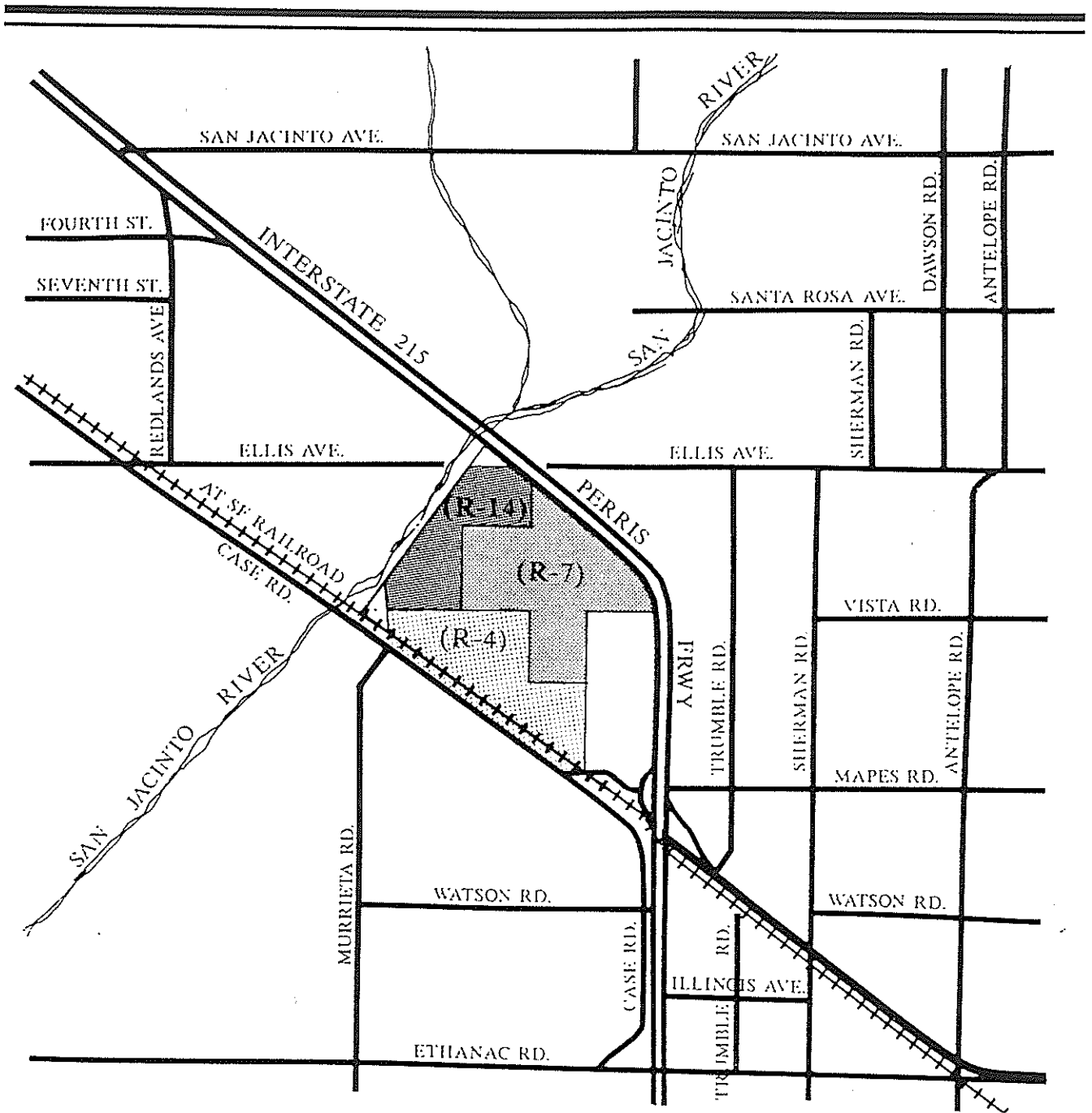
- Reduce potential flood hazards associated with the floodplains of the San Jacinto River and the Perris Valley drainage course, as well as the dam inundation area through appropriate distribution of compatible land use within affected areas.
- Provide for a mix of land uses which meets the diverse needs of residents; offers employment opportunities; and capitalizes, enhances and expands upon existing physical and economic assets of the planning area.
- Provide for patterns of land use which can be supported by existing and planned circulation, public facilities, and infrastructure system improvements in a manner that will preserve the city's fiscal capacity.
- Provide for the development of a variety of high quality residential types and densities, that are in balance with the needs and desires of the people of the community.
- Locate and group commercial and industrial uses which are oriented toward regional service/market areas to promote utilization of regional, rather than local, transportation facilities and development-supporting infrastructure.
- Provide for the development of parks, schools and recreation uses which are located in close proximity to the population of the planning areas to be served.
- Ensure that adequate buffers, such as landscaping, setbacks and walls, are provided between incompatible land uses.
- Ensure that adequate lands are designated for neighborhood commercial uses adjacent to designated residential areas.
- Assist local school districts in the planning of educational facilities locations to provide educational opportunities for all residents.
- Manage the outward expansion of all future development to maintain continuity with existing development, provide for orderly expansion of infrastructure and public services, minimize impacts on natural environmental resources, and preserve designated or potential open space.

- Development within the planning area shall pay for the cost of providing necessary City public services and facilities to support that development in a timely manner, through the use of such mechanisms as benefit assessment districts, development fees, and maintenance districts.
- Provide for the use of planned unit developments which incorporate creative site design for new residential projects as a means of maintaining open space, reducing impacts to environmental resources, and avoiding environmental constraints.
- Use the specific plan process for the development of large properties to ensure coordinated, comprehensive development and avoid problems of uncoordinated, incremental development.
- Develop a distinctive community identity through the use of quality design for buildings, landscaping and other site planning features.
- Provide for the needs of local residents and tourists alike by developing a positive image for the City through creation of a sense of place; creation of safe highway system; and enhancement of existing tourist/visitor amenities.

b. General Plan Land Use Designations

The City's General Plan Land Use Element (see Exhibit 4) currently designates three (3) land use designations (Residential-4, Residential-7 and Residential-14) over the Riverglen Specific Plan areas as follows:

1. The Residential-4 (R-4) designation allows the development of single family detached dwelling units to a maximum of four (4) dwelling units per net acre. Based on acreage calculations, a total of 336 dwelling units could be achieved in this area.
2. The Residential-7 (R-7) land use designation allows the development of medium density detached and attached dwellings which include duplexes, condominiums and townhomes. This designation will permit the construction of as many as seven (7) dwellings per net acre. Based on net acreage calculations, a total of 798 dwellings would be permitted.
3. The Residential-14 (R-14) land use designation in the General Plan permits the development of higher density detached and attached single-family dwellings, as well as multi-family dwellings. This designation will permit the construction of as many as fourteen (14) dwellings per net acre of land. Based on acreage calculations, a total of 1,134 dwellings could be achieved.






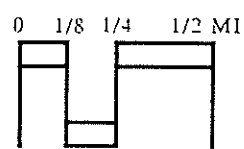
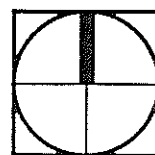
-  RESIDENTIAL 4 (R-4)
-  RESIDENTIAL 7 (R-7)
-  RESIDENTIAL 14 (R-14)

EXHIBIT 4
GENERAL PLAN
OVERLAY

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Based on the above three (3) General Plan land use designations for the site, a total of 2,268 dwelling units would be permissible under the Land Use Element of the Perris General Plan. It should be noted, however, that the Riverglen Specific Plan is planning to develop a considerably lower density community of approximately 1,257 dwelling units. This total is about 1,011 dwelling units less than (or nearly one-half) the permitted maximum total.

A General Plan Amendment is currently being processed to revise the above land use designations to "Specific Plan" zone.

3. Supporting Documents / Cases

Approval of this Specific Plan will result in certification of a master Environmental Impact Report for the entire site. Other more detailed environmental information may be required in conjunction with future submittals.

A Tentative Parcel Map and individual Tentative Tract Maps will be submitted for the property according to the developers phasing programs. These Maps may be filed concurrently with the Specific Plan.

B. Specific Plan Summary

1. Project Area Description

a. General and Specific Location

Riverglen is comprised of approximately 333 acres located in the southwest portion of the City of Perris and adjacent to the Interstate 215 Perris Freeway, the San Jacinto River and the A.T. & S.F. Railroad.

b. Existing Conditions

The Riverglen site is currently vacant land with no significant topographical features. See Exhibits 5 and 6.

c. Community Setting and Characteristics

Although the existing Perris community is a predominantly rural setting with large agricultural lands and ranches, Perris will experience significant urban growth in the 1990's. This is based on the numerous specific plans being processed currently through the City and Riverside County.

The City adopted the New Perris Specific Plan, located to the north of Riverglen, which is a 596 acre project with 614 dwelling units. Green Valley Specific Plan is a 1,270 acre project located to the south of Riverglen, adding approximately 4,210 dwelling units within the City of Perris. In addition to residential, other land uses in these specific plans include commercial, industrial and public use areas.

d. Project Description

Riverglen is a master-planned community integrating residential and retail opportunities for residents of the City of Perris. The community includes an elementary school and parks around which residential neighborhoods are organized. Approximately 1,257 dwelling units will be developed along with 15.2 acres of commercial uses. Open space within the master plan accounts for 34 acres.

2. Market Objectives

As "lifestyle" becomes a major priority for many buyers today, a community such as Riverglen that offers a variety of housing types set within a quality environment with numerous amenities is in great demand. The plan provides the ability of the family to purchase a home amidst an open space/recreational setting that is rarely available. They will be attracted due to the wide variety of uses within a short distance of one another and by the proximity to employment uses emerging in the area and the proximity to quality schools, parks and recreational amenities.

3. Area Development Trends

The project site is located amidst one of the most rapidly growing areas in Southern California. So far, this expansion has been due mostly to a proliferation of affordable, single family detached homes serving the Riverside, Los Angeles, San Bernardino, Orange and San Diego County areas. Recent approvals in the County and City of Perris indicate that growth will continue and that several important area development trends are occurring.

Residential development is expected to continue in the Perris area. While this development has been characterized by traditional tract-type development, recent approvals indicate a demand for planned communities that can offer not only affordability but also excellent location, recreational opportunities, and design amenities.

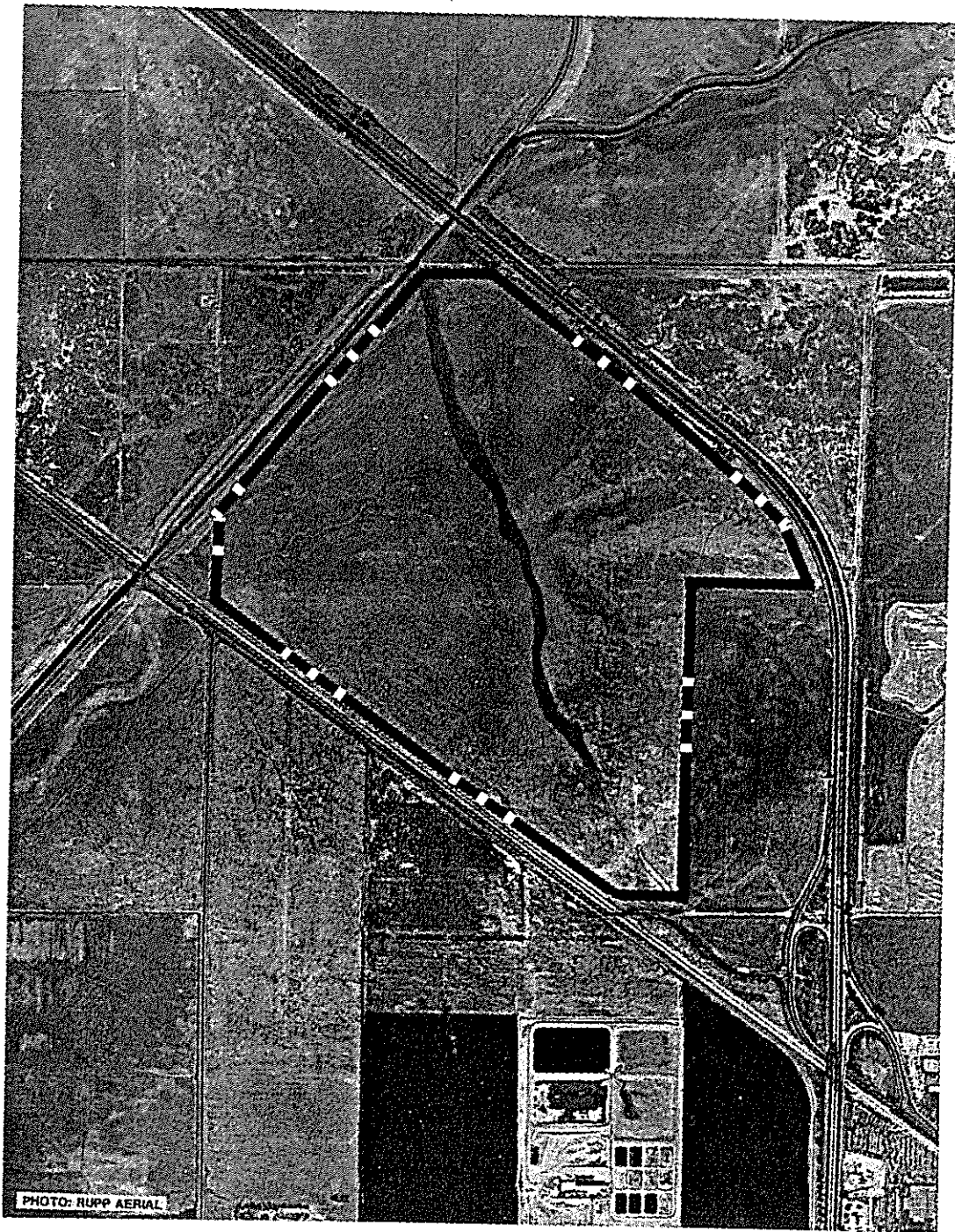
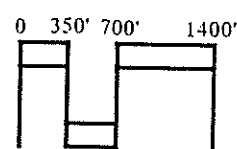
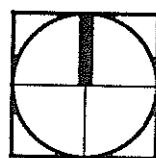


EXHIBIT 5
 EXISTING CONDITIONS/
 AERIAL PHOTO

RIVERGLEN
 SPECIFIC PLAN
 Prepared for: **UNITEX**



**LAND-PLAN
 DESIGN
 GROUP**
 Planning/Landscape Architecture

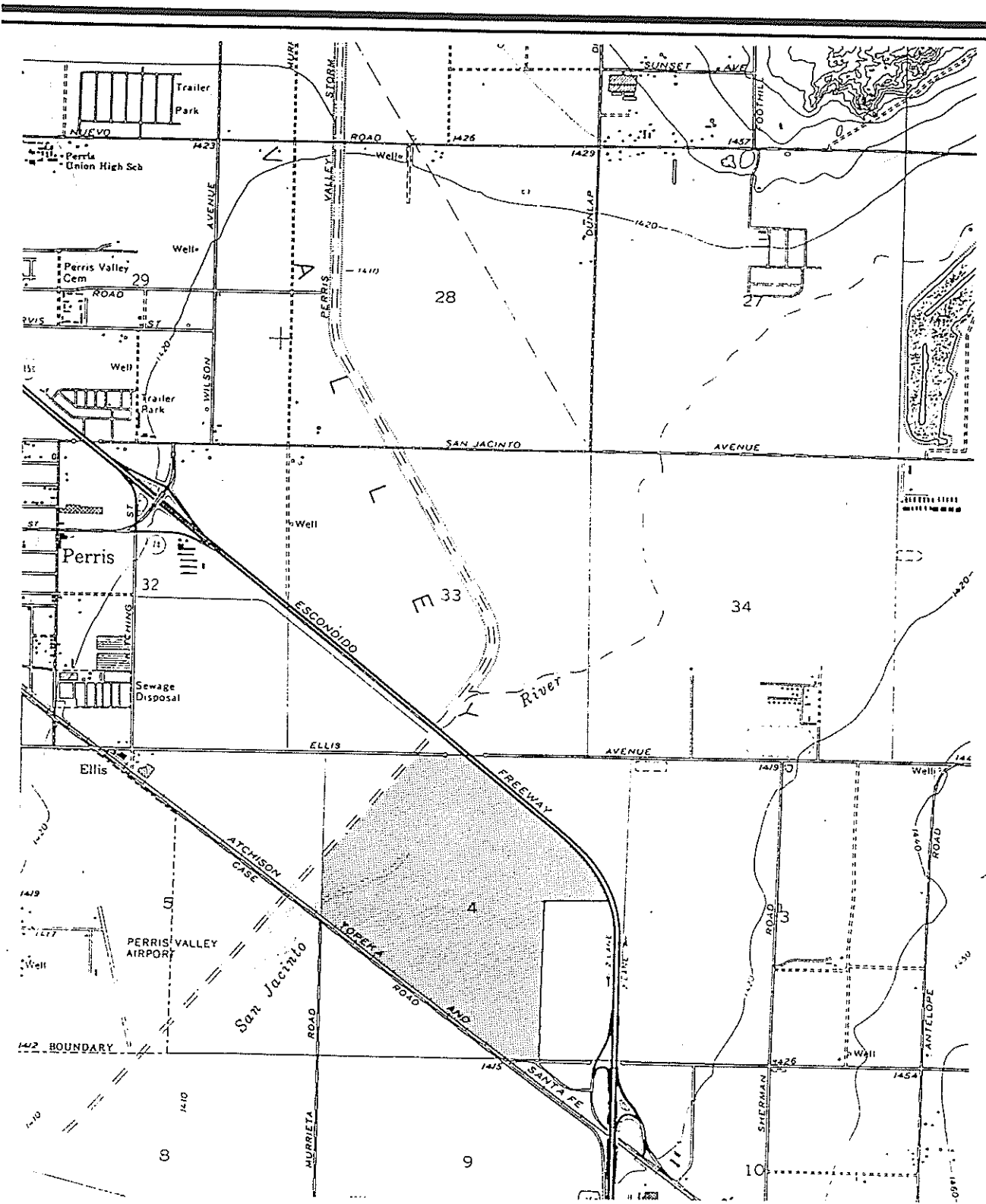
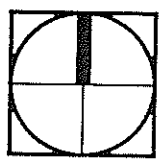


EXHIBIT 6
 U.S.G.S. TOPOGRAPHY
 MAP

RIVERGLEN
 SPECIFIC PLAN
 Prepared for: **UNITEX**



0 1/8 1/4 1/2 MI



**LAND-PLAN
 DESIGN
 GROUP**
 Planning/Landscape Architecture

The employment base of the area is expected to increase significantly in the near future. This prediction is based on the current City of Perris General Plan's heavy emphasis in business, commercial and industrial uses. Such increases in the employment bases are expected to sustain demand in all sectors of the Perris housing market.

Even though much of the vacant land in the Perris area is currently farmed, agriculture is not considered a long-term viable use for the area due mainly to encroaching urbanization and the increasing cost of water.

4. Expected Time Frame for Development

The construction of the project is expected to occur on a phased basis over a five to eight year period. The phasing program is based on a logical sequence of infrastructure development as well as detailed marketing input. Section III of the Specific Plan provides a discussion of phasing.

III. SPECIFIC DEVELOPMENT PLAN

A. Introduction

The following sections are divided into six (6) categories: land use, circulation, community design, grading, public facilities/implementation and phasing. This section is complementary to the Development Regulations section which controls the site specific development standards for all planning areas within the Specific Plan. The Development Regulations occur in Section IV of this Specific Plan.

B. Land Use Plan

Land uses of Riverglen include residential, commercial, and open space. The Land Use Plan, Exhibit 7, identifies the proposed land uses for the Riverglen Specific Plan area. Table A presents a summary of the various land use acreages, including total planned dwelling units. The plan is divided into planning unit areas. A planning unit area (PUA) is the boundary of defined land use. Each planning unit contains a land use designation, acreage and where applicable, a total number of dwelling units planned. The planning areas have generally been defined by logical planning boundaries, i.e., major elements such as roads and trails.

1. Residential Uses

There are a total of four (4) residential land use categories. The land use categories create a variety of housing types within the community that will offer a diversity in house style and price. These residential land uses are described as follows:

a. R-7200:

The R-7200 residential land use encompasses approximately 19.9 acres for the development of single-family homes. A maximum of 86 dwelling units may be achieved in this category. The minimum size of lots is 7,200 square feet. This designation would accommodate traditional single-family homes.

b. R-6500:

This R-6500 residential land use encompasses approximately 32.1 acres. A maximum number of 151 dwelling units could be achieved in this category. The minimum size of lots is 6,500 square feet. This designation would accommodate generally traditional single-family homes.

TABLE A
LAND USE SUMMARY

<u>Residential Uses</u>	<u>Minimum Lot Size</u>	<u>Abbrev.</u>	<u>Total Acres</u>	<u>Gross Density</u>	<u>Maximum D.U.</u>	<u>Net Acres</u>	<u>Net Density</u>
R-7200	7,200 SF	(R-7200)	19.9	4.4 du/ac	86	14.9	5.7 du/ac
R-6500	6,500 SF	(R-6500)	32.1	4.7 du/ac	151	24.0	6.2 du/ac
R-6000	6,000 SF	(R-6000)	60.2	4.8 du/ac	286	45.2	6.3 du/ac
R-5500	5,500 SF	(R-5500)	152.9	5.0 du/ac	734	114.7	6.4 du/ac
<u>Sub Total</u>			265.1		1,257		
<u>Business Uses</u>							
Commercial		(C)	15.2				
<u>Sub Total</u>			15.2				
<u>Open Space Uses</u>							
Open Space/Elementary School		(OS/ES)	7.0				
Open Space/Parks		(OS/P)	14.5				
Open Space/Trails		(OS/T)	3.1				
Open Space/Undeveloped		(OS/U)	16.6				
<u>Sub Total</u>			41.2				
<u>Major Roads</u>							
Major Roads			11.2				
<u>Sub Total</u>			11.2				
PROJECT TOTAL			332.7	-	1,257		

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**

LEGEND

RESIDENTIAL

- R-7200 7,200 S.F. LOTS
- R-6500 6,500 S.F. LOTS
- R-6000 6,000 S.F. LOTS
- R-5500 5,500 S.F. LOTS

BUSINESS

- C COMMERCIAL

OPEN SPACE

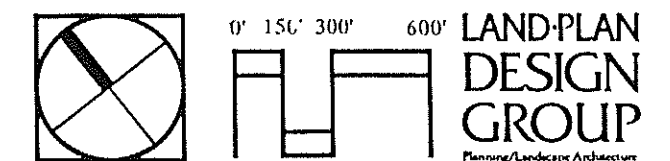
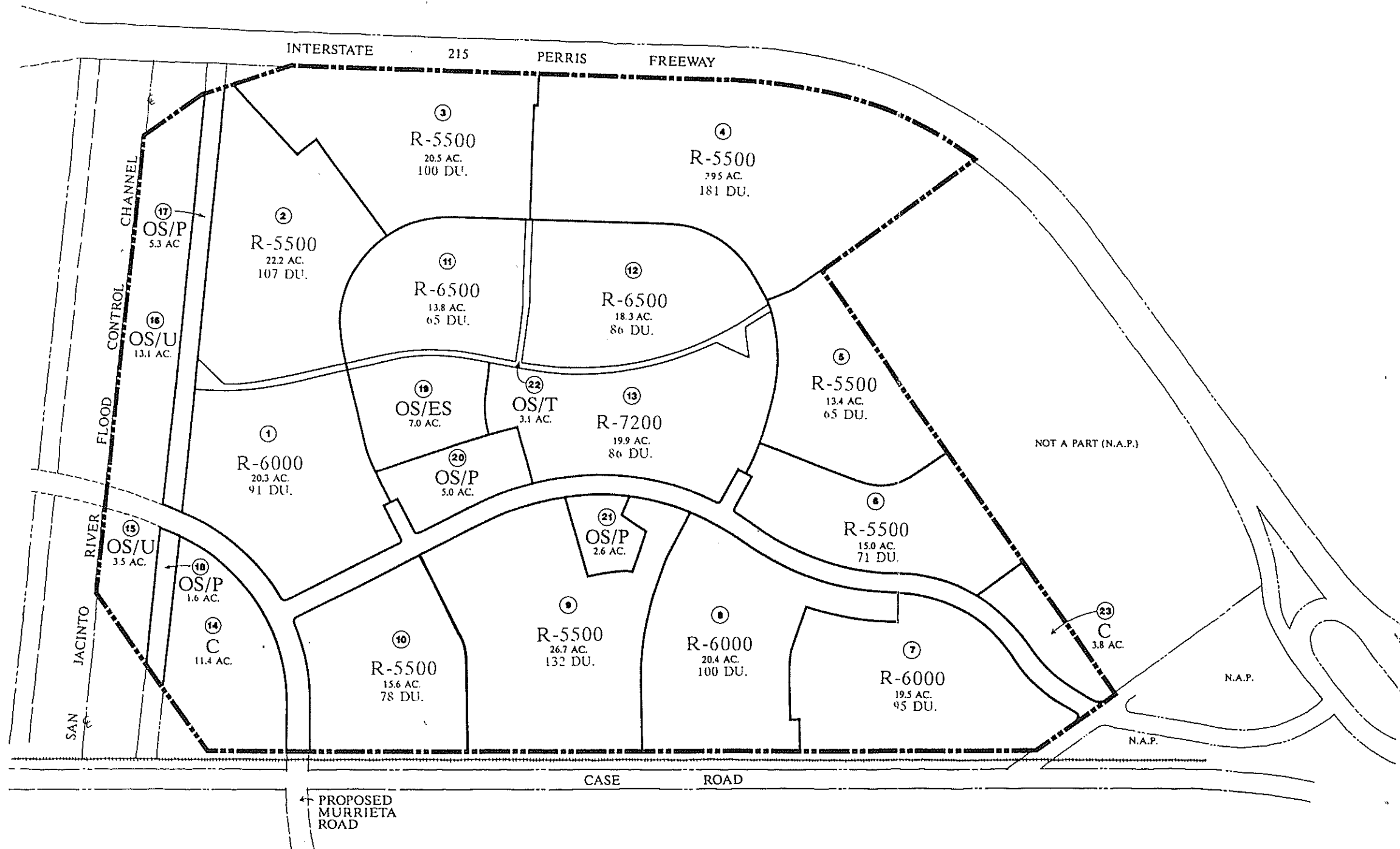
- OS/ES OPEN SPACE/
ELEMENTARY SCHOOL
- OS/P OPEN SPACE/ PARK
- OS/T OPEN SPACE/ TRAIL
- OS/U OPEN SPACE/
UNDEVELOPED

KEY

- (12) PLANNING UNIT NUMBER
- R-5500 LAND USE DESIGNATION
- 17.6 AC. GROSS ACREAGE
- 74 DU. MAXIMUM NUMBER OF
DWELLING UNITS

EXHIBIT 7

LAND USE PLAN



c. R-6000:

Three (3) planning units have been designated for R-6000 on approximately 60 acres. A total of 286 dwelling units could be developed in this category. This residential designation would accommodate traditional single-family detached homes. Lot sizes would have a minimum requirement of 6,000 square feet.

d. R-5500:

The land use plan designates seven (7) planning units as R-5500 residential, allowing for the development of approximately 153 acres. A maximum number of 734 dwelling units could be achieved within this category. This designation would accommodate single-family detached homes and patio homes. Lot sizes will require a minimum of 5,500 square feet.

2. Commercial Uses

Approximately 15.2 acres of commercial/retail uses have been included in the master plan. The retail sites are located at both of the major project entries and will provide ease of access to all local residents as well as establish a community theme.

3. Open Space

Approximately 34 acres of the site and a 7 acre school is devoted to open space uses which are described in greater detail in the following section on Community Design. Open space has been subdivided into four (4) subcategories as follows:

a. Open Space/Elementary School (OS/ES):

A 7 acre school site has been planned to meet the elementary school needs of the community and is located adjacent to a five acre neighborhood park. The centrally located school site is easily accessed from all areas of the site from pedestrian trails.

b. Open Space/Park (OS/P):

Four (4) planning units have been designated for park use which totals approximately 14.5 acres. Active and passive park use are currently planned for these areas. The total open space and parks program exceeds the Quimby standard of three acres per 1,000 population.

c. Open Space/Trails (OS/T):

Pedestrian trails are located centrally in the plan providing access from the residential areas to the major amenities of the site. Located within the trails are two (2) tot lots with play equipment for the adjacent neighborhoods. A total of 3.1 acres occur within the trail and tot lot areas.

d. Open Space/Undeveloped (OS/U):

Located along the western boundary of the site is the San Jacinto River. This 16.6 acre area will remain unimproved open space. Riverside County Flood Control and Water Conservation District is currently preparing flood control channel documents for drainage improvements.

C. Circulation Plan

The circulation element of the Riverglen Specific Plan establishes the layout of arterial and internal street circulation and establishes design standards for roadways within the planning area. The Circulation Plan includes proposed alignments for arterial, collector and local streets as well as proposed rights-of-way and road cross-sections.

A detailed Traffic Circulation Analysis is included as part of the Environmental Impact Report. The following Circulation Plan was based on a traffic study for the site by Mohle, Grover and Associates.

The Circulation Plan and Road Sections for the planning area identifies the following roadways and their design criteria (see Exhibits 8 and 9):

1. Arterial Road A:

Murrieta Road is the proposed major arterial road that provides access to the project site. It will be a major divided highway to provide a six-lane divided cross-section within a right-of-way of 118 feet. The potential for a signalized intersection is anticipated at Murrieta Road and Riverglen Drive. Since Murrieta Road is a "regional arterial", the cost of construction for this road will be shared by Riverglen, the City and/or adjacent developments.

2. Collector Road B:

The main collector road through the project site is Riverglen Drive. This collector road will include an undivided cross-section of 2 to 4 lanes with a right-of-way of 88 feet.

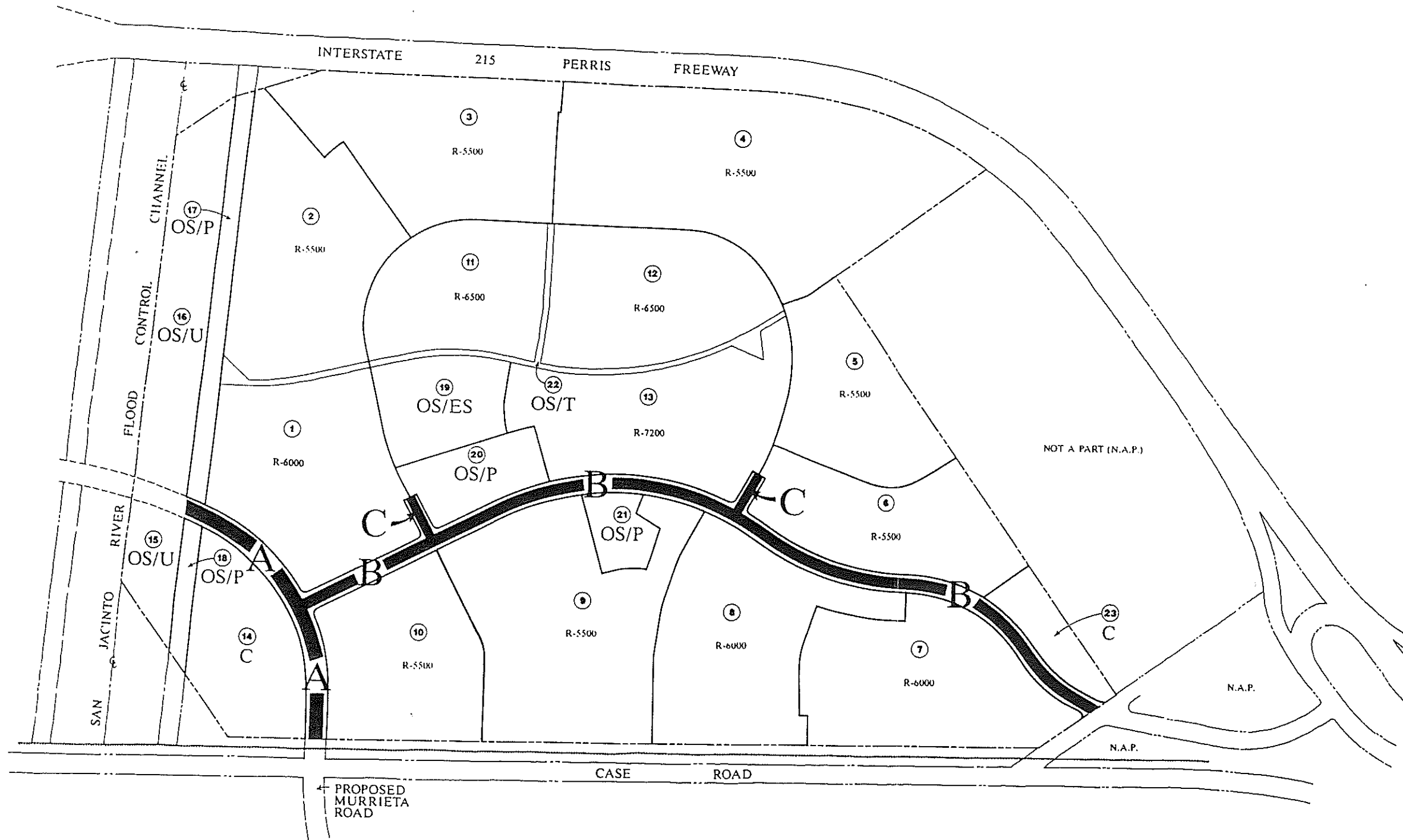
3. Road C:

This two-lane undivided road provides access to the individual residential tracts to the north of Riverglen Drive. A right-of-way of 66 feet and a curb-to-curb width of 48 feet is provided.

4. Local Road/Cul-de-Sac Roads:

Although these roads do not appear on the Circulation Plan, they will provide the access to the individual homes with a two-lane undivided section. A right-of-way of 60 feet and a curb-to-curb width of 40 feet is provided.

**RIVERGLEN
SPECIFIC PLAN**
Prepared for: **UNITEX**



LEGEND

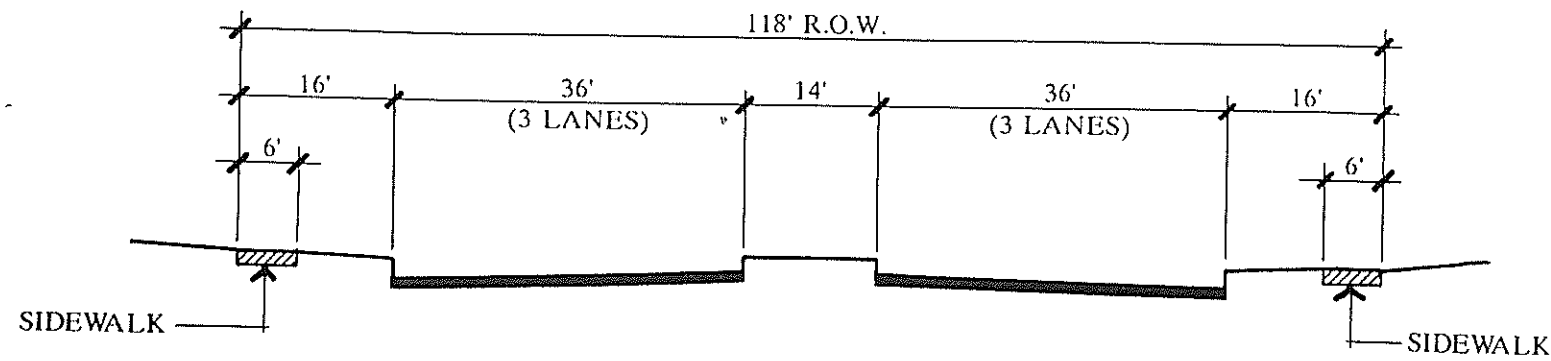
- A** ARTERIAL ROAD A
- B** COLLECTOR ROAD B
- C** ROAD C

LOCAL/CUL-DE-SAC
ROADS (NOT SHOWN)

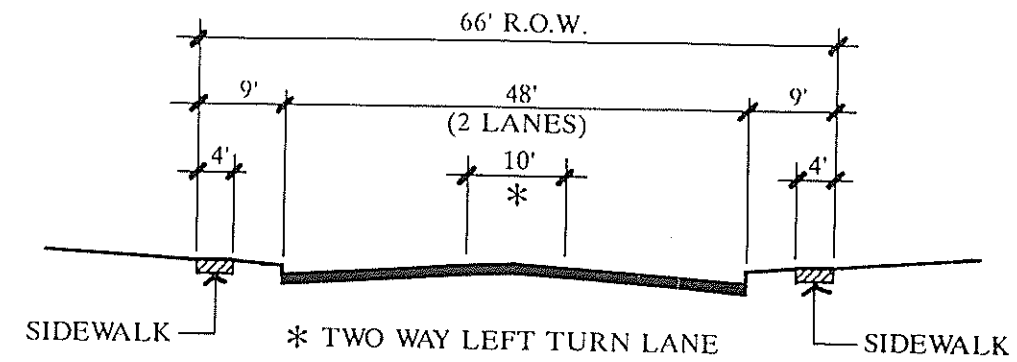
NOTE: SEE EXHIBIT 9
FOR ROAD SECTIONS

**EXHIBIT 8
CIRCULATION PLAN**

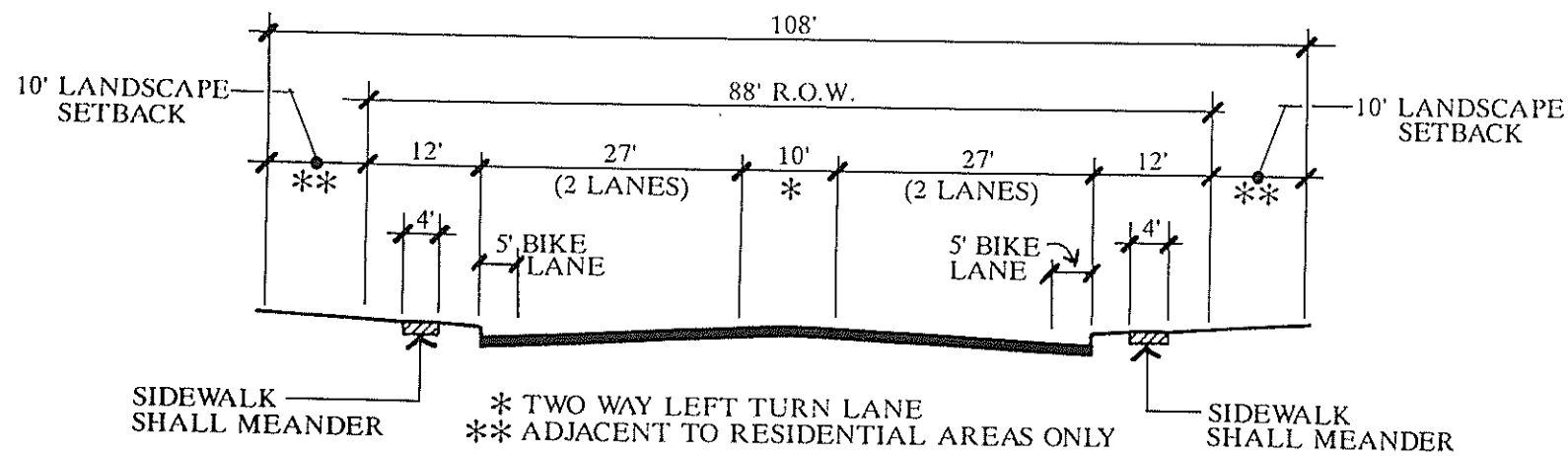
0' 150' 300' 600' **LAND-PLAN
DESIGN
GROUP**
Planning/Landscape Architecture



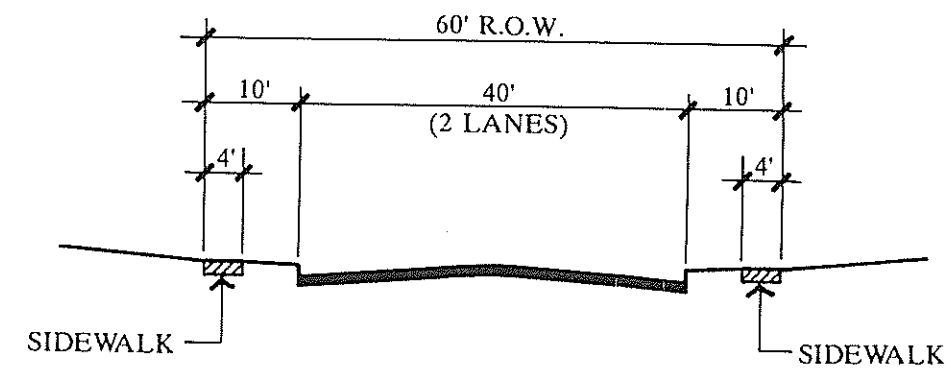
ARTERIAL ROAD -A-
 (6 LANES - DIVIDED)



ROADS -C-
 (2 LANES - UNDIVIDED)

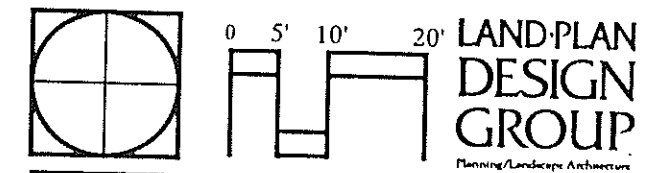


COLLECTOR ROAD -B-
 (2 TO 4 LANES - UNDIVIDED)



LOCAL/CUL-DE-SAC ROADS -D-
 (2 LANES - UNDIVIDED)

EXHIBIT 9
ROAD SECTIONS



D. Community Design

1. Landscape Architectural Guidelines and Standards

a. Introduction

The landscape will play a significant role in establishing a distinctive character for the Riverglen community. It will unify the various land uses, as well as provide an overall community identity. The streetscapes, parks, trails and tot lots will be designed with informal tree massings. The entry monuments and theme walls within the major parkways and street rights-of-way are designed to further enhance this landscape theme.

The purpose of the following landscape architectural guidelines is to describe and illustrate how this unified and distinctive identity can be achieved. The guidelines have been divided into seven categories identified below. The categories represent the entire vocabulary of landscape elements that occur within a planned community. Used in conjunction with the architecture design guidelines for planning and architecture, a high quality and attractive community is virtually assured.

The major categories are further divided into subcategories within which descriptions and plans, elevations and perspective drawings convey overall design "intent". The Landscape Plan (Exhibit 10) identifies these subcategories. The Landscape Plan includes identifications for all exhibits in the text (i.e., major collector, major entry, residential entry, etc.). It will be useful to refer to it when reviewing the text in order to understand the locations of the various landscape elements within the community. The seven major categories include:

- Entry Themes/Signage
- Streetscape Themes
- Open Space and Park Masterplans
- Community Trails
- Community Walls and Fences
- Street and Park Furnishings
- Planting Guidelines

b. Entry Themes/Signage

Entry themes and signage will play an important role in creating an impressive and inviting atmosphere for the community. The initial impression of a community is often formulated by the quality and character developed at the entries.

Within Riverglen, entry monumentation at both of the community entries have been developed. The Landscape Plan, Exhibit 10, identifies their locations within the community. The following entry exhibits are conceptual only and may not be the final design for the project features. Details of design will be subject to review at the time of plan submittal.

1) Major Community Entry:

There is a major community entry to the Riverglen development located at the intersection of Riverglen Drive and Mapes Road near the Interstate 215 interchange. Large terraced walls with ashler pattern cultured stone, provide an oak tree specimen, informal tree massings, flowering shrubs for color and elegant raised signage letters of "Riverglen" are provided. See Exhibits 11a and 11b for these proposed design and appearance of the entries.

2) Secondary Community Entry:

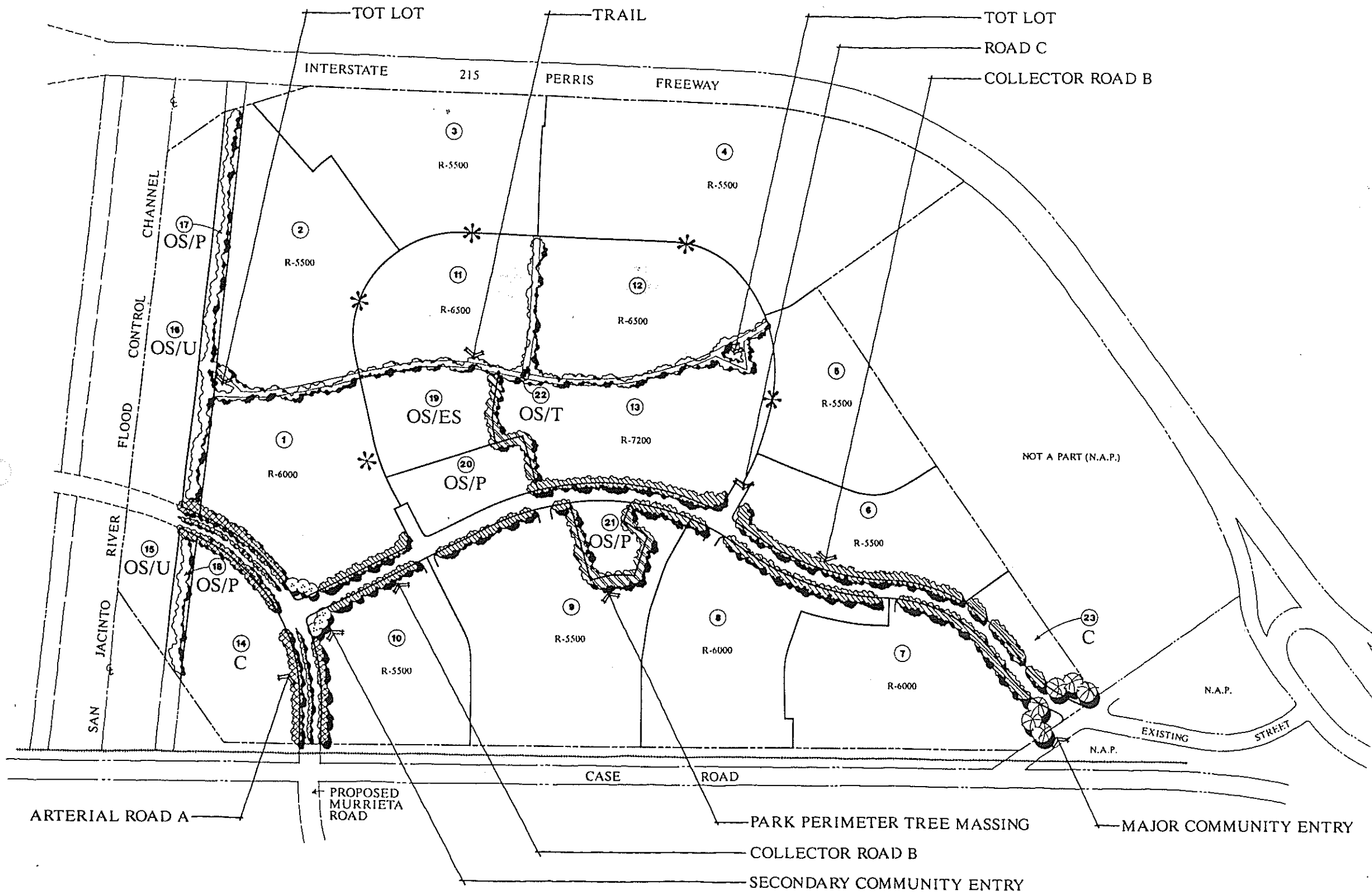
Located at Murrieta Road and Riverglen Drive, is the secondary community entry location, and is detailed on Exhibits 12a and 12b. The secondary entry is similar in design to the above described "major community entry" but are scaled-down, commensurate in scale. Terraced walls, tree massings, flowering shrubs and the project logo are incorporated.

3) Residential Entries:

At various locations are the entry points to the residential tracts. The project logo is set onto a low monument wall, along with accent trees and flowering shrubs to define and enhance these entries. See Exhibit 12c.

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**



LEGEND



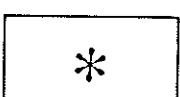
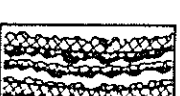
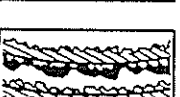

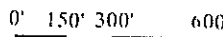
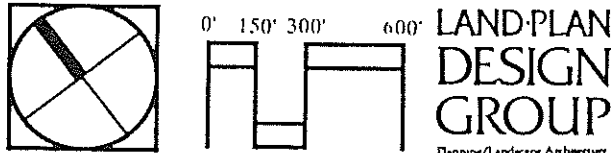
-  MAJOR COMMUNITY ENTRY
SEE EXHIBIT 11a AND 11b
-  SECONDARY COMMUNITY ENTRY
SEE EXHIBIT 12a AND 12b
-  RESIDENTIAL ENTRIES
SEE EXHIBIT 12c
-  ARTERIAL ROAD A
SEE EXHIBIT 13
-  COLLECTOR ROAD B
SEE EXHIBIT 14
-  TRAIL
SEE EXHIBIT 21

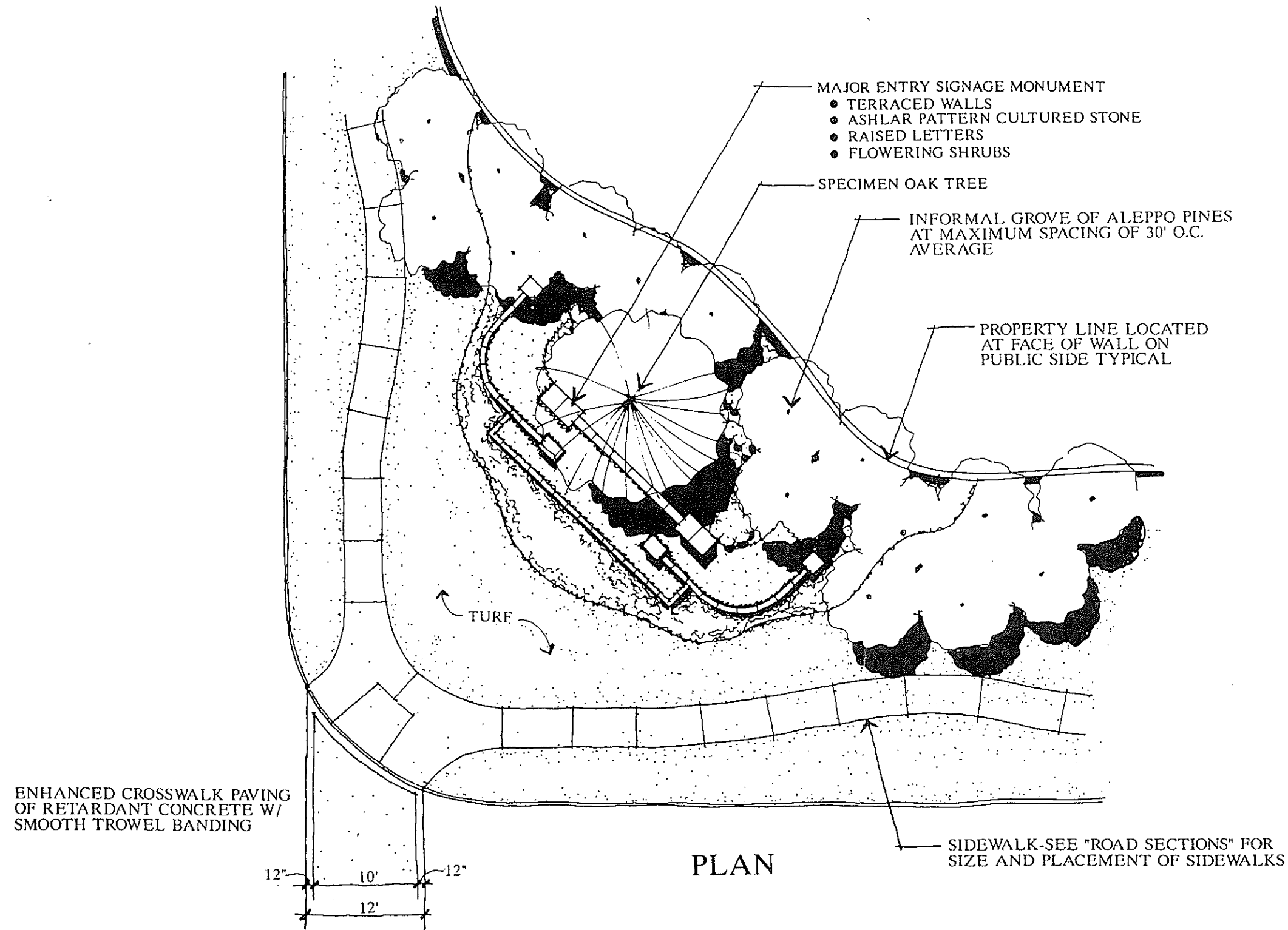
EXHIBIT 10
LANDSCAPE PLAN

NOTE: LOCAL/CUL-DE-SAC ROADS
(NOT SHOWN ON THIS PLAN)

RIVERGLEN SPECIFIC PLAN

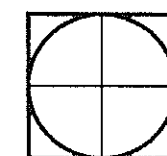
Prepared for: **UNITEX**



NOTE: THE ABOVE SIGNAGE MONUMENT SHALL OCCUR AT TWO STREET CORNERS AT THE MAJOR COMMUNITY ENTRY LOCATION

EXHIBIT 11a

MAJOR COMMUNITY
ENTRY (PLAN)



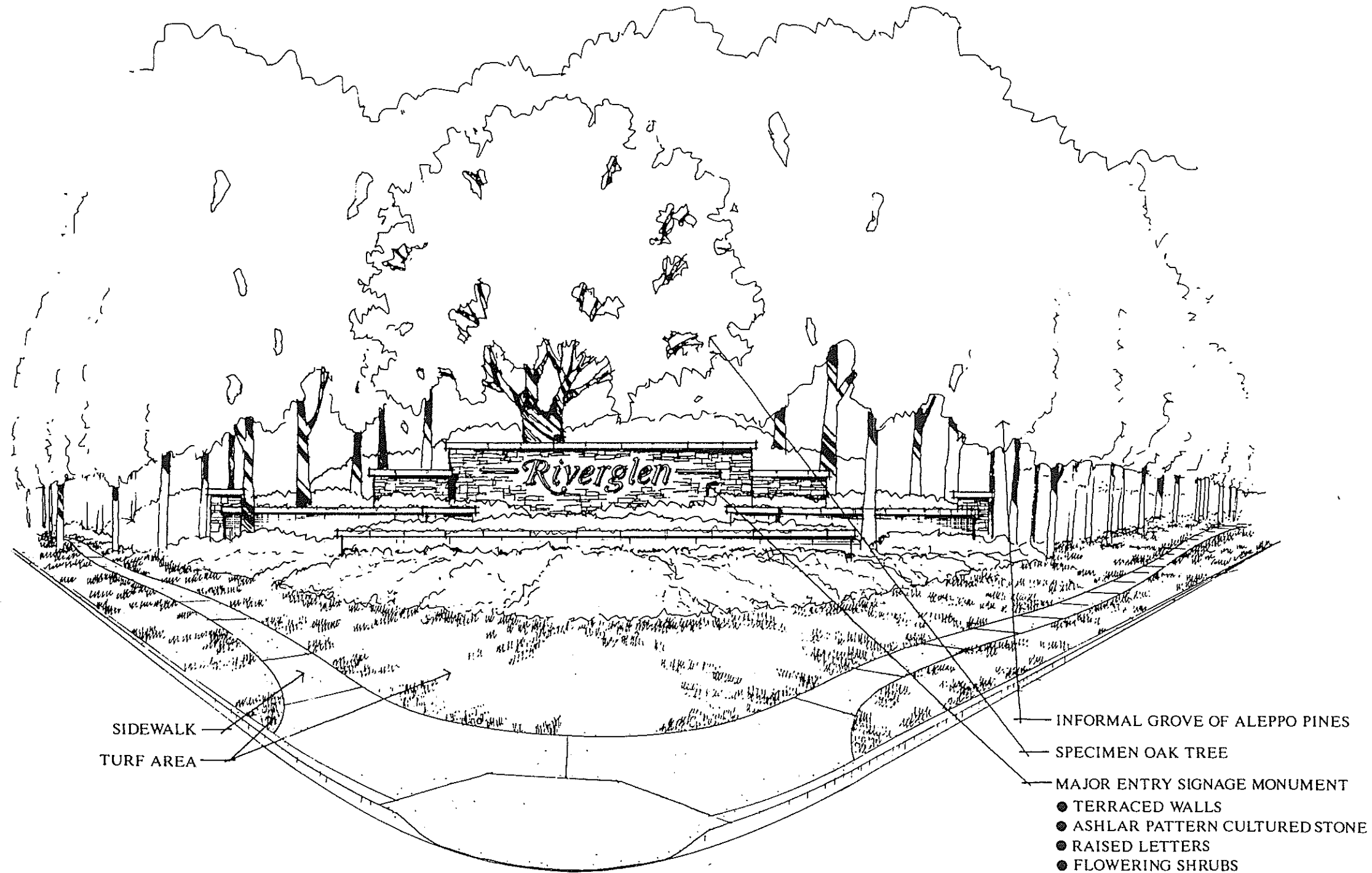
NOT TO SCALE



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**RIVERGLEN
SPECIFIC PLAN**

Prepared for: **UNITEX**




PERSPECTIVE

EXHIBIT 11b

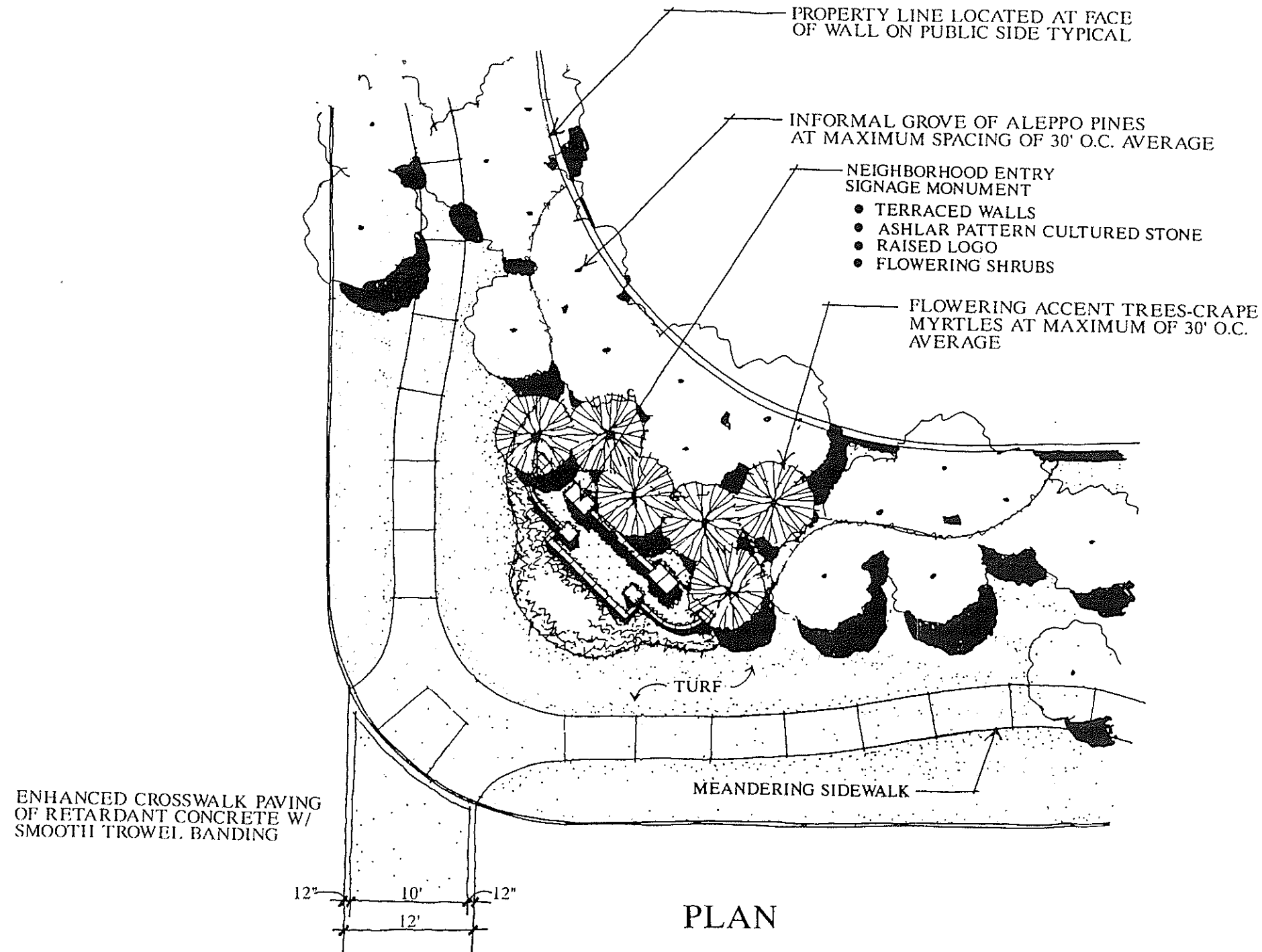
MAJOR COMMUNITY
ENTRY (PERSPECTIVE)

NOT TO SCALE



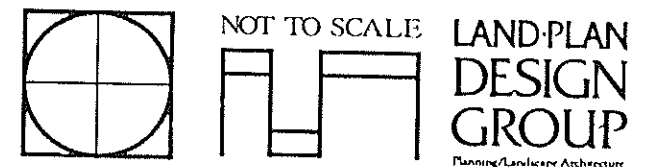
**LAND-PLAN
DESIGN
GROUP**
Planning/Landscape Architecture

RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**



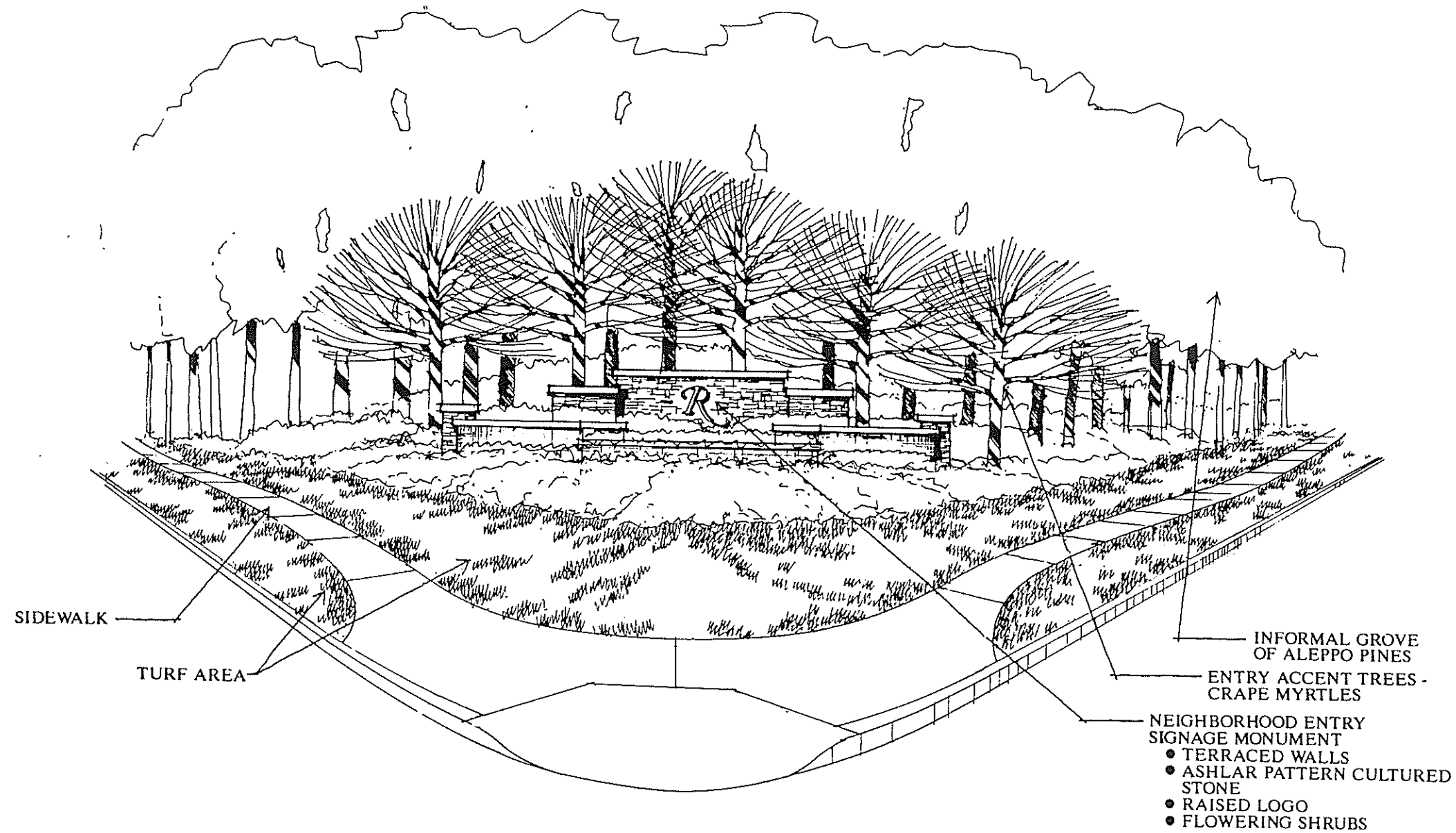
NOTE: THE ABOVE SIGNAGE MONUMENT SHALL OCCUR AT TWO STREET CORNERS AT THE SECONDARY COMMUNITY ENTRY

EXHIBIT 12a
SECONDARY COMMUNITY ENTRY (PLAN)



RIVERGLEN
SPECIFIC PLAN

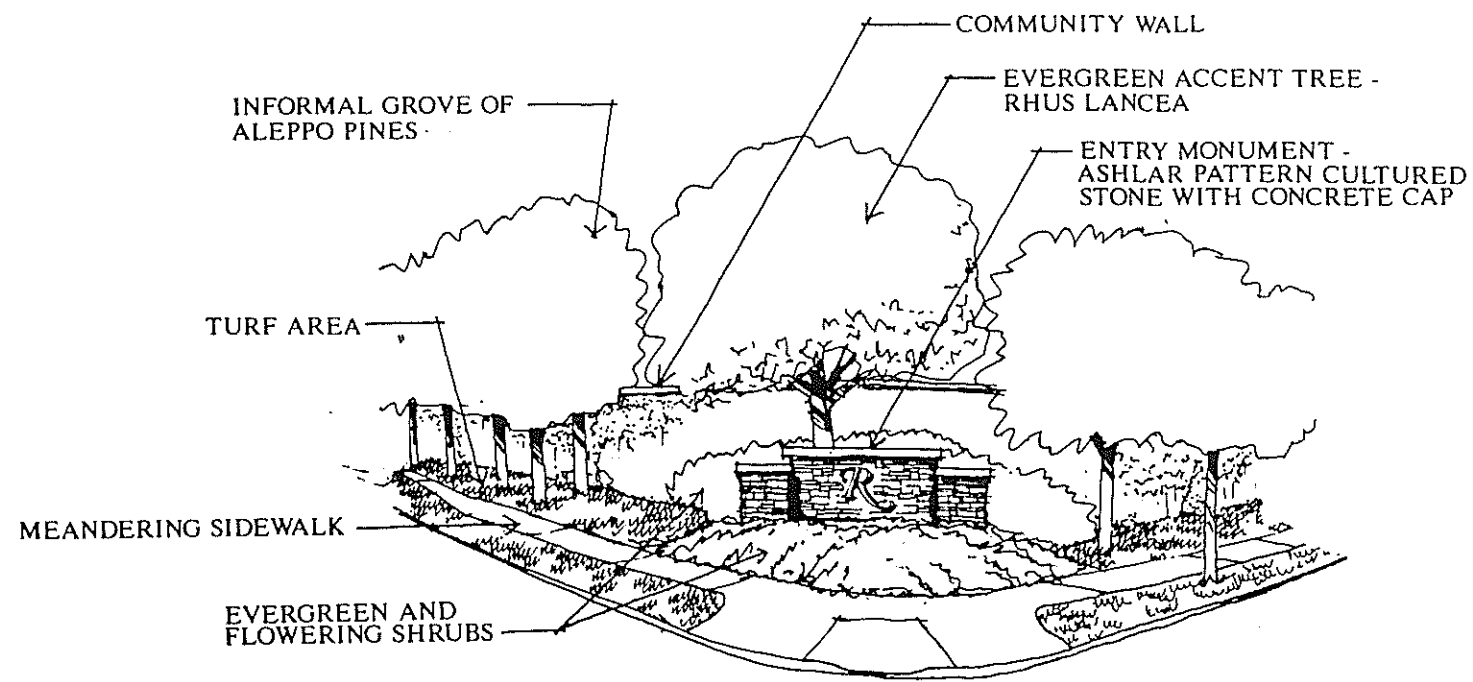
Prepared for: UNITEX



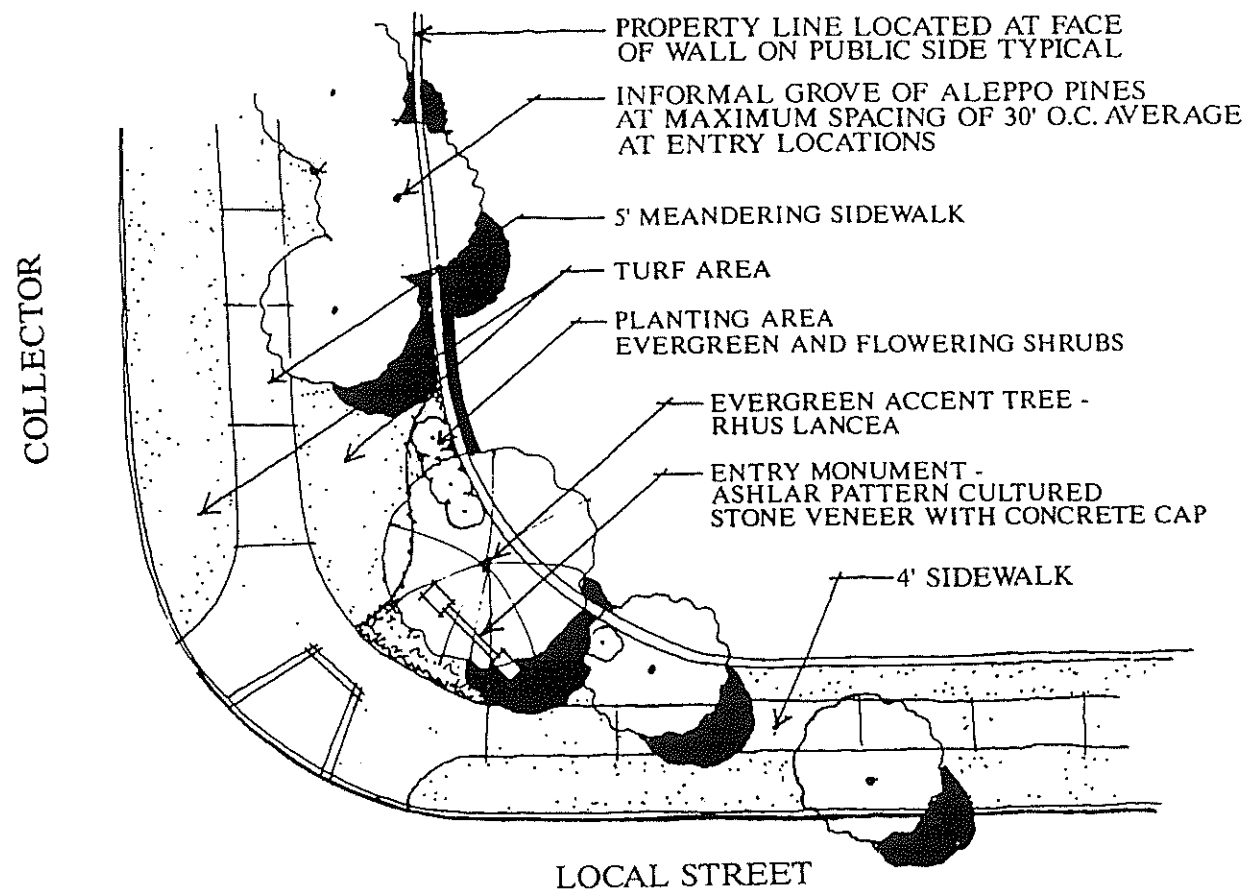
PERSPECTIVE

EXHIBIT 12b
SECONDARY
COMMUNITY ENTRY
(PERSPECTIVE)

RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**

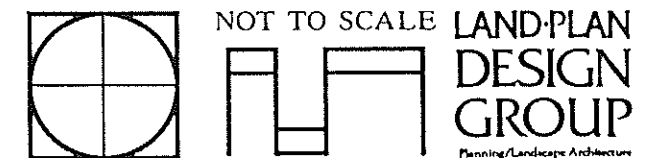


PERSPECTIVE



PLAN

EXHIBIT 12c
 RESIDENTIAL
 ENTRIES



c. Streetscape Themes

The selection of trees, shrubs, ground covers, turfgrass and vines will establish the overall landscape character for Riverglen and will play a major role in unifying the various land uses into a cohesive community design.

A "sylvan" landscape theme was developed to enhance the character of the site. A backdrop of Pines with accents of flowering Crape Myrtle trees set within mounding turf areas will reinforce this theme. Within the following streetscape sections, the Pine tree has been selected as the major theme tree type to be used with groupings of other trees, shrubs and ground covers. This will establish a consistent streetscape theme unifying the total community.

The following streetscape exhibits are conceptual only and are not intended to be the final plans. Details of design will be subject to review at the time of plan submittal.

1) Arterial Road A (Murrieta Road):

Riverglen is traversed by Murrieta Road at the western corner of site. The Specific Plan recognizes that this is an important regional circulation route that will connect southern Perris to the City center. This major divided road will be lined with formal rows of evergreen trees. See Exhibit 13.

2) Collector Road B (Riverglen Drive):

This major entry road is the important collector that provides the primary access to the community from both entry locations. Along this road, the Aleppo Pine, *Pinus halepensis*, has been selected to create the dominant effect. It will be mixed with informal masses of deciduous trees including the flowering Crape myrtle trees, *Lagerstroemia indica*, which will provide a seasonal color accent. See Exhibit 14.

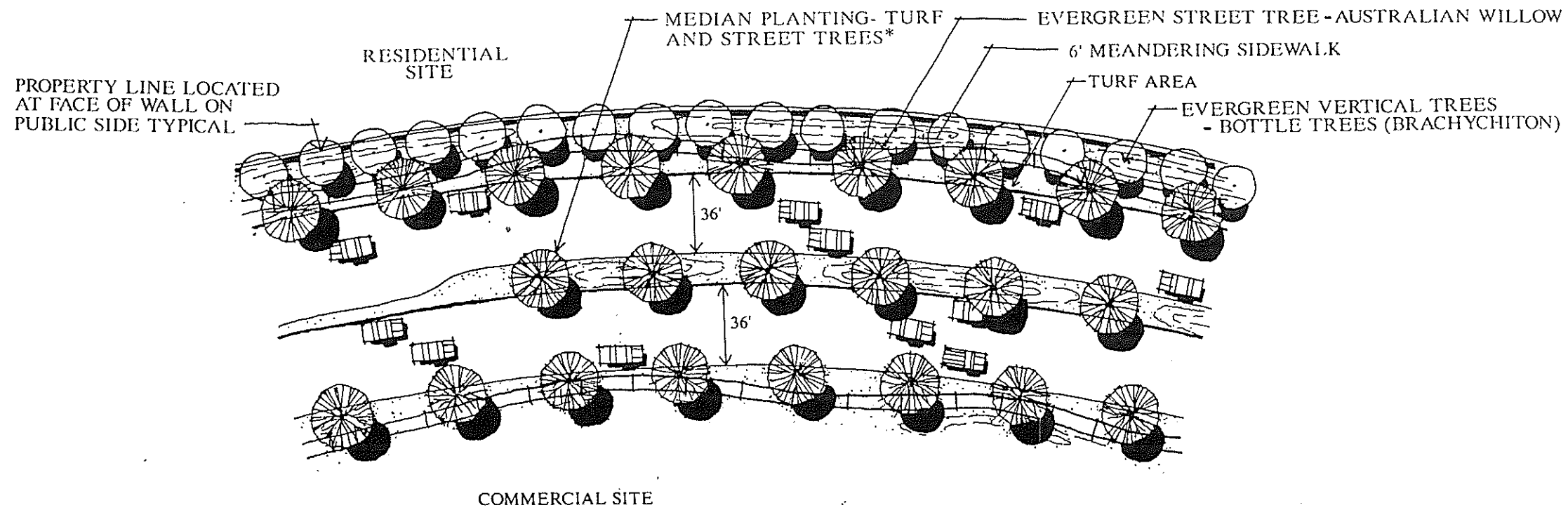
3) Road C :

These collector roads are similar to local roads which have residential frontage and street trees at 30 foot on center maximum average spacing. See Exhibit 15.

4) Local Road/Cul-de-sac Roads:

These internal residential frontage roads will have street trees located at 30 foot on center maximum average spacing. See Exhibit 16.

RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**



PLAN

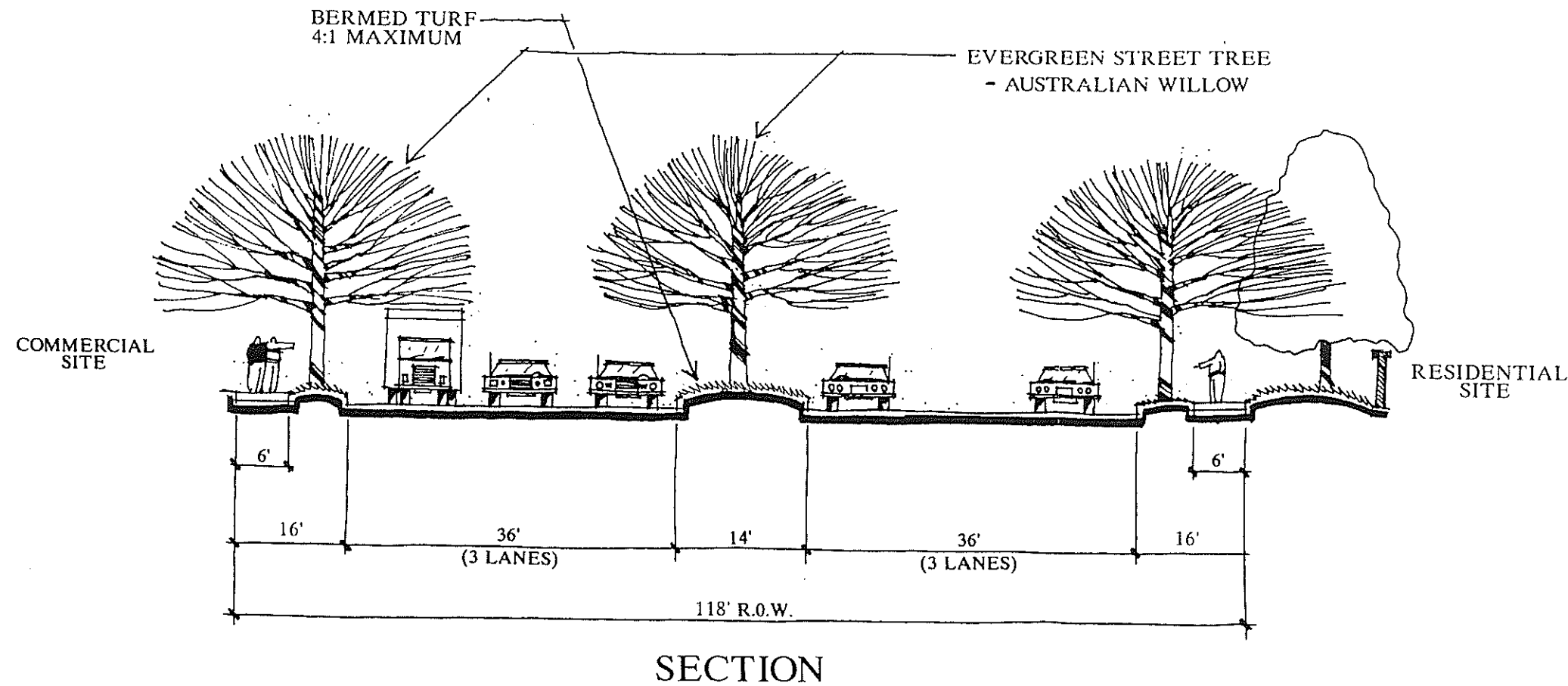
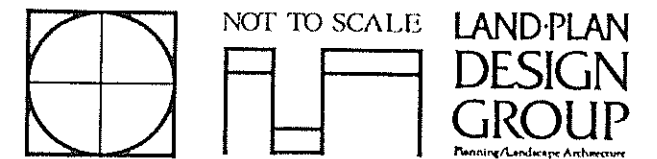
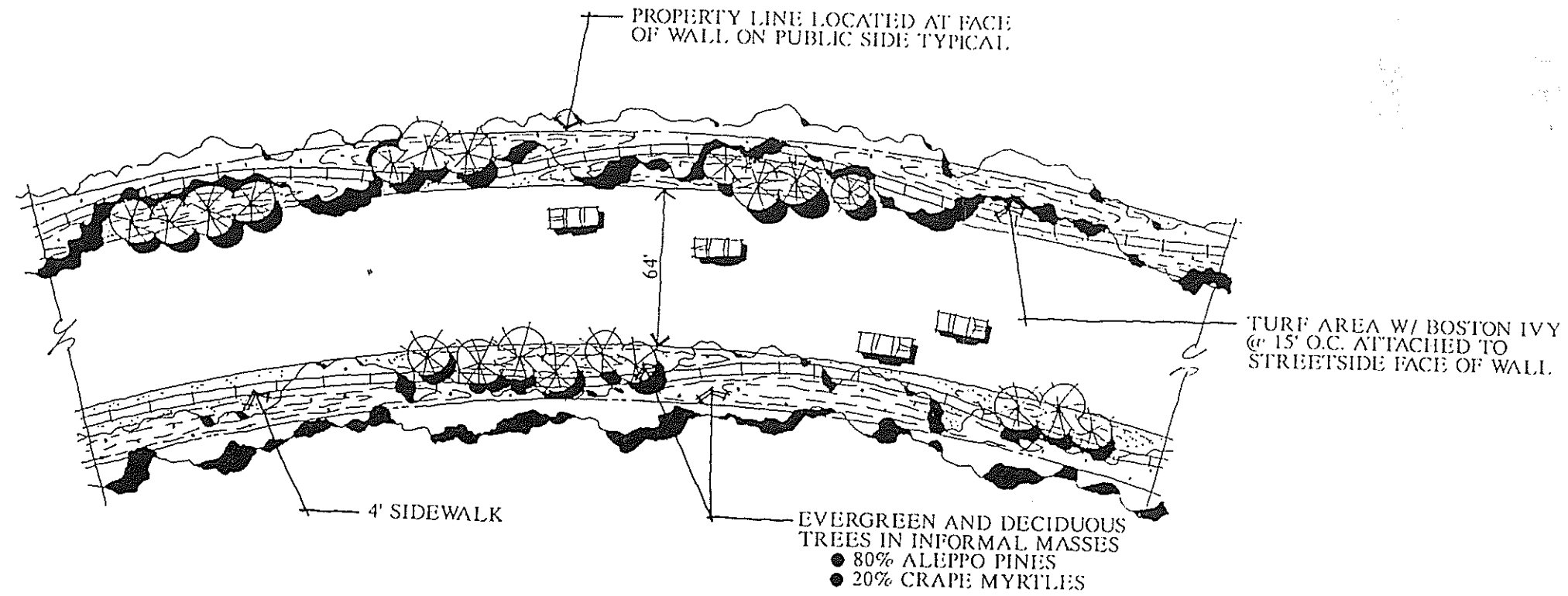


EXHIBIT 13
 ARTERIAL ROAD A
 LANDSCAPE



RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**



PLAN

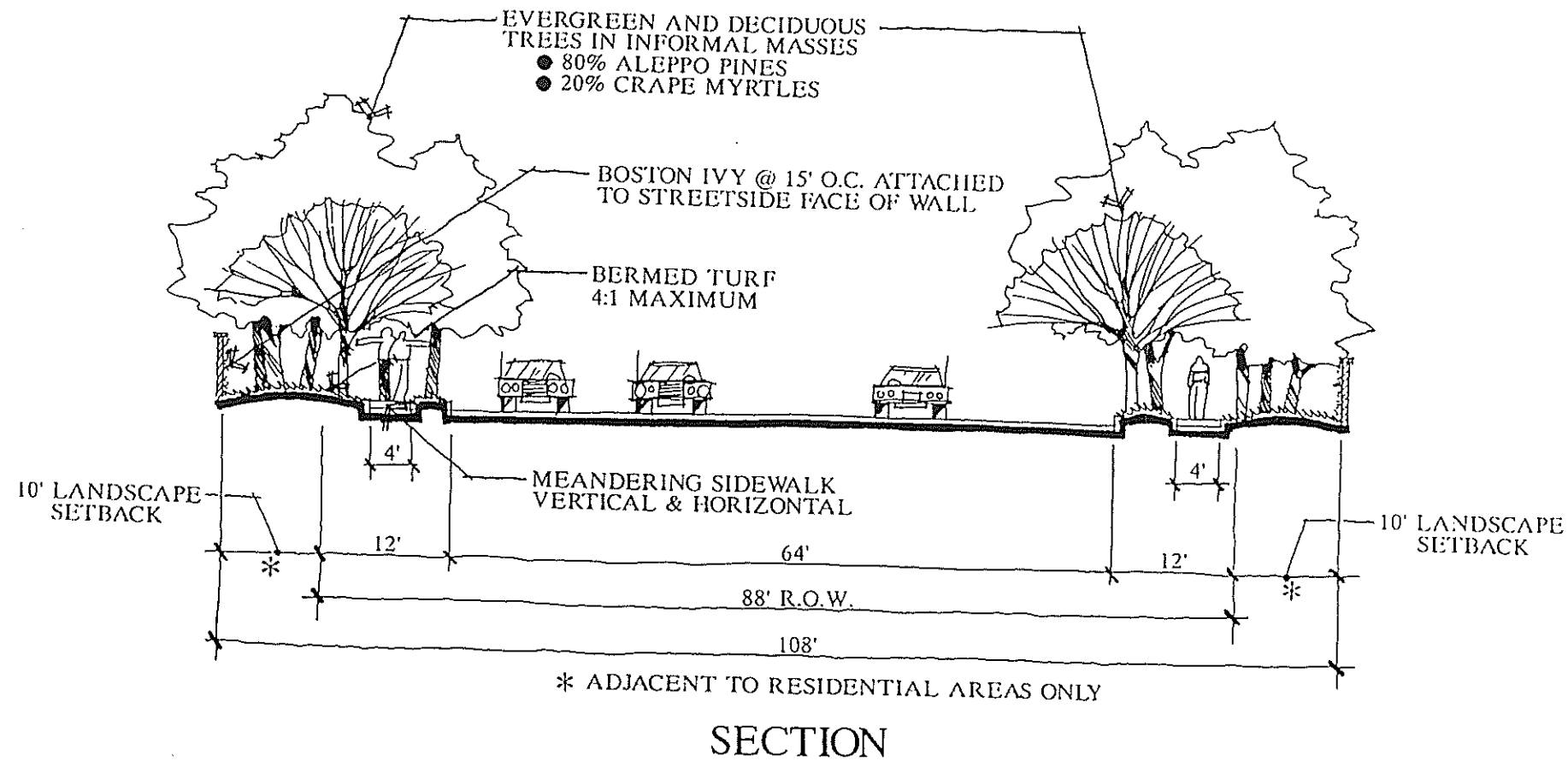


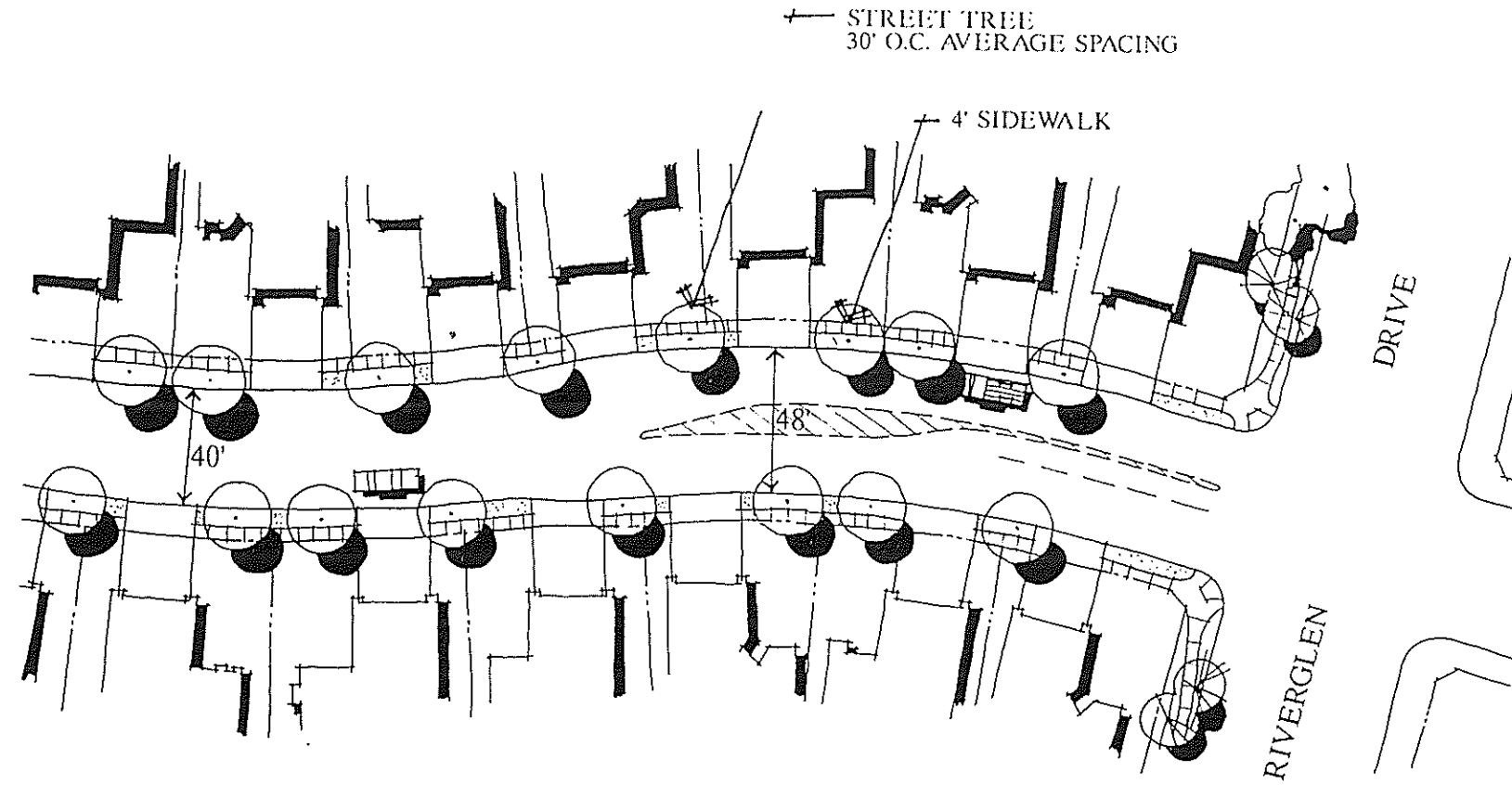
EXHIBIT 14
COLLECTOR ROAD B
LANDSCAPE

NOT TO SCALE

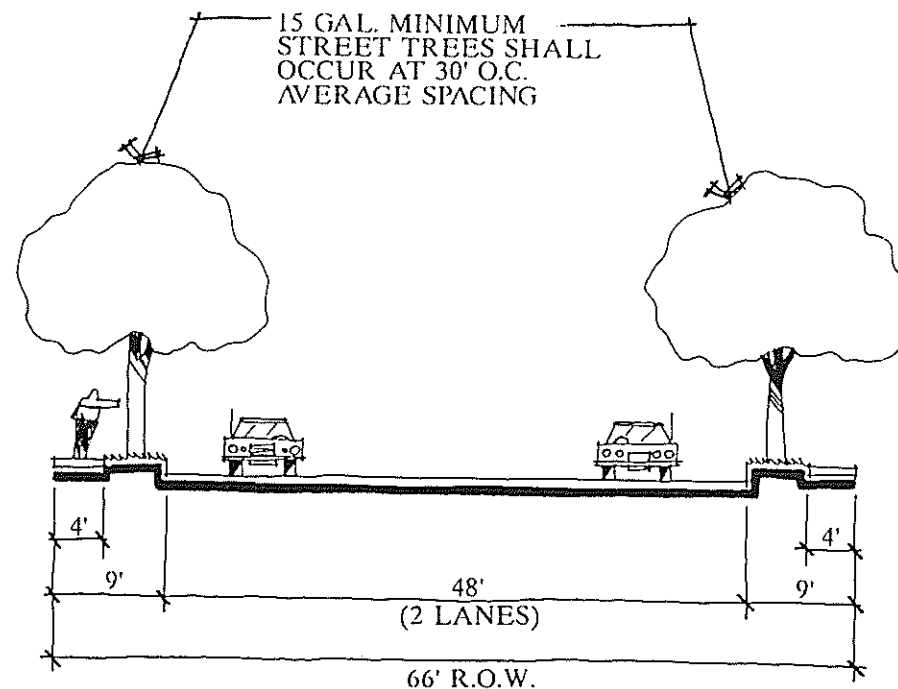
LAND-PLAN
DESIGN
GROUP
 Planning/Landscape Architecture

**RIVERGLEN
SPECIFIC PLAN**

Prepared for: **UNITEX**

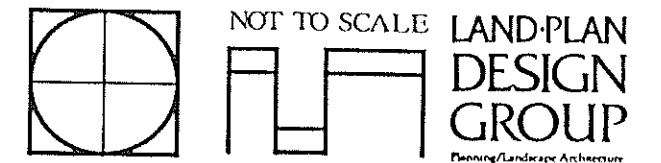


PLAN



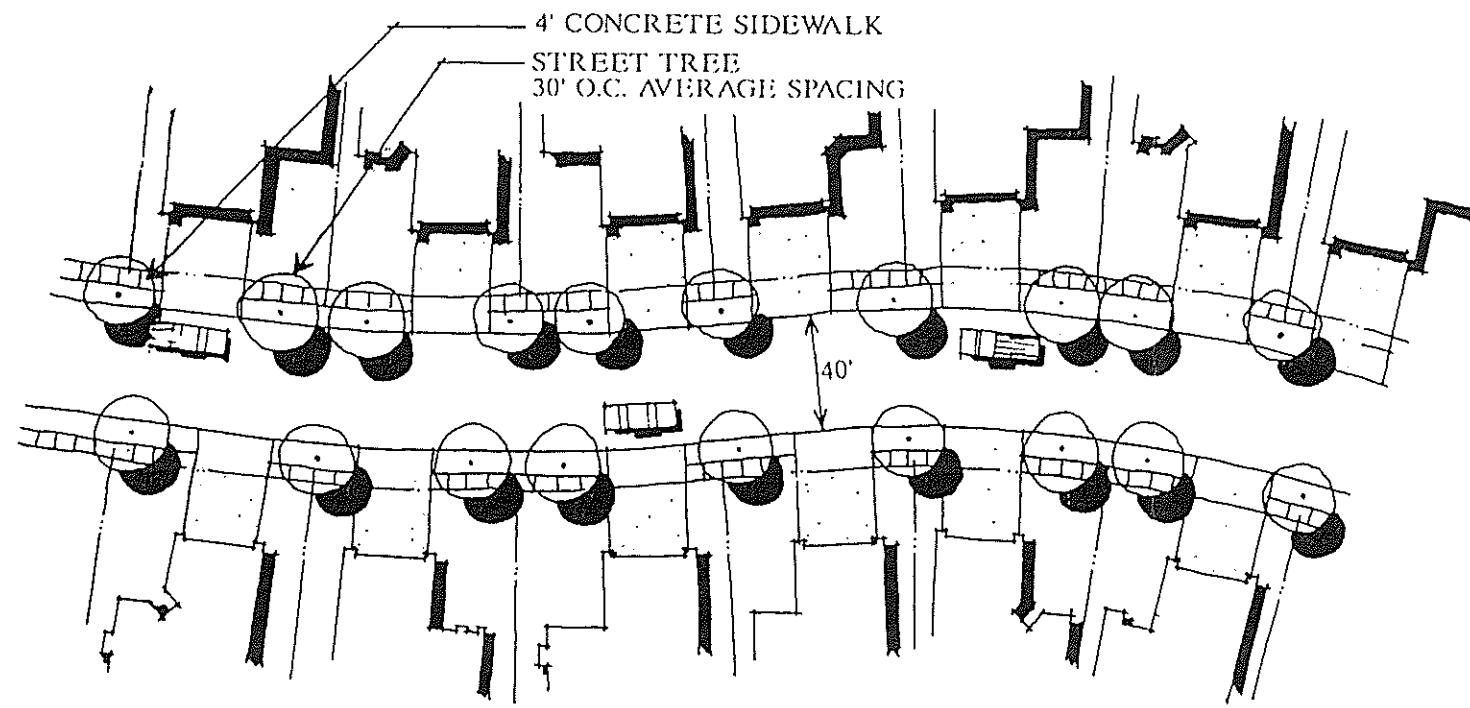
SECTION

EXHIBIT 15
ROAD C LANDSCAPE

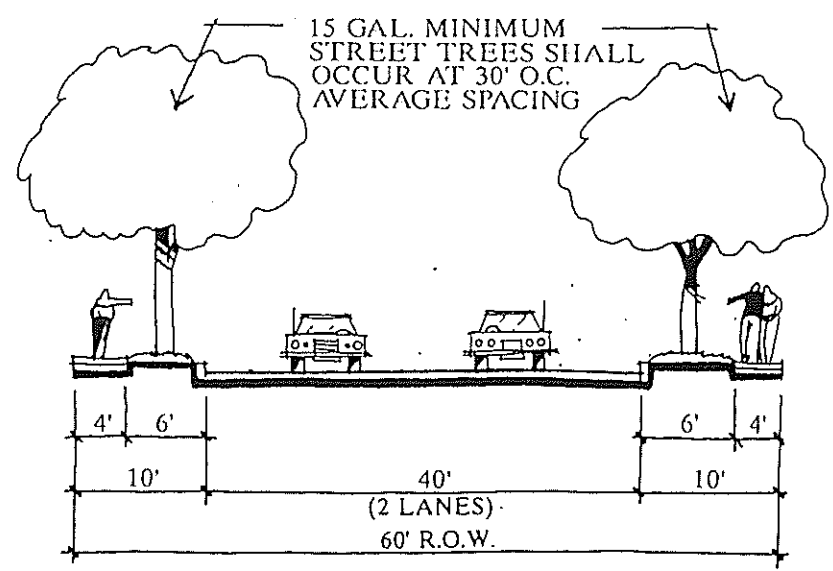


RIVERGLEN
SPECIFIC PLAN

Prepared for: UNITEX



PLAN



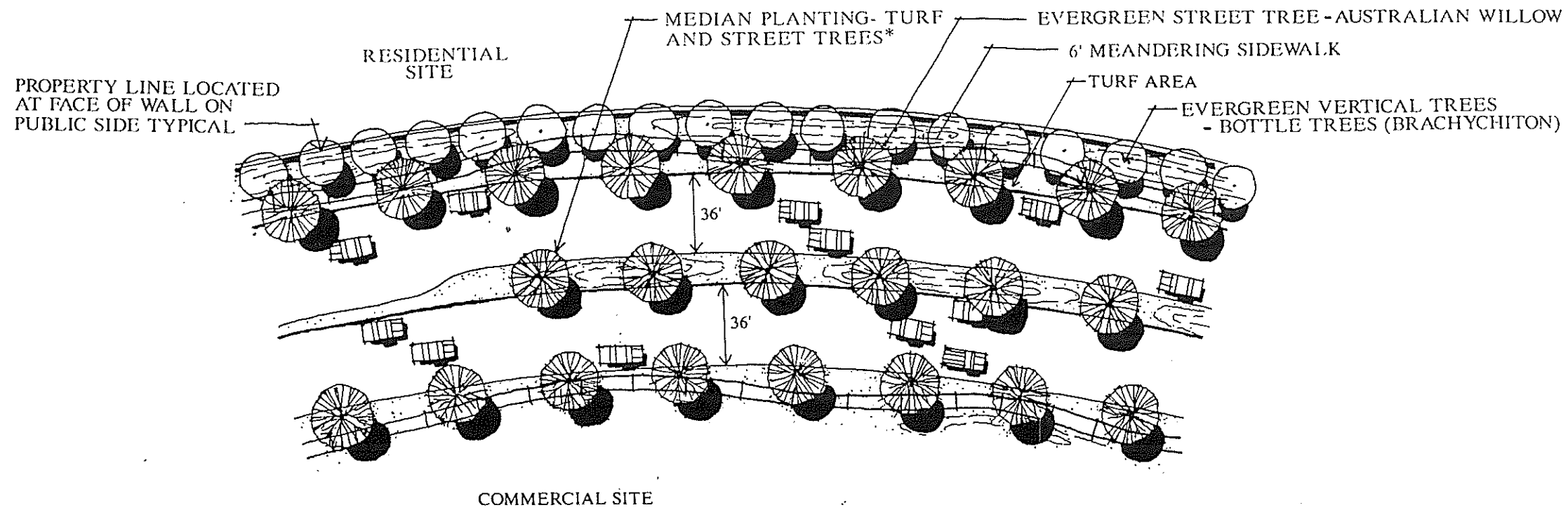
SECTION

EXHIBIT 16
LOCAL/CUL-DE-SAC
ROAD LANDSCAPE

NOT TO SCALE LAND-PLAN
DESIGN
GROUP
Planning/Landscape Architecture

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**



PLAN

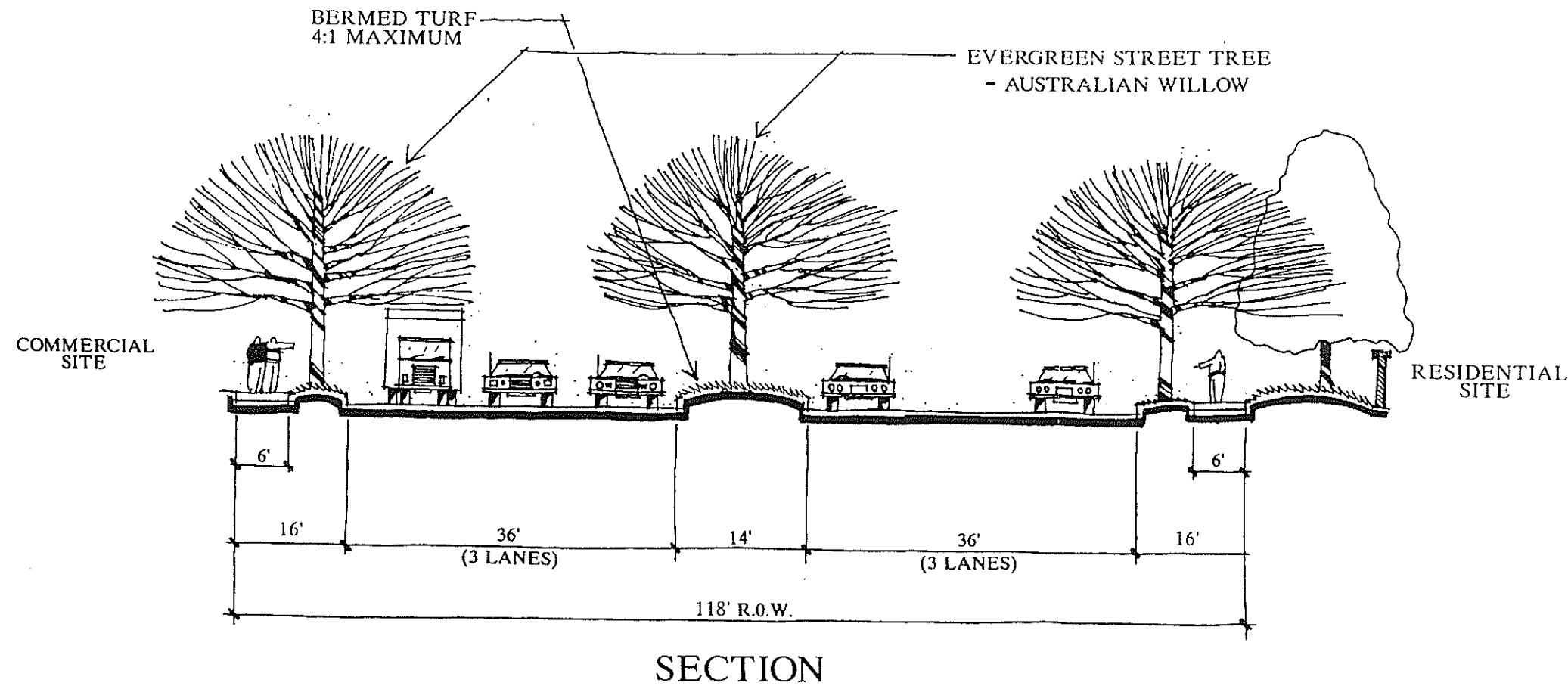
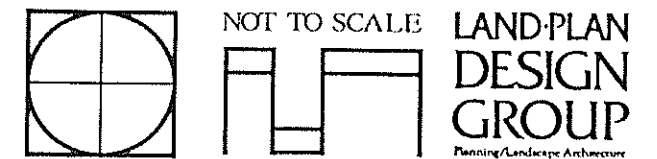
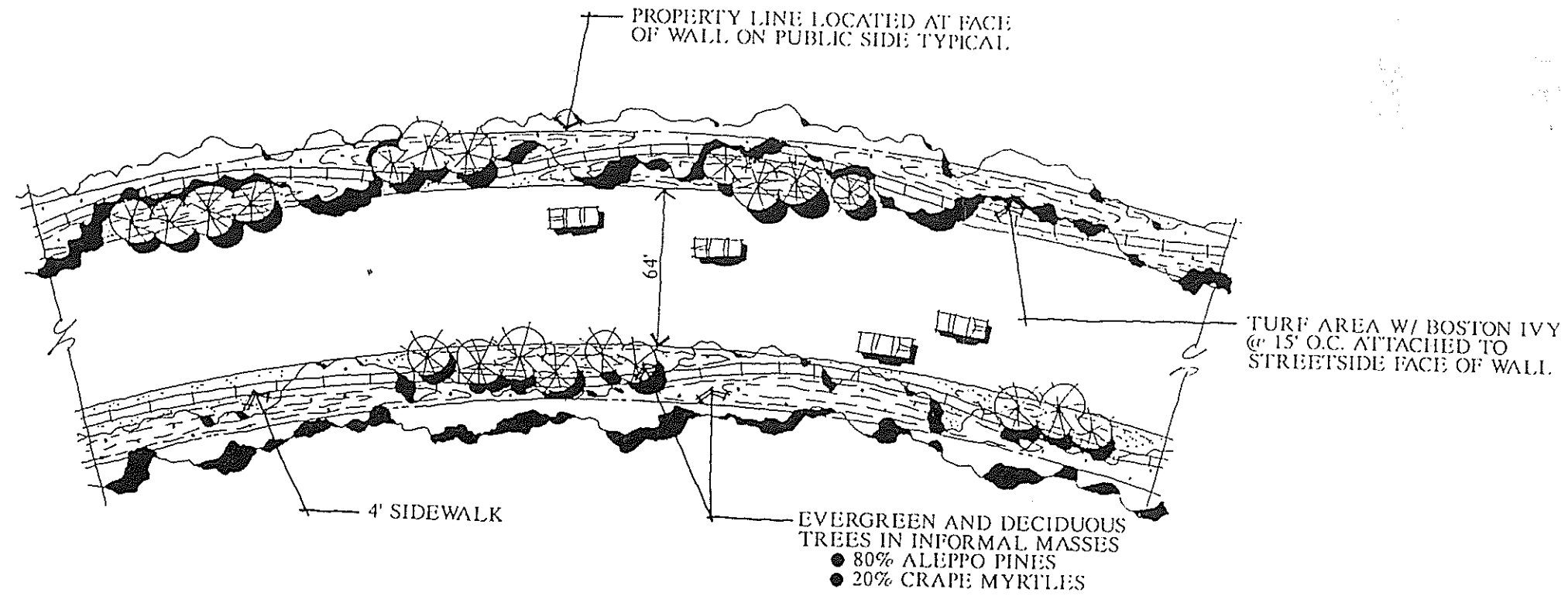


EXHIBIT 13
ARTERIAL ROAD A
LANDSCAPE



RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**



PLAN

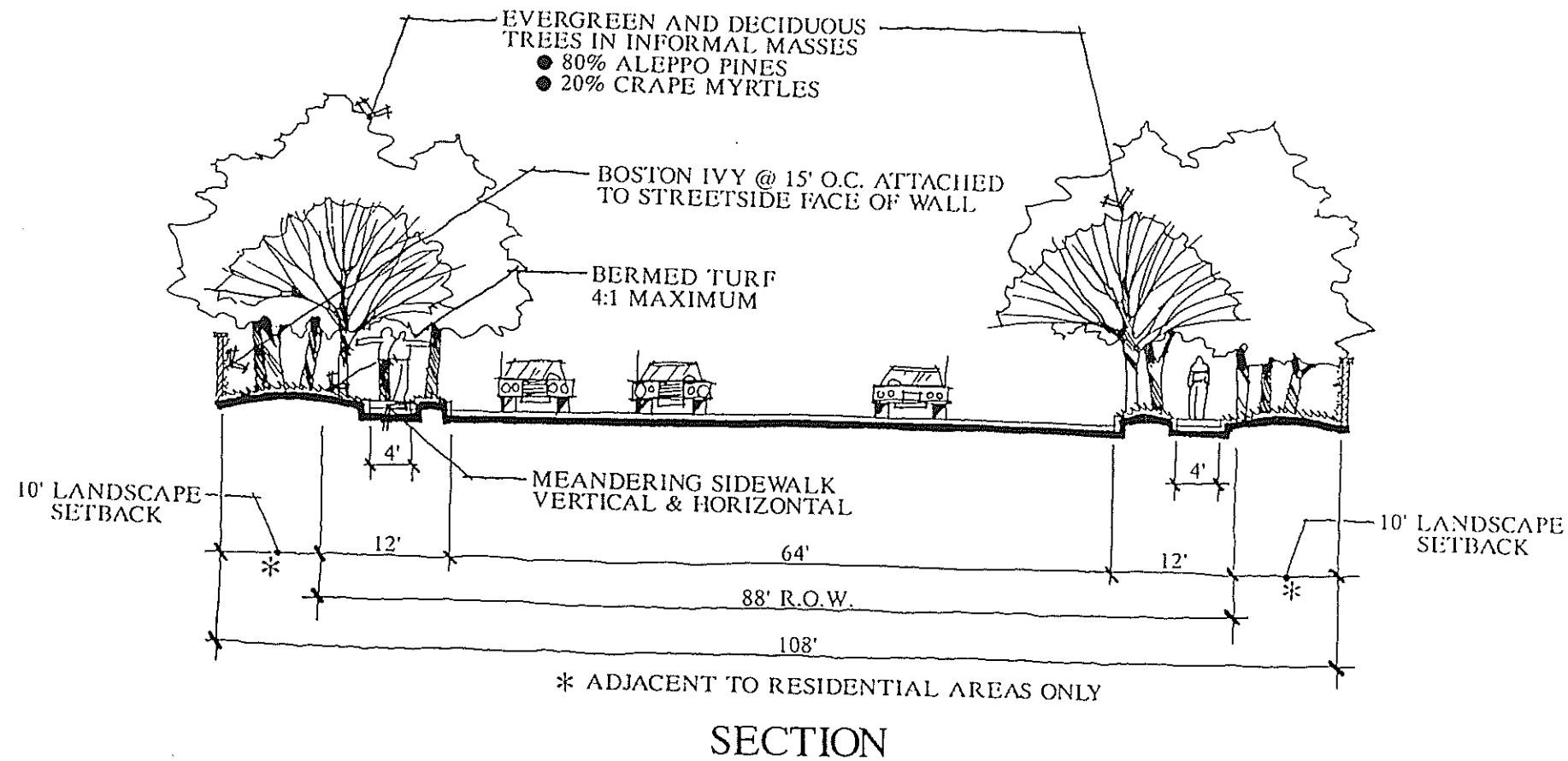


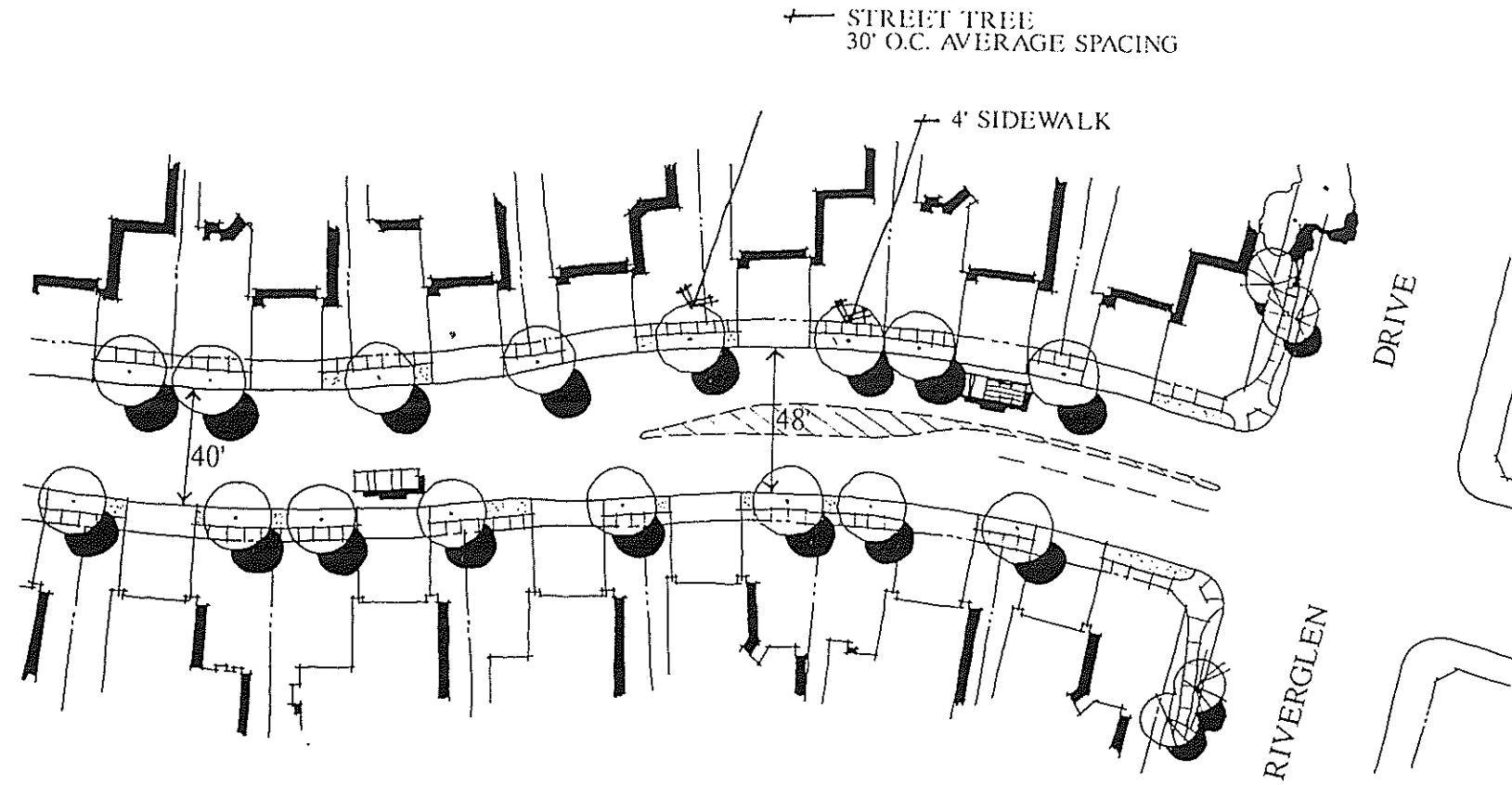
EXHIBIT 14
COLLECTOR ROAD B
LANDSCAPE

NOT TO SCALE

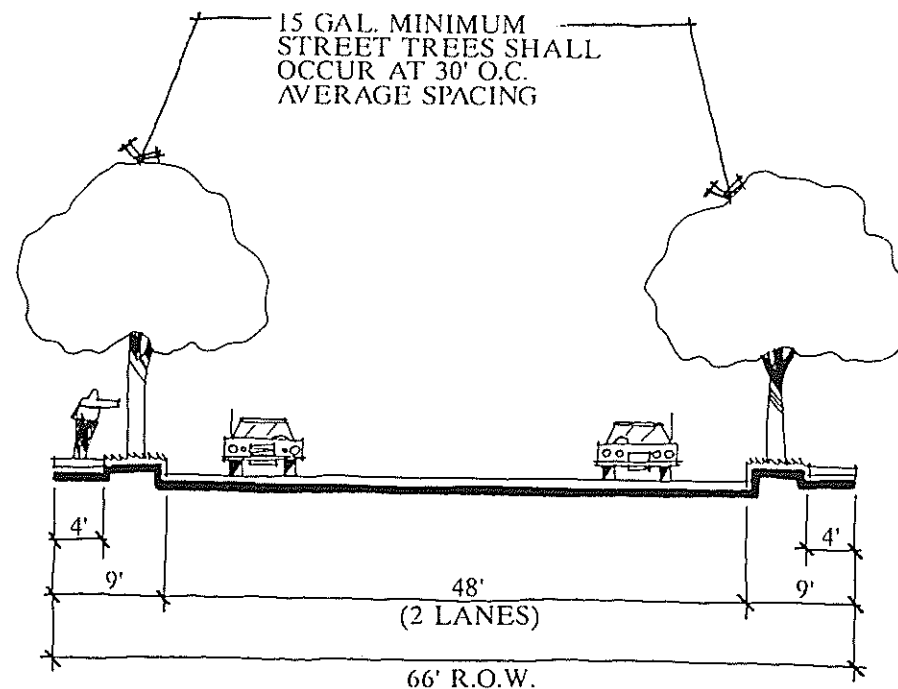
LAND-PLAN
DESIGN
GROUP
 Planning/Landscape Architecture

**RIVERGLEN
SPECIFIC PLAN**

Prepared for: **UNITEX**

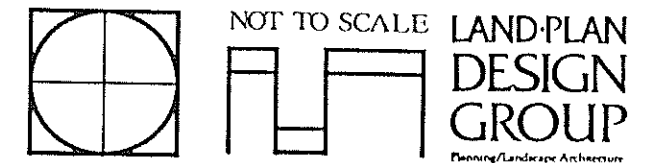


PLAN



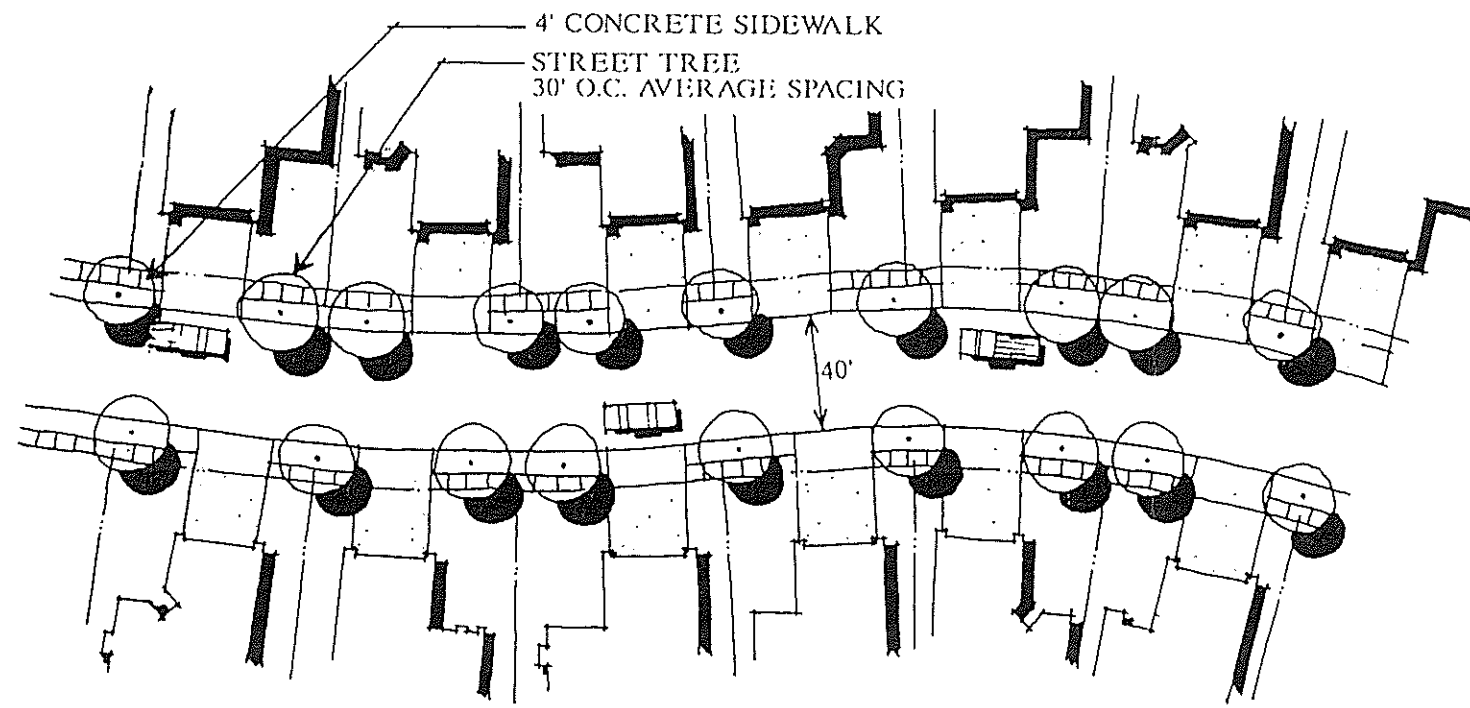
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EXHIBIT 15
ROAD C LANDSCAPE

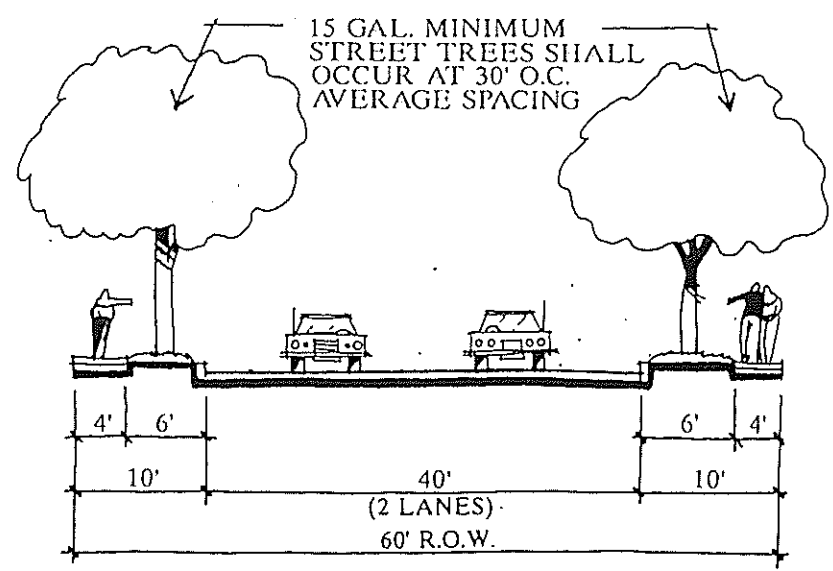


**RIVERGLEN
SPECIFIC PLAN**

Prepared for: **UNITEX**



PLAN



SECTION

EXHIBIT 16
LOCAL/CUL-DE-SAC
ROAD LANDSCAPE

NOT TO SCALE

LAND-PLAN
DESIGN
GROUP

Planning/Landscape Architecture

d. Open Space and Recreation Amenities

Riverglen will include approximately 41 acres within the open space designation. This significant amount of open space will enhance Riverglen's prestige and character within the surrounding area. See Exhibit 17.

One goal of the Riverglen plan has been to make the open space system an integral part of the community with distinctive characteristics. This has been accomplished by first defining the appropriate boundaries and uses for different open space elements and then insuring physical and/or visual access to them from all parts of the development. Complete physical connection of the system (with a minimum of street crossings) has been provided at Riverglen.

The second and equally important goal of an open space system is to provide opportunities for specific recreational activities. These activities will be oriented to the developed landscape, such as baseball and soccer.

The open space exhibits which are to follow are conceptual only and are not intended as final plans. Exact details of design will be subject to review at the time of plan submittal.

For simplification of the discussion, the Riverglen open space system has been divided into four (4) sections:

- Open Space/Elementary School (OS/ES)
- Open Space/Parks (OS/P)
- Open Space/Trails (OS/T)
- Open Space/Undeveloped (OS/U)

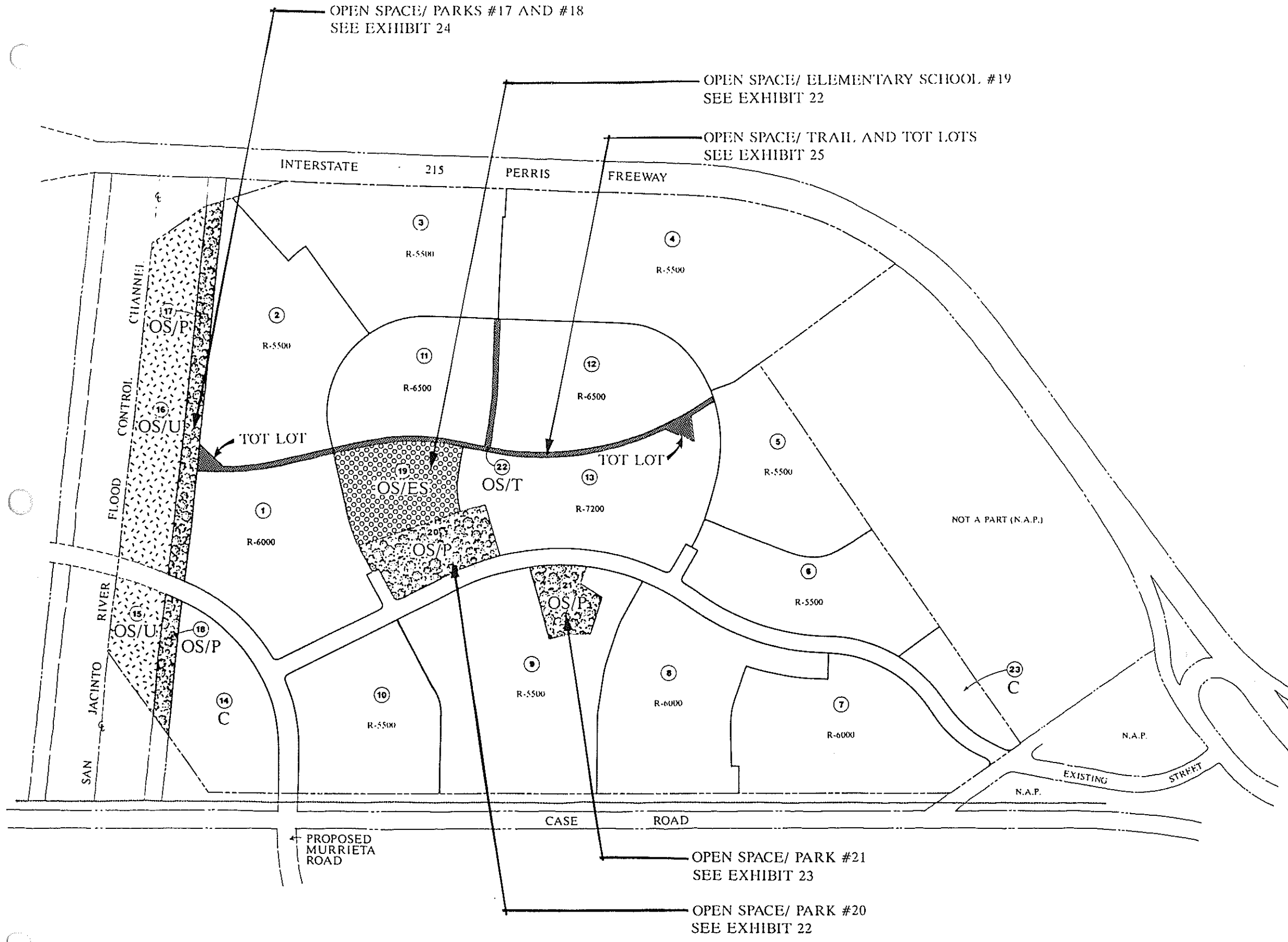
1) Open Space/Elementary School (OS/ES)

A 7.0-acre site located in planning unit #19 (see Exhibit 18) has been designated for a proposed elementary school to serve the needs of the community and is located adjacent to a 5.0 acre park site. It provides an open space amenity with large developed turf areas as well as hardcourt areas for active uses. The conceptual school master plan illustrates a possible arrangement of classrooms, parking, outdoor facilities and open space.

Exhibit 17
Open Space Plan

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**



LEGEND

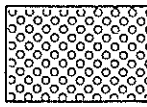
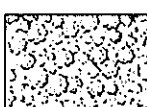

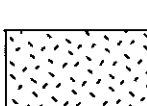
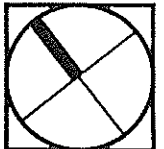
-  OS/ES
OPEN SPACE/
ELEMENTARY SCHOOL
-  OS/P
OPEN SPACE/ PARK
-  OS/T
OPEN SPACE/ TRAIL
AND TOT LOTS
-  OS/U
OPEN SPACE/
UNDEVELOPED

EXHIBIT 17
OPEN SPACE PLAN



0' 150' 300' 600'

**LANDPLAN
DESIGN
GROUP**
Planning/Landscape Architecture

2) Open Space/Parks (OS/P):

- a) A 5.0 acre park site located in planning unit #20 (see Exhibit 18) is adjacent to the above mentioned elementary school. Ballfields for soccer and baseball are located in the plan for active sports use. A restroom, a tot lot, picnic stations, and a parking lot are included in the plan.
- b) A 2.6 acre park site located in planning unit #21 (see Exhibit 19) is provided for Riverglen residents. A basketball court, picnic stations, free-play turf area and a tot lot are included.
- c) Planning units #17 and #18 include linear parks which are adjacent to and parallel the San Jacinto River. These parks which total 8.8 acres are consistent with the San Jacinto River master concept for trails and recreation areas. Within the 100-foot wide linear park areas are 8-foot wide paths for pedestrians and bicycles, benches and trash receptacles (see Exhibit 20).

3) Open Space/Trails (OS/T):

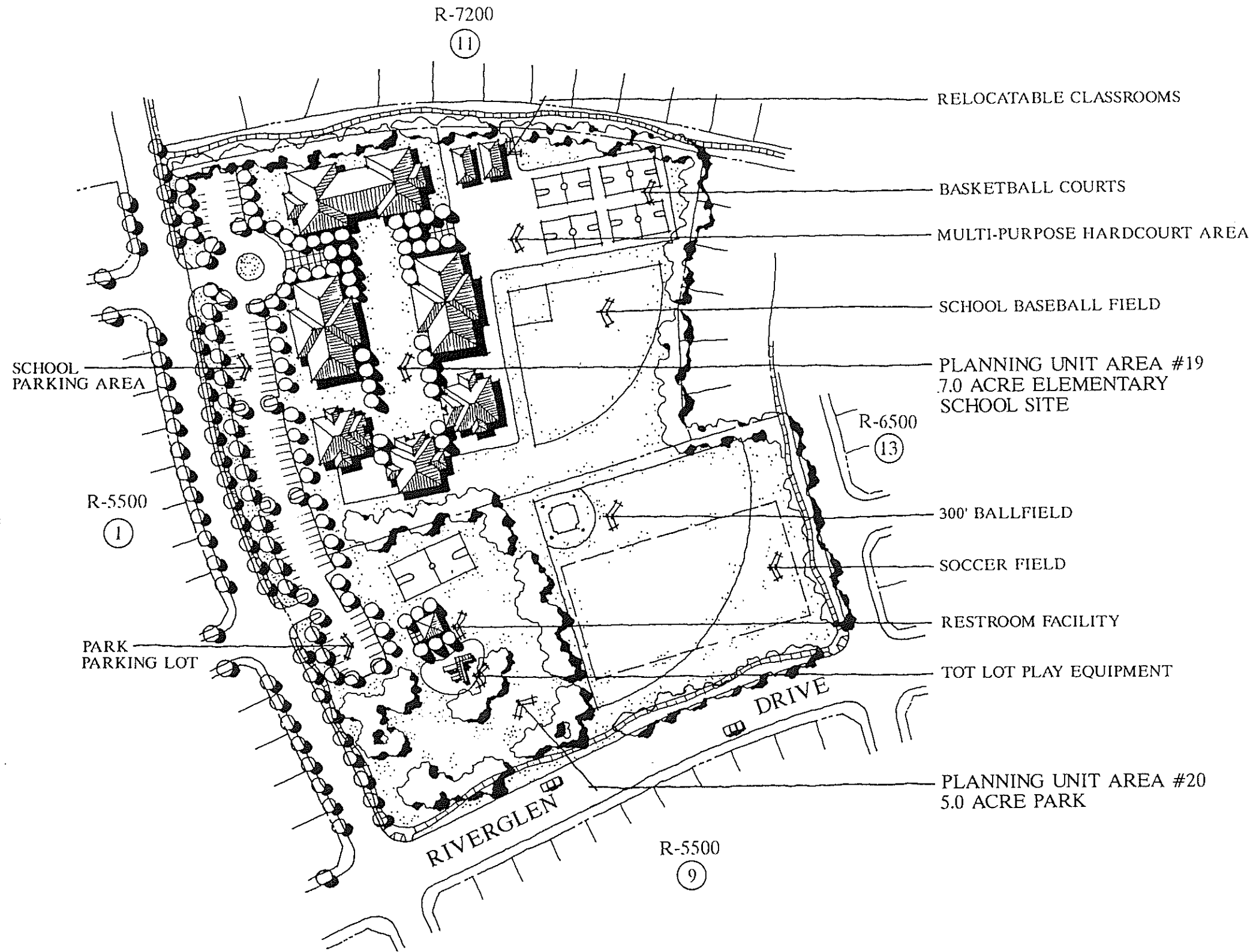
Within the Riverglen plan is a system of off-road trails which total approximately 3.1 acres. These trails, which include 2 tot lots, provide pedestrian access from the residential areas to the school and parks with a minimum of street crossings. See Exhibit 21. These trails are described in the following "Community Trails" section.

4) Open Space/Undeveloped (OS/U):

Approximately 16.6 acres of the Riverglen plan has been set aside at planning units #15 and #16, along the western boundary of site, for use by the Riverside County Flood Control and Water Conservation District (RCFCWCD). Although the land is owned by Unitex, an easement on the land by RCFCWCD for flood control purposes will be observed by its designation of undeveloped open space.

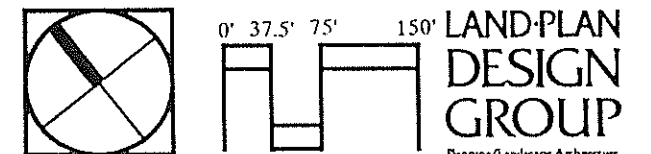
RIVERGLEN SPECIFIC PLAN

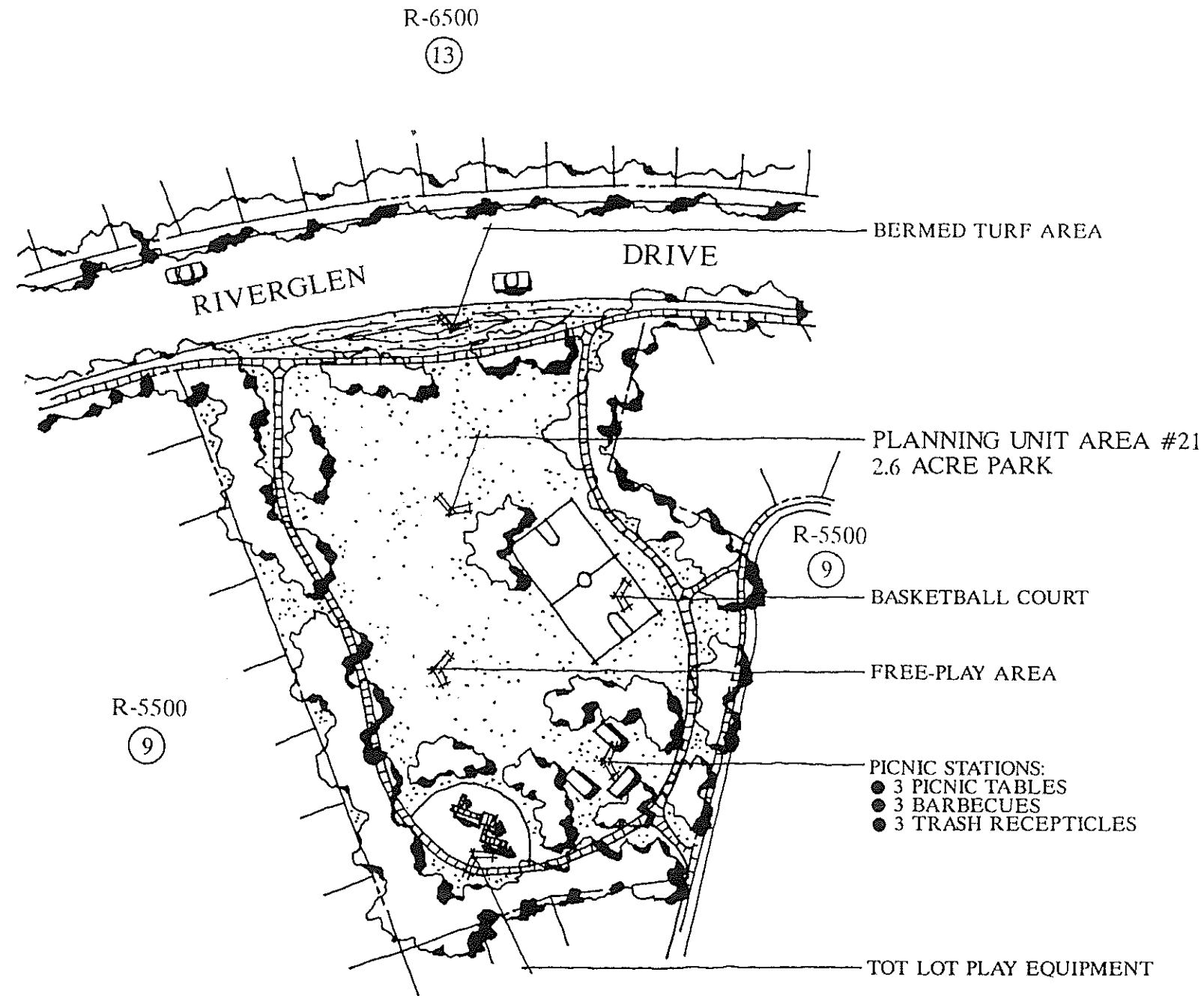
Prepared for: **UNITEX**



PLAN

EXHIBIT 18
SCHOOL/PARK
MASTER PLAN
P.U.A. #19/#20



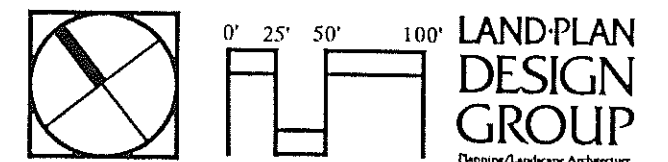


NOTE: This park will include three (3) standard and one (1) handicapped parking stalls. Exact location of these stalls will occur during the site development plan stage.

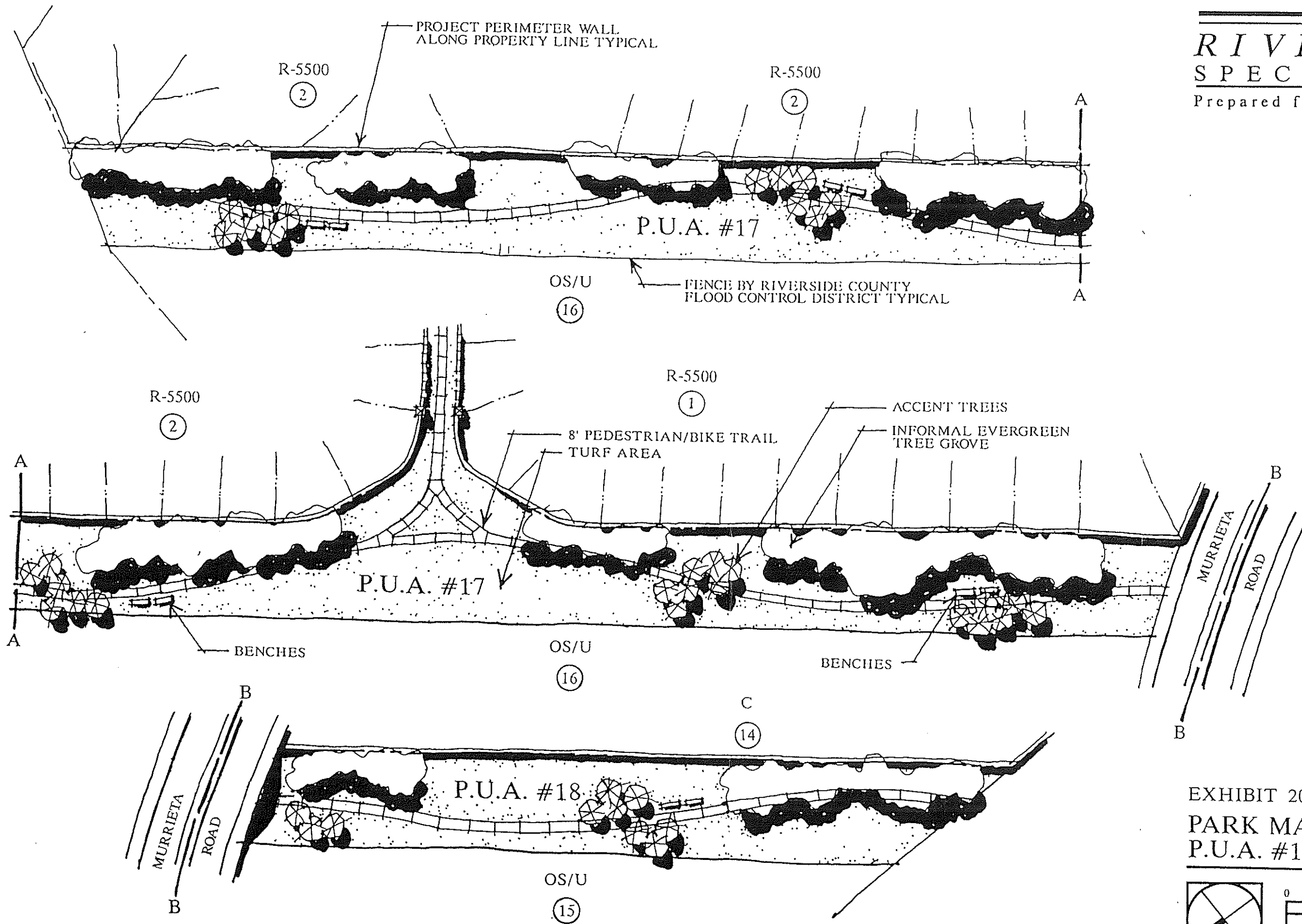
PLAN

EXHIBIT 19

PARK
MASTER PLAN
 P.U.A. #21



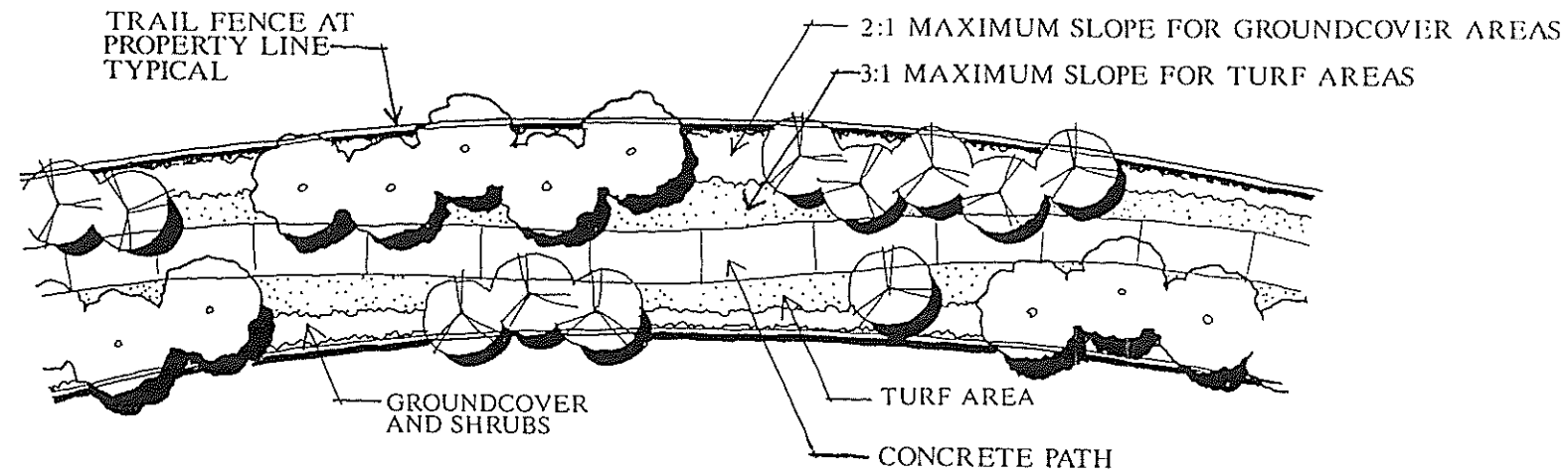
RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**



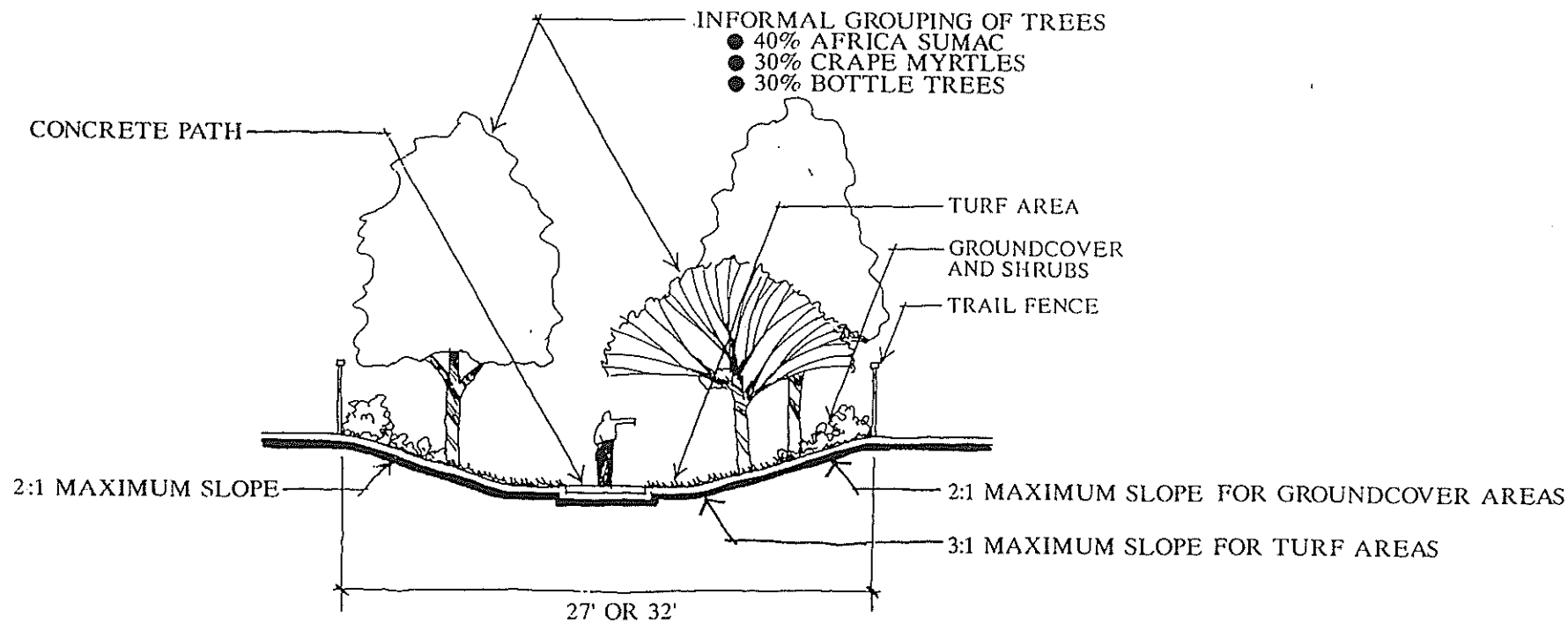
NOTE: LINEAR PARKS SHALL MEET ALL COUNTY REQUIREMENTS.

EXHIBIT 20
 PARK MASTER PLAN -
 P.U.A. #17 & #18

0 10' 50' 100' LAND-PLAN DESIGN GROUP
 Planning/Landscaping/Architecture

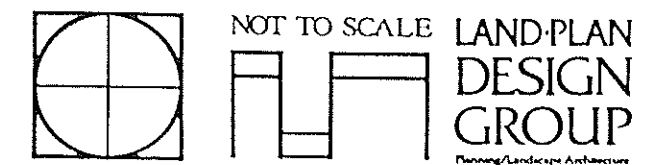


PLAN



SECTION

EXHIBIT 21
 TRAILS LANDSCAPE



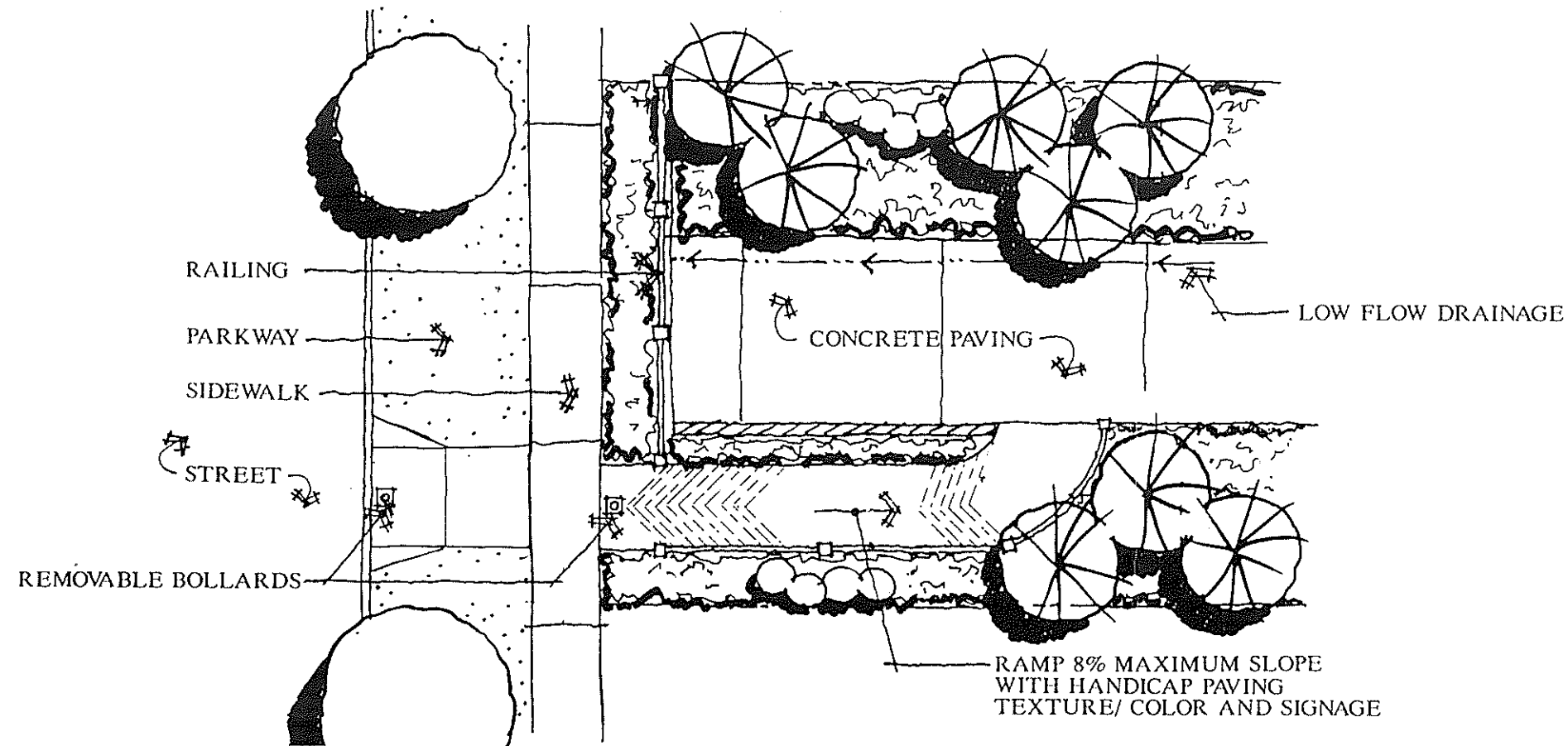
e. Community Trails

Trails provide links among the elements of the Riverglen open space system and between residential areas within the community. See Exhibit 22. Trails within Riverglen will connect to major and minor focal points within the community, i.e. school, commercial area, parks and linear parks. Two (2) tot lots with play equipment have been located within the trail areas for the benefit of the adjacent neighborhoods. The trails system provides access into the adjacent San Jacinto River linear park corridor. Some of these trails also will serve as above ground drainage routes to help the excess runoff water during heavy storms find its way to the San Jacinto River. See Exhibit 23.

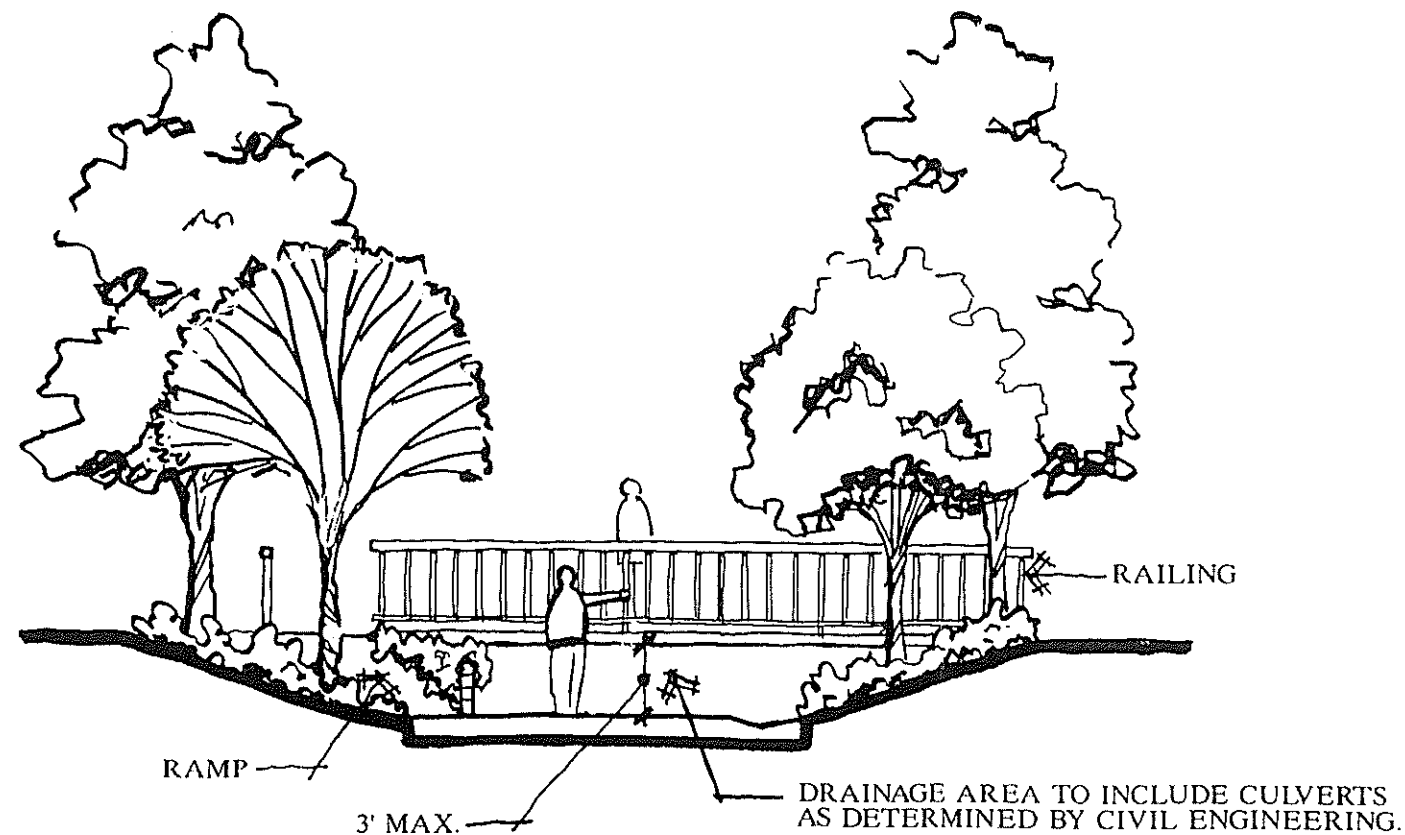
Trail construction will be phased to match the development of the Riverglen residential areas. Each time a residential area is built, the trails within or bordering the development will be completed, along with any connections to already developed residential areas.

f. Community Walls and Fences

Community walls and fences that can be viewed from public streets form an integral part of the community design. They can unify the various land uses and reinforce the design themes established at the project entries. A set of standards has been developed for community walls and fences as illustrated in Exhibits 24, 25, and 26. The location of each wall or fence will vary depending upon final detail design and grading consideration. In general, solid walls will be located along the project perimeter and major arterial and collector roads. Noise mitigation requirements, as defined in the E.I.R., for the freeway and/or railroad shall be met through use of walls as acoustical barriers and sized as required by the E.I.R. studies. Solid walls shall also be located on all coner lots. Wood fences will occur between residential lots to meet privacy needs. All wood fencing facing public view shall be stained with a color to compliment the architecture.



PLAN



SECTION

EXHIBIT 23

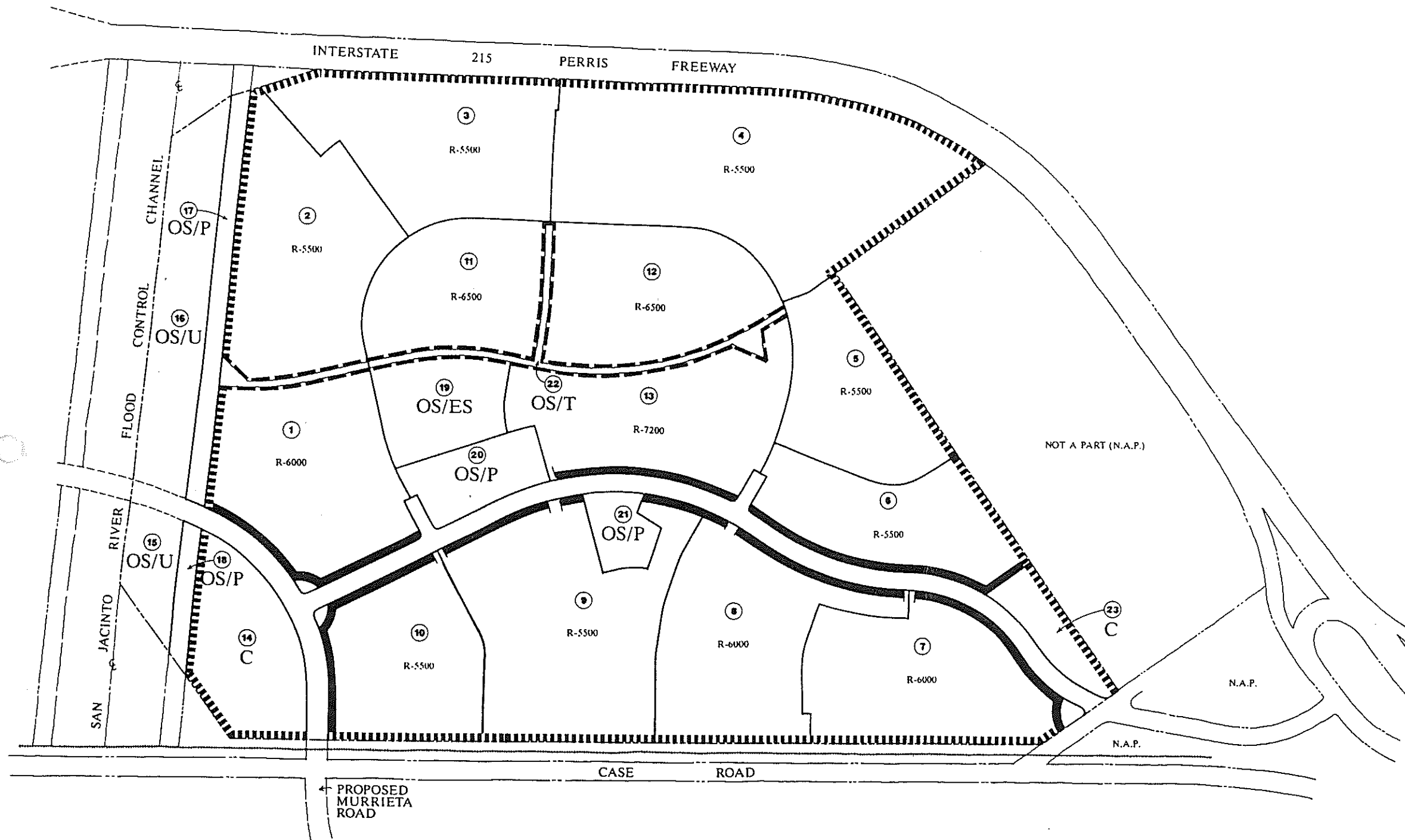
TRAIL / SWALE DETAILS

NOT TO SCALE




**LAND-PLAN
 DESIGN
 GROUP**
 Planning/Landscape Architecture

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**

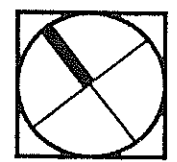


LEGEND

-  6' HIGH PERIMETER WALL (OR HEIGHT AS REQUIRED BY E.I.R. ACOUSTICAL STUDY)
-  6'-0" HIGH MIN. COMMUNITY WALL
-  6'-0" HIGH MIN. TRAIL WOOD FENCE

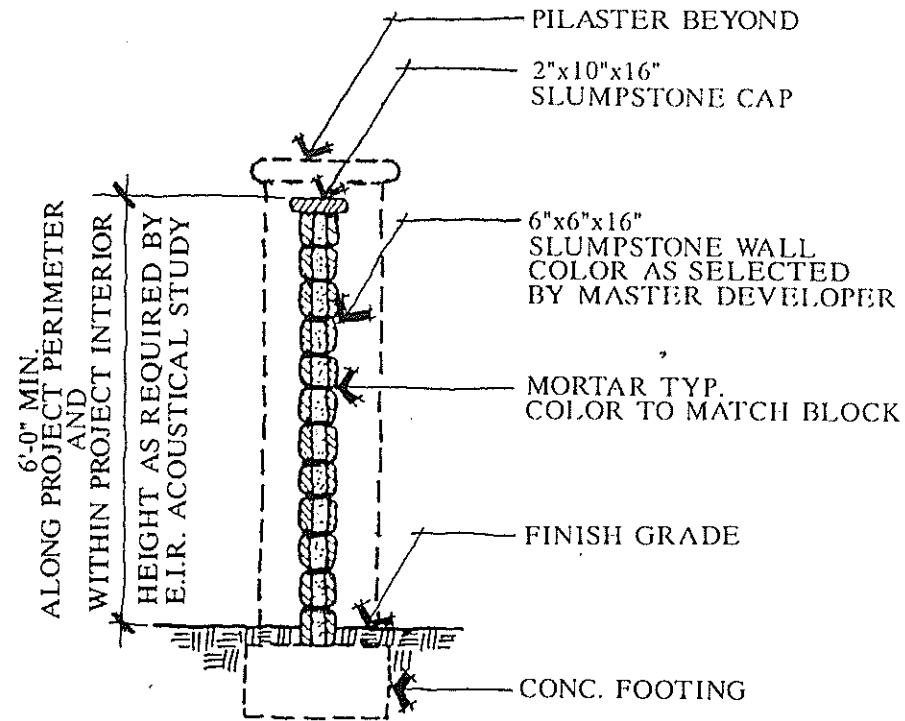
NOTE: SEE EXHIBITS 25 & 26 FOR WALL AND FENCE DETAILS.
WOOD FENCES SHALL OCCUR BETWEEN INDIVIDUAL DWELLING UNITS (NOT SHOWN)

EXHIBIT 24
COMMUNITY WALL
AND FENCE PLAN

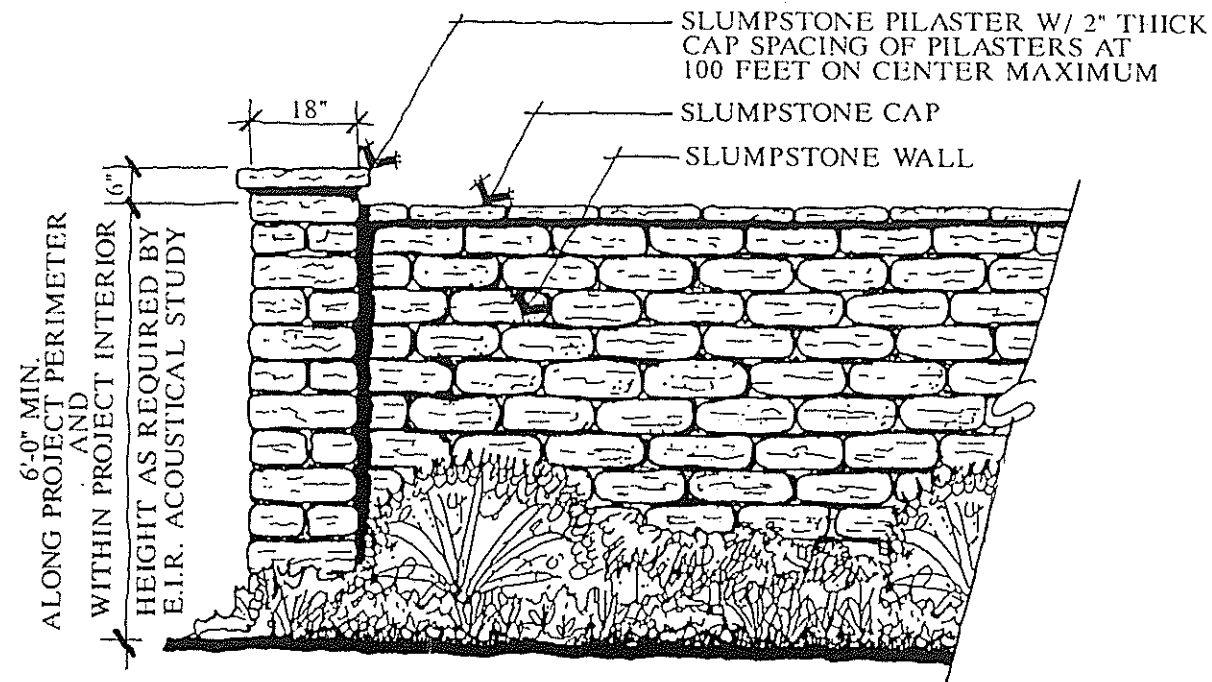


0' 150' 300' 600'

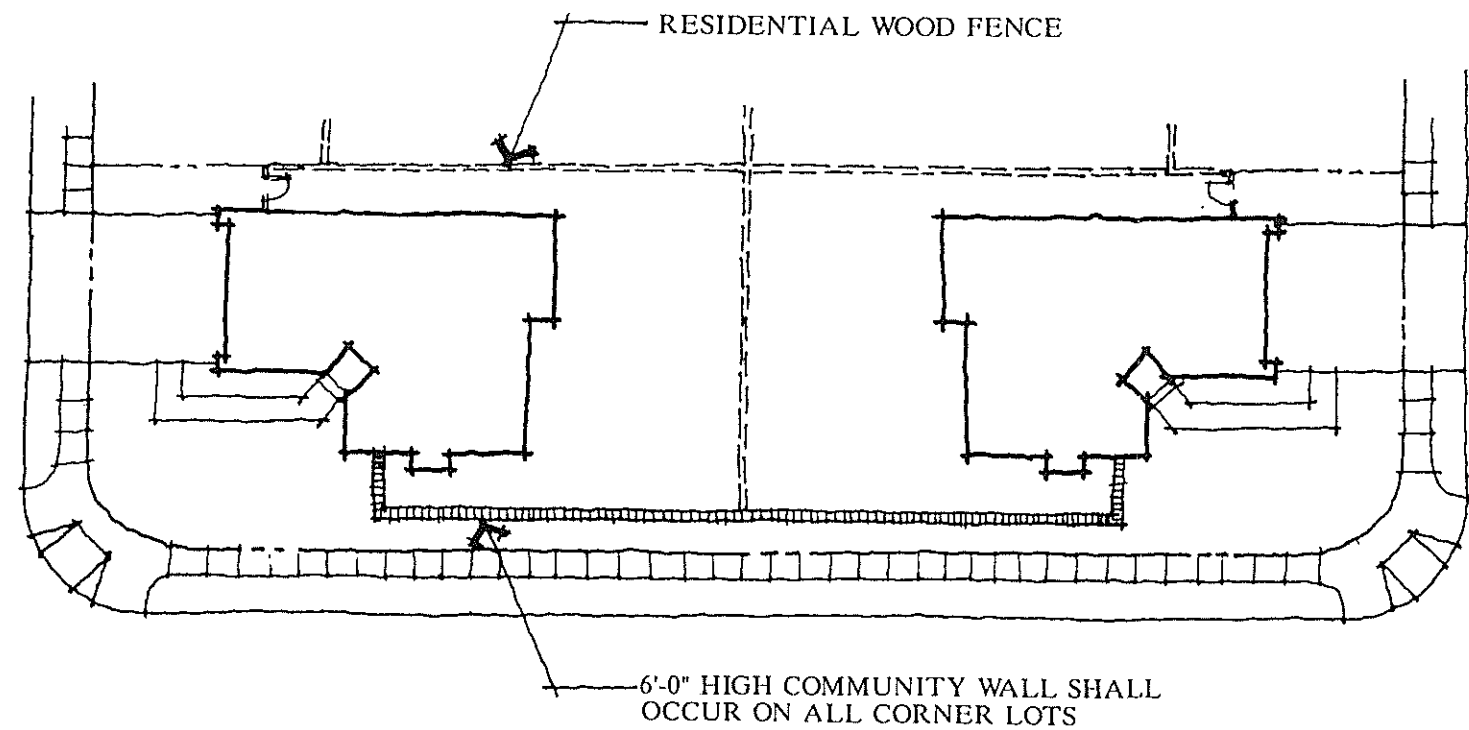
**LAND-PLAN
DESIGN
GROUP**
Planning/Landscape Architecture



PERIMETER & COMMUNITY WALL SECTION

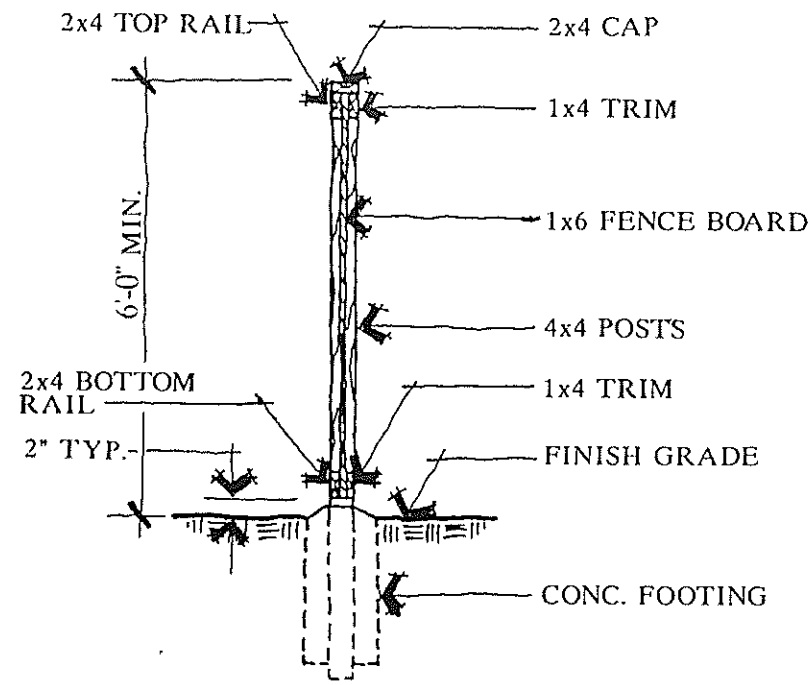


PERIMETER & COMMUNITY WALL ELEVATION

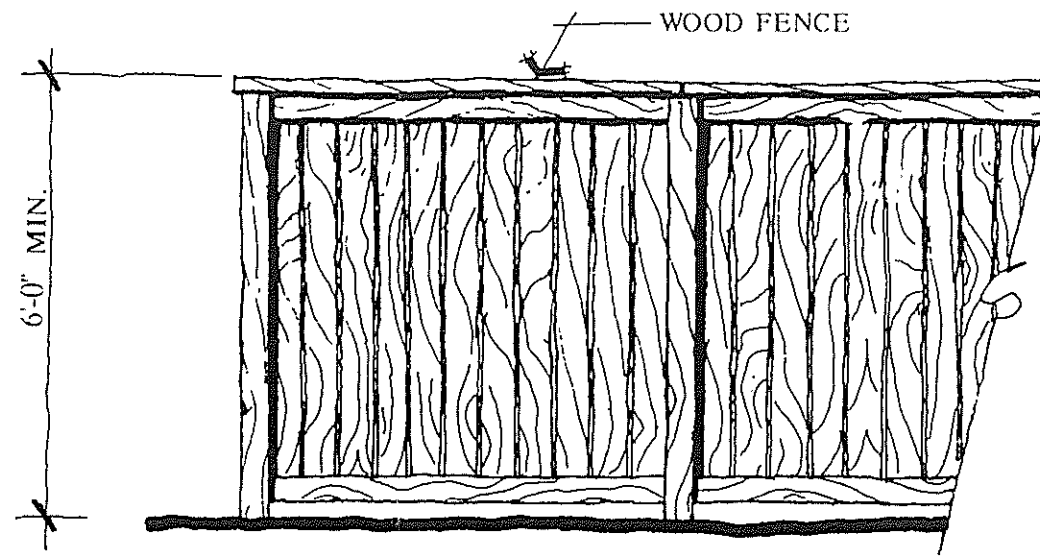


TYPICAL COMMUNITY WALL LOCATION PLAN AT CORNER LOTS

EXHIBIT 25
 WALL DETAILS

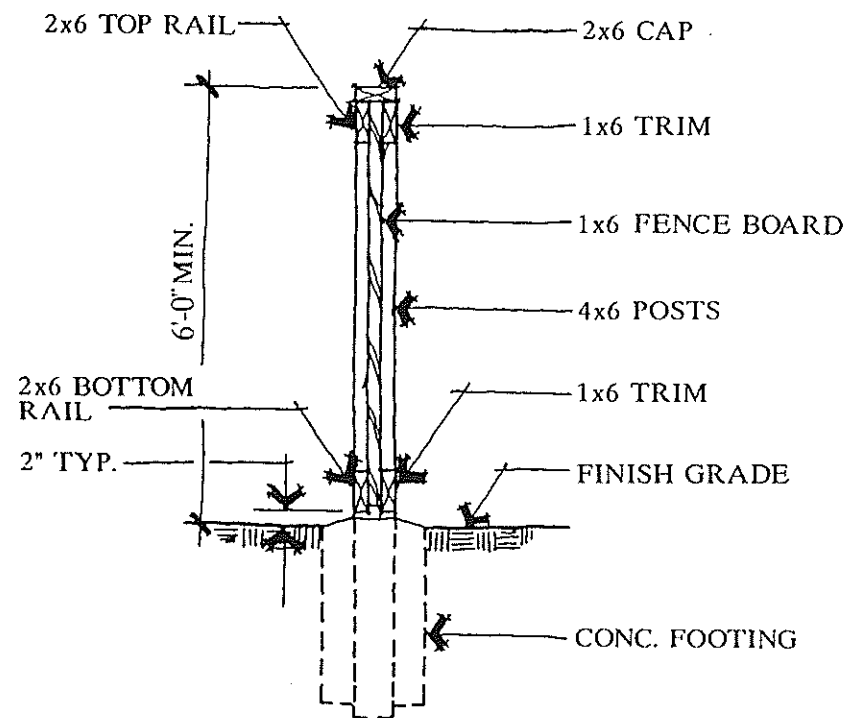


RESIDENTIAL FENCE SECTION

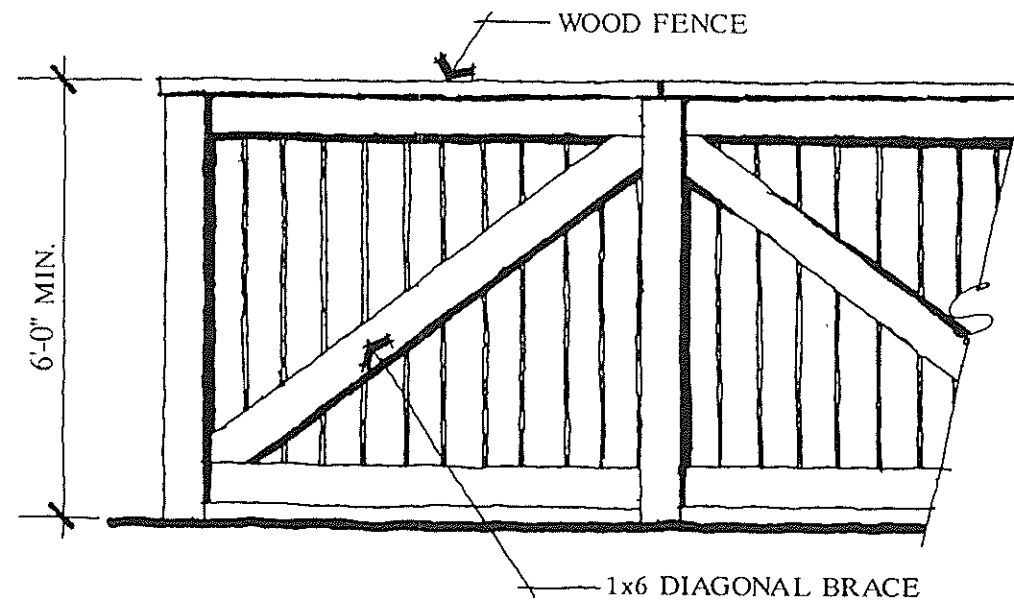


NOTE: ALL FENCE MATERIALS OPEN TO PUBLIC VIEW SHALL BE STAINED. COLOR OF STAIN SHALL BE DETERMINED AT THE TIME OF RESIDENTIAL TRACT ARCHITECTURAL DESIGN REVIEW.

RESIDENTIAL FENCE ELEVATION



TRAIL FENCE SECTION

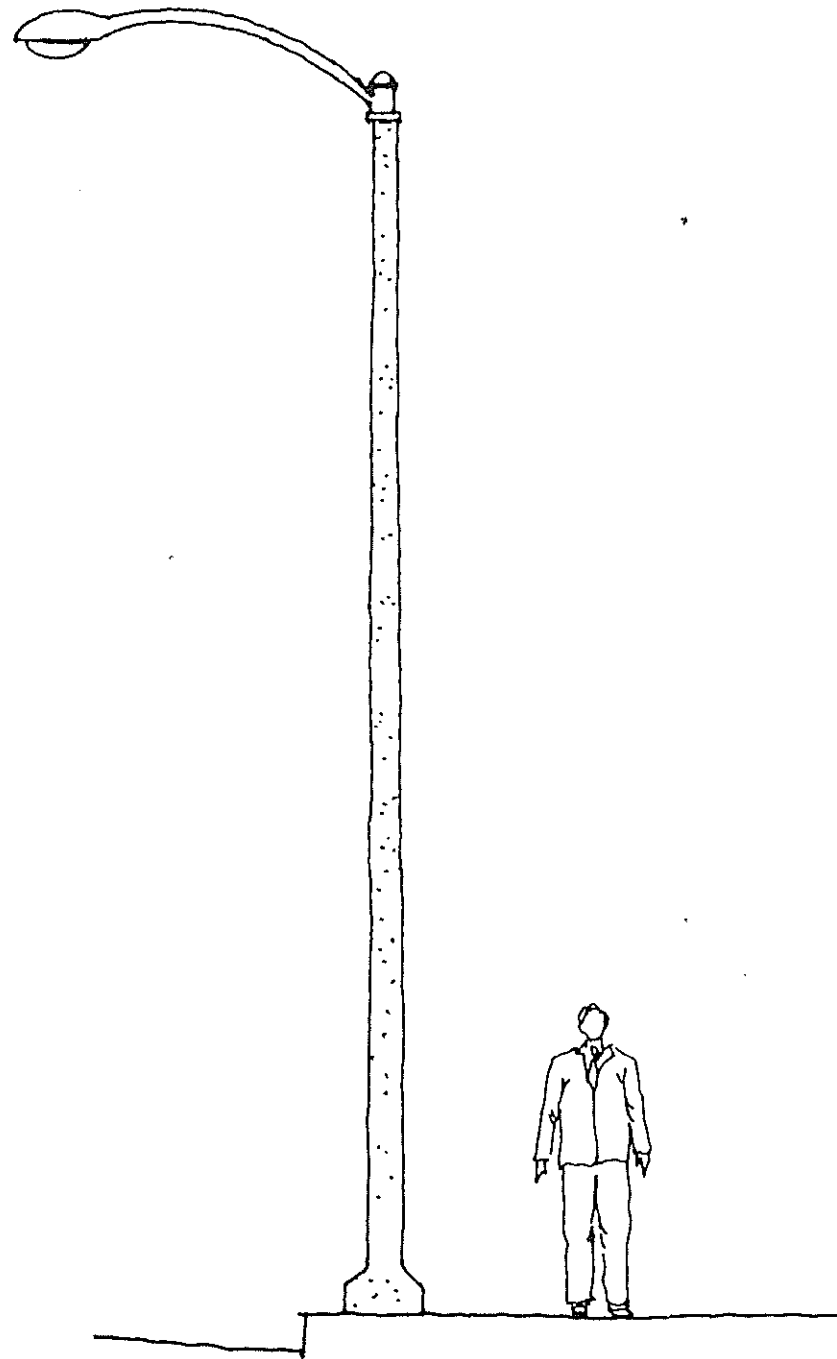


NOTE: ALL TRAIL FENCING ON PUBLIC SIDE SHALL BE STAINED. COLOR AS SELECTED BY MASTER DEVELOPER.

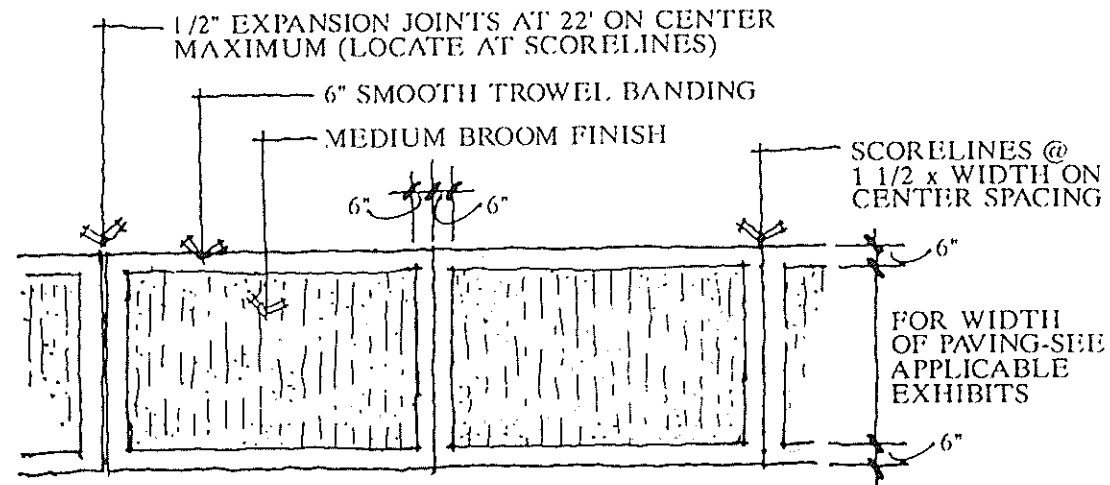
TRAIL FENCE ELEVATION

EXHIBIT 26

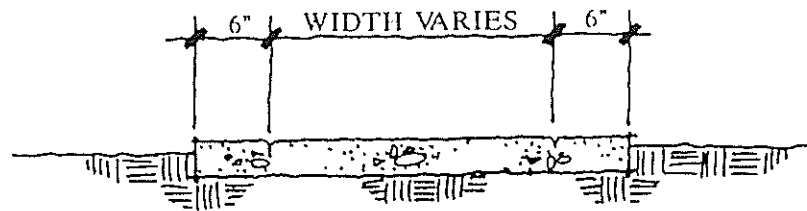
FENCE DETAILS



TYPICAL STREET LIGHT

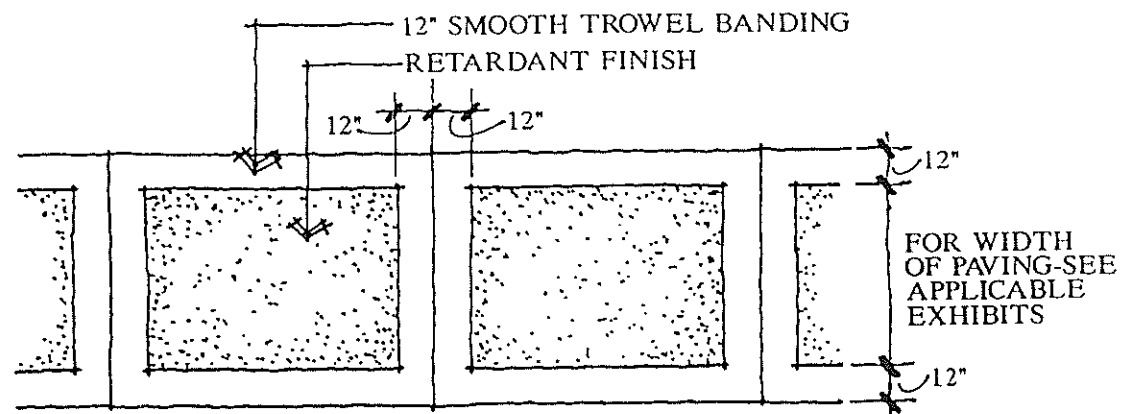


PLAN

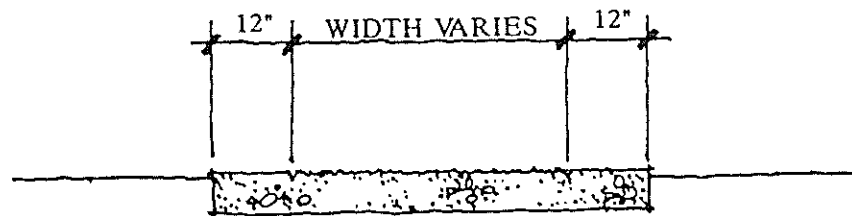


SECTION

TYPICAL CONCRETE PAVING



PLAN



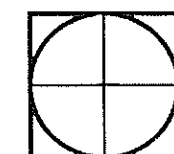
SECTION

ENHANCED CROSSWALK PAVING

RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**

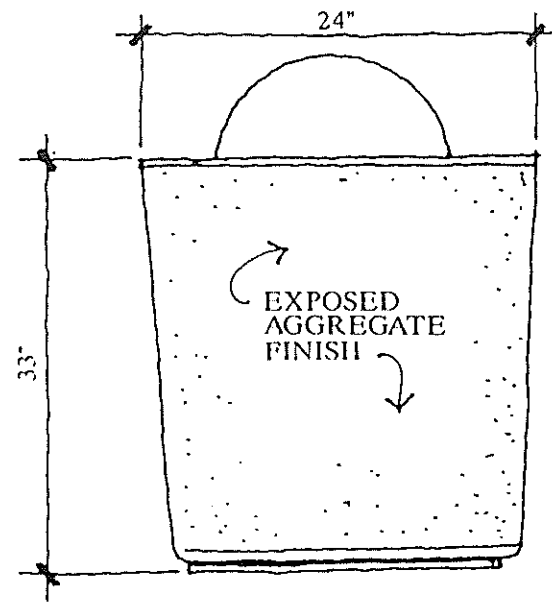
EXHIBIT 27a

STREET AND PARK
FURNISHINGS

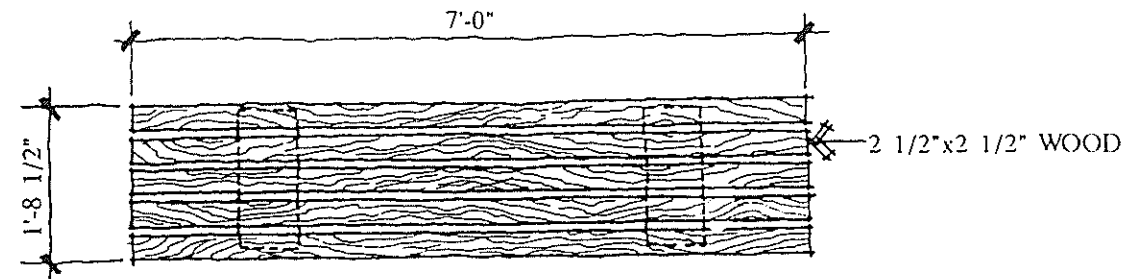


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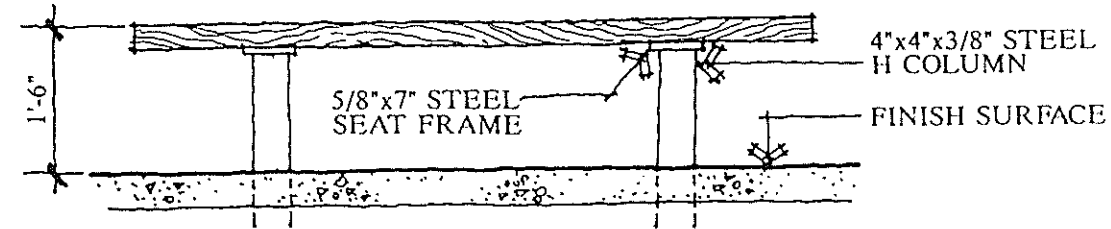
LAND-PLAN
DESIGN
GROUP
Planning/Landscape Architecture



TYPICAL TRASH RECEPTICLE

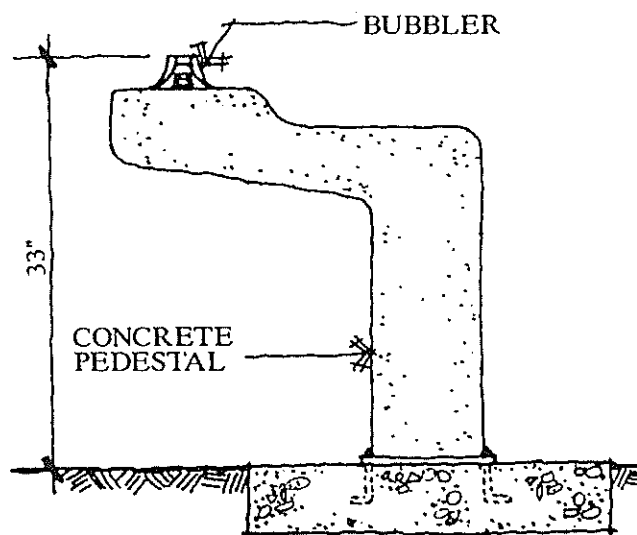


PLAN

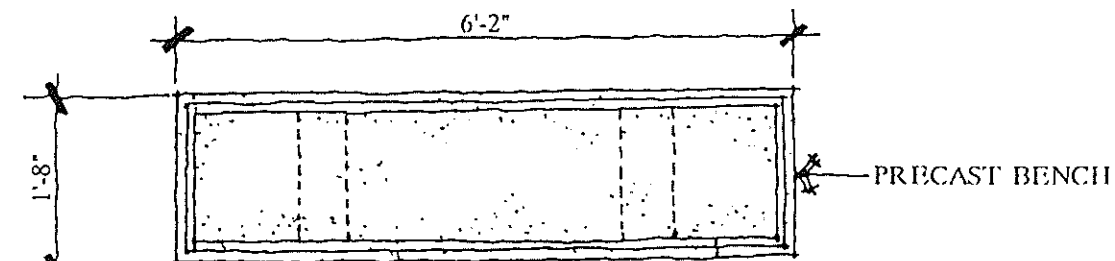


ELEVATION

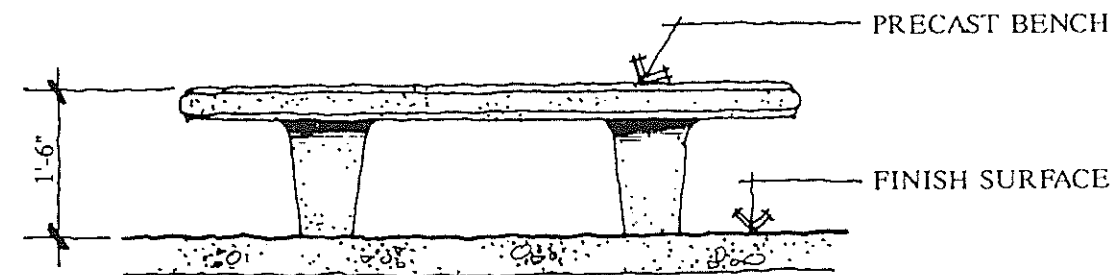
TYPICAL WOOD BENCH



TYPICAL DRINKING FOUNTAIN



PLAN

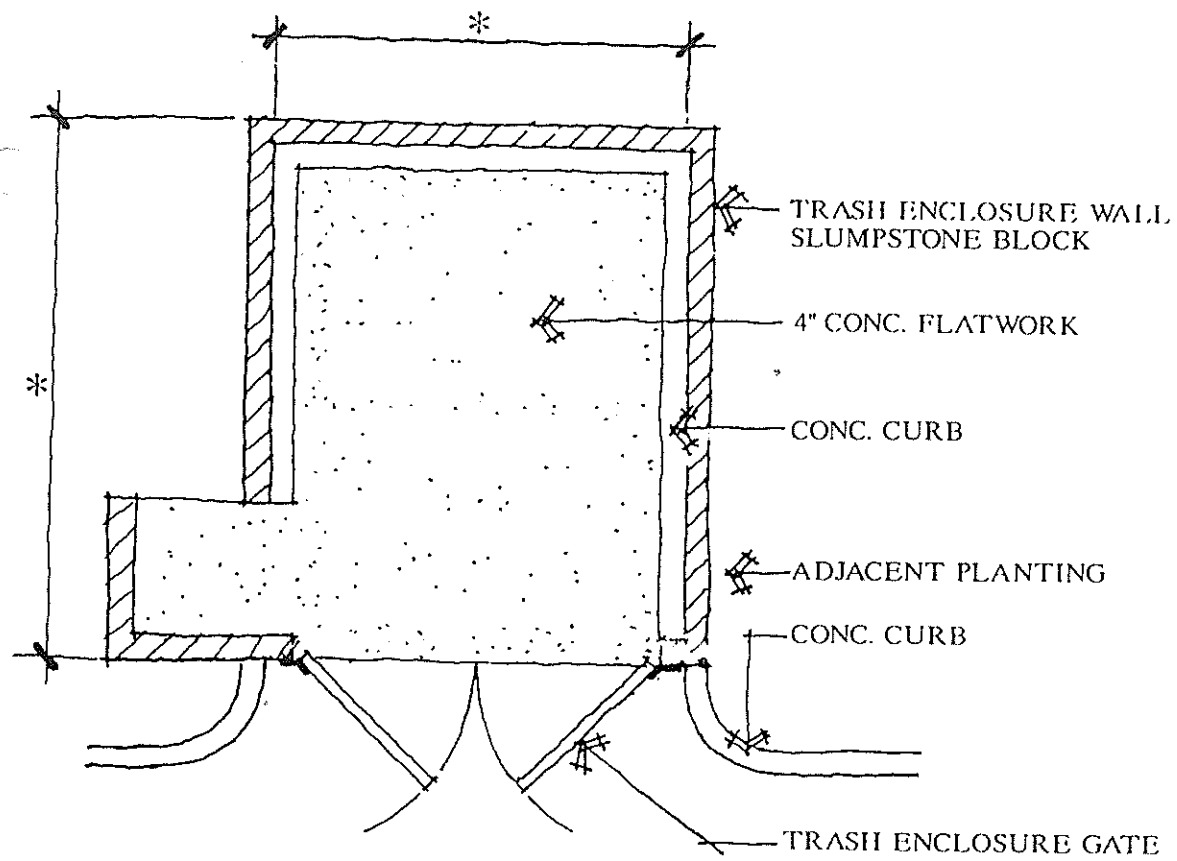


ELEVATION

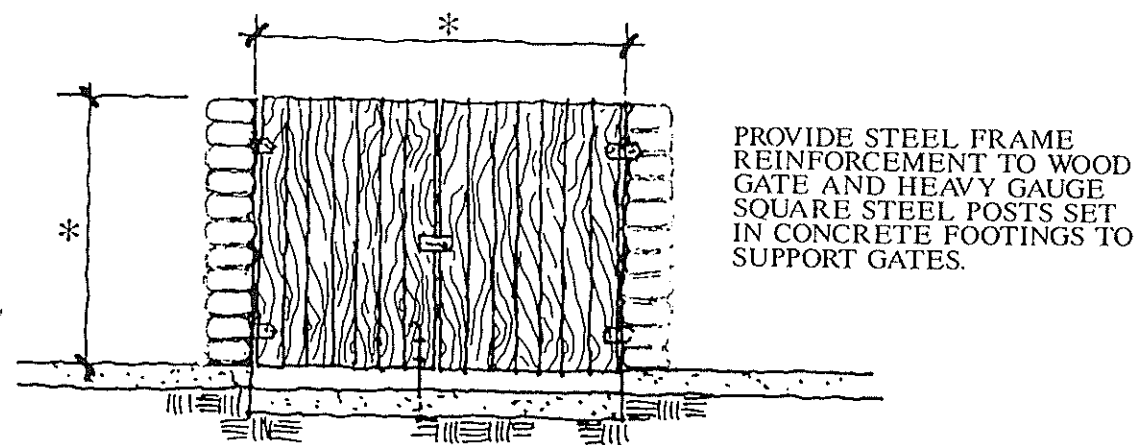
TYPICAL CONCRETE BENCH

EXHIBIT 27b

STREET AND PARK
 FURNISHINGS



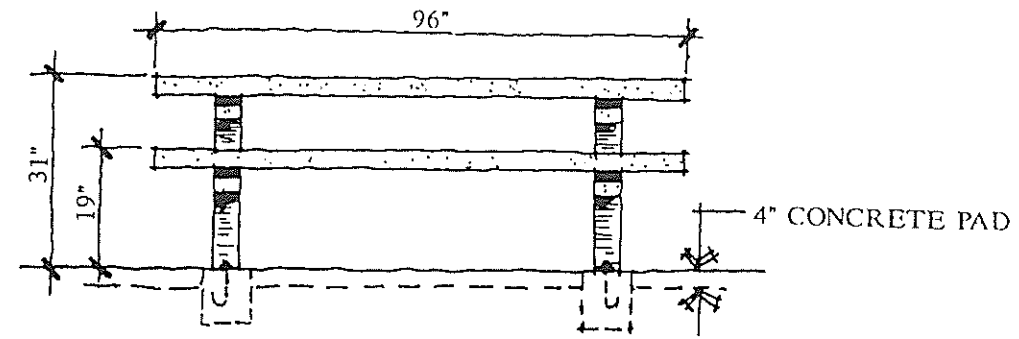
PLAN



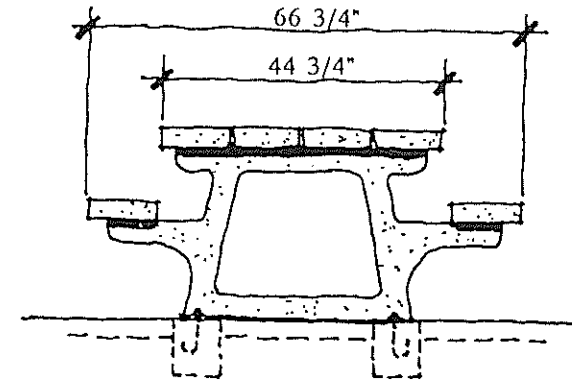
ELEVATION

* REFER TO CITY STANDARD
 DETAIL FOR DIMENSIONS.

TYPICAL TRASH ENCLOSURE

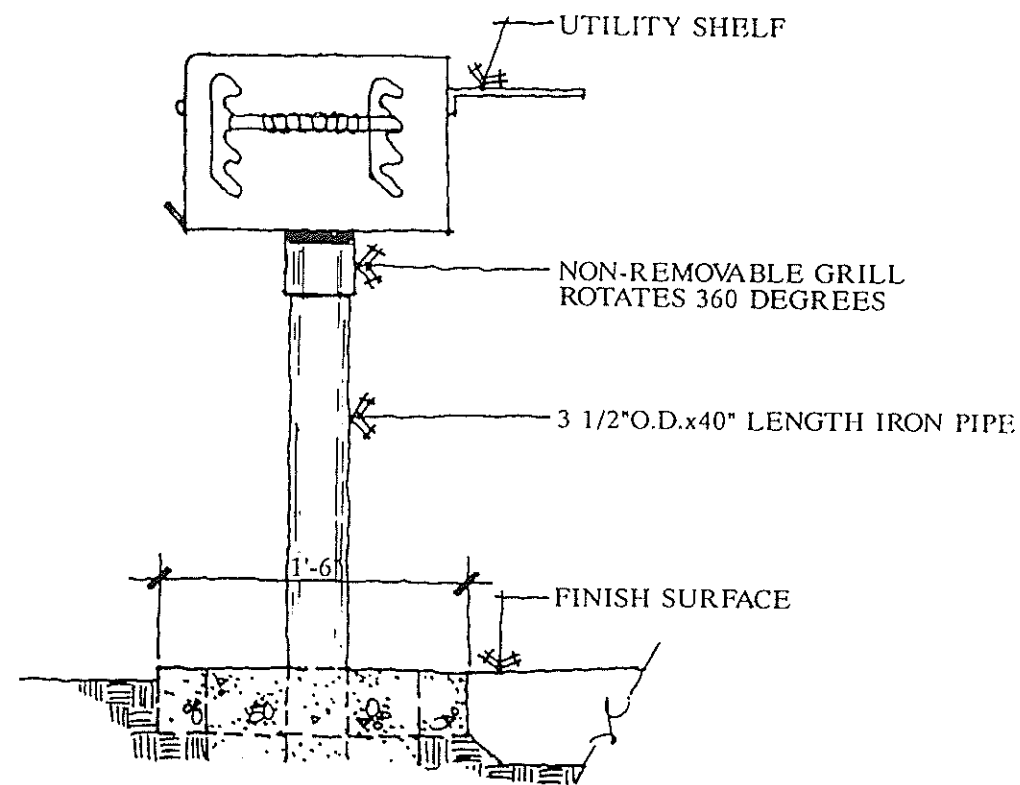


ELEVATION



ELEVATION

TYPICAL CONC. PICNIC TABLE



TYPICAL BARBEQUE

EXHIBIT 27c

STREET AND PARK
 FURNISHINGS

NOT TO SCALE

**LAND-PLAN
 DESIGN
 GROUP**
 Planning/Landscape Architecture

h. Planting Guidelines

1) Landscape Development

All common landscaped areas shall be installed with trees, shrubs, ground cover, vines, and/or turf. Smooth transitions from landscape common areas to adjoining properties are encouraged and can easily be obtained; i.e., landscape development occurring adjacent to existing or planned common areas should use plant material compositions that are compatible. All landscape plans shall be prepared by a registered landscape architect.

2) Planting Time

Plant establishment will be simplified as well as more successful if certain precautions are taken. It is most desirable to plant during the more mild spring or fall months due to temperature extremes that occur during winter and summer months. Trees and shrubs should be acclimated to the area in order for them to better withstand winter frosts and extreme summer heat. It should be noted that even acclimated plant material installed in harsher summer or winter months will be slower and more difficult to establish due to the area's temperature extremes. The Developer shall be responsible for plant establishment.

3) Climate Constraints

The Riverglen community is located around the interior thermal belt areas that exist within much of Southern California. The materials selected for the project should be suited to the climate that prevails in this type of interior thermal belt area. Summer highs range to approximately 110 degree temperatures while winter time low range to approximately 10 to 15 degrees. Site specific conditions such as topography and exposure will constrain the use of more tender plant species.

4) Horticultural Soils Test Requirements

Due to the varied soil types that exist within the area, horticultural soils tests are important for proper landscape development. Such reports are required and shall be obtained prior to landscape installation from a qualified agricultural laboratory. The test summaries should include analysis of soil fertility and agricultural suitability and provide recommendations for pre-plant amendments, backfill mix and post plant maintenance fertilization.

5) Minimum Tree Sizes and Quantities

- a. Minimum sizes of trees in all public entry areas shall be as follows:
- Major entry - Specimen Oak - 48" box minimum.
25% - 36" box minimum.
75% - 24" box minimum.
 - Secondary entry - 50% - 36" box minimum.
50% - 24" box minimum.
 - Residential entries - 1 - 30" box minimum.
25% - 24" box minimum.
75% - 15 gallon minimum.
- b. Minimum sizes of trees on all major and minor collector roads shall be 25% - 24" box and 75% - 15 gallon.
- c. Minimum sizes of trees on all local/cul-de-sac roads shall be 15 gallon.
- d. Minimum quantities of trees on above entries and roads shall be based on 30 lineal foot on center maximum average. Grouping of trees in masses along with open areas to average 30 foot on center is permitted. Trees in excess of the minimum quantity may be 15 gallon size.

6) Plant Material Palette

The plant materials selected were developed with emphasis on plant suitability to this region and the community theme. Selections were made with respect to growth factors such as climate and soil conditions, drought tolerance and maintenance concerns. Plant materials have been selected to reinforce project identity and to promote a unified appearance. Plant compositions that add variety to the community theme are encouraged.

The palette should also be utilized to form compositions that complement the style of the architecture. Compositions that rely on plants with drought tolerant characteristics are encouraged. The use of mulch in landscaped areas is also encouraged in order to conserve water usage. The turfgrass shall consist of drought tolerant varieties of tall fescue grasses. Should the reclaimed water provided by the EMWD is not adequate to serve the project at the time of landscape installation, a selected hybrid bermuda (with winter overseeding) will be utilized.

Model home complexes shall include "xeriscape" planting concepts at a ratio of (1) xeriscape planted unit for three (3) models or less; two (2) xeriscape planted units for four (4) models or more.

a) Trees

<u>Botanical Name</u>	<u>Common Name</u>
Acacia	Acacia
Aesculus californica	California Buckeye
Albizia julibrissin*	Silk Tree
Alnus rhombifolia*	White Alder
Arbutus unedo	Strawberry Tree
Brachychiton populneus*	Bottle Tree
Cedrus deodora	Deodar Cedar
Cercidium (most species)	Palo Verde
Cinnamomum camphora	Camphor Tree
Eucalyptus camaldulensis	Red Gum
Eucalyptus cladocalyx	Sugar Gum
Eucalyptus microtheca	Flood Box Gum
Eucalyptus sideroxylon*	Red Ironbark
Geijera parvifolia*	Australian Willow
Grevillea robusta	Silk Oak
Koelreuteria panniculata*	Golden Rain Tree
Lagerstroemia indica*	Crape Myrtle
Olea europaea	Olive
Pinus eldarica*	Mondel Pine
Pinus halepensis	Aleppo Pine
Pistacia chinensis*	Chinese Pistache
Platanus acerifolia*	London Plane Tree
Prunus carolineana	Carolina Laurel Cherry
Prunus lyonii	Catalina Cherry
Populus fremontii	Western Cottonwood
Pyrus calleryana 'Bradford'*	Bradford Pear
Quercus (many species)	Oak
Rhus lancea*	African Sumac
Schinus molle	California Pepper

*Trees suitable for street trees on local/cul-de-sac roads.

b) Shrubs

<u>Botanical Name</u>	<u>Common Name</u>
Arbutus unedo	Strawberry Tree
Atriplex (most species)	Salt Bush
Callistemon citrinus	Lemon Bottlebrush
Cassia artemisioides	Senna
Ceanothus 'Julia Phelps'	Julia Phelps Ceanothus

Ceanothus 'Rigidus snowball'	Snowball Ceanothus
Cercis occidentalis	Redbud
Cotinus coggygria	Smoke Tree
Cotoneaster (most species)	Cotoneaster
Crassula argentea/falcata	Crassula
Dendromecon	Bush Poppy
Elaeagnus (most species)	Eleagnus
Fallugia paradoxia	Apache Plume
Fremontodendron species	Flannel Bush
Genista (most species)	Broom
Grevillea species	Grevillea
Heteromeles arbutifolia	Toyon
Hypericum calcycinum	Creeping St. Johnswort
Leptospermum laevigatum	Australian Tea Tree
Mahonia (most species)	Mahonia
Melaleuca nesophila	Pink Melaleuca
Myrtus communis	True Myrtle
Nerium oleander	Oleander
Photinia serrulata	Chinese Photinia
Pittosporum (most species)	Pittosporum
Pyracantha (most species)	Firethorn
Rhamnus (many species)	Rhamnus
Rhaphiolepis indica	India Hawthorn
Rhus ovata	Sugar Bush
Rosa rugosa	Ramanas Rose
Rosmarinus species	Rosemary
Salvia clevelandii	Sage
Salvia leucantha	Mexican Bush Sage
Santolina chamaecyparissus	Lavander Cotton
Sollya heterophylla	Australian Blueball Creeper
Spartium junceum	Spanish Broom
Tamarix species	Tamarix
Taxus species	Yew
Teucrium species	Germander
Xylosma congestum	Xylosma

c) Ground Covers

<u>Botanical Name</u>	<u>Common Name</u>
Baccharis pilularis 'Twin Peaks'	Coyote Brush
Cotoneaster horizontalis	Rock Cotoneaster
Cotoneaster 'lowfast'	Low Fast Cotoneaster
Cotoneaster microphyllus	Rockspray Cotoneaster
Gazania (most species)	Gazania
Myoporum parvifolium	Myoporum
Pyracantha 'Red Elf'	Firethorn
Rosmarinus officinallis 'Prostrata'	Dwarf Rosemary
Trachelospermum (most species)	Star Jasmine

Hydroseed ground cover mix to include:

O'Connors legume
Alyssum
California Poppy

d) Vines

<u>Botanical Name</u>	<u>Common Name</u>
Ficus repens	Creeping Fig
Macfadyena unguis-cati	Cat's Claw
Parthenocissus tricuspidata	Boston Ivy
Wisteria species	Wisteria

e) Turfgrass

<u>Botanical Name</u>	<u>Common Name</u>
Festuca elatior 'varieties'	Tall Fescue
Cynodon dactylon 'hybrid'	Hybrid Bermuda

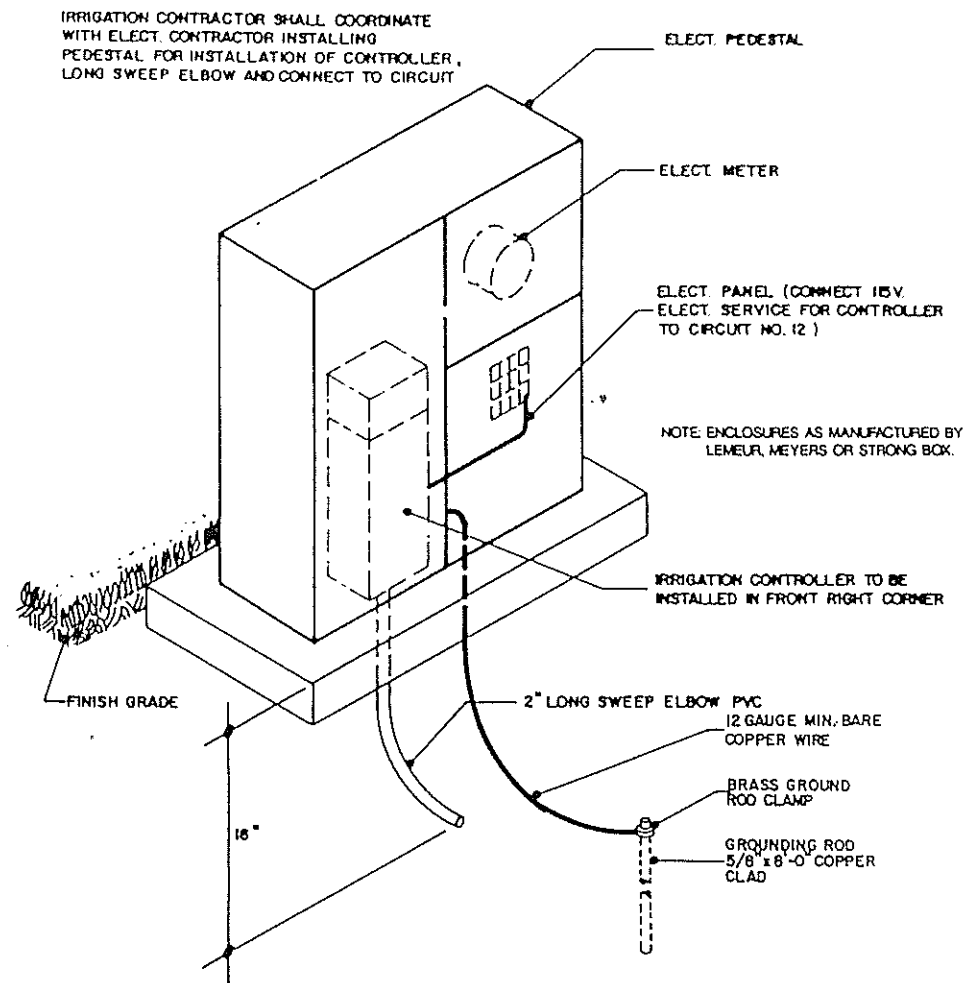
7) Irrigation

- a) Automatic irrigation is required as a part of all landscape developments.
- b) The irrigation equipment to be used on all common areas shall be high quality materials selected by the City for standardization and consistency from well-known manufacturers, i.e. Toro, Rainbird, Hunter, Griswold, etc. Controllers shall be capable of repeating individual systems during the course of a day to expedite plant establishment.
- c) For aesthetic concerns as well as safety, irrigation heads within turf areas or adjacent to curbs, drives, wheel stops, walks or other hardscape should be the pop-up type. All additional equipment should be located to minimize their visual impact on the streetscape. See Exhibits 28a and 28b for typical irrigation details and sample legend. An irrigation pressure loss calculation for the largest lateral system shall be furnished with all landscape plan check submittals for the common areas.
- d) The use of reclaimed wastewater is planned for irrigation in parks, medians, common areas, schools and open space areas.
- e) A computerized system for the irrigation will be considered, provided the City establishes it as a city-wide policy and has a centralized location for the main computer terminal.

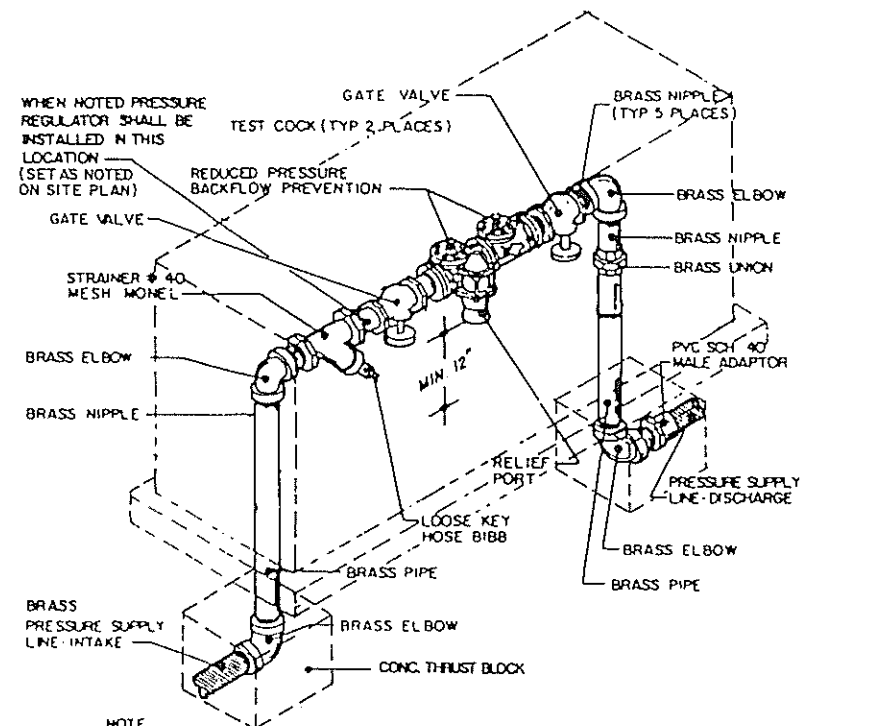
- f) The irrigation installation shall conform to the following specifications:
- All workmanship and materials shall conform to local building and plumbing codes having jurisdiction.
 - The work to be performed under this contract shall include furnishing all labor, materials, tools, machinery and equipment necessary to install a complete sprinkler system as shown on the Irrigation Plans, including trenching, backfilling, etc.
 - Prior to commencing work on the project, arrange an on-site conference with the Landscape Architect, or his duly appointed representative.
 - The installation and operation of the system must be approved by the Landscape Architect. The Landscape Architect shall notify the City in writing of his acceptance of the irrigation system. Final approval and acceptance of the irrigation system will be conducted by the City, unless the City determines the Landscape Architect will conduct Final Approval.
 - Coordinate the installation of all sprinkler materials, including pipe, with the landscape drawings to avoid interfering with the planting of trees, shrubs, or other planting.
 - Contractor shall perform mainline pressure test with open trenches with the Landscape Architect present prior to installation of valves and lateral lines.
 - Trenches shall be excavated to sufficient depth to provide 18" of cover over all pressure supply lines and 12" over all non-pressure lines unless otherwise noted on drawing. When piping occurs under paved areas consider dimension to be below subgrade. Pipe sleeving shall have 24" minimum cover.
 - Backfill for trenching shall be compacted to a dry density equal to the adjacent undisturbed soil, and shall conform to adjacent grades without dips, sunken areas, humps, or other irregularities.
 - Initial backfill on plastic lines shall be of a fine granular material with no foreign matter larger than 1/2" in size.
 - All sprinkler heads and piping shall be installed per their details, in their respective locations, and shall be of the manufacturer noted unless otherwise approved.
 - Contractor shall perform irrigation coverage tests with the Landscape Architect present. Minor adjustments, additional heads, etc., shall be performed as part of the contract without extra cost to the Owner.

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**



TYPICAL ELECT. PED. & CONTROLLER ASSEMBLY



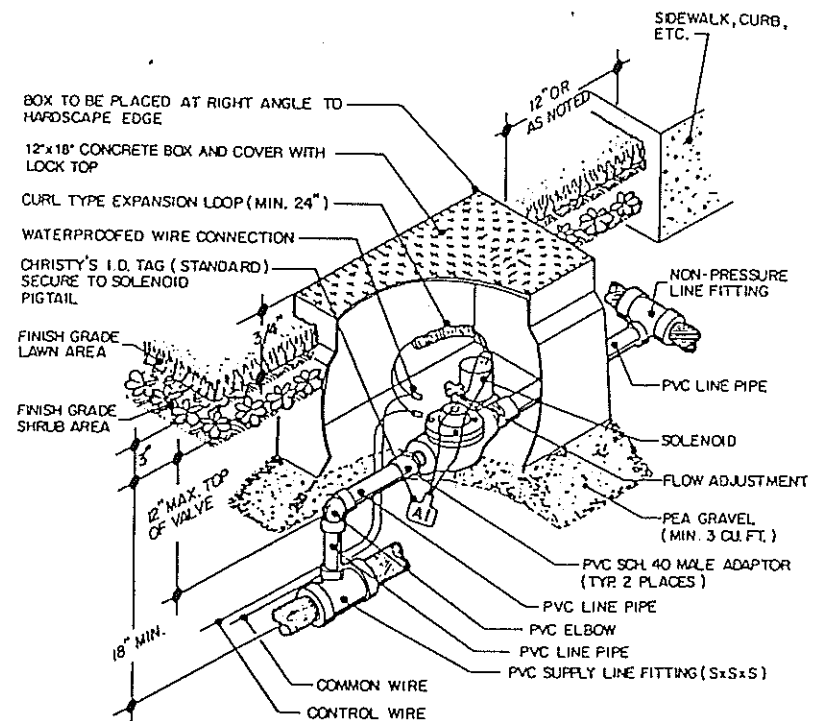
NOTE
• UNIT SHALL BE LOCATED TO THE BACK SIDE OF ENCLOSURE WITH TEST COCKS FACING OUTWARD.

WELDED STEEL ENCLOSURE WITH LOCKING LID

- MESH ENCLOSURE BUILT WITH # 7 - 1 1/2" EXPANDED STEEL
- 1/4" x 1/4" x 3/16" ANGLE IRON FRAME WITH WELDED JOINTS
- HINGE TOP LID ALSO CHAIN TO PREVENT SPRINGING
- SET VERTICAL FRAMING IN CONCRETE FOOTING (SIZE AS REQUIRED)
- ENCLOSURE TO BE BUILT PER CITY OF FONTANA STANDARDS AND SPECIFICATIONS
- AS MANUFACTURED BY LEMEUR ENCLOSURES
- PAINT WITH ONE COAT PRIMER AND TWO COATS OF BLACK ENAMEL PAINT (OUTDOOR)

* SIZE MAY CHANGE DUE TO SYSTEM REQUIREMENTS

TYPICAL BACKFLOW PREVENTION ASSEMBLY



NOTES:

1. VALVES ARE TO BE INSTALLED IN SHRUB AREAS UNLESS OTHERWISE NOTED.
2. WHEN MORE THAN ONE VALVE IS LOCATED IN THE SAME AREA, PROVIDE A SPACE A MIN. OF 3 FT. APART.
3. USE TEFLON TAPE ON ALL THREADED FITTINGS.
4. 12"x18" PLASTIC BOX MAY BE USED IN RESIDENTIAL FRONTYARDS.

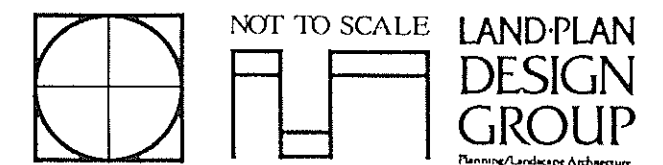
TYPICAL REMOTE CONTROL VALVE ASSEMBLY

SYMBOLS	DESCRIPTIONS	MANUFACTURER & PART NO.	G.P.M.	RAD.	MAX. SP.	PSI	REFERENCE
☐	1/4 & 1/2 CIRC STRIP BUBBLER	TORO 540-P-4 SST	.5,1.0	4' X 24'		20	DETAIL NO. 8
⊗	STREAM ROTOR SHRUB HEADS	TORO 300-12-02	.75,1.5,3.0	20'	20'	35	DETAIL NO. 6
⊗	STREAM ROTOR SHRUB HEADS	TORO 300-12-03	1.5,3.0,5.5	25'	25'	35	DETAIL NO. 6
⊗	STREAM ROTOR SHRUB HEADS	TORO 300-12-93	1.0,2.0,4.0	30'	30'	35	DETAIL NO. 6
∇	1/4, 1/2 & FULL CIR SHRUB HDS	TORO 570-6P-PCN-FLAT-CV	.3, .5, 1.0	7'	7'	30	DETAIL NO. 7
∇	1/4, 1/2 & FULL CIR SHRUB HDS	TORO 570-6P-PCN-10 -CV	.5, 1.0, 2.0	10'	12'	30	DETAIL NO. 7
∇	1/4, 1/2 & FULL CIR SHRUB HDS	TORO 570-6P-PCN-15-CV	1.0, 2.0, 4.0	15'	15'	30	DETAIL NO. 7
⊙	1/4, 1/2 & FULL CIR LAWN HDS	TORO 570-PCN-FLAT-CV	.3, .5, 1.0	7'	7'	30	DETAIL NO. 8
⊙	1/4, 1/2 & FULL CIR LAWN HDS	TORO 570-PCN-10 -CV	.5, 1.0, 2.0	10'	12'	30	DETAIL NO. 8
⊙	1/4, 1/2 & FULL CIR LAWN HDS	TORO 570-PCN-15-CV	1.0, 2.0, 4.0	15'	15'	30	DETAIL NO. 8
⊗	STREAM ROTOR LAWN HEADS	TORO 300-00-02	.75, 1.5, 3.0	20'	20'	35	DETAIL NO. 8
⊗	STREAM ROTOR LAWN HEADS	TORO 300-00-03	1.5, 3.0, 5.5	25'	25'	35	DETAIL NO. 8
⊗	STREAM ROTOR LAWN HEADS	TORO 300-00-93	1.0, 2.0, 4.0	30'	30'	35	DETAIL NO. 8

NOTE: FOR SAMPLE INFORMATION ONLY.

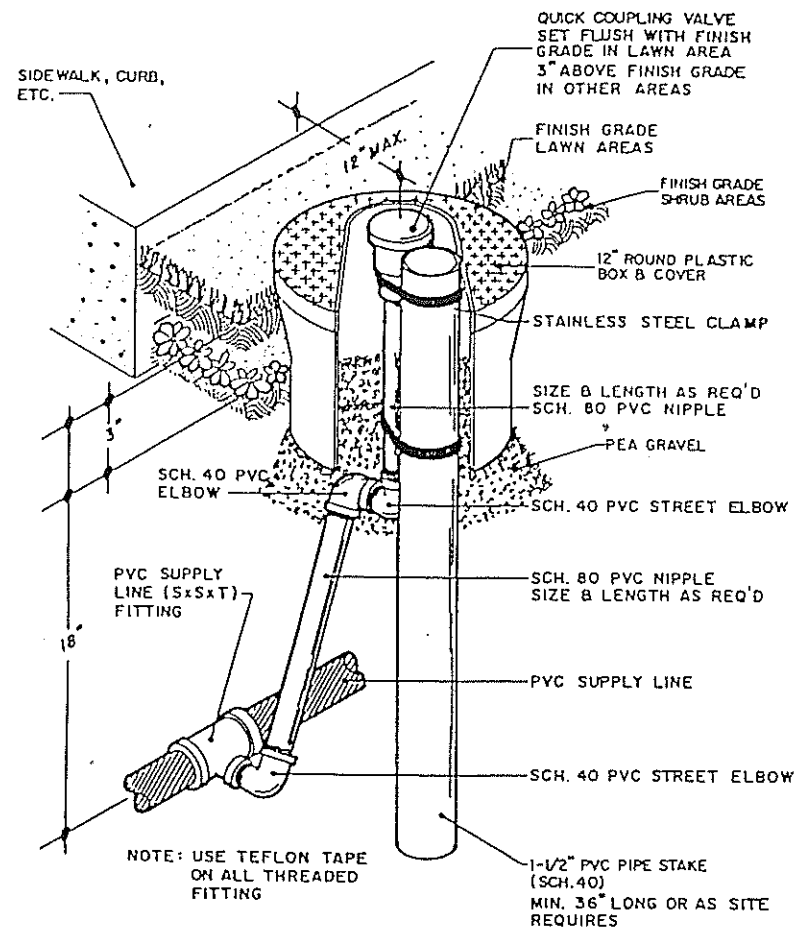
TYPICAL SPRINKLER HEAD LEGEND

EXHIBIT 28a IRRIGATION DETAILS

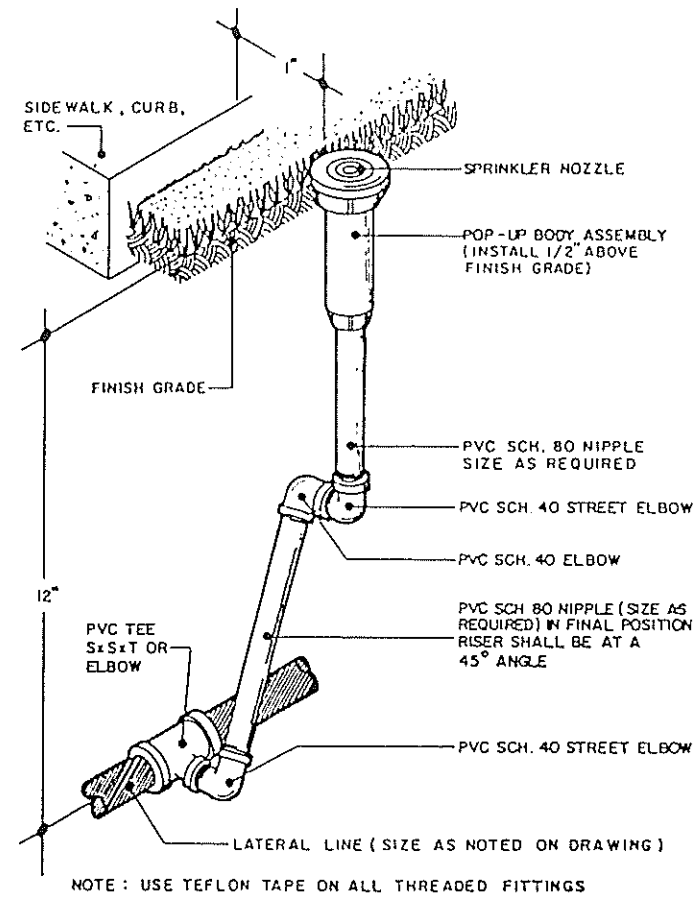


RIVERGLEN SPECIFIC PLAN

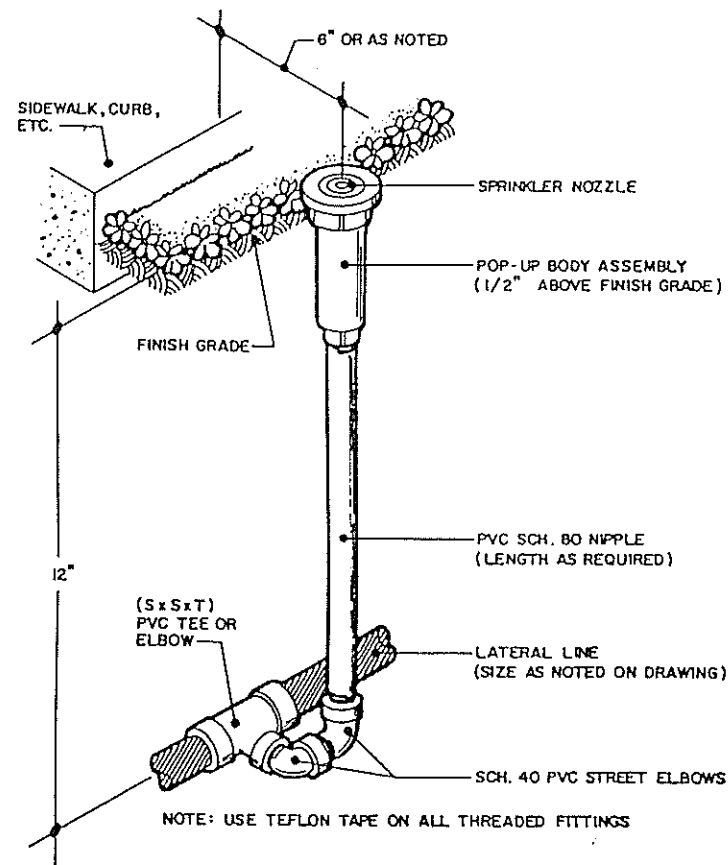
Prepared for: **UNITEX**



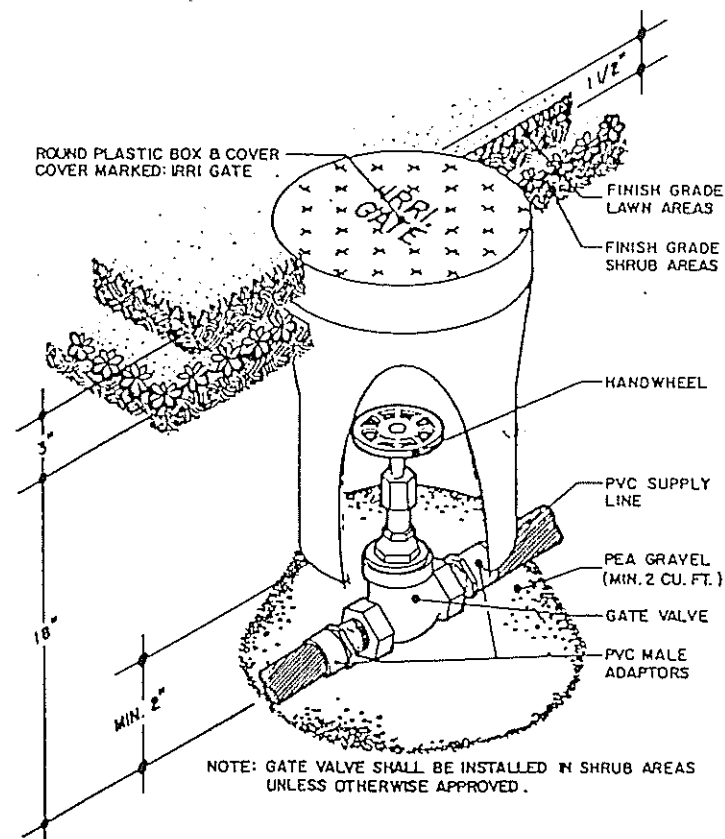
TYPICAL QUICK COUPLING VALVE ASSEMBLY



TYPICAL LAWN HEAD ASSEMBLY

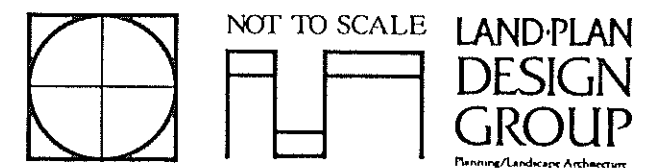


TYPICAL SHRUB HEAD ASSEMBLY



TYPICAL GATE VALVE ASSEMBLY

EXHIBIT 28b
IRRIGATION DETAILS



- In addition, dimension from two permanent points of reference the location of the pressure supply line routing, all valves, plug tees, and control wire.
- Upon completion of the work, remove all excess material, equipment and debris to the satisfaction of the Landscape Architect.
- The sprinkler installation shall be deemed incomplete until all sprinkler heads, valves and all related irrigation equipment have been checked and adjusted to best conform to the conditions and requirements that will prevail at the finish site, and approved as-built drawings have been submitted. This includes changes of nozzles if required for proper coverage.
- The sprinkler system shall be unconditionally guaranteed for a period of one year from the date of acceptance. Manufacturer warranties shall not replace this guarantee and the contractor shall be liable for repairs and replacement of failed material.
- Contractor shall schedule and program all controllers with proper water conservation techniques.

8) Planting Placement, Specification and Guarantees

The planting and guaranteeing of trees, shrubs, vines, groundcovers and turf shall be installed per the following requirements:

a) Tree Placement Requirements

Relative position of parkway trees is subject to approval by the City. The selection and location of all trees shall be as to preclude any damage to adjacent curb, gutter, sidewalk, walls or other concrete structures from the presence of these trees. No trees shall be planted within public rights-of-way or easements unless previous watering and maintenance arrangements have been made guaranteeing the tree or trees for not less than one year or until premises are occupied.

The final placement of trees shall be kept not less than:

- 25 feet back of beginning of curb returns at intersections.
- 10 feet from light standards, fire hydrants and meters.
- 10 feet from underground utilities.
- 4 feet from all paving, buildings, walls and walks.

Trees located closer than 3.5 feet to walks shall be installed in a rootguard barrier per Exhibit 29c.

b) Planting Installation Specifications

- All plant materials shall meet or exceed the minimum heights, spreads, and calipers of industry standards for their respective container sizes. Plants shall be symmetrical, typical for variety and species, healthy, vigorous free from plant disease, insect pests and shall have healthy, normal root system free from being root bound. Trees shall not be pruned or topped prior to delivery.
- All plant materials shall be installed per the details on Exhibits 29a, 29b, and 29c.
- A thoroughly prepared "backfill mix" shall be used in the bottom of the planting pit and around the root ball when the plants is being planted. The following backfill mix is to be used for all plants, unless the agricultural suitability soils report recommends otherwise:

Amounts per cubic yard:

2/3 cu. yd. on-site soil

1/3 cu. yd. organic amendment (i.e. nitrohumus)

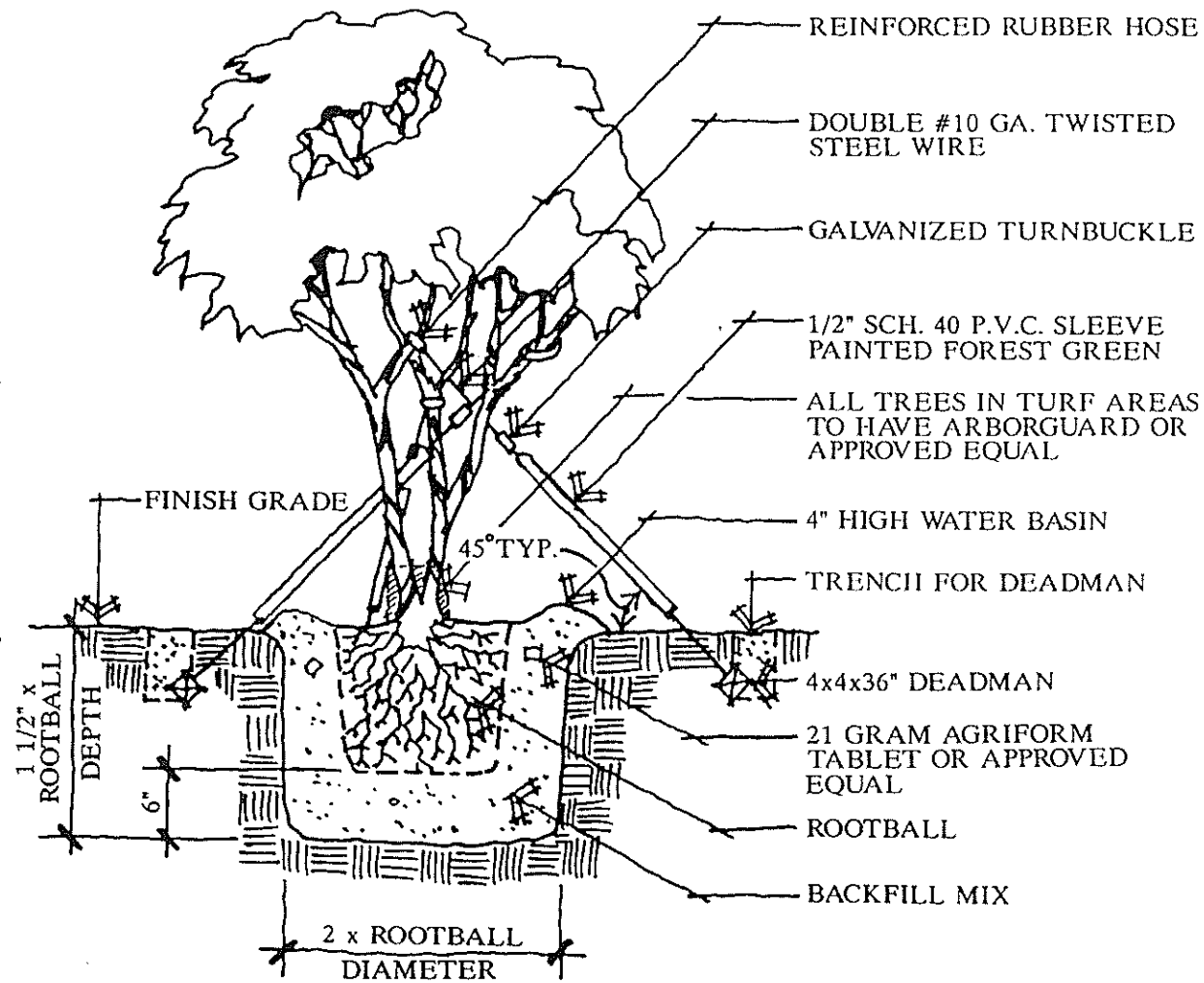
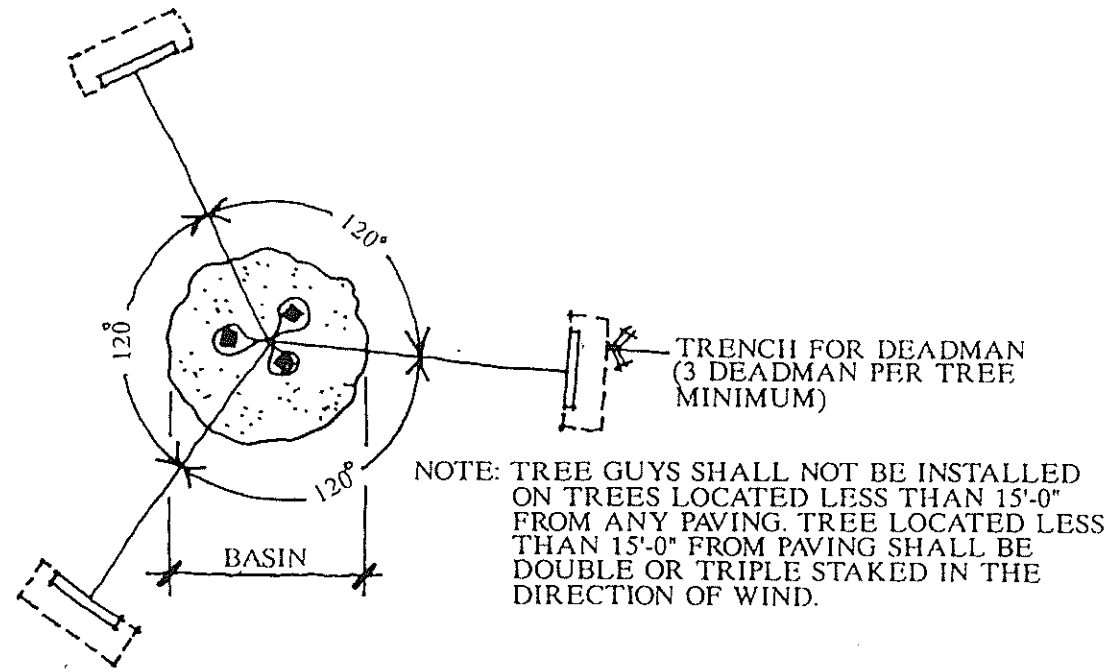
1 lb. iron sulphate

2 lb. 6-20-20 commercial fertilizer

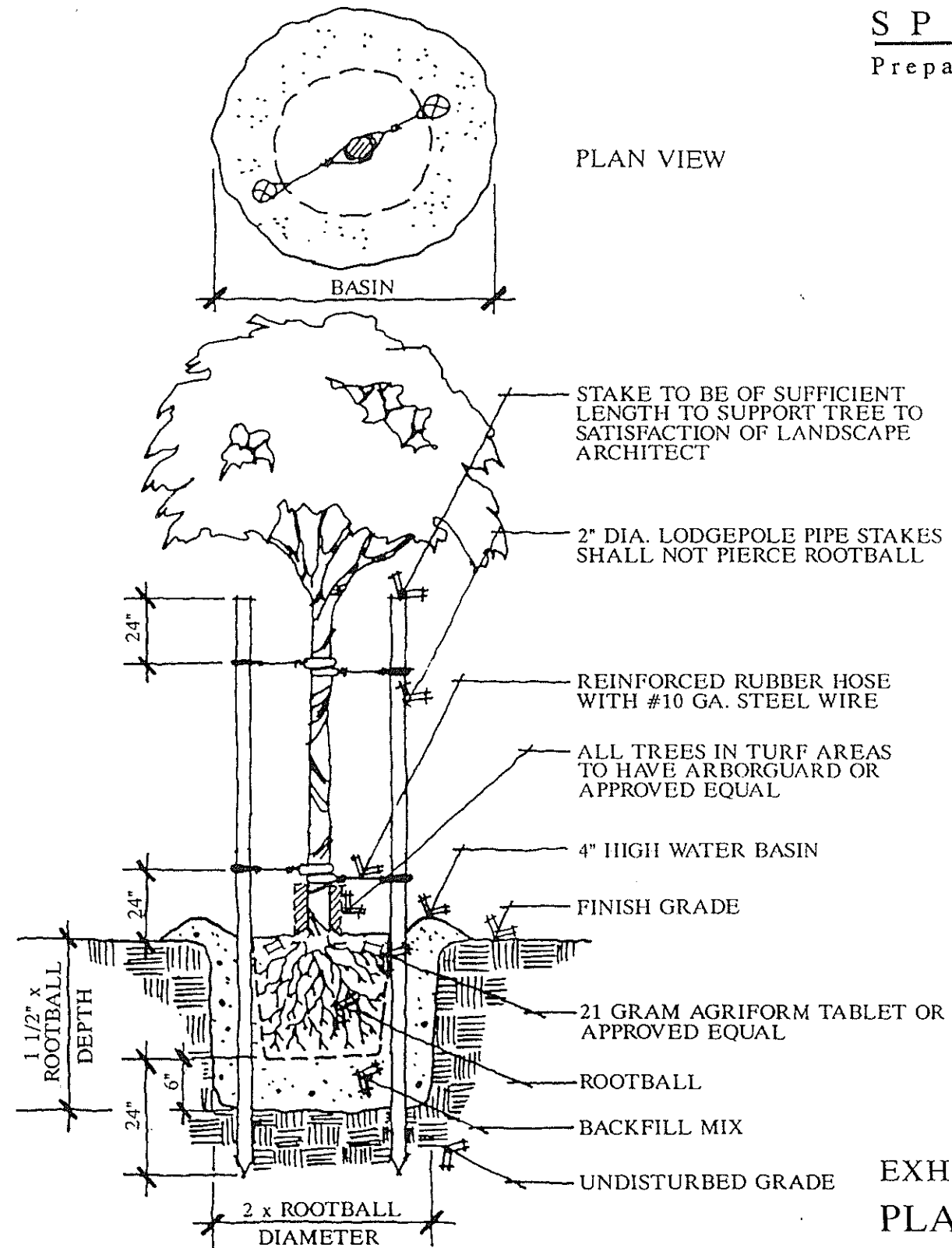
- Planting pits for trees shall be dug a minimum of twice the diameter of the plant ball and 1-1/2 times the height. The soil at the bottom of the planting pit shall be loosened and refirmed before the tree is placed in it.
- Plants shall be set in center of pit, in vertical position, so that crown of ball will be level with finish grade after allowing for watering and settling and shall bear the same relationship to finish grade that it did to soil surface in original place of growth.

A 4" high water basin shall be prepared. Trees shall be adequately watered in during planting.

- Each 15 gallon and 24" box tree must be properly supported by two (2) lodgpole stakes or other material located in the hole from which the nursery stake was removed. Each stake shall be treated with copper naphthanate and shall be a minimum of ten feet in length.
- All trees shall also be staked at time of planting by placing stake in prepared hole and driving stake a minimum of 18 inches into soil below bottom of planting pit. All 36" box and larger trees shall be guyed.
- Prior to installation of trees, a permanently installed and operable irrigation system shall be constructed.



TYPICAL TREE PLANTING & GUYING



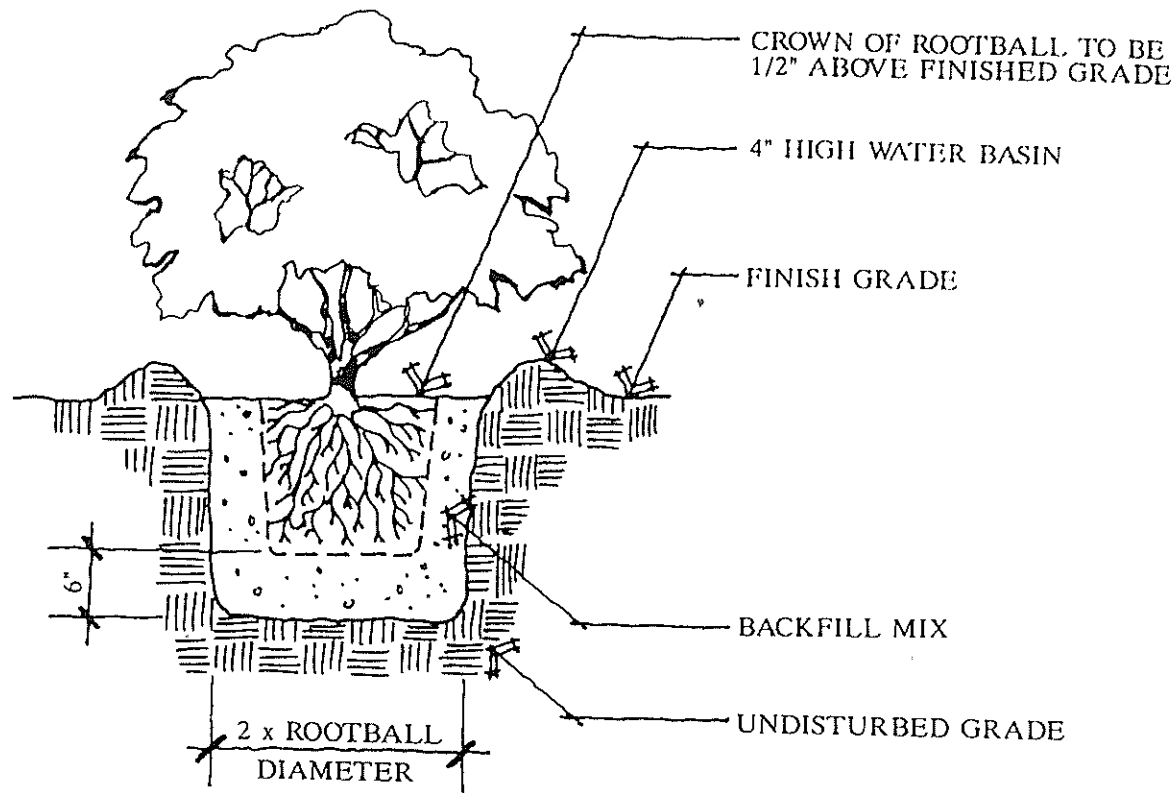
PLAN VIEW

TYPICAL TREE PLANTING & STAKING

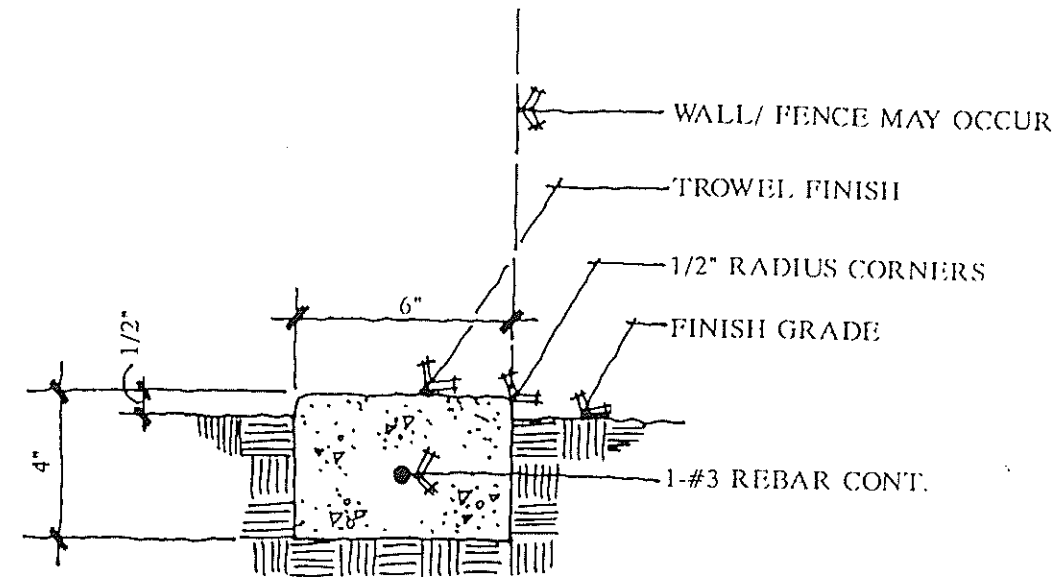
EXHIBIT 29a
 PLANTING DETAILS

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**



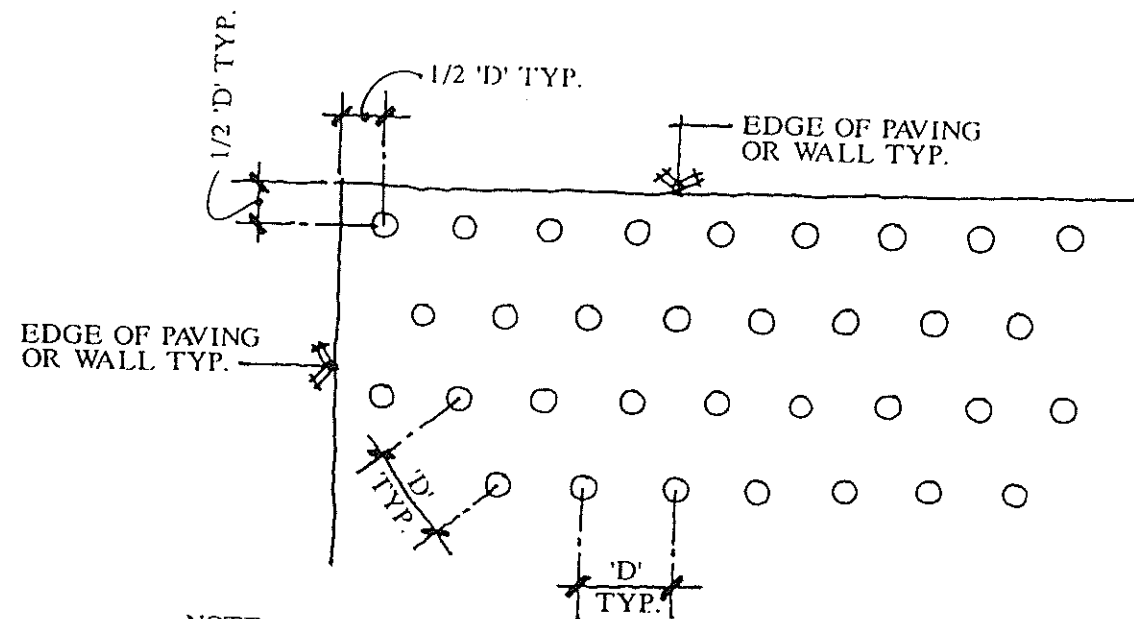
TYPICAL SHRUB PLANTING



NOTES:

PROVIDE 1/2" PREMOLDED EXPANSION JOINT AT 20'-0" O.C. (TYP.).
 PROVIDE TOOL JOINTS 10'-0" (TYP.).
 PROVIDE 1/2" PREMOLDED EXPANSION JOINT WHERE ADJACENT TO WALL, CONT.
 CONCRETE HEADER WILL BE USED IN ALL COMMON OR PUBLIC USE LANDSCAPE AREAS.

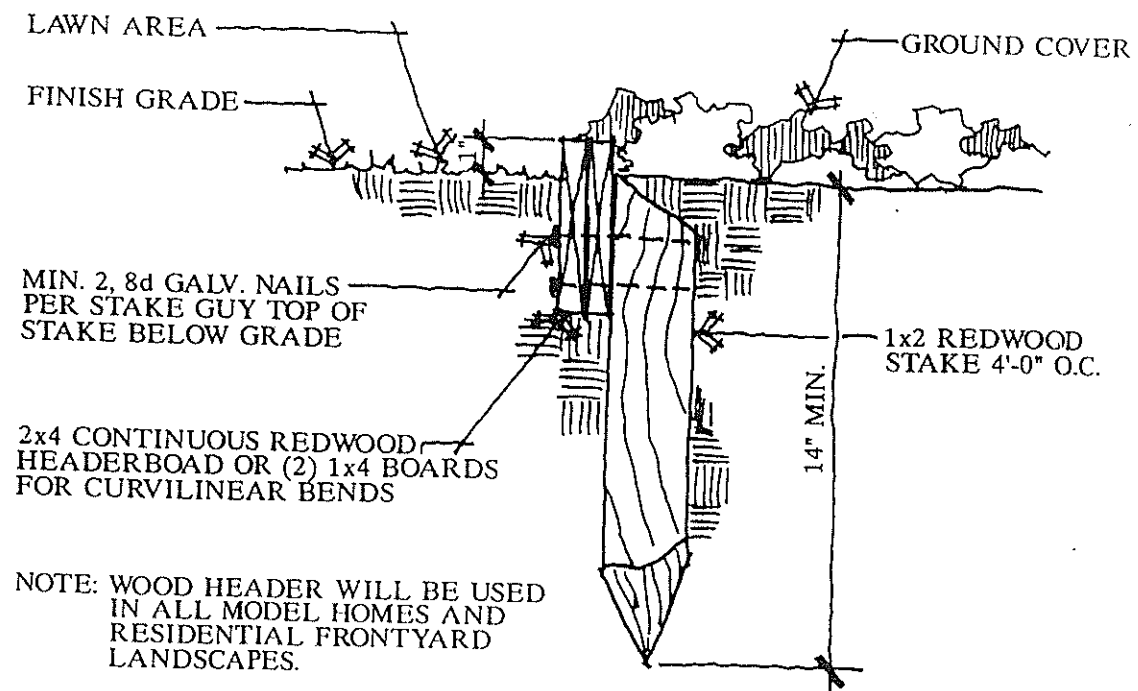
TYPICAL CONCRETE HEADER



NOTE:

LOCATE PLANTS ON TRIANGULAR SPACING AS SHOWN.
 'D'= ON CENTER SPACING AS NOTED ON PLAN.

TYPICAL GROUNDCOVER SPACING



NOTE: WOOD HEADER WILL BE USED IN ALL MODEL HOMES AND RESIDENTIAL FRONTYARD LANDSCAPES.

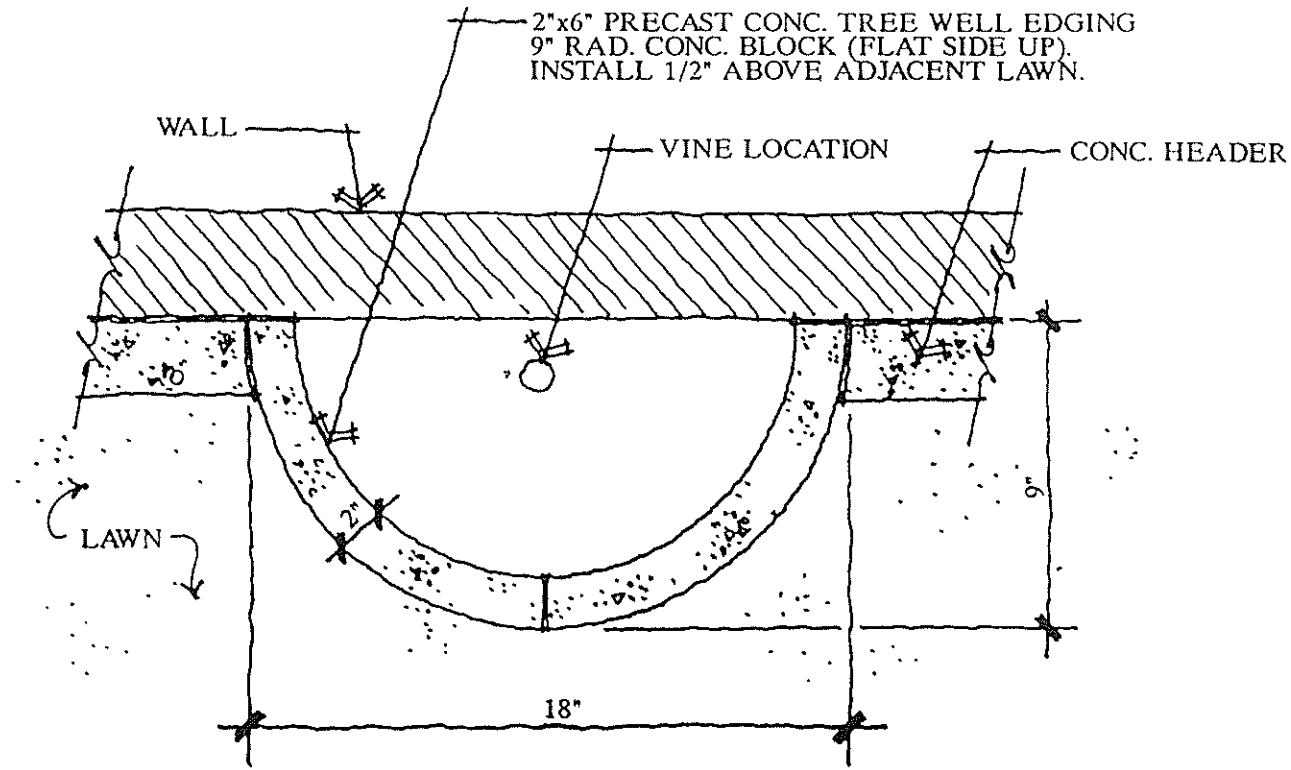
TYPICAL WOOD HEADER

EXHIBIT 29b

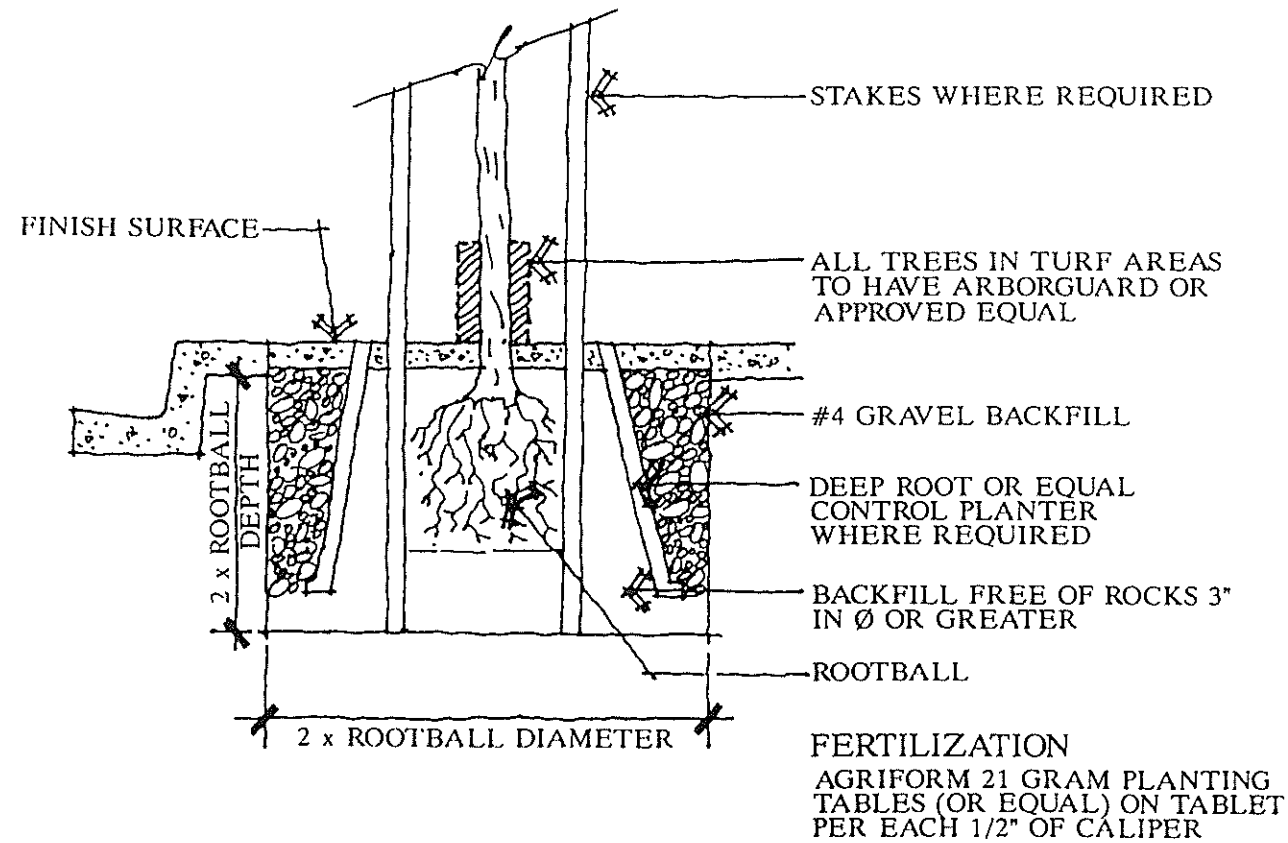
PLANTING DETAILS

NOT TO SCALE

LAND-PLAN
DESIGN
GROUP
Planning/Landscape Architecture



TYPICAL VINE WELL IN TURF AREAS



TYPICAL ROOTGUARD

EXHIBIT 29c
PLANTING DETAILS

NOT TO SCALE

**LAND-PLAN
 DESIGN
 GROUP**
 Planning/Landscape Architecture

c) Guarantees

- The Contractor shall guarantee trees for a minimum of one year after final acceptance.
- Trees not installed according to the requirements or that fail to grow or any trees that are injured or damaged during planting operation, or previously existing trees now damaged or dead, shall be removed and replaced by the Contractor at his own expense within 15 days after notification by the City. Replacement plant materials shall be guaranteed and specified as were the original trees.

9) Landscape Maintenance



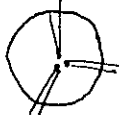
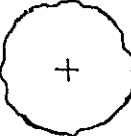
- a) The Master Developer shall maintain all common landscape areas for a period of one (1) year upon completion of installation. The beginning of the one (1) year period shall be the date the City or Landscape Architect issues a letter of preliminary acceptance to the Developer. By this date the turf areas shall be in a thriving condition of 100% coverage in the opinion of the City or Landscape Architect, weed-free, and shall have been mowed at least twice.
- b) Final acceptance of the common landscape areas shall consist of written approval by the City, the Master Developer and Landscape Architect stating the installation is satisfactory and conforms to the approved plans and specifications. In addition, all punchlist items during the one (1) year period must successfully be completed.
- c) All irrigation systems shall be checked on a weekly basis for proper functioning of the systems. Lawns shall be mowed and edged as necessary with the debris collected. Trees and shrubs shall be pruned only if needed. All landscape areas shall be fertilized and shall be kept weed-free. Litter, rodent and graffiti control shall also be the responsibility of the City.
- d) The permanent landscape maintenance of the common landscape areas shall be the responsibility of the Landscape Maintenance District. The maintenance shall be inclusive of practices necessary to keep all landscape areas healthy, neat and trimmed. Diseased and/or dead plant materials shall be removed and replaced. Hard surface areas shall be kept free from debris. The Landscape Maintenance District shall also be responsible for the maintenance of street lighting. An easement shall also occur along the surface of perimeter theme walls, entry walls and trail fences adjacent to common landscape areas to provide the ability to repair/maintain walls that are not adequately maintained by the adjacent property owner.

10) Frontyard Landscape

The frontyard landscape for each individual single family residence shall include the minimum requirements of an automatic irrigation system, hydroseeded, sodded or stolonized turf, street trees at 30' on center maximum average, one frontyard tree, shrubs, groundcovers (see Exhibit 30), and wood headers.

RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**

LEGEND

-  TURF
-  PLANTING BED WITH (10)-5 GALLON SHRUBS AND GROUNDCOVER (ADDITIONAL SHRUBS MAY BE 1 GALLON SIZE)
-  FRONTYARD TREE 15 GALLON SIZE MINIMUM (1 PER LOT TYPICAL)
-  STREET TREE 15 GALLON SIZE (30 FEET ON CENTER MAXIMUM AVERAGE)

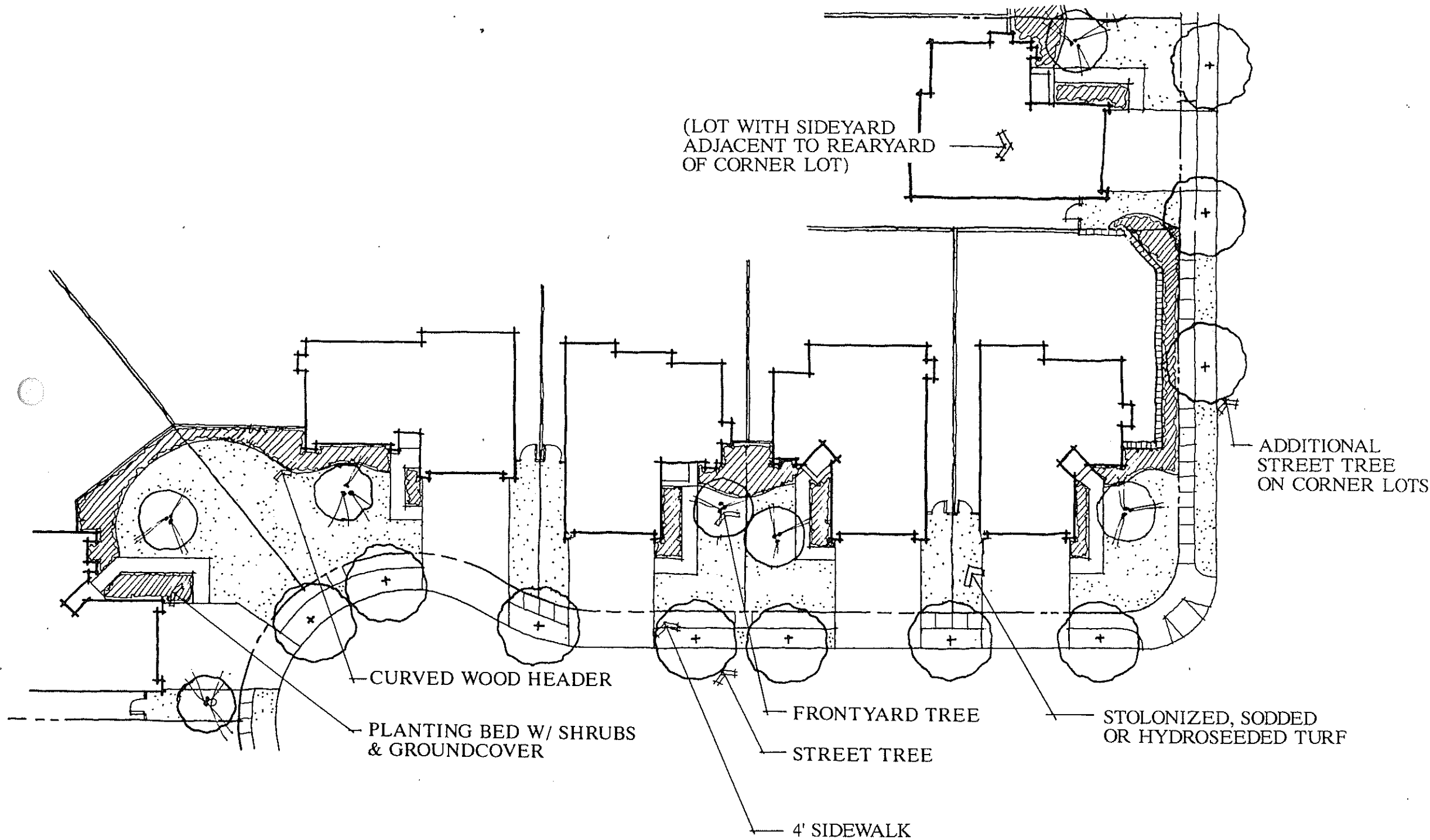
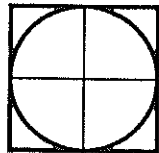


EXHIBIT 30
FRONTYARD LANDSCAPE

NOT TO SCALE



LAND-PLAN DESIGN GROUP
 Planning/Landscape Architecture

2. Architectural Guidelines and Standards

The architectural design concept of Riverglen is one which encourages project developers to achieve both diversity, energy efficiency and harmony in architectural design, and to achieve excellence in building quality and construction.

The concept is not intended to limit design possibilities, but to allow flexibility and freedom to develop architectural solutions most appropriate for each site. The architecture to be developed in each neighborhood or parcel should maintain an individual identity, yet blend into and contribute to the community as a whole.

The specific design guidelines listed within the Detached Residential and Commercial sections are as follows:

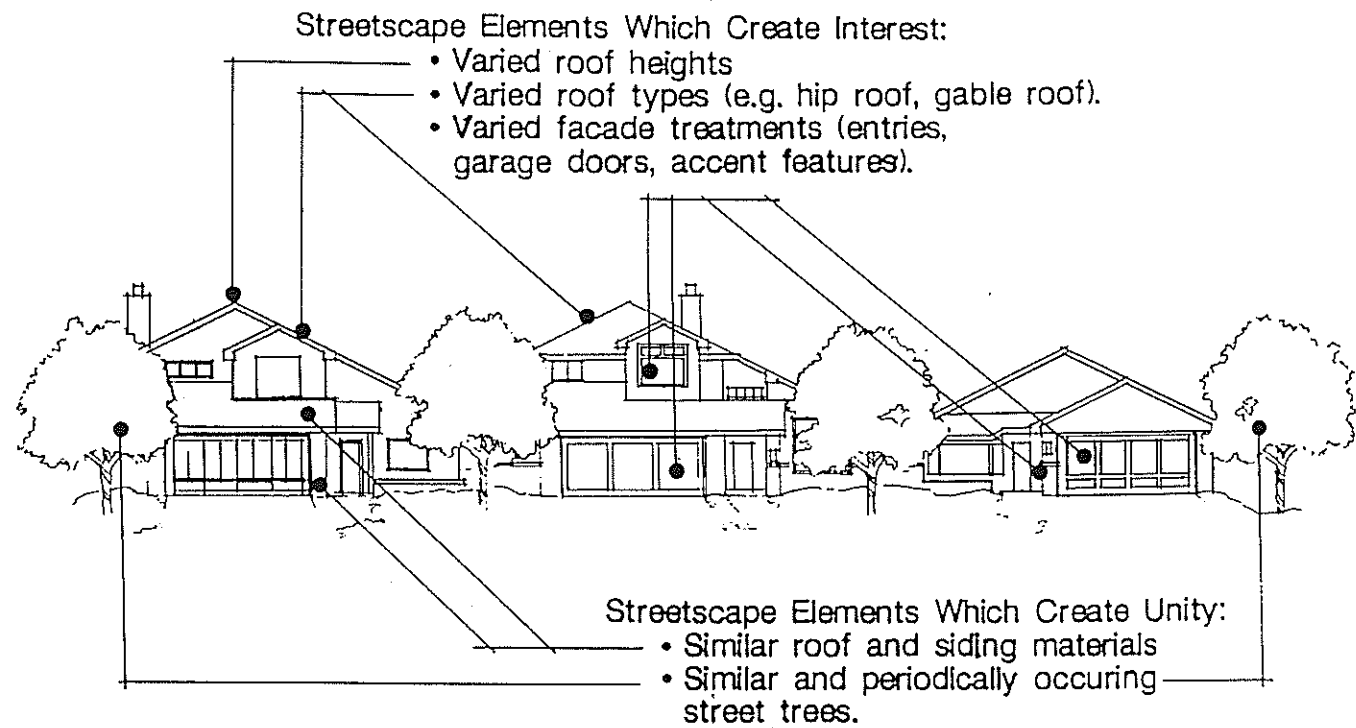
a. Architectural Guidelines for Detached Residential Structures (See Exhibit 31)

1) Goals

- a) Create residential neighborhoods and individual residential architectural structures that are visually pleasing.
- b) Create residential streets and neighborhoods that are differentiated from each other and that contribute to the creation of distinctly recognizable places.
- c) Discourage residential architecture that has little variation or that appears visually monotonous.
- d) Encourage residential architecture that coordinates well with the general character of architecture in the surrounding neighborhood with respect to building materials and styles.
- e) Encourage energy-efficient building techniques.

2) Design Principles

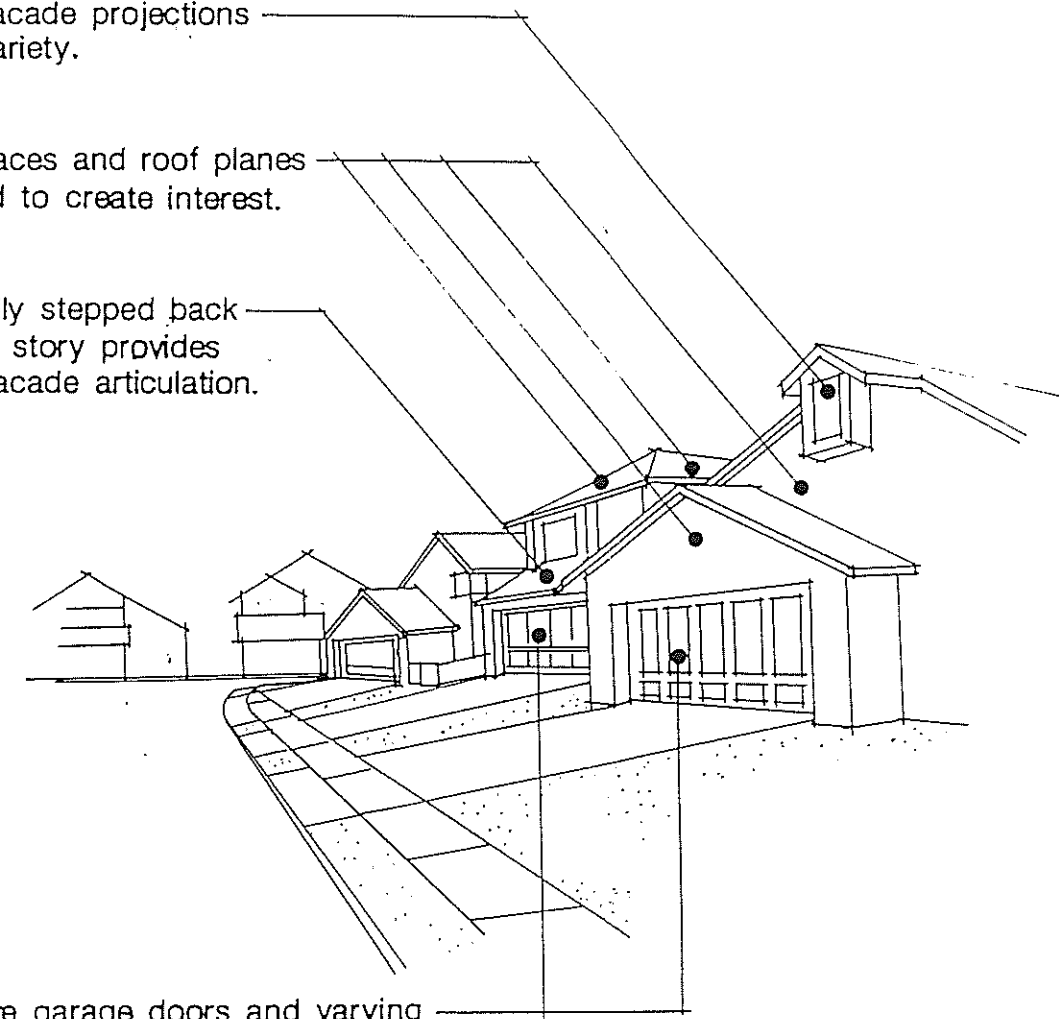
- a) Building faces (particularly front elevation planes) and roof planes can be varied in placement and size to avoid visual monotony, and to create interest and human scale.
- b) Further architectural articulation of building faces and roof planes can be accomplished through the introduction of sub-elements such as projections, dormers, roof ridge jogs, roof overhangs, building face trims, recessed doorways, bay windows, or entry courts.
- c) In two-story structures, varied and horizontally off-set ground and second level floor plans can be used to produce exterior building and roof plane articulation.



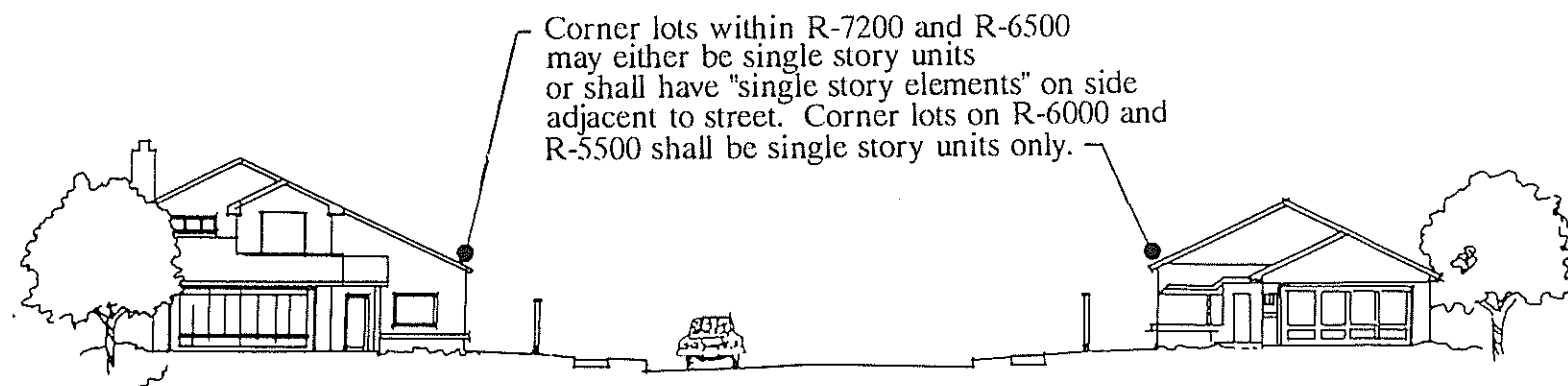
Building facade projections provide variety.

Building faces and roof planes are varied to create interest.

Horizontally stepped back at second story provides building facade articulation.



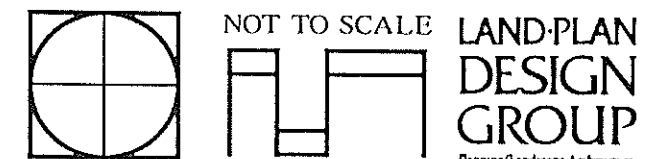
Distinctive garage doors and varying setbacks aids orientation of residents.



NOTE: Above are concepts only and are subject to final design through architectural review process.

EXHIBIT 31

**ARCHITECTURAL
 GUIDELINES
 DETACHED
 RESIDENTIAL**



- d) In two-story structures, scale and vertical transition can be created in the front of the structure by “stepping back” the second story and providing a partial roof or trellis at the top of the first-story vertical building plane.
- e) Emphasis and balance between various building architectural elements (i.e., between garages and entries) can be created by focusing architectural detail upon the area of desired prominence. Visual focus can be created through increasing texture, detail, color or trim in the feature to be emphasized. Articulation of entries including doors, alcoves, entry walls, gates, overhead trellises/sub-roofs, light fixtures and contrasting colors, is a common method of creating building visual/functional focus and sense of identity.
- f) An accent window having a different or articulated shape (i.e., rounded, diamond, and/or with contrasting molding) or with a finer texture (i.e., many small panes) can be used to create interest on building elevations.
- g) When used on roofs, solar energy equipment such as solar panels, solar modules, or piping should be well integrated into roof design in terms of placement and color.
- h) Front and side yard landscaping can be used to focus attention, create visual rhythm, or screen from view various architectural features.

3) Residential Building Materials

a) General

- A plain surface can be embellished through the use of localized contrasting materials as accents or trims.
- Instead of using contrasting materials on the same flat building surface it is best to offset the contrasting materials on different building planes.
- To provide interest and/or architectural accents on structures predominantly finished in stucco, moldings, cornices, insets or offsets can be used. Similarly, to create interest, portions of the exterior building surface can also be covered with a complimentary building material, texture, or color.
- The use of many different styles of windows on one building plane should be avoided (i.e., a home front elevation with two different aluminum framed sliding glass windows next to a wooden sash windows with exterior shutters).
- Any bare metallic surfaces (vents, pipes, gutters, flashing, etc.) should be painted or covered from view in a manner harmonious with the general exterior architectural treatment of the building.

b) Colors

Color is intended to act as a primary theme-conveying the element, reflective of the architectural styles. Wall finish colors shall be subdued, emphasizing pastel tones that shall complement the environment. Accent colors used to complement the wall surfaces are permitted and encouraged in moderation. Wood trim shall be finished with light-colored stains or painted as accents.

- Permitted or Encouraged

- Light textured stucco and/or siding.
- Two siding materials for one building allowed only where incorporated with cantilevered balcony or other extended architectural element. Otherwise one siding material per building side.
- Natural stains on wood trim.
- Tile, stone or brick as accents.

- Prohibited

- Painted brick and stone.
- Roughly textured stucco.
- Mirrored glass.
- Aluminum or vinyl/plastic siding.

c) Roof Forms and Materials

Principal roof forms shall be gable or hip with pitches from a minimum of 4:12. All roof material colors should provide continuity in texture, color and character.

- Permitted or Encouraged

- Simple roof geometry, emphasizing long, horizontal lines.
- Roof pitches for the porch may be slightly shallower than that of the building (2:12).
- Large roof overhangs and exposed rafter ends.
- Hipped or gabled roofs.

- Roof overhangs and/or exposed rafter ends.
- Flat concrete tile or barrel tile (“S” tile) roofs.
- Prohibited
 - Exterior fiberglass materials.
 - Gambrel, mansard and “period” style roofs.
 - Flat roofs (except in limited areas or carports).
 - All antennas.
 - Wood shake.

d) Windows and Doors

Recessed doors, windows and wall openings are characteristic elements of the allowed architectural styles and convey the appearance of thick protective exterior walls. Fully recessed openings are encouraged.

Particular attention must be given to shading of windows with western exposure. Operable windows are encouraged to allow cross-ventilation.

- Permitted or Encouraged
 - Relate the building design to the out-of-doors through generous use of glazing in doors and windows.
 - Sliding glass doors or french doors.
 - Decorative front doors.
 - Pedimented windows and doors.
 - Windows banded to emphasize the horizontal. Divided lights.
 - Color accented window frames and doorways.
 - Picture windows with simple wood trim.
 - Arched windows and doorways.

- Prohibited
 - Reflective glass or awnings.
 - Metal awnings.

e) Chimneys

As an architectural form, chimneys shall be simple in design to insure a consistency of character and style.

- Required
 - Forms and materials fitting to the architectural style.
- Prohibited
 - Free standing or exposed flues.
 - Extravagant metal fireplace caps.

f) Garage Doors

Garage doors shall incorporate a variety of design styles to provide a major visual element in single family detached housing. Accent colors are encouraged to complement the architecture and provide visual variety along streetscape.

- Required
 - Elegant and refined design styles.
 - Quality materials and trims.
- Prohibited
 - Bold trim and patterns.

g) Balconies, Porches and Handrails

- Required
 - Good craftsmanship and authentic detail.
- Permitted or Encouraged
 - Covered porches.

- Stucco or wood.
- Simple, clean, bold projections.
- Wood trimmed details.
- Veranda style porches with open railings.
- Prohibited
 - Pipe railing.

h) Exterior Stairs

Simple, clean, bold projections of stairways are encouraged to complement the architectural massing and form of the building.

- Required
 - Good craftsmanship and authentic detail.
- Permitted or Encouraged
 - Stairway design and location to complement building form.
 - Accent trim of complementary colors.
 - Simple, clean, bold projections of stairways to complement the architectural massing and form all buildings.
 - Enclosed or open railing.
 - Smooth stucco, wrought iron or simple wood railing.

i) Columns

Columns incorporated as a structural or aesthetic design element shall convey a solid, durable image as expressed through bold forms. Columns may be used as a free-standing element or as support for porch roofs and balconies.

- Required
 - Good craftsmanship and authentic detail.
- Permitted or Encouraged
 - Simple massive square wood posts.

- Wood plant-ons.
- Square stucco columns.
- Free-standing plaster archways.
- Prohibited
 - Applied veneers on columns.
 - Thin posts, such as small metal pipe columns.
 - Metal posts (single family dwellings).

b. Architectural Guidelines for Commercial Structures (See Exhibit 32)

1) Goals

- Commercial buildings and developments which reflect creativity and innovation while remaining harmonious with the overall community.
- Visually pleasing commercial projects which coordinate well with surrounding land uses.
- Commercial uses which are functionally efficient.
- Commercial uses which encourage user interaction.
- Encourage energy-efficient building techniques.

2) Design Principles

- Long and straight building facades facing public view can be architecturally articulated through the introduction of interest-creating building mass, forms, textures and/or colors.
- Insets, columns, projections and exterior material changes can be used to architecturally demarcate and create interesting building entries.
- Building and exterior openings such as doors or windows can be used in a repetitive pattern to create rhythm.
- Service entries can be shielded from public view by being placed towards the rear and non-public view sides of buildings.
- Service, utility and trash collection areas and ground-mounted equipment should be screened from public view (public streets, parking areas, office pedestrian walks, etc.) by permanent walls and landscaping. Screening walls and landscaping can be integrated with respect to forms and materials with the surrounding architecture and landscaping of parent buildings.
- Retail commercial building exterior design should anticipate signage location, size and coloration so that eventual tenants, occupants can properly provide signage for the buildings. Multi-tenant projects should develop a comprehensive sign program that addresses tenant as well as project sign types and location.
- Fountains, plazas, sculptures, clock towers and other central features can be used as a focal point or center of confluence for several buildings grouped together.

**RIVERGLEN
SPECIFIC PLAN**

Prepared for: **UNITEX**

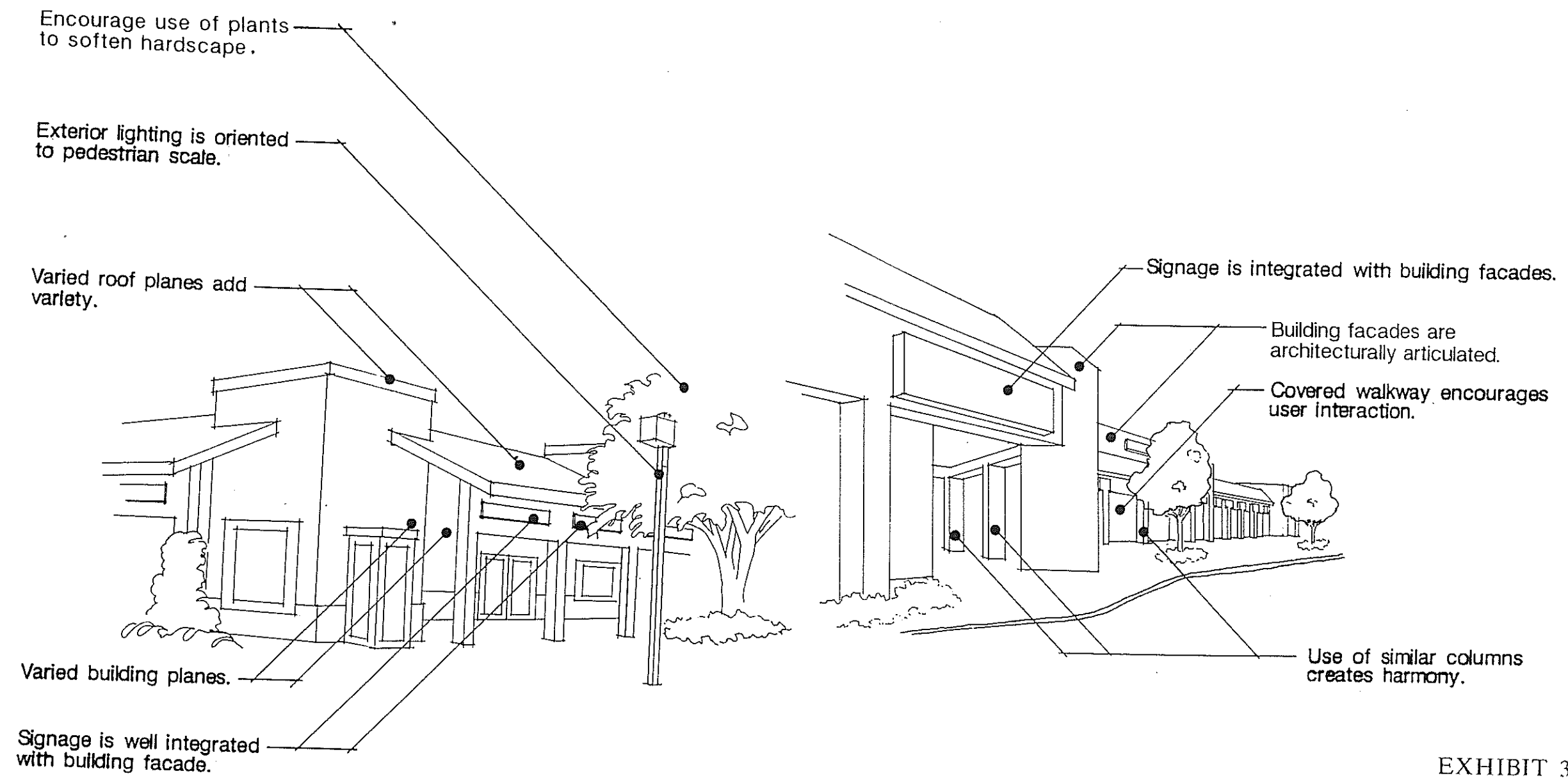
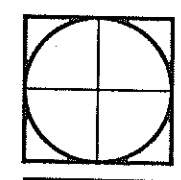


EXHIBIT 32
ARCHITECTURAL
GUIDELINES
COMMERCIAL
STRUCTURES

NOT TO SCALE



LAND-PLAN
DESIGN
GROUP

Planning/Landscape Architecture

NOTE: Above are concepts only and are subject to final design through architectural review process.

- Exterior lighting can be oriented to the pedestrian by utilizing pedestrian scale lamp poles/standards and wall mounted lamps that light adjacent pedestrian walkways.

3) Commercial Building Materials

- Contrasting exterior building materials can be used to create interest and avoid monotony.
- Accent building face areas or accent bands of contrasting materials, patterns, textures or color can be used to create interest, focus and/or unity.
- Reflective glass-faced buildings should not be used in areas where existing or future surrounding buildings would be adversely affected by glare. Similarly, buildings with large amounts of reflective glass that would cause glare are not appropriate adjacent to areas regularly used by motorists or pedestrians.

E. Grading Plan

1. Plan Description

The proposed project site is located in a relatively flat area with no significant topographical features. The grading for the site (see Exhibit 33) is designed to accomplish the following:

- a. Provide for a balanced cut and fill situation so that neither import nor export of dirt is required.
- b. Allow adequate drainage of the site.

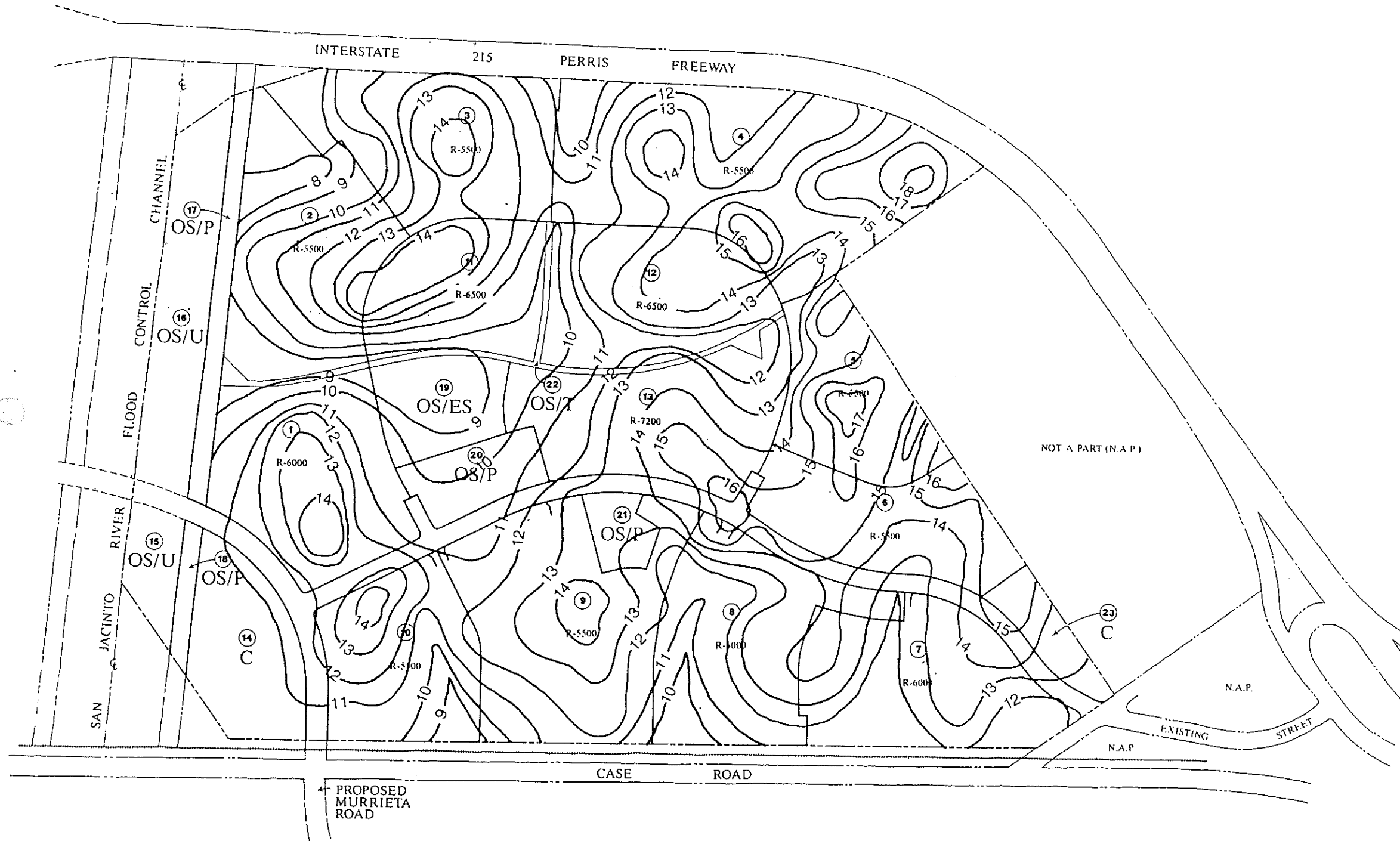
The grading of the site shall be performed by balancing cut and fill on site and minimizing wind and water erosion resulting from development activities. Mitigation measures such as watering during grading operations shall be followed. Plans for phased rough and precise grading as well as erosion control plans shall be approved by the City prior to any grading operation.

It is anticipated that earthwork quantities will be balanced in logical areas on-site, so that no imported dirt will be required. The excavated material will be distributed primarily in fill areas. This will sufficiently elevate several residential and other areas to allow surface drainage to flow generally toward the San Jacinto River.

2. Grading Plan Development Standards

- a. All grading activities shall be in substantial conformance with the overall grading concept as illustrated on the Grading Plan per Exhibit 33.
- b. Prior to any development within any area of the Specific Plan, an overall conceptual grading plan for the portion in process shall be submitted for Planning Department approval. The grading plan for each such area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that area, and shall include techniques utilized to prevent erosion and sedimentation during and after the grading process; approximate time frames for grading; and identification of areas which may be graded during higher probability rain months (January through March); and preliminary pad and roadway elevations.
- c. All streets shall have a minimum gradient of 0.5%.
- d. Prior to initial grading activities, a soils report and geotechnical study shall be performed that further analyze on-site soil conditions and include appropriate measures to control erosion and dust.
- e. Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects.

RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**



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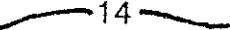
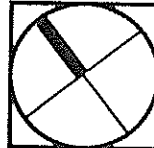
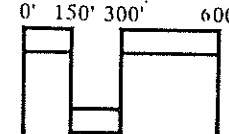
 14 **CONTOURLINE**

EXHIBIT 33
GRADING PLAN



LAND-PLAN DESIGN GROUP
Planning/Landscape Architecture

SOURCE:
 ALBERT A. WEBB ASSOCIATES

- f. Grading work shall be balanced on-site wherever possible.
- g. Graded but undeveloped land shall be maintained weed-free.
- h. Grading shall not be permitted prior to approval of grading permits for the development area in question.
- i. All cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal to one (1) vertical. The grading plan will reflect a contouring and landscaping program intended to control erosion.
- j. Grading will be performed in accordance with appropriate City of Perris policies and guidelines.
- k. A paleontologist should attend pre-grading meetings should be empowered to temporarily halt or redirect grading operations if fossils are uncovered during grading.

F. Public Facilities

1. Drainage Plan

a. Plan Description

The project site is subject to inundation by 100 year storm runoff from the San Jacinto River Basin. Improvements which are planned by the Riverside County Flood Control and Water Conservation District (Flood Control District) for channeling storm flow for the San Jacinto River basin are discussed in the Master Drainage Plan for the San Jacinto River, and include the San Jacinto Storm Drainage Channel which is the northwestern boundary of the project (Exhibit 34).

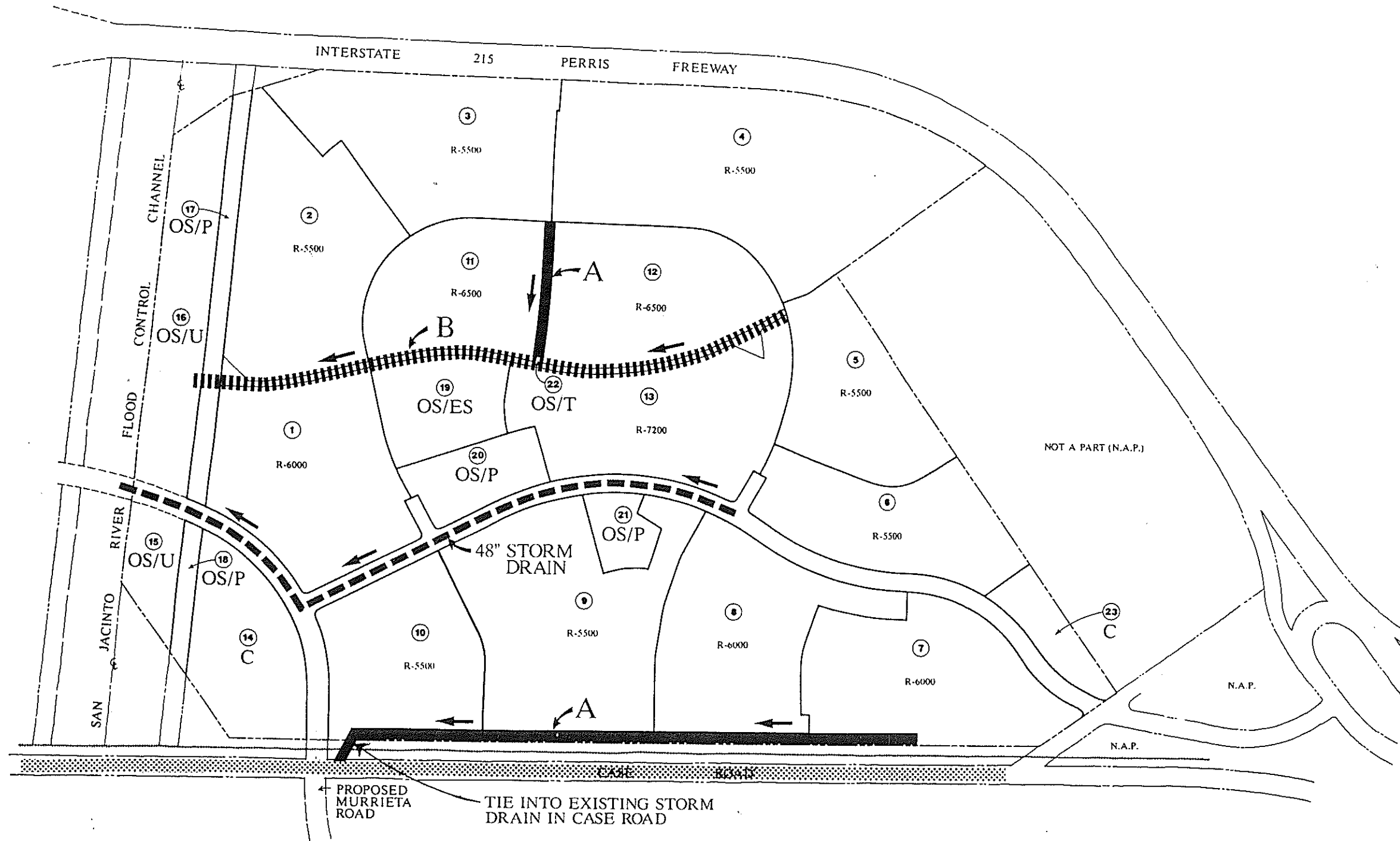
The property is within the San Jacinto River Improvement District 4-2, and has been assessed a fee by the Flood Control District for the construction of the San Jacinto Storm Drain Channel. Construction of the channel by the Flood Control District will remove the project site from the 100 year floodplain of the San Jacinto River.

The Drainage Plan (Exhibit 34) presents the storm drain improvements necessary for flood control on the project site. Elements of the drainage system include:





- 1. The San Jacinto Channel will be constructed by the Flood Control District.
- 2. Approximately 5,000 lineal feet of subchannels (Exhibit 34). These subchannels will have a carrying capacity of approximately 50 to 200 cubic feet per second (cfs) at a slope of 0.2%. The subchannels are necessary to

RIVERGLEN SPECIFIC PLAN

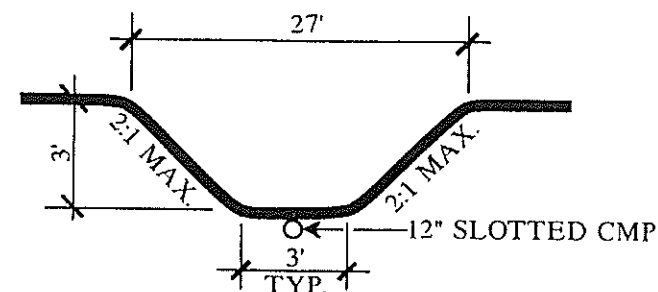
Prepared for: **UNITEX**



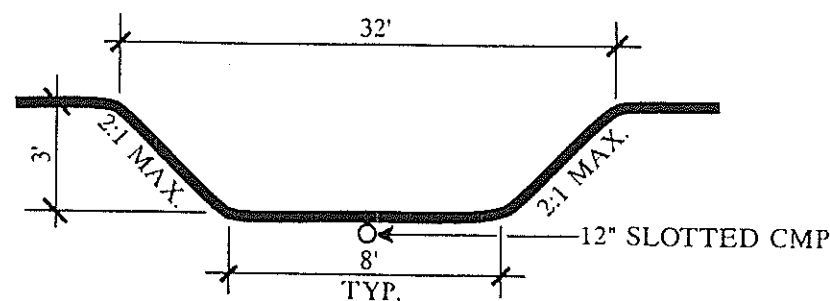
LEGEND

-  DRAINAGE CHANNEL A
-  DRAINAGE CHANNEL B
-  48" STORM DRAIN
-  EXISTING STORM DRAIN (IN CASE ROAD)

NOTE: SEE EXHIBITS 21 AND 23 FOR TREATMENT OF DRAINAGE CHANNEL/ TRAILS



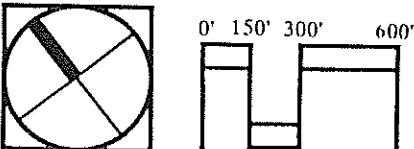
DRAINAGE CHANNEL A
NOT TO SCALE



DRAINAGE CHANNEL B
NOT TO SCALE

SOURCE:
ALBERT A. WEBB ASSOCIATES

EXHIBIT 34 DRAINAGE PLAN



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channel runoff from the project site since the San Jacinto Channel has been designed with a water surface level 2 to 3 feet lower than the existing ground surface. The need for the subchannels would be eliminated if the design of the San Jacinto Channel was lowered.

b. Development Standards

Standards will be used in the detailed engineering design of the storm drain system so that proposed facilities will:

- Protect homes, schools, commercial, and industrial areas;
- meet the requirements of the RCFCWCD and the City of Perris.

2. Sewer Plan

a. Plan Description

The Riverglen project site is located within Eastern Municipal Water District (EMWD), the public agency responsible for the provision of sewer and water service to the project site.

EMWD's Perris Valley Treatment Plant is located southeast of the project site across Case Road. A 24" diameter sewerline is located in Case Road adjacent to the southern boundary of the project site, and 42" sewer main is proposed along the eastern boundary of the project and should begin construction in the fall of 1991.

The quantity of wastewater expected from the proposed project was estimated based on the proposed land uses for the area (Table B). A total of approximately 569,400 gallons per day of wastewater is expected to be generated by development within the project area. Facilities to serve the project are shown on Exhibit 35 and includes a system of 8" and 12" diameter sewerlines throughout the project site.

The proposed sewerlines will connect to the existing sewerlines at the project site. The wastewater collected on the project site will be discharged into the Perris Valley Treatment Plant. Eastern Municipal Water District is currently in the process of preparing a Master Sewer Plan which will also be available shortly. When the Master Plan is available, modifications to the improvements proposed within this Specific Plan may be necessary.

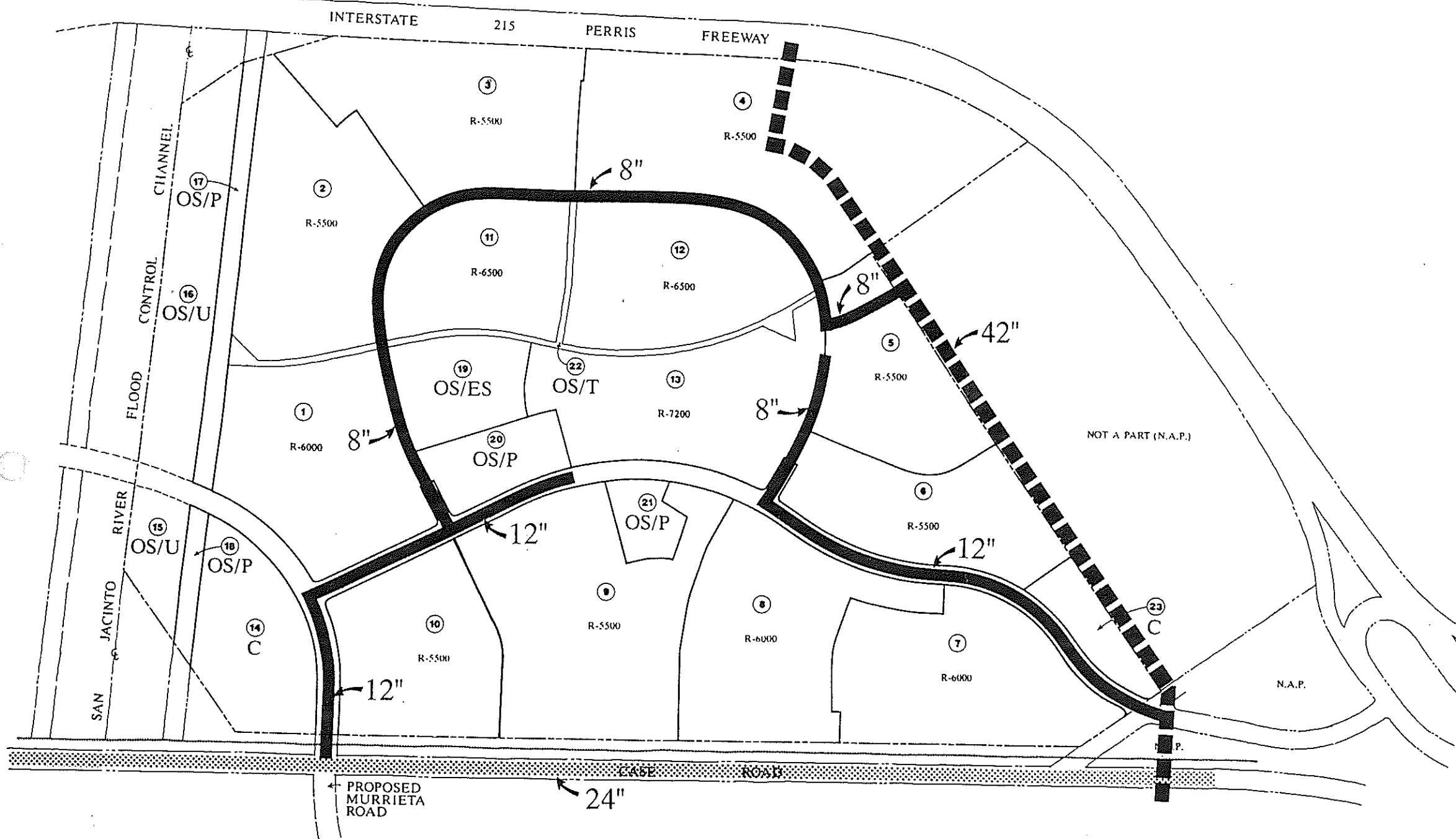
b. Development Standards

Standards will be used in the detailed engineering design of the wastewater collection system so that the proposed facilities:

- will be adequately sized to meet the requirements of landowners within the project area based on proposed land uses;
- will meet Eastern Municipal Water District requirements;
- will meet the requirements of the City of Perris; and
- are installed in accordance with the requirements and specifications of the Riverside County Health Department.

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**



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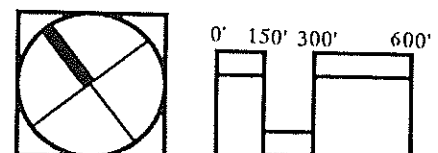
-  8" & 12" SEWERLINES
-  24" EXISTING SEWERLINE
-  42" SEWERLINE (BY OTHERS)

EXHIBIT 35 SEWER PLAN



**LAND-PLAN
DESIGN
GROUP**
Planning/Landscape Architecture

SOURCE:
ALBERT A. WEBB ASSOCIATES

TABLE B
WASTEWATER GENERATION

<u>Land Use</u>	<u>Acres</u>	<u>Max. DUs</u>	<u>Average Day Generation (1)</u> <u>(Gallons)</u>
Residential: (7,200 SF)	19.9	86	34,400
(6,500 SF)	32.1	151	60,400
(6,000 SF)	60.2	286	114,400
(5,500 SF)	152.9	734	293,600
C	15.2	-	45,600
OS/ES	7.0	-	21,000
TOTAL			569,400

Note: (1) Residential average wastewater generation = 100 gal/cap/day and 4 people/DU
 Non-residential average wastewater generation = 3,000 gal/ac/day

3. Water Plan

a. Plan Description

The project site is within the 1627' service zone of EMWD. There currently exists a 33" diameter waterline in Murrieta Road as shown on Exhibit 36. Other approved specific plans in the area propose a 12" diameter line in Case Road. In addition, a booster station currently exists just west of Murrieta Road approximately 1 mile south of the project.

Average day and peak day water demands for the project site were determined based on proposed land uses (Table C). A fire flow of 5000 gallons per minute (gpm) with a 30 pound residual pressure was used in the calculations. The average day water demand is estimated to be approximately 2,285,520 gallons; peak day demand is estimated to be approximately 3,371,040 gallons. Based on expected water needs, the conceptual water distribution facilities were determined (Exhibit 36).

It is anticipated that the proposed project will connect with the existing waterlines at the project site. An internal loop system of 8" and 12" waterlines is proposed for the majority of the site. At ultimate development, a 4 million gallon reservoir will be required for the water supply needs of the project.

Eastern Municipal Water District is currently in the process of preparing a Master Water Plan. When the Master Plan is available, modifications to the improvements proposed within this Specific Plan may be necessary.

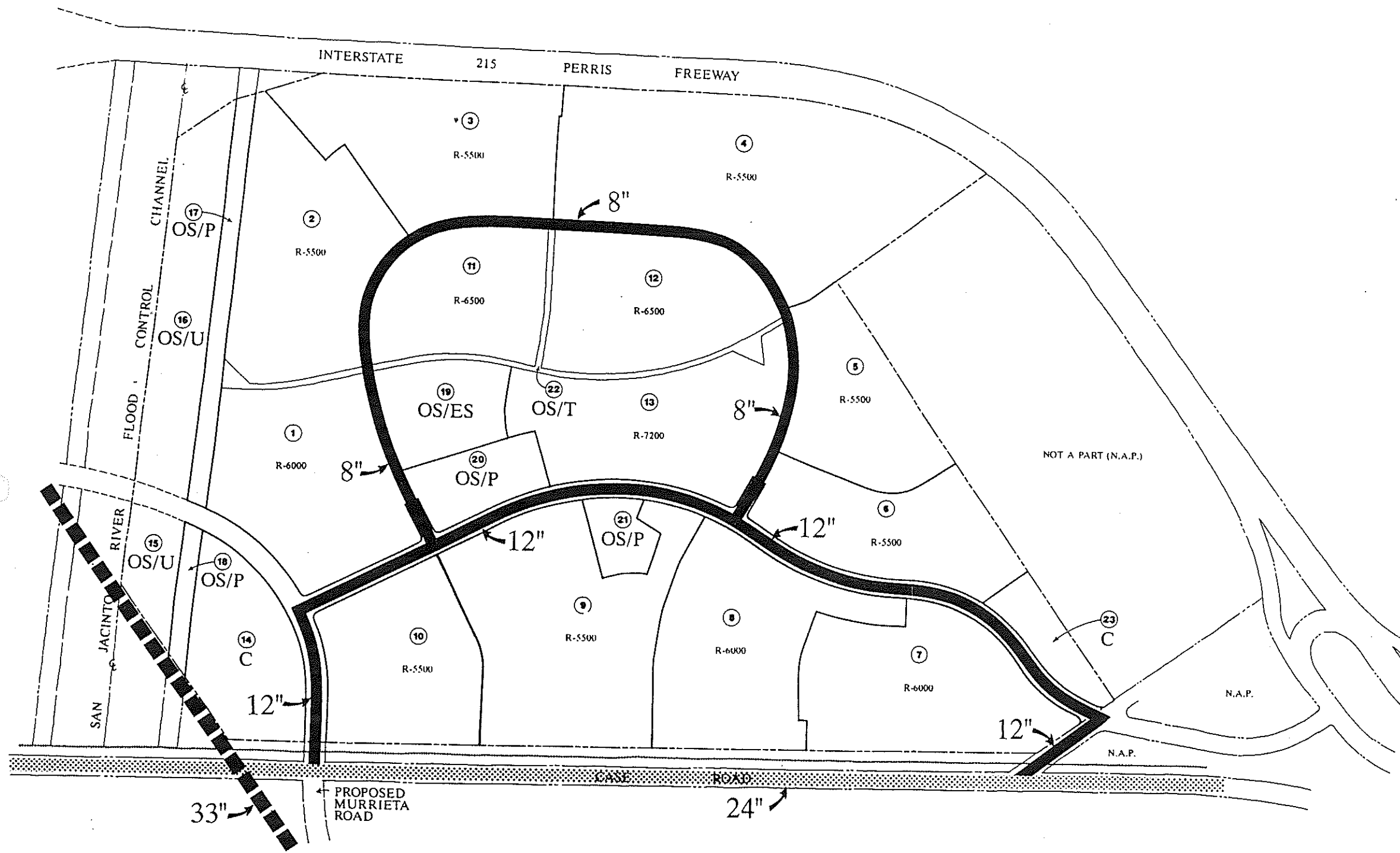
b. Development Standards

Standards will be used in the detailed engineering design of the water distribution systems so that proposed facilities:

- will be adequately sized to meet the requirements of landowners within the project area based on proposed land uses;
- will meet Eastern Municipal Water District requirements;
- will meet the requirements of the City of Perris; and
- are installed in accordance with the requirements and specifications of the Riverside County Health Department.

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**



LEGEND


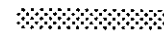

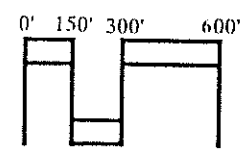
-  8" & 12" WATERLINES
-  24" WATERLINE (BY OTHERS)
-  33" EXISTING WATERLINE

EXHIBIT 36
WATER PLAN



LAND-PLAN
DESIGN
GROUP
Planning/Landscape Architecture

SOURCE:
ALBERT A. WEBB ASSOCIATES

TABLE C
WATER DEMAND

<u>Land Use</u>	<u>Acres</u>	<u>Max. DUs</u>	<u>Avg. Day Demand (Gallons)</u>	<u>Peak Day Demand (Gallons)</u>
Residential:				
(7,200 SF)	19.9	86	68,800	137,600
(6,500 SF)	32.1	151	120,800	241,600
(6,000 SF)	60.2	286	228,800	457,600
(5,500 SF)	152.9	734	587,200	1,174,400
C	15.2	-	54,720	109,440
OS/ES	7.0	-	25,200	50,400
<hr/>				
SUB-TOTALS			1,085,520	2,171,040
Fire Flow = 5,000 gpm x 240 minutes			<u>1,200,000</u>	<u>1,200,000</u>
TOTAL STORAGE REQUIRED			2,285,520	3,371,040

Note: 1. Residential Average Day Demand = 200 gal/cap/day and 4 people/DU
 Non-residential Average Day Demand = 3,600 gal/ac/day
 2. Peak Factor = 2 (Residential and Non-Residential)

4. Reclaimed Wastewater Plan

a. Plan Description

Eastern Municipal Water District discharges treated effluent from the Perris Valley Treatment Plant into a 36" diameter effluent line. The reclaimed wastewater is then used for irrigational purposes within EMWD's service area.

It is anticipated that reclaimed wastewater will be used for the maintenance of common landscaped areas within the project area. Appropriate facilities will be installed to convey the reclaimed wastewater to areas within the site for irrigation. (See Exhibit 37).

b. Development Standards

Standards will be used in the detailed engineering design of the reclaimed wastewater systems so that proposed facilities:

- will be adequately sized to meet the requirements of landowners within the project area based on proposed land uses;
- will meet Eastern Municipal Water District requirements;
- will meet the requirements of the City of Perris; and
- are installed in accordance with the requirements and specifications of the Riverside County Health Department.

5. Utilities

The master developer is currently working with the Southern California Edison Company, General Telephone Company, Southern California Gas Company and various cable television companies to receive their services for electricity, telephone, gas and cable television, respectively.

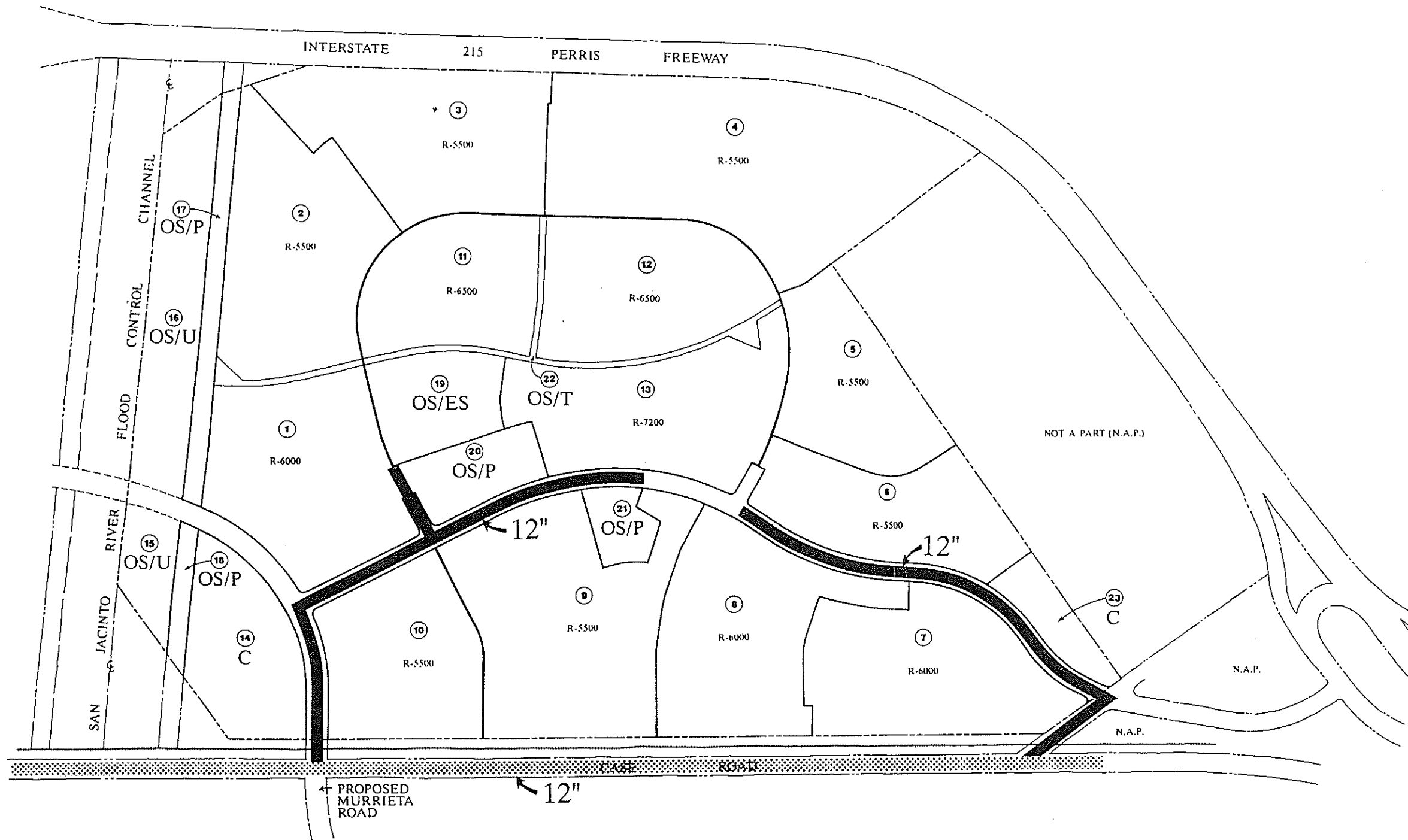
6. Community Services

Agencies providing school facilities, fire protection, police protection, and solid waste disposal are described in the Environmental Impact Report. The master developer is working with the appropriate agencies to guarantee that satisfactory level of these services are provided for the development. A brief description of services are as follows:

a. School Facility

The project falls within the Romoland School District. Based on the school district's generation factor of .7, it has been determined that one elementary school facility is required for this community.

**RIVERGLEN
SPECIFIC PLAN**
Prepared for: **UNITEX**



LEGEND



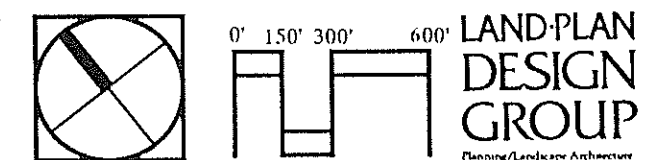
-  12" RECLAIMED WASTEWATER LINE
-  12" RECLAIMED WASTEWATER LINE (BY OTHERS)

EXHIBIT 37
**RECLAIMED
WASTEWATER PLAN**



SOURCE:
ALBERT A. WEBB ASSOCIATES

Planning Area #19 has been designated for the 7.0 acre school site which is adjacent to a 5 acre park and centrally located.

b. Fire Protection

The City of Perris currently sub-contracts with the Riverside County Fire Protection District for adequate fire protection. The closest fire station to the project site is Riverside County Fire Station #1 located in Perris at 210 West San Jacinto Avenue approximately 2 miles northwest of Riverglen.

c. Police Protection

Riverglen falls within the jurisdiction of the City of Perris Police Department. Based on the City standard of 1.5 sworn officers per 1,000 population, the project will create a need for approximately 4 to 5 additional officers for sufficient police protection at final buildout.

d. Solid Waste Disposal

Solid waste is collected by Perris Disposal, a private company, in the City of Perris. The Mead Valley landfill is currently receiving the solid waste for Perris.

The Riverglen Specific Plan will conform to the Waste Management Plan as adopted by the City of Perris.

Like many other states, California faces an increasingly serious problem in terms of waste management. Concerns over dwindling natural resources and the depletion of landfill capacity have led to the adoption of new policies and guidelines for handling solid waste. In particular, the California Integrated Waste Management Act of 1989 (AB 939) and related legislation define a new waste management strategy, and place much of the responsibility for implementation with city and county governments.

By July 1991, each city and county will be required to develop a Source Reduction and Recycling Element (as well as a Household Hazardous Waste Element) that will by 1995 divert from landfills at least 25 percent of the solid wastes that are now going to landfills, and 50 percent by 2000. These reductions are to be reached (in order of priority), by source reduction, recycling, and composting. Ten percent of the diversion goal for the year 2000 may be achieved by environmental transformation (incineration pyrolysis or biological conversion).

The Riverglen Specific Plan recognizes the importance of the above goals and has incorporated waste management practices in the project design:

1) Residential and Common Landscape Sources

a) Purchase Preferences

Through the development area, contractors will be encouraged to purchase materials with recycled content and to purchase materials for reuse.

b) Construction Wastes

Contractors will be required to source separate easily recyclable materials on-site. Discards from project construction such as soil, concrete, ferrous and non-ferrous metals, and lumber will be collected in designated debris boxes to be reused or recycled.

c) Curbside Collections

The most successful residential programs are the curbside recycling programs. These programs involve the source separation of recyclable materials (generally glass, cans, plastic, and newspapers, and some programs also collect cardboard, yard wastes, and motor oil) that are then placed at the curb for collection. These programs are generally considered to be most successful if they are: operated on the same day as trash collection; collected at the same frequency as trash and by the same hauling company; and include special bins to hold the recyclable materials. The curbside recycling programs are excellent ways to educate the individuals in the principles of recycling and also in their ability to reduce materials going to the landfills.

Residents will be encouraged to contract refuse service with haulers that also offer curbside recycling programs. An area of at least nine square feet in the garage or carports will be designated to store the recycling bins for curbside programs or for self-haul recycling. These areas will be located to have efficient access to the curbside area.

d) Landscape Wastes

For the landscape wastes that are produced, at both residences and common areas, diversion opportunities would include: inclusion into a yardwaste curbside collection program (if available), promotion of backyard composting (at each residence), or the collection of yardwastes through the landscape maintenance assessment district (the wastes would then be composted at a site within the development or be sent to a large scale off-site composting facility).

An ideal situation would be for the landscape maintenance district to compost development wastes and to use the compost for develop landscaping needs, thereby assuring a market for the compost.

e) Trash Compactors

The installation of trash compactors in residences to reduce the volume of solid wastes is not seen clearly as a positive environmental action. All trash will be compacted in the disposal trucks and upon burial at the landfill. Use of trash compactors may indirectly lead to more waste generation at residences, and may inhibit recycling efforts as well. Therefore, trash compactors will not be initially required, however, this does not preclude individuals from retrofitting their homes if they choose to do so.

2) Park Areas

a) Purchase Preferences for Materials with Recycled Content

Construction planning within the park areas will include a purchasing preference for materials with recovered-materials content, such as park benches, curb stops, trash bins, and signs.

b) Bottle and Can Recycling Bins

As a means of both encouraging recycling and controlling litter, containers will be provided in the park areas for the collection of bottles and aluminum cans.

3) Commercial Sources

a) Buy-Back Centers

Buy-back centers offer residents the option of redeeming their stored materials directly with the recycler for cash or credit. To encourage recycling, the state recycling law (AB 2020, the 1986 California Beverage Container Recycling and Litter Reduction Act) requires the designation of convenience zones and the establishment of recycling centers, certified by the state within each zone. Convenience zones are areas established within a half mile of a major grocery store. If the commercial center of this development includes a major grocery store, the center would be designated a convenience zone and the establishment of a recycling center would be required.

b) Repair and Reuse

The project will encourage through zoning and development guidelines the establishment of repair or second-hand shops within the district. Appliance repair shops and shoe repair shops are listed as potential commercial retail establishments.

c) Commercial Recycling Area

Forty percent of the municipal solid waste stream is made up of paper, much of it generated by the commercial sector. The development plan will designate a common area for commercial recycling of paper, cardboard, wood waste and perhaps also yard clippings. Such an area would be accessible to all the businesses in the commercial area and would encourage recycling by providing a convenient option to disposing of recyclable materials in refuse bins.

d) Purchase Preferences

As noted above, the development plan will require that, where feasible, materials with recycled content be used in commercial construction.

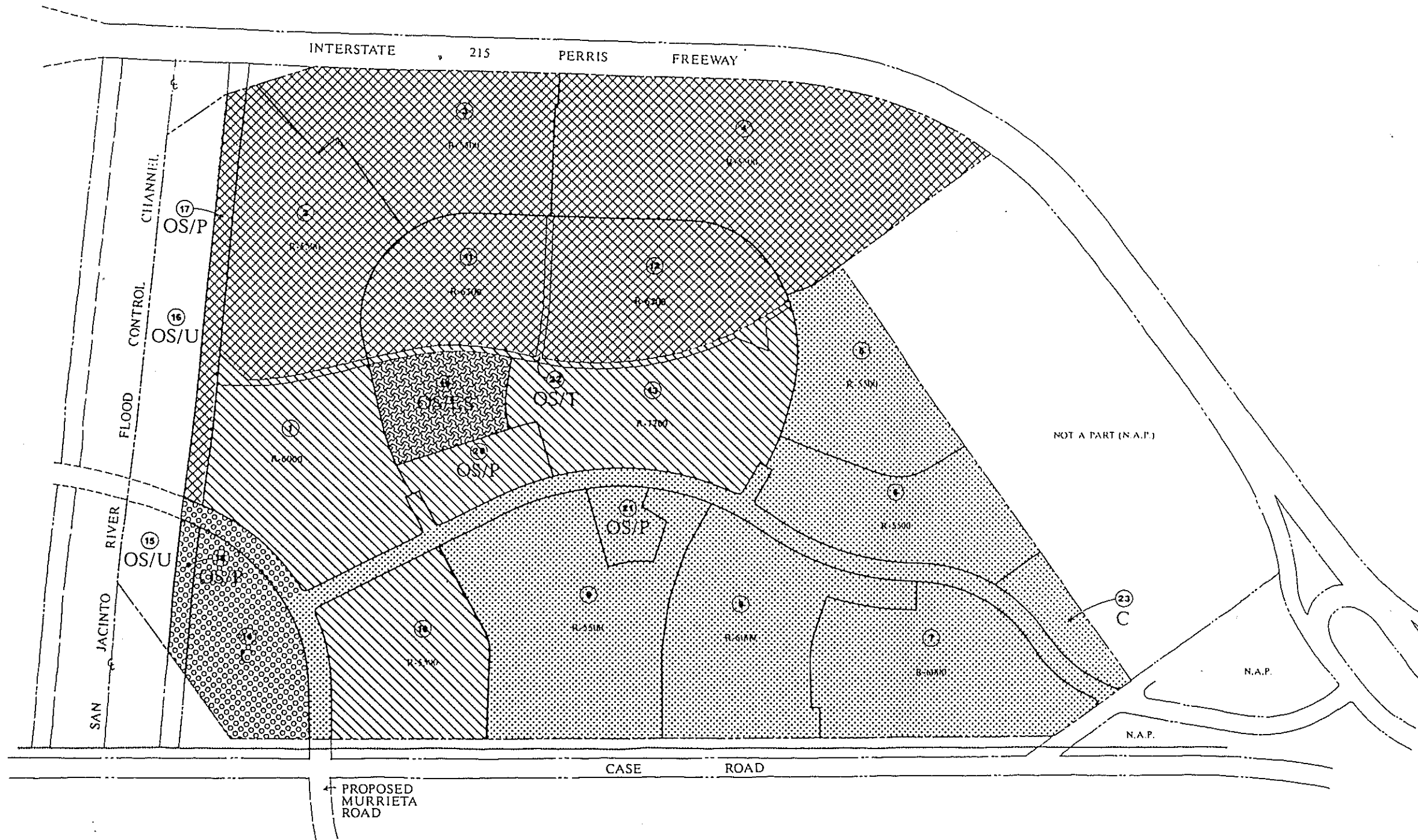
G. Construction Phasing/Time Frame

The construction of the project is expected to occur over a five to eight year period; however, this period may vary additionally due to unforeseen economic, market and construction factors. The phasing program is based on a logical sequence of infrastructure development as well as detailed marketing input. There are currently four (4) construction phases (see Exhibit 38) planned for the Riverglen project:

- Phase I - The major infrastructure within Riverglen Drive, Murrieta Road (partial) and are to be constructed within this phase. The landscape development along these roads shall occur when adjacent tracts are also constructed. Residential planning areas #5, #6, #7, #8 and #9 (\pm 463 units); the open space/park area #21; and the 3.8-acre commercial site (P.U.A. #23); are included in this first phase.
- Phase II - Residential planning areas #1, #10 and #13 (\pm 255 units) and open space/park area #20; are planned to be constructed in this second phase. Trails adjacent to Phase II areas are also included in the same phase.
- Phase III - Residential planning areas #2, #3, #4, #11 and #12 (\pm 539 units) and open space/park area #17 are currently planned to be constructed in this third phase. Trails adjacent to Phase III areas are also included in the same phase.
- Phase IV - The final phase will include the 11.4-acre commercial retail center (P.U.A. #14) and open space/park #18. The extension of Murrieta Road to the San Jacinto Channel may be constructed during this phase, however, it should be done concurrently with the bridge (by others) that crosses the river since they are both regional circulation elements.
- School - The 7 acre elementary school (P.U.A. #19) will be constructed in the phase determined by The Romoland School District.

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**



LEGEND

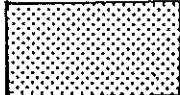
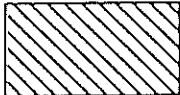
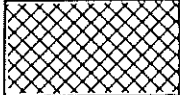
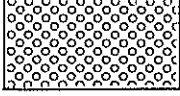
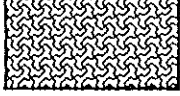
-  PHASE I
-  PHASE II
-  PHASE III
-  PHASE IV
-  ELEMENTARY SCHOOL PHASE AS DETERMINED BY SCHOOL DISTRICT.

EXHIBIT 38
CONSTRUCTION
PHASING PLAN

LAND-PLAN
DESIGN
GROUP
Planning/Landscape Architecture

NOTE: THIS CONSTRUCTION PHASING PLAN IS "CONCEPTUAL" ONLY AND MAY VARY DUE TO ECONOMIC AND REAL ESTATE MARKET CONDITIONS.

IV. DEVELOPMENT REGULATIONS

A. Introduction

This Section includes development regulations which shall apply to all development projects within the Riverglen Specific Plan. See also Section III for design guidelines.

B. Statistical Listing

Land use designations have been delineated for Riverglen as illustrated on the Land Use Plan (see Exhibit 7). This land use plan identifies the various planning units, each of which is indicated by a planning unit number. The dwelling unit yield within each planning area may exceed the maximum allowable yield identified in the Statistical Listing (see Table D) as long as the combined total dwelling units for the Specific Plan never exceeds 1,257.

The Statistical Listing on Table D is intended as an easily referenced summary of the information illustrated on the Land Use Plan (see Exhibit 7). It is intended to be updated throughout the course of development of the Specific Plan as more precise information regarding acreage is available.

Minor modifications in the boundaries and acreage of planning areas which occur during technical refinements in the tentative map and final map process shall not require an amendment to the Specific Plan.

TABLE D
STATISTICAL LISTING - BY PLANNING AREA

<u>Area #</u>	<u>Land Use</u>	<u>Gross Acres</u>	<u>Gross Density Factor</u>	<u>Maximum Dwelling Units</u>	<u>Net Acres</u>	<u>Net Density</u>
1	R-6000	20.3	4.8	91	15.2	6.0
2	R-5500	22.2	5.0	107	16.7	6.4
3	R-5500	20.5	5.0	100	15.4	6.5
4	R-5500	39.5	5.0	181	29.6	6.1
5	R-5500	13.4	5.0	65	10.0	6.5
6	R-5500	15.0	5.0	71	11.3	6.3
7	R-6000	19.5	4.8	95	14.6	6.5
8	R-6000	20.4	4.8	100	15.3	6.5
9	R-5500	26.7	5.0	132	20.0	6.6
10	R-5500	15.6	5.0	78	11.7	6.7
11	R-6500	13.8	4.7	65	10.4	6.2
12	R-6500	18.3	4.7	86	13.7	6.2
13	R-7200	19.9	4.4	86	14.9	5.8
14	C	11.4	-	-	-	-
15	OS/U	3.5	-	-	-	-
16	OS/U	13.1	-	-	-	-
17	OS/P	5.3	-	-	-	-
18	OS/P	1.6	-	-	-	-
19	OS/ES	7.0	-	-	-	-
20	OS/P	5.0	-	-	-	-
21	OS/P	2.6	-	-	-	-
22	OS/T	3.1	-	-	-	-
23	C	3.8	-	-	-	-
-	Major Roads	11.2	-	-	-	-
TOTALS		332.7		1,257		

SECTION 1. GENERAL DEVELOPMENT STANDARDS

The following general development standards apply to the entire Riverglen Specific Plan.

1.1 Development Standards

- A. All building construction within the Specific Plan shall comply with applicable building codes.
- B. Agricultural uses shall be permitted on property subject to the Specific Plan as interim uses, until the property is developed in accordance with the Specific Plan.
- C. Dedication and improvement of all rights-of-way shall meet the approval of the City Engineer.

SECTION 2. RESIDENTIAL CLASSIFICATIONS

The Riverglen Community will provide a variety of single-family housing opportunities. The single-family lots will range from minimums of 5,500 to 7,200 square feet in size. The four residential zone classifications contained in these development regulations correspond to the four residential land use designations in the Specific Plan.

2.1 Development Standards General to all Residential Areas

- A. The following accessory uses shall be permitted in all residential areas:
1. Garages and carports.
 2. Fences, walls and trellises.
 3. Swimming pools and other recreational amenities.
 4. Accessory buildings, structures, and uses where related and ancillary to a permitted use.
- B. Walls constructed as acoustical barriers (as required by E.I.R. studies) shall have no height limit subject to the approval of the Planning Director. All project perimeter walls unless otherwise specified shall be 6'-0" minimum in height. All other walls shall be 6'-0" minimum height unless they are attached to a main building and are an architectural design element, in which case they may exceed the minimum subject to approval of the Planning Director. Wood fences shall be 6'-0" minimum in height.
- C. Open trellis and beam construction shall be permitted to attach the garage or carport to the dwelling and may also extend from the dwelling to within 5 feet of the property line in the side and rear yards.
- D. Setbacks may be reduced if the Planning Commission finds that the adjacent open space is substantial and permanent and further finds that the exception will not grant a special privilege as compared to other properties in the neighborhood.
- E. Signage shall comply with the standards and guidelines set forth in the Community Design (Section III) of this Specific Plan. A complete sign program for the entryways, commercial areas, etc., shall be approved by the Planning Director prior to recordation on the individual tract maps.
- F. Due to the varying market conditions, individual home builders that have submitted residential designs to the City may increase or decrease proposed dwelling unit sizes as long as the maximum lot coverage is not exceeded and the minimum dwelling unit size is adhered to. A new design review by the Planning Commission and City Council will be required.
- G. Side entry garage units are permitted in all residential areas but are highly encouraged within the R-7200 and R-6500 planning areas.

2.2 R-7200 Residential Zone Regulations

A. Description and Purpose. The R-7200 residential designation is intended to provide for quality single family residential uses composed primarily of individual homes. The maximum number of dwelling units per gross acre in a planning unit shall not exceed (4.4). The Planning Unit Area that contain this designation is #13 (see Exhibit 39).

B. Permitted Uses

1. Principal Permitted Uses

- a. Single family dwellings.
- b. Public parks, play grounds, recreation area, and swimming pools.
- c. Commonly owned private recreation facilities, landscaping and open space areas.
- d. Utility and service facilities as required to implement the specific plan.
- e. Natural open space.

2. Temporary Uses Permitted

- a. Temporary construction facility during construction.
- b. Model homes and real estate offices serving this site only and during initial sales period.
- c. Visitor centers and design centers.

3. Accessory Uses Permitted

- a. Home occupations subject to City permits.
- b. Non-commercial keeping of pets readily classifiable as being customarily incidental and accessory to a permitted principle residential use.
- c. Pedestrian and bicycle trails.
- d. Any other accessory use or structure which the Planning Commission finds consistent with the purpose and intent of this district.
- e. Satellite dishes if screened to the satisfaction of the Planning Director.

C. Uses Permitted Subject To A Conditional Use Permit or a Public Use Permit

1. Schools, public and private
2. Community facilities
3. Public safety facilities (fire and police)
4. Preschool and day care facilities
5. Tennis clubs and swimming clubs
6. Religious facilities

D. Site Development Standards

1. Lot area: 7,200 square feet minimum.
2. Lot width: 60 feet minimum except lots fronting on knuckles or cul-de-sacs may have a minimum frontage of 40 feet at the curblines.
3. Lot depth: Minimum lot depth shall be 85 feet; except at cul-de-sacs shall be 75 feet.
4. Frontyard setback: Minimum 25 feet from property line. Side-on garages shall have a minimum frontyard setback of 15 feet from property line. Accessory structures shall not be permitted within the frontyard setback.
5. Sideyard setback: 5 feet minimum. Minimum streetside setbacks shall be 15 feet.

Garage, carport or accessory structure detached a minimum of 6 feet from the dwelling unit, shall be a setback a minimum of 5 feet.

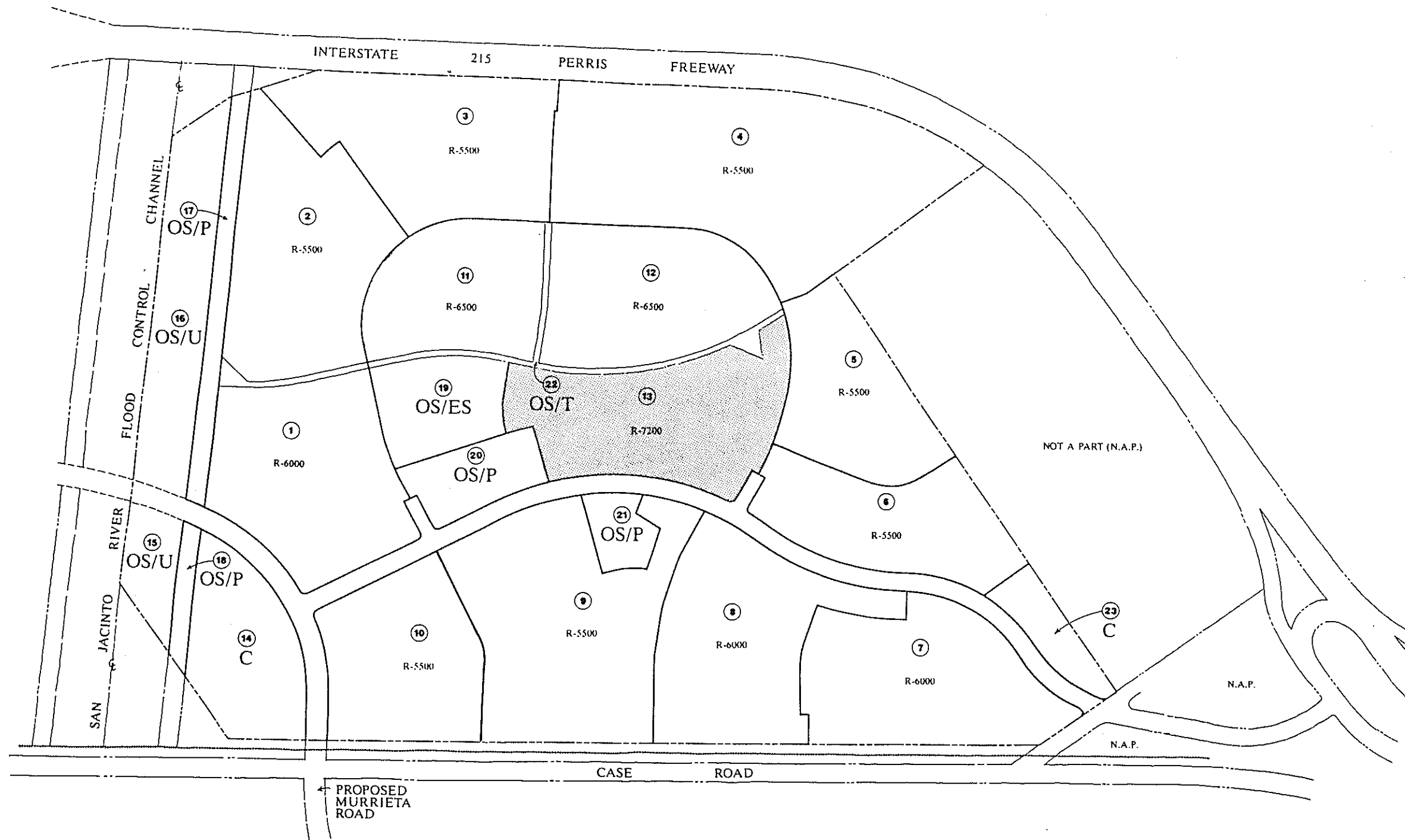
Attached accessory structures (i.e. patios, overheads, etc.) shall be setback a minimum of 5 feet.

6. Rearyard setback: 20 feet minimum. Garage, carport or accessory structure detached a minimum of 6 feet from the dwelling unit, shall be setback a minimum of 5 feet.

Attached accessory structures (i.e. patios, overheads, etc.) shall be setback a minimum of 10 feet.

7. Building height: 35 feet maximum.
8. Lot Coverage: 45% maximum.
9. Minimum dwelling unit size: The minimum dwelling unit size shall be 1,250 square feet.
10. Corner lots: Single-story units or two-story units with one-story architectural elements adjacent to the street sideyard shall occur on corner lots.

RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**



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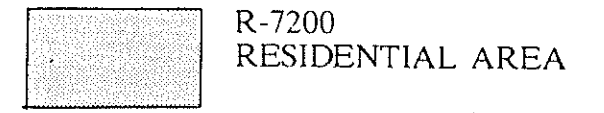


EXHIBIT 39
R-7200
RESIDENTIAL
LOCATION PLAN

0' 150' 300' 600' LAND-PLAN
 DESIGN
 GROUP
Planning/Landscape Architecture

2.3 R-6500 Residential Zone Regulations

- A. Description and Purpose. The R-6500 district is intended to provide for quality single family residential uses composed primarily of individual homes, together with appropriate supportive recreational, religious, educational and other community facilities. The maximum number of dwelling units per gross acre in a planning unit shall not exceed (4.7). The Planning Unit Areas that contain this designation are #11 and #12 (see Exhibit 40).
- B. Permitted Uses
1. Principal Permitted Uses
 - a. Single family dwellings.
 - b. Public parks, play grounds, recreation area, and swimming pools.
 - c. Commonly owned private recreation facilities, landscaping and open space areas.
 - d. Utility and service facilities as required to implement the specific plan.
 - e. Natural open space.
 2. Temporary Uses Permitted
 - a. Temporary construction facility during construction.
 - b. Model homes and real estate offices serving this site only and during initial sales period.
 - c. Visitor centers and design centers.
 3. Accessory Uses Permitted
 - a. Home occupations subject to City permits.
 - b. Non-commercial keeping of pets readily classifiable as being customarily incidental and accessory to a permitted principle residential use.
 - c. Pedestrian and bicycle trails.
 - d. Any other accessory use or structure which the Planning Commission finds consistent with the purpose and intent of this district.
 - e. Satellite dishes if screened to the satisfaction of the Planning Director.
- C. Uses Permitted Subject To A Conditional Use Permit Or A Public Use Permit
1. Schools, public and private
 2. Community facilities
 3. Public safety facilities (fire and police)
 4. Preschool and day care facilities
 5. Tennis clubs and swimming clubs
 6. Religious facilities.

D. Site Development Standards

1. Lot area: 6,500 square feet minimum.
2. Lot width: 55 feet minimum except lots fronting on knuckles or cul-de-sacs may have a minimum frontage of 40 feet at the curblines.
3. Lot depth: Minimum lot depth shall be 85 feet; except cul-de-sacs which shall be 75 feet.
4. Frontyard setback: Minimum 20 feet from the property line with a minimum average of 22.5 feet. Side-on garages shall have a minimum frontyard setback of 15 feet from property line. Accessory structures shall not be permitted within the frontyard setback.
5. Sideyard setback: 5 feet minimum. Minimum streetside setbacks shall be 15 feet.

Garage, carport or accessory structure detached a minimum of 6 feet from the dwelling unit, shall be a setback a minimum of 5 feet.

Attached accessory structures (i.e. patios, overheads, etc.) shall be setback a minimum of 5 feet.

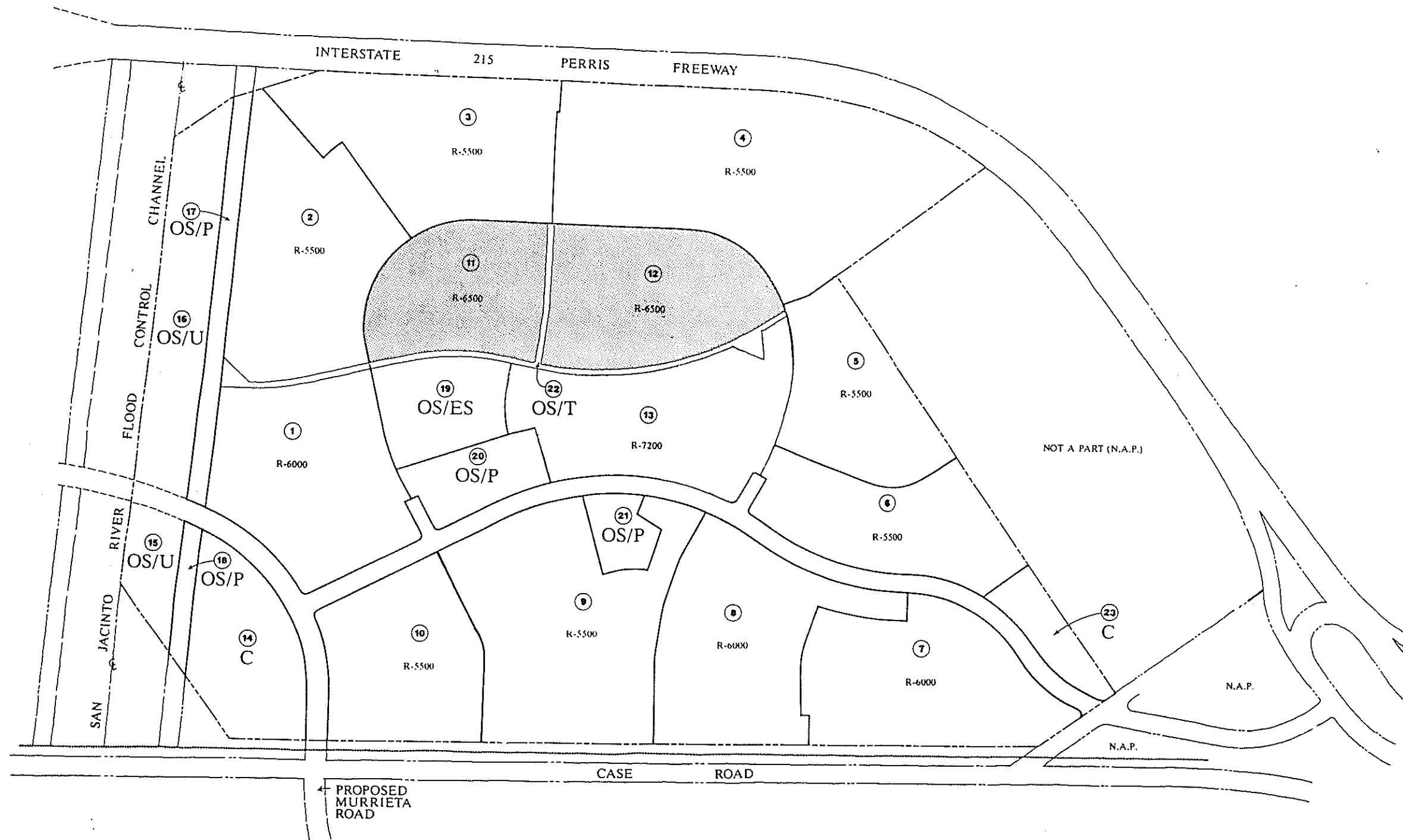
6. Rearyard setback: 20 feet minimum. Garage, carport or accessory structure detached a minimum of 6 feet from the dwelling unit, shall be a setback a minimum of 5 feet.

Attached accessory structures (i.e. patios, overheads, etc.) shall be setback a minimum of 10 feet.

7. Building height: 35 feet maximum.
8. Lot coverage: 45% maximum.
9. Minimum dwelling unit size: The minimum dwelling unit size shall be 1,200 square feet.
10. Corner lots: Single-story units or two-story units with one-story architectural elements adjacent to the street sideyard shall occur on corner lots.

RIVERGLEN SPECIFIC PLAN

Prepared for: **UNITEX**



LEGEND

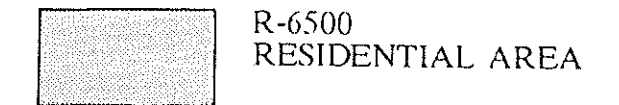
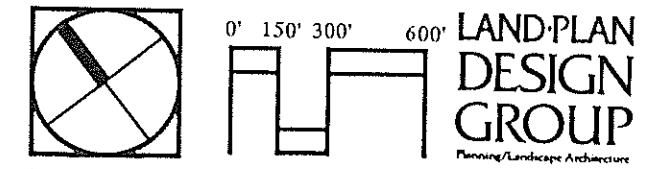


EXHIBIT 40
R-6500
RESIDENTIAL
LOCATION PLAN



2.4 R-6000 Residential Zone Regulations

A. **Description and Purpose.** The R-6000 district is intended to provide for quality diversified single-family housing together with supportive recreation, religious, educational and other community facilities. The maximum number of dwelling units per gross acre in a planning unit in this district shall not exceed (4.8). The Planning Unit Areas that contain this designation are #1, #7 and #8 (see Exhibit 41).

B. Permitted Uses

1. Principal Permitted Uses

- a. Single family dwellings.
- b. Public parks, playground, recreation area, and swimming pools.
- c. Commonly owned private recreation facilities, landscaping and open space areas.
- d) Utility and service facilities as required to implement the plan.
- e) Natural open space.

2. Temporary Uses Permitted

- a. Temporary construction facility during construction.
- b. Model homes and real estate offices serving this site only and during initial sales period.
- c. Visitor centers and design centers.

3. Accessory Uses Permitted

- a. Home occupations subject to City permits.
- b. Non-commercial keeping of pets readily classifiable as being customarily incidental and accessory to a permitted principle residential use.
- c. Pedestrian and bicycle trails.
- d. Any other accessory use or structure which the Planning Commission finds consistent with the purpose and intent of this district.
- e. Satellite dishes if screened to the satisfaction of the Planning Director.

C. Uses Permitted Subject To A Conditional Use Permit Or A Public Use Permit

1. Schools, public and private
2. Community facilities
3. Public safety facilities (fire and police)
4. Preschool and day care facilities
5. Tennis clubs and swimming clubs
6. Religious facilities

D. Site Development Standards

1. Lot area: 6,000 square feet minimum.
2. Lot width: 50 feet minimum, except lots fronting on knuckles or cul-de-sacs may have a minimum frontage of 40 feet at the curbline.
3. Lot depth: Minimum lot depth shall be 85 feet; except at cul-de-sacs which shall be 75 feet.
4. Frontyard setback: Minimum 20 feet from the property line with a minimum average of 22.5 feet. Side-on garages shall have a minimum frontyard setback of 15 feet from property line. Accessory structures shall not be permitted within the frontyard setback.
5. Sideyard setback: 5 feet minimum. Minimum streetside setbacks shall be 15 feet.

Garage, carport or accessory structure detached a minimum of 6 feet from the dwelling unit, shall be a setback a minimum of 5 feet.

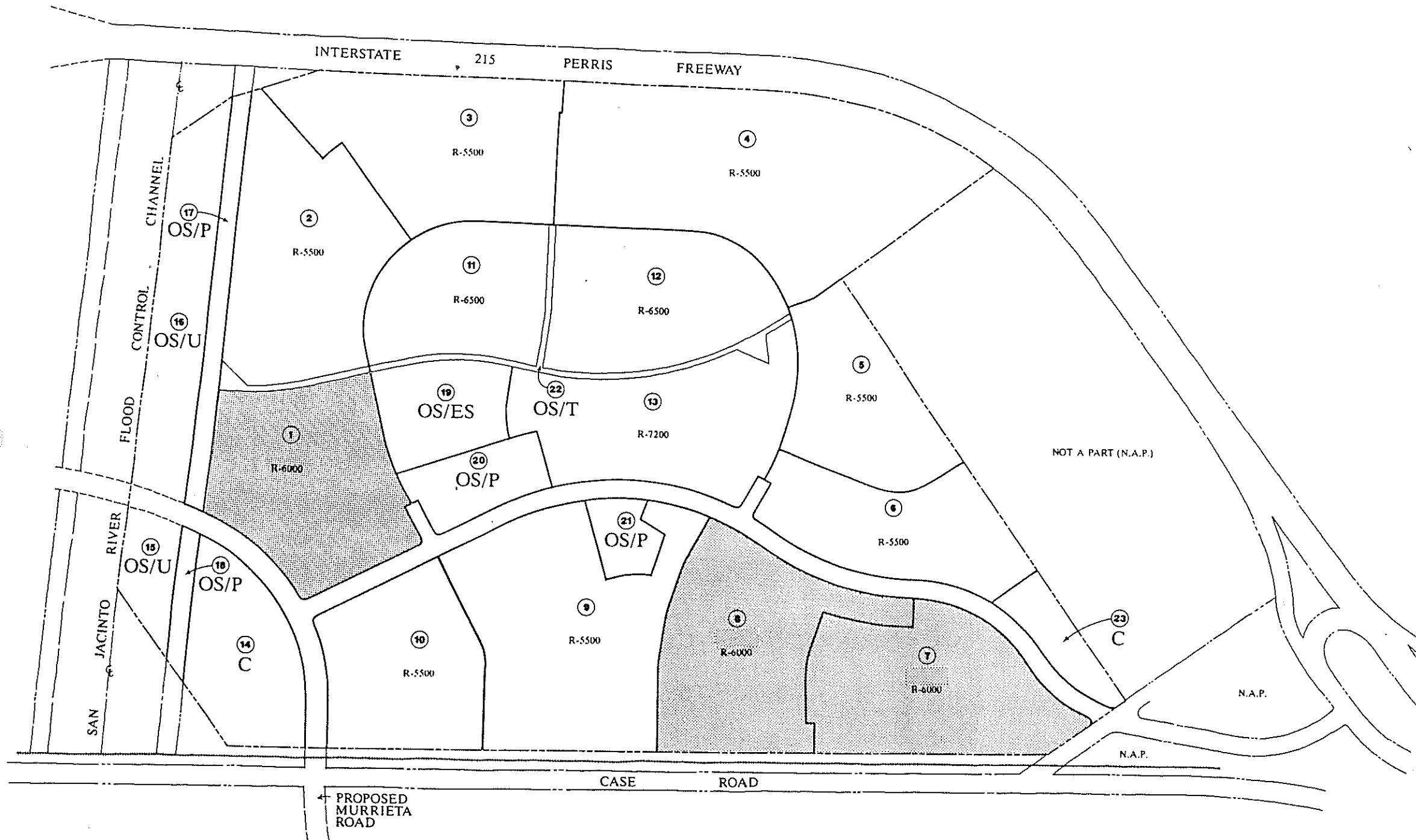
Attached accessory structures (i.e. patios, overheads, etc.) shall be setback a minimum of 5 feet.

6. Rearyard setback: 20 feet minimum. Garage, carport or accessory structure detached a minimum of 6 feet from the dwelling unit, shall be a setback a minimum of 5 feet.

Attached accessory structures (i.e. patios, overheads, etc.) shall be setback a minimum of 10 feet.

7. Building height: 35 feet maximum.
8. Lot coverage: 50% maximum.
9. Minimum dwelling unit size: The minimum dwelling unit size shall be 1,100 square feet.
10. Corner lots: Only single-story units shall occur on corner lots.

RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**



LEGEND

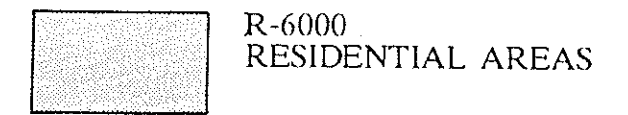


EXHIBIT 41
R-6000
RESIDENTIAL
LOCATION PLAN

0' 150' 300' 600' LAND-PLAN DESIGN GROUP
 Planning/Landscape Architecture

2.5 R-5500 Residential Zone Regulations

A. Description and Purpose. The R-5500 district is intended to provide for quality diversified single-family housing together with supportive recreation, religious, educational and other community facilities. The maximum number of dwelling units per gross acre in a planning unit in this district shall not exceed (5.0). The Planning Unit Areas that contain this designation are #2, #3, #4, #5, #6, #9 and #10 (see Exhibit 42).

B. Permitted Uses

1. Principal Permitted Uses

- a. Single family dwellings and duplexes, excluding condominiums.
- b. Pedestrian and bicycle trails, public parks, playground, recreation area, and swimming pools.
- c. Commonly owned private recreation facilities, landscaping and open space areas.
- d. Utility and service facilities as required to implement the plan.
- e. Natural open space.

2. Temporary Uses Permitted

- a. Temporary construction facility during construction.
- b. Model homes and real estate offices serving this site only and during initial sales period.
- c. Visitor centers and design centers.

3. Accessory Uses Permitted

- a. Home occupations subject to City permits.
- b. Non-commercial keeping of pets readily classifiable as being customarily incidental and accessory to a permitted principle residential use.
- c. Pedestrian and bicycle trails.
- d. Any other accessory use or structure which the Planning Commission finds consistent with the purpose and intent of this district.
- e. Satellite dishes if screened to the satisfaction of the Planning Director.

C. Uses Permitted Subject To A Conditional Use Permit Or A Public Use Permit

1. Schools, public and private
2. Community facilities
3. Public safety facilities (fire and police)
4. Preschool and day care facilities
5. Tennis clubs and swimming clubs
6. Religious facilities

D. Site Development Standards

1. Lot area: 5,500 square feet minimum.
2. Lot width: 45 feet minimum, except lots fronting on knuckles or cul-de-sacs may have a minimum frontage of 40 feet at the curblineline.
3. Lot depth: Minimum lot depth shall be 85 feet; except at cul-de-sacs which shall be 75 feet.
4. Frontyard setback: Minimum 20 feet from the property line with a minimum average of 22.5 feet. Side-on garages shall have a minimum frontyard setback of 15 feet from property line. Accessory structures shall not be permitted within the frontyard setback.
5. Sideyard setback: 5 feet minimum. Minimum streetside setbacks shall be 15 feet.

Garage, carport or accessory structure detached a minimum of 6 feet from the dwelling unit, shall be a setback a minimum of five (5) feet.

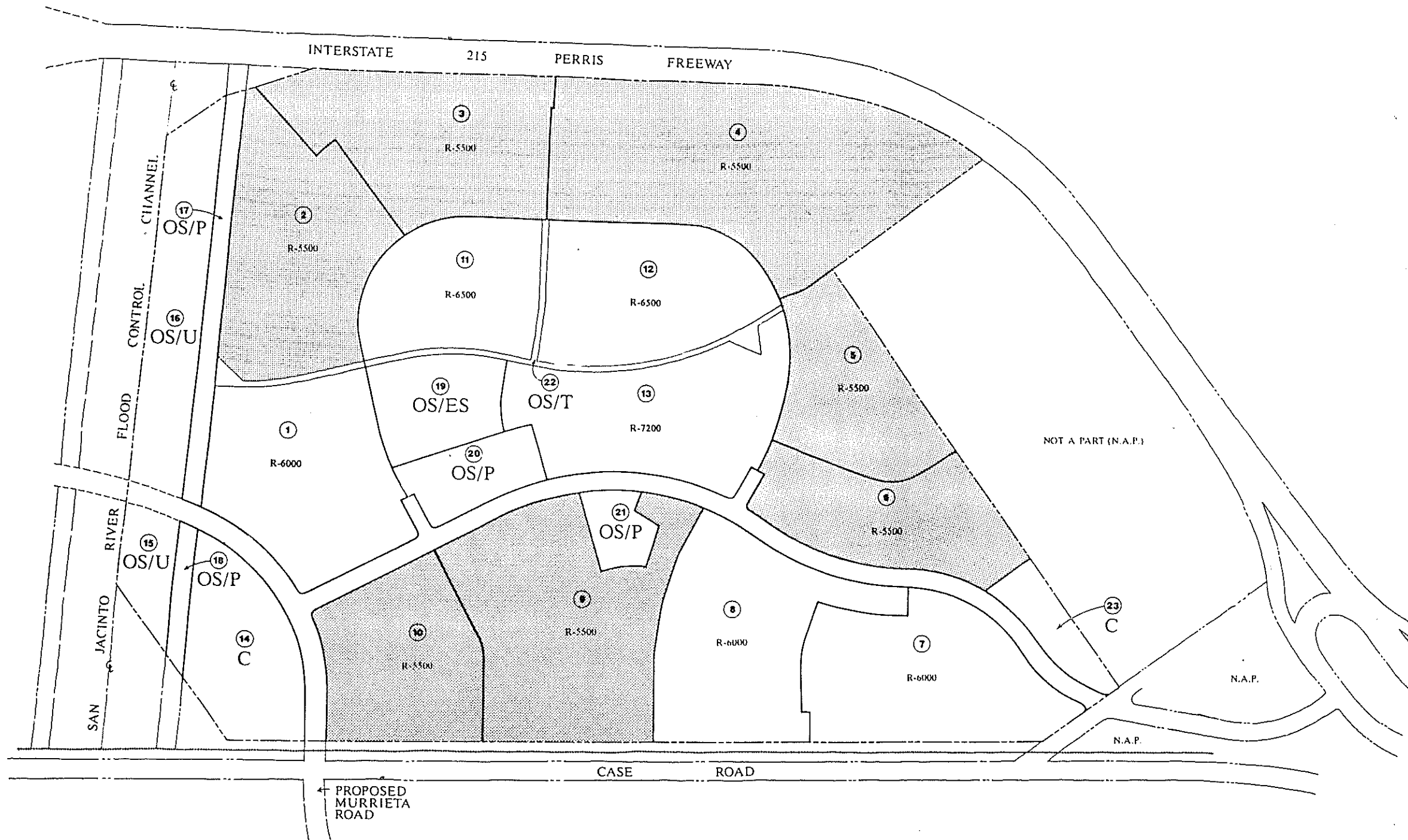
Attached accessory structures (i.e. patios, overheads, etc.) shall be setback a minimum of 5 feet.

6. Rearyard setback: 20 feet minimum. Garage, carport or accessory structure detached a minimum of 6 feet from the dwelling unit, shall be a setback a minimum of 3 feet.

Attached accessory structures (i.e. patios, overheads, etc.) shall be setback a minimum of 10 feet.

7. Building height: 35 feet maximum.
8. Lot coverage: 60% maximum.
9. Minimum dwelling unit size: The minimum dwelling unit size shall be 1,100 square feet.
10. Corner lots: Only single-story units shall occur on corner lots.

**RIVERGLEN
SPECIFIC PLAN**
Prepared for: **UNITEX**



LEGEND

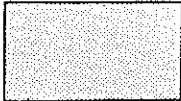
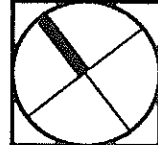
 R-5500
RESIDENTIAL AREAS

EXHIBIT 42

**R-5500
RESIDENTIAL
LOCATION PLAN**

 0' 150' 300' 600' **LAND-PLAN
DESIGN
GROUP**
Planning/Landscape Architecture

SECTION 3. COMMERCIAL ZONE CLASSIFICATIONS

It is anticipated that the population generated by the eventual build-out of Riverglen will be served by two commercial centers located within the community.

3.1 Commercial Regulations (C)

Description and purpose. Land designated as (C) commercial is intended to serve daily retail commercial needs especially those associated with retail uses for visitors and local residents, and provide specialty retail stores, and restaurants. The Planning Unit Areas that contain this designation are #14 and #23 (see Exhibit 43).

A. Permitted Uses

1. Principal Permitted Uses

The following uses are permitted, only in enclosed buildings with not more than 200 square feet of outside storage or display of materials appurtenant to such use, provided a development plan shall have been approved pursuant to the provisions of the Development Regulations as amended from time to time:

- 1) Ambulance services
- 2) Antique shops
- 3) Apparel shops
- 4) Art, dance and music studios
- 5) Art supply shops and studios
- 6) Auditoriums and conference rooms
- 7) Bakery shops
- 8) Banks and financial institutions
- 9) Barber and beauty shops
- 10) Billiard and pool halls
- 11) Blueprint and duplicating services
- 12) Book stores (non-adult) and binders
- 13) Bowling alleys
- 14) Catering Services
- 15) Cleaning and dyeing shops
- 16) Clothing stores
- 17) Confectionery or candy stores
- 18) Costume design studios
- 19) Delicatessens
- 20) Drug stores
- 21) Dry goods stores
- 22) Electronic data processing, tabulating and record keeping services
- 23) Employment agencies
- 24) Florist shops
- 25) Food markets
- 26) Gift shops
- 27) Hardware stores

- 28) Health clubs
- 29) Hotels, resort hotels and motels
- 30) Hobby shops
- 31) Ice cream shops
- 32) Ice sales, not including ice plants
- 33) Interior decorating shops
- 34) Jewelry stores
- 35) Labor temples
- 36) Laundries and laundromats
- 37) Leather goods stores
- 38) Locksmith shops
- 39) Meat markets, not including slaughtering
- 40) Medical appliance and supply sales
- 41) Music stores
- 42) News stores
- 43) Notions or novelty stores
- 44) Offices, including but not limited to business, professional, law, medical, dental, chiropractic, architectural, engineering, community planning and real estate
- 45) Paint and wallpaper stores, not including paint contractors
- 46) Pet shops and pet supply shops
- 47) Pharmacies
- 48) Photography shops and studios and photo engraving
- 49) Product markets
- 50) Refreshment stands
- 51) Religious facilities
- 52) Restaurants and other eating establishments (including drive-thru restaurants)
- 53) Schools, business and professional, including art, barber, beauty, dance, drama, music and swimming
- 54) Shoe stores and repair shops
- 55) Shoeshine stand
- 56) Sporting goods stores
- 57) Sports and recreational facilities
- 58) Stationery stores
- 59) Tailor shops
- 60) Telephone exchange
- 61) Theaters, not including drive-ins
- 62) Tobacco shops
- 63) Tourist information centers
- 64) Toy shops
- 65) Travel agents
- 66) Other similar uses which are found by the Planning Commission to be consistent with and not more detrimental than the above listed uses and which are consistent with the intent of this land use classification.

2. Uses Permitted With Approved Plot Plan

The following uses are permitted, with display of materials appurtenant to such use, provided a development plan has been approved pursuant to the provisions of these Development Regulations as amended from time to time:

- 1) Bicycle sales and rentals
- 2) Ceramic sales and manufacturing for on-site sales provided the total volume of kiln space does not exceed 16 cubic feet
- 3) Golf cart sales and service
- 4) Mobilehomes, provided they are kept mobile and licensed pursuant to State law, exclusively for Construction offices and caretaker's quarters on construction sites for the duration of a valid building permit, provided they are inconspicuously located.
- 5) Nurseries and garden supply sales
- 6) Parking lots and parking structures
- 7) Other similar uses which are found by the Planning Commission to be consistent with and not more detrimental than the above listed uses and which are consistent with the intent of this land use classification.

3. Accessory Uses Permitted

An accessory use to a permitted use is allowed provided a conditional use permit has been granted pursuant to the provisions of these Development Regulations as amended from time to time and the accessory use is incidental to, and does not alter the character of, the principal permitted use, including but not limited to:

- 1) Limited manufacturing, fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises and provided any such activity does not exceed any of the following restrictions:
 - a. The maximum gross floor area of the building permitted to be devoted to such accessory use shall be 25 percent.
 - b. The accessory use shall be so conducted that noise, vibration, dust, odor, and all other objectionable factors shall be reduced to the extent that there will be no annoyance to persons outside the premises. Such accessory use shall be located not nearer than 50 feet to any residential zone
 - c. Accessory uses shall be conducted wholly within a completely enclosed building.

4. Temporary Uses Permitted With A Temporary Use Permit

- 1) Christmas tree and Halloween pumpkin sales.
- 2) Temporary construction facilities

B. Uses Permitted Subject To A Conditional Use Permit

The following uses are permitted provided a conditional use permit has been granted pursuant to the provisions of these Development Regulations as amended from time to time:

- 1) Sale, rental, repair, or demonstration of motorcycles, scooters, and motorbikes
- 2) Animal clinic
- 3) All uses permitted in Subsection (A) of this Section that have more than 200 square feet of outside storage or display of materials
- 4) Building materials sales yard
- 5) Underground bulk fuel storage in conjunction with a principal permitted use
- 6) Bars and cocktail lounges
- 7) Dance halls
- 8) Stations, bus, railroad and taxi
- 9) Liquid petroleum (l.p.g.) service station
- 10) Mobilehome sales, trailer sales and rental of house trailers
- 11) Child care facilities
- 12) Convalescent care facilities, rest homes, sanitariums, and active senior facilities
- 13) Automobile car washes and repair garages not including body and fender shops or spray painting
- 14) Liquor stores (per city code)
- 15) Private clubs, fraternal organizations or lodges

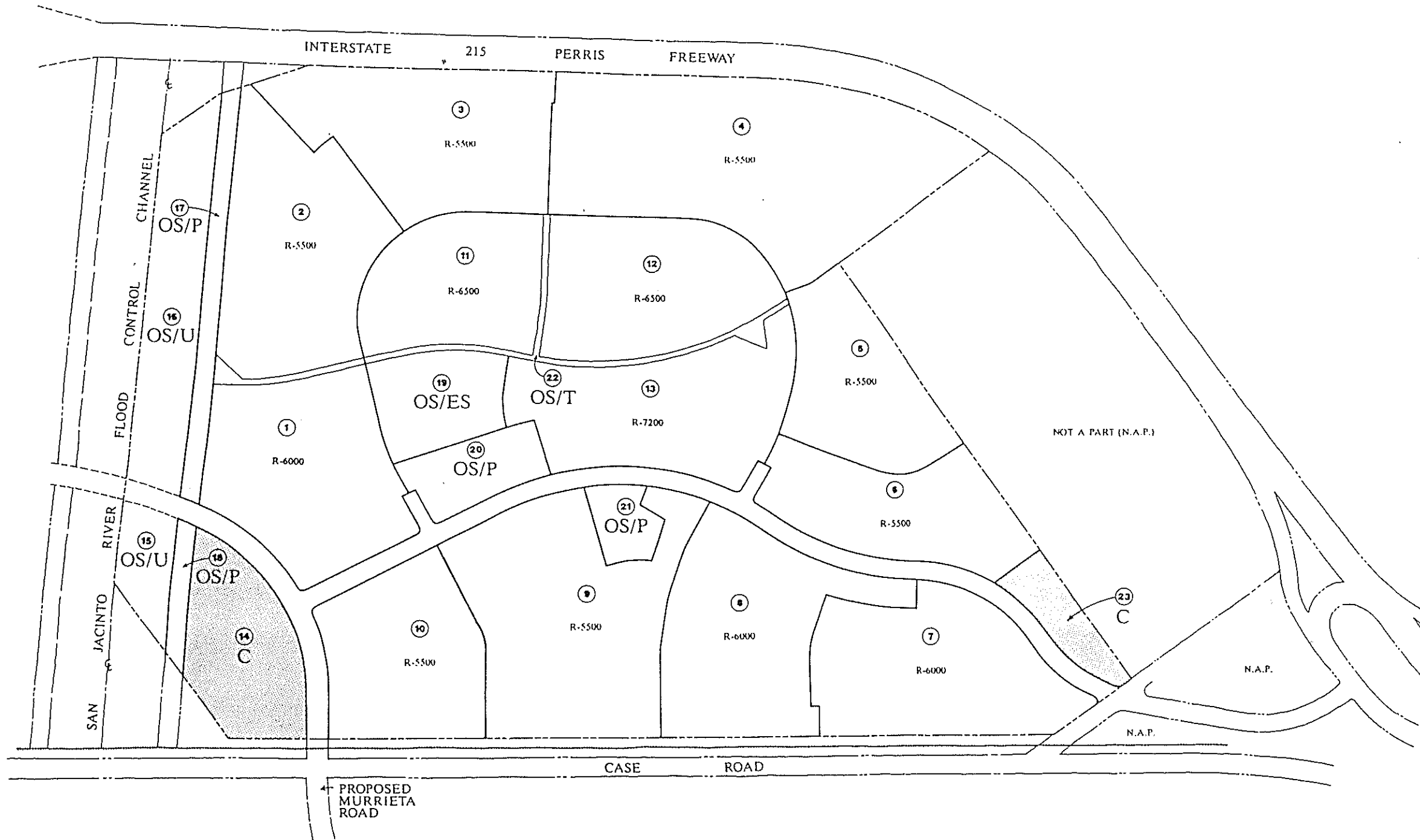
C. Site Development Standards

- 1) Lot area, width, and site coverage: No minimum subject to plot plan or conditional use permit review.
- 2) Minimum building setbacks from right-of-way:
 - a. Along Riverglen Drive: 10 feet
 - b. Along Murrieta Road: 10 feet
 - c. Adjacent to residential parcels: 10 feet
 - d. Along Bonnie/Mapes Road: 10 feet
 - e. Along railroad right-of-way: 0 feet
 - f. Along flood control right-of-way: 0 feet
 - g. Along "not-a-part" parcel *: 0 feet

* A forty (40') foot sewer easement occurs on this parcel.

- 3) Building height: Three (3) stories maximum. An additional 30 feet may be permitted subject to plot plan or conditional use permit review.
- 4) All roof-mounted mechanical equipment shall be screened subject to plot plan or conditional use permit review.
- 5) Fencing and walls, screening of outside storage and loading areas, signing, lighting and refuse disposal areas shall be subject to plot plan or conditional use permits review.
- 6) Parking: See Section 6.
- 7) Bike racks shall be provided in sufficient quantity.

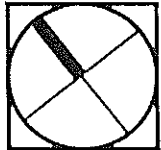
RIVERGLEN
SPECIFIC PLAN
 Prepared for: **UNITEX**



LEGEND

 COMMERCIAL (C) AREA

EXHIBIT 43
COMMERCIAL (C)
LOCATION PLAN

 0' 150' 300' 600' **LAND-PLAN DESIGN GROUP**
 Planning/Landscape Architecture

SECTION 4. OPEN SPACE ZONE CLASSIFICATIONS

The following community support uses for open spaces shall be permitted consistent with the Riverglen Specific Plan. See Exhibit 17 for the location of open space areas.

4.1 Open Space/Elementary School (OS/ES) Regulations

A. Permitted Uses

1. Public schools.
2. Parks, trails, and other public or private recreational facilities.
3. Accessory buildings, structures, and uses related and incidental to the above.
4. Other similar uses which are found by the Planning Commission to be consistent and not more detrimental than the above listed uses and which are consistent with the intent of this land use classification.

B. Site Development Standards

Subject to review of the Romoland School District and the City of Perris.

4.2 Open Space/Park (OS/P) Regulations

A. Permitted Uses

1. Natural Open Space.
2. Public parks, trails and recreational facilities.
3. Accessory buildings, structures, parking lots and uses related and incidental to the above.
4. Public botanical gardens.

B. Site Development Standards

Subject to review of government agency that owns the property and the City of Perris.

4.3 Open Space/Trails (OS/T) Regulations

A. Permitted Uses

- 1) Natural open space.
- 2) Hiking, bicycle and equestrian trails and tot lot facilities.
- 3) Accessory buildings, structures, and uses related and incidental to the above.
- 4) Above-grade drainage facilities.
- 5) Other similar uses which are found by the Planning Commission to be consistent and not more detrimental than the above listed uses and which are consistent with the intent of this land use classification.

B. Site Development Standards

Subject to review of government agency that own the property and the City of Perris.

4.4 Open Space/Undeveloped (OS/U) Regulations

A. Permitted Uses

- 1) Natural open space.
- 2) Public parks, trails and recreational facilities.
- 3) Flood control channel.

B. Site Development Standards

Subject to review of government agency that owns the property and the City of Perris.

4.5 Filing Requirements for Open Space Areas

- 1) Hiking and equestrian trails and facilities - in accordance with the adopted trails standards of the City of Perris, subject to development plan review.
- 2) Maintenance facilities - subject to development plan review and approval pursuant to the City's Land Use Ordinance.
- 3) Or subject to review of government agency that owns property.
- 4) Additional development proposals not specifically provided for in the Specific Plan shall be subject to Planning Director review to determine if provisions of the City's Land Use Ordinance apply.

SECTION 5. SPECIAL USES

The following uses are permitted in any zone provided a conditional use or public use permit shall have been approved pursuant to the provisions these Development Regulations as amended from time to time:

A. Special Uses

- 1) Religious facilities (any zone other than OS).

B Site Development Standards

- 1) Building site area, site width, and site coverage: No minimum subject conditional use permit review.
- 2) Building setbacks: No minimum subject to conditional use permit review.
- 3) Building height: No maximum subject to conditional use permit review.
- 4) All roof-mounted mechanical equipment shall be screened from surrounding ground elevation views.
- 5) Fencing and walls, screening of outside storage and loading areas, signing, lighting and refuse disposal areas shall be subject to conditional use permit review.
- 6) Parking: See Section 6.

C. Filing Requirements

In addition to normal filing requirements, the following items shall be required:

- 1) Plan showing the placement of buildings, locations of usable open space and delineating proposed setbacks.
- 2) Building designs and architecture.
- 3) Elevations including examples of proposed materials for exteriors and heights of buildings.
- 4) Fencing plan including height and details of proposed materials to be used.
- 5) Conceptual landscaping plan.
- 6) Parking design.

SECTION 6. OFF-STREET PARKING REGULATIONS

These regulations are established in order to assure that parking areas are properly designed and located in order to meet the parking needs created by specific uses.

It shall be the responsibility of the developer, owner or operator of any specific use to provide adequately designed off-street parking areas.

Off-street parking and loading areas are to be established per requirements provided by City ordinances and in a manner that will ensure their usefulness, protect the public safety, and, where appropriate, buffer surrounding land uses from their impact.

6.1 Basic Requirements for Off-Street Parking

- A. Off-street parking shall be provided subject to the provisions of these Regulations for:
 - 1) Any new building constructed.
 - 2) Any new use established.
 - 3) Any addition or enlargement of an existing building or use.
 - 4) Any change in the occupancy of any building or the manner in which any use is conducted that would result in additional parking spaces being required.
- B. The required parking spaces or garages shall be located on the same building site.
- C. All off-street parking spaces and areas required by this ordinance shall be designed and maintained to be fully useable for the duration of the use requiring such areas and spaces.
- D. On-street parking within the public or private streets, driveways or drives shall not be used to satisfy the off-street parking requirements. Collective parking and bays and cut-outs may be credited to off-street parking requirements.
- E. Whenever the computation of the number of off-street parking spaces required by this Section results in a fractional parking space, one additional parking space shall be required for 1/2 or more fractional parking space and any fractional space less than 1/2 of a parking space shall not be counted.
- F. Temporary use of off-street parking spaces for non-parking purposes will not violate this ordinance.
- G. Tandem parking shall be permitted if valet parking is provided.
- H. Access drives, and aisle widths shall per current City Standards.

6.2 Residential

In any zone where a residential use is permitted, off-street parking for residential uses shall be in conformity with the following requirements.

- A. Parking Requirements for single family detached dwellings shall be 2 parking spaces within a garage (tandem parking is permitted).

6.3 Community Facilities, Commercial

A. Minimum Design Requirements

- 1) Access drives and aisle widths shall be per City Standards. Minimum width of aisles shall be 24 feet.
- 2) Parking stalls: each off-street parking stall shall consist of a geometric area not less than 9 feet wide by 19 feet long except as follows:
 - a. Up to 15 percent of the required parking spaces may be of compact car size (8 1/2 feet in width and 17 feet in length).
 - b. Those areas designated for use by motorcycles shall consist of a minimum usable area of 56 square feet.
 - c. Handicap stalls which meet all Title 24 requirements.
- 3) Landscaping
 - a. All off-street parking areas shall be screened so as to minimize the negative visual effect from access streets. Minimum landscaping of 15% of parking area and one shade tree per 8 parking stalls shall be required. Landscape setback areas shall be credited towards the 15% minimum landscape requirement.
 - b. Detailed landscape and irrigation plans prepared by a registered landscape architect, including the type and location of plant materials, shall be submitted to and approved by the Director of Planning and Community Development following approval of the conceptual landscape plan.
- 4) Standard Improvements
 - a. Wheel stops (concrete tire guard, redwood headers, etc.) not less than 6 inches in height shall be provided which abuts a public walkway, street or alley except where curb-line can serve as a wheel stop.
 - b. Adequate lighting shall be provided if off-street parking facilities are to be operated during hours of darkness after 7:00 p.m. (the lighting shall be designed, arranged and installed so as to confine direct rays onto the premises and to direct light away from adjacent structures, premises or streets).
 - c. All parking stalls shall be clearly outlined with lines on the surface of the parking facility or any other permanent space designator (trees, shrubs, etc.) approved by the Director of Planning and Community Development.

- d. All parking stalls and maneuvering areas shall be paved and permanently maintained with asphalt, concrete, or any other all weather surfacing (turf block, etc.) approved by the Director of Planning and Community Development. All areas within the parking area not paved shall be landscaped.
- e. Parking and maneuvering public areas shall be arranged that any vehicle entering a public right-of-way can do so traveling in a forward direction.
- f. Parking area notices, each not to exceed four square feet in area, and directional instructions lettered on the paved surface of driveways and parking areas are permitted for parking facilities serving industrial, commercial, or professional areas; and public or community facilities.

Such parking notices may contain the name of the owner or occupant of the property and only such words and symbols that are directly related or essential to parking or the direction of vehicular traffic within the parking area and access driveways.

- g. Unenclosed off-street parking spaces shall be screened, whenever such parking spaces abut the boundary of the building site or are located between a building or buildings and an abutting street with screening materials 3 1/2 feet in height within 10 feet of the street and a minimum of 3 1/2 feet over 10 feet from the street and may consist of one, or any combination, the following type:
 1. Walls: A wall shall consist of concrete, stone, brick, tile or similar types of solid masonry material a minimum of six inches thick.
 2. Fences, solid: A solid fence shall be constructed of wood, masonry, or other materials to form an opaque screen. If wood, vertical supports shall be masonry or metal; wood grills and horizontal supports shall be heavy members of relatively short span.
 3. Fences, open: An open weave or tubular steel fence shall be combined with plant materials to form an opaque screen.
 4. Planting: Plant materials, when used as a screen shall consist of compact evergreen plants. They shall be of a kind, or used in such a manner, so as to provide screening, have a minimum height of two feet, within 18 months after initial installation, or screening per 1, 2 or 3 above shall be installed.
 5. Berms: Berms, including grass or plant materials, shall not exceed the height limitations set forth in section (g) above.
- h. All landscaped areas shall be separated from parking areas with minimum 6" curb.

B. Special Requirements

The following parking requirements are applicable to residential, commercial, and community facilities as noted.

- 1) Handicapped: Parking shall be placed as required by State Law.
- 2) Compact cars: Uses other than residential with 25 or more parking spaces may provided up to 15% of its parking for use by compact cars.
- 3) Bicycles: All commercial areas shall provide adequate bicycle racks and lockers.
- 4) Car pools: Spaces provided for the specific uses shall be marked by signs, colored lines, etc.
- 5) Recreational vehicles and boats: Storage within residential areas is permitted when sideyards are 10'-0" minimum and are screened from public view.

C. Optional Provisions

The following may be provided at the option of the developer when applicable to commercial, residential, or community facilities off-street parking uses.

- 1) Shared parking: Parking facilities may be used jointly with parking facilities for other uses when operations are not normally conducted during the same hours, or when hours of peak use vary. Requests for the use of shared parking are subject to the approval of the Planning Commission and must meet the following conditions:
 - a. Sufficient evidence shall be presented to the Planning Commission demonstrating that there will exist no substantial conflict in the principle hours or periods of peak demand of the structures or uses for which the joint use is proposed.
 - b. The number of parking stalls which may be credited against the requirements for the structures or uses involved shall not exceed the number of parking stalls reasonably anticipated to be available during differing hours of operation.
 - c. Parking facilities designated for joint use should be located within a reasonable distance from the structure or use served.

- 2) Parking structures: Where the height of a building is limited by other sections of the Zoning Ordinance, one additional floor or story may be allowed subject to approval of the Planning Commission under the following conditions:
 - a. At least 75 percent of the ground floor is used for off-street parking, access and maneuvering.
 - b. Use of the remaining ground floor area is limited to manager's offices, elevators, service facilities, and building access facilities including entrance foyer or lobby.
 - c. Architectural design and treatment of the ground floor parking facility shall be integrated with the building as a whole.
 - d. Ground floor parking shall be screened, insofar as practicable, from surrounding uses and from public view.

D. Parking Requirements

- 1) Commercial, retail and service uses:

USES	MINIMUM PARKING STALLS REQUIRED
a. Shopping Center.	5.0 for each 1,000 square feet of gross floor area for all buildings in the center.

The above requirements will apply for the Shopping Center, however, whenever delineation of independent uses is required, the following standards apply:

b. Automobile washing and cleaning establishments.	4 for each service bay, or 1 for every 150 square feet of gross floor area whichever is greater, plus 4 spaces.
c. Automobile service and gas station.	4 for each service bay.
d. Buildings used solely for coin-operated laundromats or dry cleaning.	1 for each 3 washing machines.
e. Commercial banks, Savings and Loan offices, other financial institutions.	1 for each 100 square feet of service floor area.

- | | |
|--|--|
| <ul style="list-style-type: none"> f. Similar uses having drive-in and or drive-thru facilities. g. General Offices | <p>Reductions to above standard subject to Planning Commission approval.</p> <p>1 for each 250 square feet of gross floor area</p> |
| <p>2. Places of Assembly:</p> | |
| <p>USES</p> | <p>MINIMUM PARKING STALLS REQUIRED</p> |
| <ul style="list-style-type: none"> a. Restaurants, taverns, lounges, and other establishments for the sale and consumption of food and beverages. b. Drive-in, drive-thru and and take-out restaurants. c. Auditoriums, theaters, sports arenas, stadiums. d. Churches and other places of assembly not specified above. | <p>10 minimum; at least 1 each 45 square feet of dining floor area.</p> <p>10 minimum; at least 1 each 45 square feet of dining floor area, whichever is greater. Provide 1 for every 2 employees, and vehicle stacking for 5 cars minimum.</p> <p>1 for each 3 seats or 1 for each 30 square feet of gross floor area where there are not fixed seats.</p> <p>1 for each 3 fixed seats within the main auditorium, or for every 35 square feet of seating area within the main auditorium where there are no fixed seats.</p> |
| <p>3. Other Uses:</p> | |
| <ul style="list-style-type: none"> a. Day nurseries, including schools, pre-schools and nursery schools. | <p>1 stall for each staff member, plus 1 space for every 5 children.</p> |

SECTION 7. DEVELOPMENT AND AMENDMENT PROCESSES

7.1 Development Approval Process

Following or concurrent with approval of this Specific Plan, subdivision maps will be filed, reviewed and approved by the City of Perris. The City's process of reviewing these maps is facilitated by inclusion of development standards within this Specific Plan document. The Director of Planning and Community Development will be responsible for determining what plans are in substantial compliance with the Specific Plan. Changes in street alignments to provide better circulation or reallocation of dwelling units among the planning areas will be permitted without amending this Specific Plan. A development review application shall be required for submittal to the Department of Planning and Community Development in the City of Perris for all tentative subdivision maps within the Riverglen Specific Plan project areas.

7.2 Amendment Process

In accordance with the California Government Code Sections 65453 - 65454, Specific Plans shall be prepared, adopted and amended in the same manner as General Plans, except the Specific Plans may be adopted by resolution or by ordinance. This Plan may be amended as necessary in the same manner it was adopted, by ordinance. Said amendment or amendments shall not require a concurrent General Plan amendment unless it is determined by City staff that the proposed amendment would substantially affect the General Plan goals, objectives, policies, or programs. An environmental assessment form shall accompany the proposed amendment, but it is presumed that the master Environmental Impact Report (EIR) approved for the project area includes all future development for the Specific Plan. If further environmental documentation were required, in special cases, it would generally require a focused analysis and action as documented in Section 15162 - 15182 of the CEQA guidelines.

SECTION 8. DEFINITIONS

8.1 Definitions (A)

Accessory Building - A subordinate building located on a building site, the use of which is customarily incidental to that of a main building or to the use of the land.

Accessory Use - A use customarily incidental and accessory to the principal use of the land or building site, or to a building or other structure located on the same building site as the principal use.

8.2 Definitions (B)

Building - A structure having a roof supported by columns or walls.

Building Height - The vertical distance measure from the ground level grade to the top of the building. On a sloping site the height of any building shall be the vertical distance minus the foundation or under-structure between the finished ground surface adjacent to the building at any point and the highest point of the building directly above, provided that a roof shall be measured to the average height of the roof but that no part of the roof shall extend more than five (5) feet above the permitted height.

Building Site Coverage - The relationship between the ground floor area of the building or buildings and the net area of the site.

Said net area shall be computed by deducting from the gross site area any ultimate street right-of-way.

Unenclosed post-supported roofs over patios, driveways, and walkways, unenclosed post-supported eaves overhangs, and swimming pools shall not constitute buildings for the purpose of this definition.

8.3 Definitions (C)

Carport - A roofed structure, or a portion of a building, open on two or more sides primarily for the parking of automobiles belonging to the occupants of the property.

City - The City of Perris.

Commission or Planning Commission - The City of Perris Planning Commission.

Community Facility - A noncommercial use established primarily for the benefit and enjoyment of the community in which it is located.

8.4 Definitions (D)

Density - The total number of dwelling units per acre determined by dividing the total dwelling units by the total acres.

Dwelling, Single Family - A permanent building containing one dwelling unit.

Dwelling Unit - One or more rooms and a single kitchen designed for occupancy by one family for living and sleeping purposes.

8.5 Definitions (E)

Easement - A recorded right or interest in the land of another, which entitles the holder thereof to some use, privilege or benefit out of or over said land.

8.6 Definitions (F)

Family - One or more persons immediately related by blood, marriage or adoption living in a single housekeeping unit in a dwelling together with their domestic employees. A group of not more than five unrelated persons living together with their domestic employees shall also be considered a family.

8.7 Definitions(G)

Garage, Private - A building, or a portion of a building, used primarily for the parking of automobiles belonging to the occupants of the property.

Garage, Public - A building other than private garage used for the maintenance or temporary storage of motor vehicles.

Gross Area - The entire area within the boundaries of a project site, building or lot, measured to the property lines of the site and to the centerlines of adjoining public rights-of-way.

Gross Density - The total density within a site when the total number of dwelling units are divided by the gross area of the site.

8.8 Definitions (H)

Home Occupations - Any vocation, trade or profession, as permitted in the Municipal Code, carried on solely by the occupant of the premises.

8.9 Definitions (I)

Institutions - A social, educational, governmental, health, or religious organization.

8.10 Definitions (L)

Lot - Any numbered or lettered parcel shown on a recorded tract map, a record of survey recorded pursuant to an approved division of land, for a parcel map.

Lot Area - The computed area contained within the lot lines. If there is a recorded subdivision or parcel map, "lot lines" as defined herein shall be located as shown thereon.

Lot Width - The horizontal distance between the side lot lines, measured at right angles to the lot depth at a point midway between the front and rear lot lines.

Lot Line, Common - Any lot line except the front line of the lot or the lot line or a corner lot that abuts the side street, or a lot line separated from another lot line by a dedicated alley or street or way.

Lot Line, Front - In the case of an interior lot, a line separating the lot from the street; in the case of a corner lot, the line separating the narrowest street frontage of the lot from the street.

Lot Line, Rear - A lot line not abutting a street which is opposite and most distant from the front line.

Lot Line, Street - Any lot line separating a lot from a street.

8.11 Definitions (N)

Net Area - The total horizontal area within the property lines of a lot or parcel of land, excluding public rights-of-way.

Net Density - The total density within a site when the total number of dwelling units are divided by the net area of the site.

8.12 Definitions (P)

Parking Area, Private - An area, other than a street, designed or used primarily for the parking of private vehicles and not open to general public use.

Parking Area, Public - An area, other than a private parking area or street, used for the parking of vehicles and available for general public use, either free or for a fee.

Planning Director - City of Perris Director of Planning and Community Development

8.13 Definitions (R)

Right of Way - An area or strip of land, either public or private, on which a right of passage has been recorded.

8.14 Definitions (S)

Service - An act, or any result of useful labor, which does not, it itself, produce a tangible commodity.

Setback Area - The area between the building line and the property line, or when abutting a street, the ultimate right-of-way line.

Side-on Garage - A building, or portion of a building, used primarily for the parking of motor vehicles, whose entry is perpendicular to the street or whose side is facing the street.

Sign - Any device used for visual communication or attraction including any announcement, declaration, demonstration, display, illustration, insignia or symbol used to advertise to promote the interest of any person; together with all parts, materials, frame and background.

“Sign” and “Advertising Devices” shall not include the following:

- A. Official notices issued by any court or public body or officer;
- B. Notices posted by any public officer in performance of a public duty or by any person in giving legal notice.
- C. Directional, warning, or information signs or structures required by, or authorized by law or by Federal, State or County Authority.
- D. The flag of the State of California or of the United States of America or any official flag of any other state or country.

Advertising Device - Any balloon; flag, pennant; propeller, oscillating, rotating, pulsating light; or other contrivance except a sign used to attract attention for the purpose of promoting (either directly or indirectly), the sale of products of any person.

Specific Plan - Riverglen Specific Plan as amended from time to time.

Story - The portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above.

Street Opening - A curb break, or a means, place, or way provided for the purpose of gaining vehicular access between a street and abutting property.

Structure - Anything constructed or erected requiring a fixed location on the ground or attached to something having a fixed location on the ground except business signs and other improvements of a minor character.

8.15 Definitions (V)

Vehicular Accessway - A private, non-exclusive vehicular easement affording access to abutting properties.

8.16 Definitions (Y)

Yards - An open space, unoccupied and unobstructed from the ground upward.

Yard, Front - An area extending across the full width of the lot and lying between the front lot line and a line parallel thereto, and having a distance between them equal to the required front yard depth as prescribed in each zone. Front yard shall be measured by a line at right angles to the front lot line, or by the radial line in the case of a curved front lot line.

When term is applied to "Frontyard Landscape" it shall include frontyard per preceding definition, the parkway (between front property line and curb), the sideyard in front of fence laterals, and corner lot street sideyard (including parkway).

Yard, Rear - A yard extending across the full width of the lot between the rear lot line and the nearest line or point of the main building, excluding projections such as fireplaces, greenhouse windows and other elements as identified in the Specific Plan.

Yard, Side - A space extending from the front yard to the rear yard, or rear lot line, between a side lot line and the side yard setback line.